

# Builders' Guide

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January 2, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

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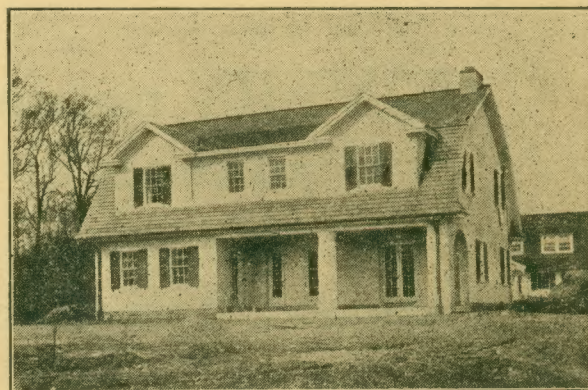
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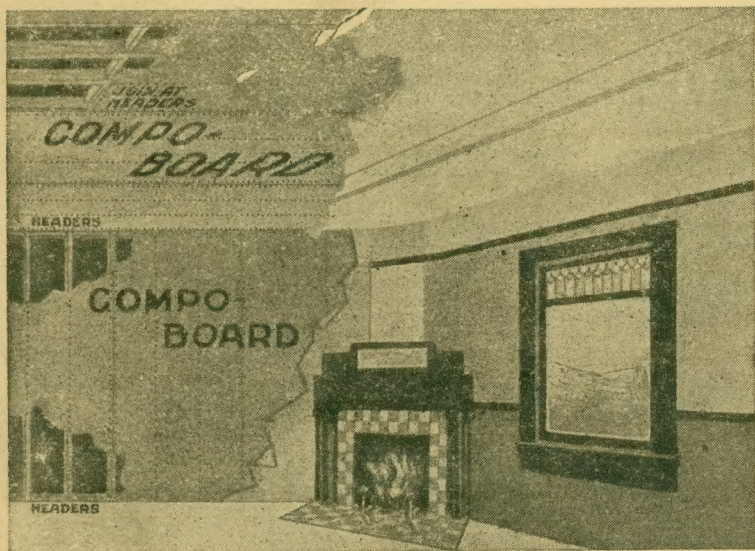
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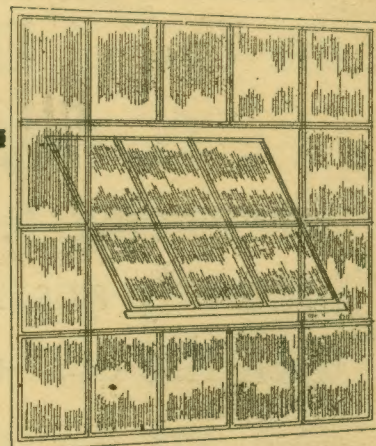
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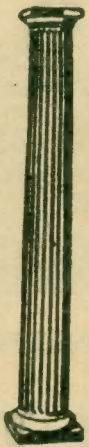
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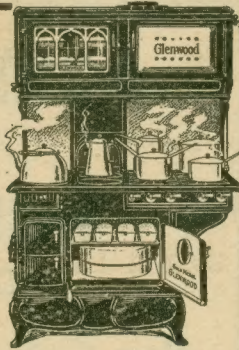


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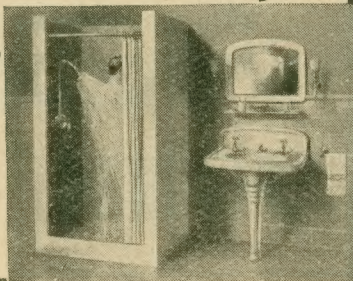


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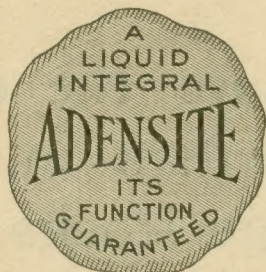
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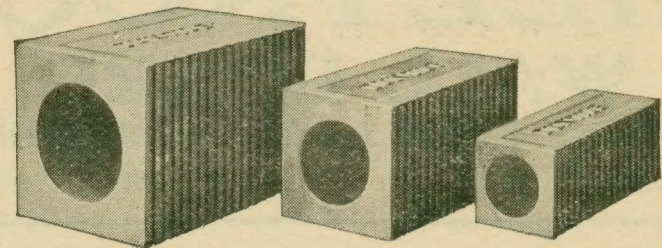
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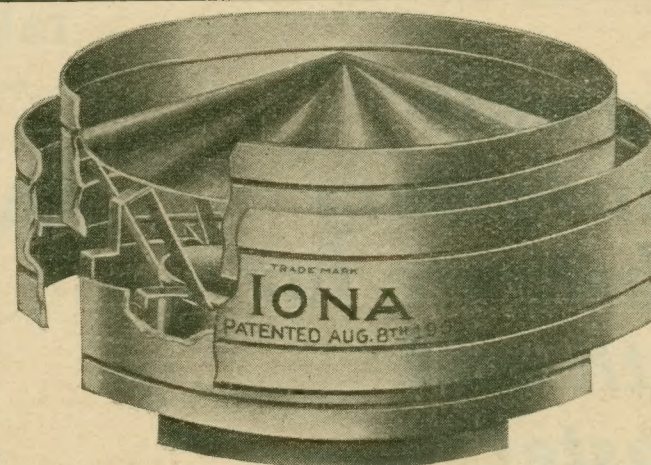
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# BUILDERS' GUIDE

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VOLUME XXXIX  
Number 1

PHILADELPHIA  
January 2, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



**H**APPY NEW YEAR! The time worn phase, spoken so often thoughtlessly, is fraught with meaning for us in America this year. We need only to consider the chaos in Europe today—Anarchy, Bolshevism, Poverty, Hunger—to realize that for us, of all people, the New Year holds out the potentiality of happiness and contentment and plenty. Elbert H. Gary, chairman, United States Steel Corporation, sounds a very encouraging note in *System* when he answered the question, "What's Ahead for Business in 1924?" Summing up his discussion Mr. Gary says "the tide of prosperity in the United States cannot easily be restrained. Do not treat transient hindrances as if they were permanent, immovable obstacles which we can neither go around nor go over. The outlook is good—1924 should be a better year than 1923. There will be success for those who proceed with good judgment and prudence, extending and progressing carefully within the limits of their resources."

Herbert Hoover, Secretary of Commerce, with his usual clear vision, throws light on present conditions in "Economic Prospects of 1924" and gives interesting and timely data when he writes:

The important thing in formulating any judgment as to the economic future is an understanding of our present position and of the forces that are in motion for and against economic progress. The following summary is based on the annual

review by the Department representatives throughout the world.

The economic outlook for our own country for the next year is bright. In general the world situation is hopeful. The general spirit of prudence, the absence of speculation, complete employment, high production, and the great financial strength and stability of the important states in the Western Hemisphere, together with the promise of the early conference for systematic consideration of constructive solution of the world's greatest economic menace—Franco-German relations—all create a hopeful foundation on which the New Year may build.

An economic weather chart of the world would show three distinct areas.

First, the Western Hemisphere, Asia, Australia, and Africa, which have made distinct economic progress during the past year, achieving a high degree of economic recovery.

Second, Russia, the Baltic, the Balkan States, the Near East, Italy and Spain, which are still struggling with afterwar political, social, currency, debt, and budget problems but yet show undoubted progress in the restoration of commerce and industry.

Third, an area of economic depression resulting from the occupation of the Ruhr and the collapse in Germany. While most acute in that country it radiates its depressing influences strongly over Poland, Czechoslovakia, Switzerland, Hungary, Scandinavia, Holland and Great

Britain. France can well be placed in this group because the failure to secure reparations has contributed to an unbalanced budget and the resulting indirect inflation. This has concealed the true situation and has given an artificial and forced draught to the industrial activity. The other countries of the group are suffering from a distressing increase of unemployment.

The German collapse has in less degree affected every other part of the world. The decreased consuming power of Germany and of the states most affected has contributed to the low price levels of food products in the United States and other food exporting countries. The decrease in her steel and coal production at first gave some stimulus to the production of other countries, but this is now offset by decreased buying power of the depressed area for other commodities. One other effect of importance has been the undoubted substantial flight of capital from many of the states in this area of depression to the United States, resulting in further excessive accumulation of gold here. The economic world has not yet felt the full impact of the occupation of the Ruhr. Were it not for the hope inspired by the initiation of negotiations for settlement of the German problem the situation would be most unpromising for the future.

Even with settlement accomplished there will arise considerable problems in readjustment of trade through re-entry

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of German coal and steel into the markets and through the possible (and to be hoped) return of capital which has sought refuge in the United States from many parts of Europe. During the whole year past the events of the depression area have at least served to inspire caution in the rest of the world and has contributed to the absence of speculation and therefore, to their fundamental stability. If it be possible to reconstruct Germany's finances during the forthcoming year and to secure such assistance to France as will enable the stabilization of the franc, the world will have entered into a period of great hope and much promise of prosperity. Full consummation cannot, of course, be accomplished without a large measure of disarmament in Europe, for the armies today maintained by 170 million people there, are upon a scale which if repeated in the Western Hemisphere, would mean 3,000,000 men under arms—a strain that would have made recuperation almost impossible on this side of the Atlantic, even with the economic strength which this Hemisphere possesses.

Russia is slowly making progress with the inch by inch abandonment of communism and socialism. War has ceased in the Near East. Greece and Turkey are turned toward progress. The eastern states of Europe are sensibly approaching sound projects for stabilization of budgets and currency. China is still disturbed politically, but her commerce is maintained despite of it. The Japanese disaster has had less effect upon her economic stability than many anticipated and has furnished new proof of the great strength and courage of that country. Latin America is steadily increasing in productivity but currency conditions in some instances leave much to be desired. Except in Mexico there has been a steady increase in political and social stability.

Our own country has shown more freedom from depressing European economic influences than most others. The explanation lies in the fact that although our exports are of profound importance, less than six per cent of our total productivity is exported and of this only about one-half to Europe. The proportion of different products exported to Europe of course varies and European conditions, therefore, have a fluctuating influence upon different industries. As less than one per cent. of our manufactured products find their market in Europe the direct effect upon these industries is more negligible than upon certain agricultural products which are much more dependent upon European consumption, such as wheat and pork products, and we endure both economic and political reactions at home from this latter fact.

In 1923 the United States have witnessed the highest total productivity and

movement of commodities since the war, with full employment, high real wages, great increased savings, large additions to home building, and the largest increase in railway equipment since the war. The whole has been accompanied by a remarkable absence of speculation, consequent over-accumulation of consumable goods, or dangerous expansion of credit. As we are not in a boom we can expect freedom from a slump. Some secondary interrogations can be raised as to the effect of the expansion of installment buying of consumable goods, the acute suffering in the Northwest agricultural areas, the increase on stocks of some commodities, and decrease on some advance orders. These items are small compared to the whole industrial fabric. Taking the country as a whole we never in history have enjoyed a higher standard of living and comfort nor so great a degree of commercial and industrial efficiency as today or so wide an understanding of the forces which control the ebb and flow of business. As severe as the situation is in the worst of the agricultural states yet the disparity between agricultural prices as a whole and industrial commodities is gradually lessening and the economic balance is tending to right itself.

A more detailed examination of our own situation based upon the first eleven months, and some later data, indicates that our foreign trade will show about \$4,100,000,000 in exports and about \$3,800,000,000 in imports—an increase of seven per cent. in the former and twenty per cent. in the latter over 1922. The merchandise balance will be about \$300,000,000 in our favor. Net gold and silver imports will be about \$260,000,000 or on the face of these figures almost a full liquidation of the trade balance. On the other hand, our very large net expenditure upon tourists, emigrant remittances, and other current invisible items have been apparently liquidated by the very considerable flight of capital from Europe. Our publicly issued loans to foreign countries and enterprises have been about \$300,000,000 net for the year as compared to over \$600,000,000 last year.

Our manufactured production taken together will show about ten percent. higher than 1920 and fifteen per cent higher than 1922. The 1923 production of coal and coke shows a great increase, but the strike in 1922 prevents any useful comparison with last year. Production for this year increased over 1922 by about forty per cent. in iron and steel, about fifty per cent in copper, about sixty per cent in automobiles, about fifteen per cent. in rubber tires, about ten per cent. in lumber, about twenty per cent. in cement, about twenty per cent. in sanitary ware and about ten per cent. in leather. Textiles

(Continued on page 11)

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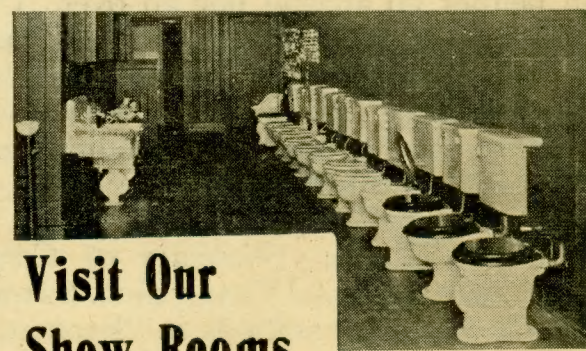
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**Residences (5)**, Wakling and Charles streets, Philadelphia. Architect, W. K. Henkels, 106 West Highland avenue, Philadelphia. Owner, J. Schuck, care of architect. Brick, 2 stories, 18x30 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Preliminary plans in progress.

**Warehouse and Garage**, Griscom and Unity streets, Frankford, Philadelphia. Architect, W. S. Dyer, Land Title Building, Philadelphia. Owners, Frankford Grocery, G. A. Edgar, president, Penn and Unity streets, Philadelphia. Reinforced concrete. Plans about completed. Will be ready for bids in one week.

**Garage and Service Station**, 3427-29 North Broad street, Philadelphia. Architect, William L. Redditt, Otis Building, Philadelphia. Owner, care of architect. Brick, steel, reinforced concrete, limestone, granite, 1 story, 265x50 feet, slag roof, steam heat, electric light metal lath, marble work, hollow metal sash and doors, rolled steel skylights, iron work, roof ventilators, dampproofing. Owner taking sub-bids.

**Library (alts. and add.)**, Thirty-fourth and Walnut streets, Philadelphia. Architects, Furness & Evans, 315 South Fifteenth street, Philadelphia. Owners, University of Pennsylvania, Thirty-fourth and Spruce streets, Philadelphia. Brick and steel, 2 stories, 40x20 feet (heating and electric reserved), slag roof, cement floors. Architects will sub-let all work.

**Bungalow**, Sedgwick, East of Lincoln Drive, Philadelphia. Architect, W. K. Henkels, 106 West Highland avenue, Philadelphia. Owner, August B. Schulte, 20 Armat street, Philadelphia. Brick, 1½ stories, 35x20 feet, slate roof, hardwood floors, hot water heat, electric lighting, tile work. Joseph T. Phister, 106 West Highland avenue, will build and will take sub-bids in spring of 1924.

**Apartment House**, Spruce above Broad street, Philadelphia. Architect, Charles Oelschlagel, 1615 Walnut street, Philadelphia. Owner, name withheld. Brick, cut stone, steam heat, electric light, metal lath, tile and marble work, hollow metal sash, copper skylights, hollow metal doors, bond, ornamental iron work, terra cotta work, elevators, marble,

oak and cement floors, slag roof. Revised plans in progress. Will be ready for bids in two weeks.

**Community Garages (64)**, Forty-fifth and Woodland avenue, Philadelphia. Architects, Durham Brothers, 1609 Sansom street, Philadelphia. Owner, Samuel L. Rothenberg, 4938 North Eleventh street, Philadelphia. Brick, 1 story, 8x18 feet, slag roof, cement floors, steam heat, electric light. Owner is ready for sub-bids.

**Building**, Broad street, North of Columbia avenue, Philadelphia. Architect, Leroy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Lionel Freidman, care of architect. Brick, cut stone, 2 stories, 85x72 feet, steam heat, electric light, metal lath, rolled steel sash, galvanized iron skylights, bond, metal stairs, iron work, roof ventilators, slag roof, cement and pine floors. Architect taking bids due January 3rd.

**Church and Sunday School Completion**, Southeast Corner Fiftieth and Locust streets. Architects, Stuckert & Co., Crozer Building, Philadelphia. Owners, First Reformed Church, Rev. H. B. Kerschner, Southeast Corner Fiftieth and Locust streets, Philadelphia. Stone, Indiana limestone trimmings, 1 story, 75x135 feet, slate roof, pine floors, vapor heat, electric light, tile work. Architect taking bids due January 10th.

**Residences (27)**, Third street, Nedro avenue, Widener street, Linton street and Champlott avenue, \$119,200. Owner, James F. Nolen & Sons, 64 East Church Lane, Philadelphia. Brick, 2 stories, 15x46 feet, 15x38 feet and 16x38 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (14)**, Emlen street, Lincoln Drive and Sedgwick street, \$168,000. Architect, private plans. Owner, Elmer B. Hampton, 6506 North Eighth street, Philadelphia. Brick, 3 stories, 16x25 feet, 21x18 feet and 17x25 feet, 22x19 feet, hardwood and pine floors, hot water heat, electric lighting, tile work. Owner will build.

**Residences (60)**, Marvine, Grange and Chew streets, \$424,000. Architect, private plans. Owner, Harry P. Collins, Chew and Marvine streets, Philadelphia. Brick, 2 stories, (4) 16x40 feet and (56) 16x28 feet,

13x12 feet, hot water heat, electric light. Owner will build.

**Residence**, South side Penn street, East of Henry street, Philadelphia, \$18,000. Architect, private plans. Owners, Kennedy Brothers, 837 East Cheltenham avenue, Philadelphia. Stone, 3 stories, 39x28 feet, hot water heating, electric lighting, tile work, hardwood and pine floors. Owner will build.

**Residences (6)**, East side Winston Road, South of Springfield avenue, \$13,500 each. Architect, private plans. Owner, John W. Mofley, 515 West Mt. Airy avenue, Philadelphia. Stone, 3 stories, 25x35 feet, 1 story, 12 feet, 6 inches x 25 feet, slate roof, hardwood and pine floors, hot water heating, electric lighting, tile work. Owner will build.

**Store (add.)**, Southeast Corner Passyunk avenue and Morris street, \$12,000. Architect, private plans. Owner, Mrs. G. Raboff, on premises. Lessees, F. W. Woolworth Co., Wilkes-Barre, Pa. Brick, 2 stories, 66x27 feet, 8 inches, slag roof, steam heat, electric light. Lessees will build.

**Apartment House (alts. and add.)**, 5216 Parkside avenue, Philadelphia. Architects, Stetler & Deysher, 1015 Chestnut street, Philadelphia. Owner, Joseph Rosen, on premises. New castone front, brick, 3 stories and basement, 37 feet, 6 inches x 107 feet overall, general addition, irregular in size, slag roof, hardwood and composition floors, kitchen equipment, Murphy beds, fire tower, plumbing, tile and marble work, electric light, vapor heat. Owner will be ready for sub-bids in a few days.

**Swimming Pool**, Second and Mifflin streets, Philadelphia. City architect, J. P. B. Sinkler, Twelfth and Chestnut streets, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, City of Philadelphia, 595 City Hall. Plans in progress.

**Service Station**, Forty-eighth and Woodland avenue, Philadelphia. Architect, William Lowenthal, 1208 Chestnut street, Philadelphia. Owner, H. Slater, care of architect. Brick, 1 story and basement, 16x30 feet, slag roof, cement floors, electric light. Architect taking bids due January 7th at noon.

**Building (alts.)**, Northeast Corner Twenty-second and Toronto streets, Philadelphia. Architect, Gabriel Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Morene Art Cement Work, plastering, carpentry and mill work, painting and glazing, rubber and linoleum floors, hot water heat, electric light, iron work, brick, cut stone and steel work. Architect taking bids due January 7th.

**Residence (alts. and add.) into Apartments**, 4615 Springfield avenue. Architect, Oliver Randolph Parry, 1524 Sansom street, Philadelphia. Owner, Arthur Freeston, care of architect. Enclosing porches. Will contain 9 apartments, slate roof, hardwood floors, electric work, steam or vapor heat, tile work, kitchen equipment, wall beds. Plans in progress.

**Schools (2)**, Fourth and George and Sixth

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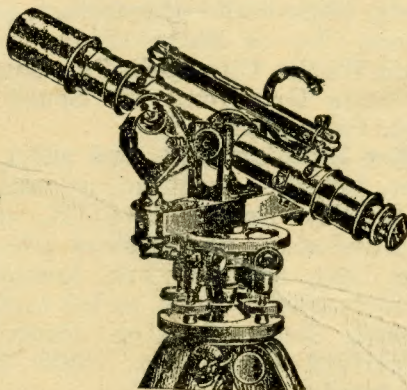
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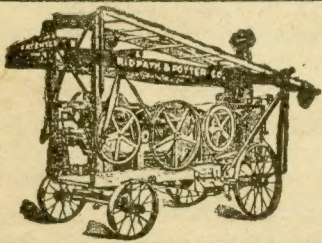
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and Carpenter streets, Philadelphia. Architect, private plans. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Owner taking bids due January 3rd.

**Germantown Municipal Building**, Germantown avenue and West Haines street, Germantown. City architect, J. P. B. Sinkler, Twelfth and Chestnut streets, Philadelphia. Owners, Department of Public Works, Bureau

of City Property, City Hall. Marble and terrazzo work. Ready for bids in few days.

**Residence**, Southwest Corner Verree Road and Hartel street, \$5,000. Architect, private plans. Owner, Edward Davis, 7301 Oxford Pike, Philadelphia. Frame, 2 stories, 26x30 feet, hot air heat, electric light, hardwood and pine floors. Owner will build.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Church, Sunday School and Parsonage**, Oxford Pike, Dyer and Akron streets. Architect, Horace W. Castor, Stephen Girard Building, Philadelphia. Owners, Frankford Avenue Methodist Episcopal Church, Rev. G. W. Sheetz, 1618 Foulkrod. Stone, cut stone, 64x41 feet, Sunday School, 2 stories and basement, 85x64 feet, slate roof, cement and maple floors, hollow tile, metal ceilings, iron work, tile work, electric light, steam heat. Contract awarded F. E. Wallace, 337 South Camac street, Philadelphia.

**Store Building (alts.)**, 122 South Thirteenth street, Philadelphia. Architect, Solomon Kaplan, 10 South Eighteenth street, Philadelphia. Owner, J. Lichterman, care of architect. Bond, brick work, cut stone, steel and iron work, carpentry and mill work, plastering, oak floors, composition floors, tin roof, painting and glazing, plumbing, electric work, hardware. Contract awarded J. Maurer & Co., Ivin E. Spier, 1304 North Second street, Philadelphia, taking sub-bids.

**Building (alts.)**, 7 and 9 North Second street, Philadelphia, \$26,000. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, H. Fliegelman, Inc., 11 North Second street, Philadelphia. Brick, 4 stories, 30x70 feet, slag roof, pine floors (heating, plumbing, electric reserved), tile, marble and terrazzo and slate work, rolled steel sash, hollow metal skylight, metal doors, metal ceilings. Contract awarded Lam Building Co., 1001 Wood street, Philadelphia.

**Alterations and Addition**, Ninth and Washington avenue, Philadelphia. Architect, Leslie Weirs, 41 East Forty-second street, New York. Owners, American Ice Co., City Center Building, Philadelphia. Waterproofing, reinforced concrete, structural steel, cork insulation, creosating. Contract awarded Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Fire House, No. 28**, Belgrade and Clearfield streets, Philadelphia. Architect, private plans. Owners, City of Philadelphia, Department of Public Works, City Hall, Pa. Contract awarded Curtis Grindron, 10 South Eighteenth street, Philadelphia.

**Office Building (alts. and add.)**, 424 Walnut street, \$62,000. Architect, private plans. Owners, Utility Real Estate Co., on premises. Brick and steel, fourth story add., 28x32 feet, steam heat, electric work, composition floors, slag roof, marble work, metal work, steel sash, kalamein doors, elevator. Contract awarded to McNeill Const. Co., 1505 Race street, Philadelphia.

**Lumber Shed**, Southeast Corner Fifty-

eighth and Woodland avenue, Philadelphia, \$38,000. Architect, private plans. Owners, J. Gibson McIlvaine Co., on premises. Frame, 140x238 feet. Contract awarded to Philip Haibach Cont. Co., 1261 North Twenty-sixth street.

**Residence**, 4095 Lancaster avenue, Philadelphia, \$14,500. Architect, private plans. Owner, Joseph Treegob, 4083 Lancaster avenue, Philadelphia. Brick, 2 stories, 16x70 feet, 13x15 feet, steam heating, electric lighting, hardwood and pine floors, tile work. Contract awarded to Negin & Klyman, 1809 South Fourth street, Philadelphia.

**Store and Storage Building (alts. and add.)**, Southeast Corner Twenty-ninth and Ridge avenue, Philadelphia, \$7,000. Architect, private plans. Owner, J. Landis, 2917 Ridge avenue, Philadelphia. Brick, 1 story add., 12x10 feet, general alterations. Contract awarded to J. Sosnofsky, 1912 North Patton street, Philadelphia.

**Storage Building**, Southwest Corner Germantown and Sedgley avenues, \$5,000. Architect, private plans. Owners, Weitzel Lumber Co., on premises. Brick and mansard, 2 stories, 40x70 feet, electric work. Contract awarded to Charles T. Clark, Germantown and Sedgley avenues, Philadelphia.

**Residence (alts. and add.)**, 2131 Cypress street, Philadelphia, \$4,500. Owner, Miss M. E. Kennedy, 2201 Chestnut street, Philadelphia. Brick, 3 stories, 6x8 feet, 10x12 feet, general alterations. Contract awarded to George L. Dougherty, 1725 Ludlow street, Philadelphia.

**Store and Residence (add.)**, 1625 South street, Philadelphia, \$4,200. Architect, private plans. Owner, George W. Long, 1627 South street, Philadelphia. Brick, 3 stories add., 14½x17 feet, slag roof, electric work. Contract awarded to Joseph Cichiny, 2135 North Howard street, Philadelphia.

**Office and Wareroom (alts.)**, 16 Armat street, Philadelphia, \$3,000. Architect, private plans. Owners, S. S. Kresge Co., Detroit, Mich. General alterations. Contract awarded to Fred Elvidge & Son, 5522 Germantown avenue.

**Factory (repairs)**, 427 North Broad street, Philadelphia, \$3,000. Architect, private plans. Owners, Horn & Brannen Co., on premises. General repairs. Contract awarded to A. Raymond Raff Co., 1635 West Thompson street.

**Residence**, East side Lawndale street, North of Shelmire street, \$5,000. Architect, private plans. Owner, Stefan Wurm, 7408 Lawndale street, Philadelphia. Brick, 2 stories, 16x47 feet, slag roof, hot water heating,

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electric lighting, hardwood and pine floors. Contract awarded to Joseph O'Vary, 1728 North Third street, Philadelphia.

**Building (add.),** 449 North American street, Philadelphia, \$2,000. Architect, private plans. Owners, American Mirror & Glass Co., on premises. Brick, second story add., 19 feet, 10 inches x 17 feet, 9 inches, pine floors, slag roof. Contract awarded to T. A. Stoutenburgh, 452 North American street.

**Store and Factory (alts. and add.),** 526 South Third street, Philadelphia. Owners, Finkelstein Brothers, 303 South street, Philadelphia. Architect, E. A. Roth, Drexel Building, Philadelphia. Brick, 3 stories, irregular size, steam heat, electric light, slag roof, pine floors, plumbing, fire tower, wire glass. Contract awarded Revnik & Saidel care of owner.

**Residences,** Northeast Corner Forty-sev-

enth and Larchwood avenue, Philadelphia, \$18,000. Architect, private plans. Owner, George S. Good, Patton, Pa. Brick, 3 stories, 27 feet, 6 inches x 61 feet, slate roof, hardwood and pine floors, electric light, hot water heat, tile work. Contract awarded to W. C. Walker, Altoona, Pa.

**Office and Storage Building (alts.),** 600 Schuylkill avenue, \$6,000. Architect, private plans. Owners, Heyman & Brothers, 213 South Broad street, Philadelphia. General alterations, new mezzanine floor, carpentry, mill work. Contract awarded to Roberts & Roller, 1904 Sansom street, Philadelphia.

**Residence (alts.),** 2031 Delancy street, Philadelphia, \$2,500. Architect, private plans. Owner, J. Y. Brinton, on premises. General alterations. Contract awarded to John Barber, 220 Chancellor street, Philadelphia.

## PENNSYLVANIA

# Construction News

**Theatre and Dance Hall,** Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owners, Hungarian Relief & Beneficial Society, care of architect. Brick, 2 stories, 40x100 feet, slate roof, hardwood floors, steam heat, electric light. Plans in progress.

**Residence,** Bangor, Pa., \$10,000. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, Robert Renco, Bangor, Pa. Brick, 2½ stories, 30x40 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**School (alts.) to Residence,** Egypt, Pa., \$12,000. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, L. Pollick, 132 North Ninth street, Allentown, Pa. Brick, 2 stories, 30x70 feet, slate roof, partitions, tile work. Owner will take bids.

**Building (rebuild),** Camp Hill, Pa. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Manufacturers' Club, Broad and Walnut streets, Philadelphia. General rebuilding and renovation. Plans in progress.

**Store Building,** Norristown, Pa. Architect, H. G. McMurtrie, 1012 Walnut street, Philadelphia. Owner, name withheld. Brick, 3 stories. Plans in progress.

**Pungalow,** Jeffersonville, Pa. Architect, H. G. McMurtrie, 1012 Walnut St., Philadelphia. Owner, name withheld. Hollow tile and stucco, 1½ stories, 40x40 feet. Plans in progress.

**Residence and Garage,** Trevor Lane and Llandrilla road, Cynwyd, Pa. Architect, W. K. Henkels, 106 West Highland avenue, Philadelphia. Owner, August B. Schulte, 20 Armat street, Philadelphia. Brick, 3 and 1 stories, 28x38 feet, shingle roof, hardwood

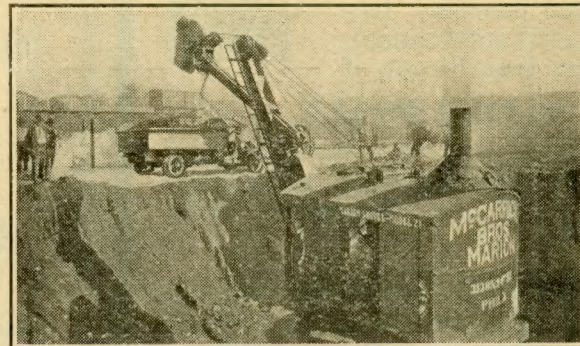
and pine floors, hot water heat, electric light, tile work. Joseph T. Phister, Reg. 106 West Highland avenue, will build and will take sub-bids in spring, 1924.

**Residence and Garage,** Greystone Road, Merion, Pa. Architects, A. Green and B. Edwards, 34 South Seventeenth street, Philadelphia. Owner, Walter F. Off, care of architects. Stone, cut stone, brick, 2½ and 1½ stories, 34x22 feet, residence, 62x28 feet, wing 23x19 feet, slate roof, cement, oak, pine and composition floors, bond, iron work, metal lath, tile work. Revised plans in progress.

**School, Auditorium and Gym,** Windber, Pa., \$150,000. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, School District of Windber, Somerset County, Pa. Brick and stone, 2 stories and basement, 162x56 feet, 87x68 feet. Plans in progress.

**Residence (2),** Lamott, Pa. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owner, C. N. Shallcross, Logan, Philadelphia. Frame, 2½ stories, 18 feet, 6 inches x 24 feet, shingle roof, pine floors, electric light, pipeless heat. Architect taking sub-bids.

**Stores and Apartments (alts. and add.),** South Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem. Owner, Adolph Bock, 472 Birkel avenue, Bethlehem, Pa. Brick, 1 story, 31x60 feet, slag roof, pine floors, hot water heat, electric light, copper work, general interior alterations. Owne taking bids.



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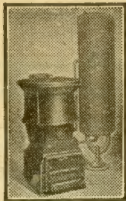
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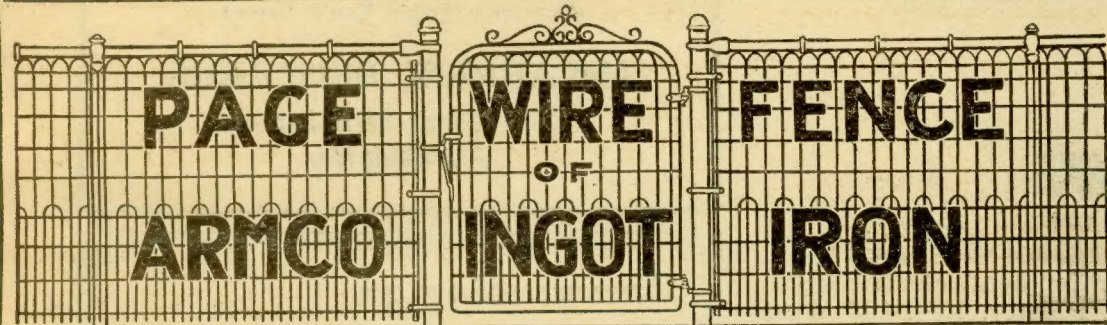
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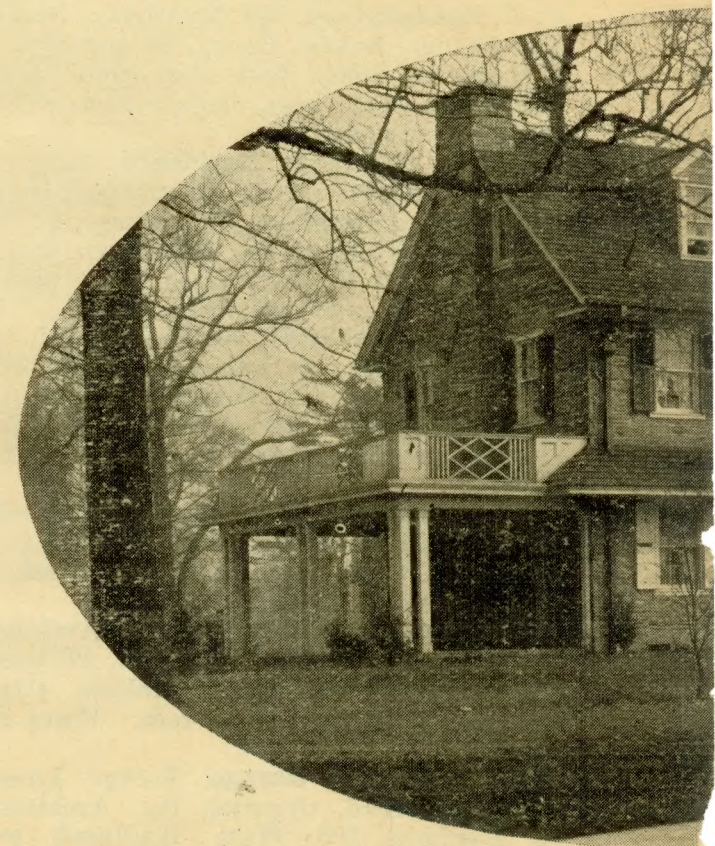
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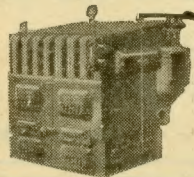
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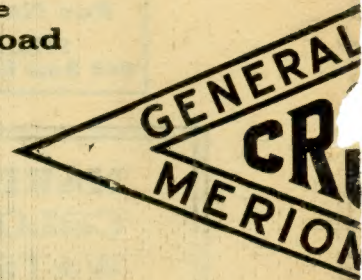
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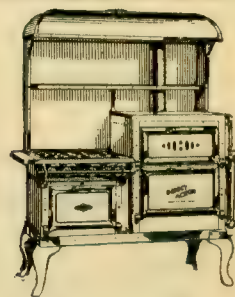
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**Telephone Building**, Bethlehem, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Bond, reinforced concrete, waterproofing, steel work, brick work. Architect taking bids due January 7th.

**Alterations and Addition**, Torresdale avenue, Torresdale, Pa. Architects, Henry D. Dagit Sons & Co., 34 South Seventeenth street, Philadelphia. Owners, St. Catherine's Roman Catholic Church, Rev. J. E. Conkely, care of D. Cardinal Dougherty, Eighteenth and Race streets, Philadelphia. Bond, shoring, cement floors, carpentry, mill work, hardware, painting and glazing. Architects taking bids due January 10th.

**Power Piping and Apparatus**, Reading, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Reading Hardware Co., Reading, Pa. Architects taking bids due January 4th.

**Hospital (add.)**, Walnut street, Reading, Pa. Architect, F. A. Muhlenberg, Ganster Building, Reading, Pa. Owners, St. Joseph's Hospital, Reading, Pa. Brick, steel, concrete, 6 stories, 45x150 feet, asphalt roof, composition, tile and terrazzo floors, hollow tile, (2) elevators. Lowest bidders: L. M. Foelt & Son, Inc., Baer Building, Reading, Pa.

**Power House (add.)**, Willow street, East of Fifth, Reading, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Reading Hardware Co., Reading, Pa. Plumbing and drainage reserved. Architects taking bids due January 10th.

**School**, Prospect Park, Moore, Delaware County, Pa. Architect, Clarence Brazer, Crozer Building, Chester, Pa. Owners, Board of

Education, B. F. Moore, president, Prospect Park, Pa. Brick, cut stone, 2 stories, 82x135 feet, slag roof, linoleum and maple floors, hollow tile, safety treads. Lowest bidders: General, J. H. Hutchinson, Newark, Del., \$92,440. Heating, American Heating & Ventilating Co., 200 North Fifteenth street, Philadelphia, \$9,275. Alternative on steam heat, Lindemuth Eng. Co., York, Pa., \$15,425. Plumbing, Burton L. Marker, Twelfth street Chester, \$5,225. Electric, H. Hynes, 716 Welsh street, Chester, Pa., \$2,818.

**Roosevelt School (add.)**, Allentown, Pa., \$200,000. Architect, E. H. Picken, Hunsicker Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Allentown, Pa. Brick, steel, 2 stories, 12 rooms. Preliminary plans in progress.

**Sheridan School (add.)**, Allentown, Pa., \$200,000. Architect, H. L. Anderson, Perkin Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Allentown, Pa. Brick, 2 stories, 12 rooms. Preliminary plans in progress.

**School**, Bally, Pa., \$15,000. Architect, A. J. Bibighaus, 530 Hamilton street, Allentown, Pa. Owners, Bally School Board, H. Stengel, president, Bally, Pa. Brick, 2 stories. Preliminary plans in progress.

## Pennsylvania

### Contracts Awarded

**Cynwyd Central Office Building**, Northeast Corner Levering, Mill Road and Bentley avenue, Cynwyd, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia.

Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 2 stories and basement, 85x84 feet, slag roof, cement floors, hollow tile, hollow metal sash, tile and marble work, metal lath, steam heat, electric light, cork and composition floors. Contract awarded Monaghan & Losse, 3016 Chestnut Street, Philadelphia.

**Residences and Garages (2)**, Oak Lane, Pa., \$28,000. Architect, private plans. Owner, Howard E. Ziegler, care of Irvin E. Spier, J. Maurer & Co., 1304 North Second street, Philadelphia. Stone and stucco, 2 stories, 20½x60 feet each, 12x16 feet each, 1 story, hot water heat, electric light, slate shingle, slag roof, cement and hardwood floors. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia, who will start work January 1st.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa.

**Beaver County**, Route 204, Fallston and Patterson Heights Boroughs and Patterson Township, 10,530 feet. One course reinforced concrete and hillside vitrified brick. Contract awarded to W. S. Morrison, New Brighton, Pa., \$119,815.55.

**Delaware County**, Route 180, Chester Township, 1,805 feet. One course reinforced concrete. Contract awarded to Juniata Co., Empire Building, Philadelphia, \$33,124.20.

**Jefferson County**, Route 2404, Young Township, 4,151 feet. One course reinforced concrete. Resurfacing. Contract awarded to George I. Thompson Co., Clearfield, Pa., \$39,710.35.

**Westmoreland County**, Route 87, Section 4A, Salem Township, 13,453 feet. One course reinforced concrete and hillside vitrified brick. Contract awarded to Corrado & Galardi, Connellsville, Pa., \$146,701.90.

**Westmoreland County**, Route 187, Sec. 4B, Salem Township, 25,693 feet. One course re-

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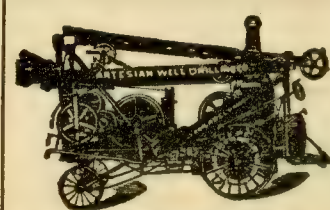
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inforced concrete and hillside vitrified brick. Contract awarded to Corrado & Galiardi, Connelville, Pa., \$261,844.05.

Northumberland County, Route 1, Lower Mahanoy Township, 7,424 feet. Grading and drainage. Contract awarded to Reitz Bros., Sunbury, Pa., \$50,606.20.

**Road Work, Pennsylvania.** Owners, State Highway Department, Harrisburg, Pa. Greene County, Route 109, Franklin and Washington Townships. Contract awarded to Samuel Gamble Co., Carnegie, Pa., \$227,096.87.

## New Jersey Construction News

**Residence, Trenton, N. J.** Architects, P. L. Fowler & Co., Fitzcharles Building, Trenton, N. J. Owner, Mrs. Webster Eggerly, care of architect. Too early for details.

**Residence, Belmont Circle, Trenton, N. J.** Architect, William A. Klemann, First National Bank Building, Trenton. Owner, Senator H. D. Leavitt, State and Warren streets, Trenton. Brick, 2½ stories, 40x30 feet, slate roof, hardwood floors, steam heat, electric light, tile work, marble work. Plans in progress.

**Dormitory, Bordentown, N. J.** Architects, Guilbert & Betelle, Newark, N. J. Owners, School for Colored Youths, State Board of Education, Trenton. Brick, reinforced concrete, cut stone, limestone, steel, 3 stories and basement, 175x55 feet (plumbing, heating, electric, ventilating reserved), slate roof, slag roof, cement and maple floors, safety treads, roof ventilators, waterproofing and dampproofing, iron work and stairs, bond, tile and mable work, metal lath, caulking. Owners taking bids due January 3rd at 3 P. M.

**Store and Garage, Calhoun street, Trenton, N. J.** \$6,000. Architect, private plans. Owner, Fred R. Parker, 327 Calhoun street, Trenton, N. J. Cement block, 1 and 2 stories, 20x176 feet, slag roof, wood and concrete floors, electric lighting. Owner will build.

**Hospital Buildings, Asyla, N. J.** Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Tuberculosis Hospital Association, care of Camden County Board of Chosen Freeholders, Court House, Camden, N. J. All bids rejected. Will readvertise in one month.

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## New Jersey Contracts Awarded

**Residence, Haddonfield, N. J.** Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, W. C. Randall, Haddonfield, N. J. Frame, 2 stories, 24x45 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to Fred Lange, Audubon, N. J.

**Residences and Garages (2), Margate City, N. J.** Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owner, George W. Kelly, Surrey Apartment, Atlantic City, N. J. Frame and stucco, 2 stories, 23x35 feet, garage, concrete block, 1 story, 15x19 feet, hot water heat, electric light, slag and tile roof, pine and cement floors. Contract awarded P. O. Malley, 3 South Texas avenue, Atlantic City, N. J.

**Residences (2), 551-53 Edgewood avenue, Trenton, N. J.** \$12,000. Architect, private plans. Owners Philip Gandolman, 716 Edgewood avenue, Trenton, N. J. Frame and stucco, 2½ stories, 32x44 feet, slate roof, pine floors, hot water heat, electric light. Contract awarded to Gandolman & Reuter, 716 Edgewood avenue, Trenton.

**Residences (2), Parkway avenue, Trenton, N. J.** \$10,000. Architect, private plans. Owner, Daniel Schultz, care of builder. Frame, 2½ stories, 32x42 feet, asbestos shingle roof, pine floors, electric lighting. Contract awarded to William H. Bohl, 72 Moreland avenue, Trenton, N. J.

## Delaware Construction News

**Building and Concrete Platforms, Maryland avenue, Freight Station, Wilmington, Del.** Architect, Samuel T. Wagner, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Concrete and brick, steel, 1 story, 32x84 feet, built-up roof, concrete floors, steam heat, electric lighting, bond, ornamental iron work, waterproofing. Architect taking bids due January 15th.

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## Proposals

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., Dec. 20, 1923. Sealed Proposals will be opened in this office at 3 P. M., Jan. 21, 1924, for the construction, including mechanical equipment, of a one-story brick and tile non-fireproof Post Office building, approximately 62 by 64 feet in size, at State College, Pa. Drawings and specifications may be obtained from the Custodian of the site at State College, Pa., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from page 4)

were about the same as the year before.

In the agricultural products cotton production increased about three per cent.; the total bushels of cereals show an increase of about three per cent.; pork products about twenty per cent.; beef about five per cent.—with a slight increase in dairy produce.

In construction work the large additions to our railway equipment have enabled the railways to fully handle the traffic for the first time since the war, and marks a great achievement. In building there has been about the same floor space constructed but there has been a great shift from public construction to make way for private work, as indicated by the decline of over twenty per cent. in public building construction, and an increase of about fifteen per cent. in residential buildings compared to 1922. This shift from public to private construction is also indicated by the fact that concrete road contracts delined about sixteen per cent. while the output of cement, however, increase as above.

In transportation, car loadings were increased by about fifteen per cent. Cargo traffic through the Panama Canal doubled, it increased forty per cent. in through Sault Ste. Marie and thirty per cent. through the Erie Canal. The overseas tonnage was about the same.

Consumption is indicated by the in-

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crease in sales of mail order houses by about thirty per cent., in chain stores eighteen per cent., and department stores about ten per cent. over 1922. Postal receipts were ten per cent. over 1922.

The stocks of goods generally at the end of this year are somewhat higher than at the beginning of the year and unfilled orders for steel are lower, as are orders for railway equipment. But the large employment bids fair for large continued consumption of goods.

Price levels maintained comparative stability. Wholesale average prices of all commodities declined about three per cent. for the year and stand fifty-two per cent. above 1913. Average prices for ground crops increased fifteen per cent. while live stock declined about seven per cent. Retail food prices increased during the year about four per cent. and the Labor Department Cost of Living Index would show an increase of about four per cent.

The national debt has been reduced about one billion dollars during the year: bank debits to individual accounts remained about the same in New York but increased about twelve per cent. in the rest of the country. The money in circulation apparently increased about six per cent. Member banks show an increase of about six per cent. in loans and discounts. The reserve ratio is about the same as a year ago, that is about seventy-six per cent. Savings increased about ten per cent. and life insurance sales about twenty-two per cent. The financial items, therefore, show a general parallel with increased production without inflation.

In summary, the world situation continues under the European cloud of the reparations dispute, unbalanced budgets, unstable currencies, and the political uncertainties of armies in the old allied states greater than pre war. Yet the realization of the necessity of constructive solution of reparations, the construc-

tive aid to Austria and Hungary, and the projects for budget reorganization in other countries, all give hope that we have at last taken a turning.

Our own country has exhibited extraordinary strength and progress. The basis of healthy business activity lies in balanced budgets, stable currency, high production accompanied by proportionate consumption and savings with an absence of speculation, extravagance, and inflation. These things we have in the United States. We have even more in the hope of decreasing taxes. The odds are favorable to 1924.

**APPRENTICESHIP—FOR WHAT?**

*Being a Discussion of Specialization,  
Winding Up with a Story About a  
Ruined Chameleon*

**BY FRANCIS MAHONEY****Trade Analyst, New York Building  
Congress**

"I see be the papurs and magazines," quoth Mr. Dooley, "a great deal of talk about apprintices."

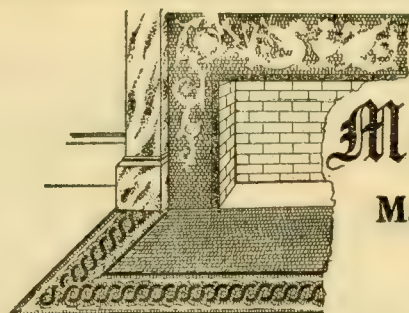
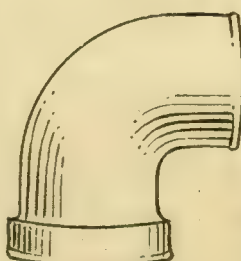
"What," said Mr. Hennessey, "is an apprintice, Mr. Dooley?"

Drawing a long pull on his ever-faithful pipe, Mr. Dooley unloaded himself of the following:

"An apprintice, Mr. Hennessey, is something that someone at some time thinks that he is and that he finds at a later time he is not."

And so the problem comes down to those of us who are interested in the building trades particularly, for as the wise sage from out of the pen of Peter Finley Doone has said: "Are we not laboring under the delusion that we are creating something which we later find we are or have not created?"

There was never a greater need than at the present time to look to the progress rather than to the process. And the process in apprenticeship is something to marvel at.

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*Variety of Efforts*

The past twenty or more years have been replete with programs and processes aiming at the solution of the problem of creating an adequate supply of competent journeymen.

Yet at the end of this period we find ourselves in a worse fix than ever before.

In the opinion of the writer, the fault seems to have been not so much in the efforts expended as in the approach to the solution.

The question may well be asked: "Apprenticeship for What?"

In the opinion of the employer, whose horizon often fails to extend beyond a maximum of profit in a minimum of time, and sometimes without thought of responsibility to a basic craft or its necessary employees, apprenticeship seems to mean but one thing and that is the training of employees in one narrow division of a broader craft, this product to be used for the immediate furtherance of a particular end.

As a result of hundreds of conferences with employees and employers under the auspices of the Apprenticeship Commission of the New York Building Congress, it can safely be said that the number of employers seeking narrowly trained, quantity-producing specialists is becoming scarcer and scarcer.

*Thoroughness of Aim*

Disregarding that ever-present class of so-called speculators whose standard of success seems measured by profits accumulated rather than memorials of craftsmanship in brick and mortar, wood and stone, the construction industry may be said to stand solidly for thoroughness in training and pride in a craft.

There are those who will throw the entire blame at the door of the labor organization, claiming that they set the standard of craftsmanship and that they err in accepting poorly trained mechanics. In justice to them, it must be said that they have had, during the past twenty years, little to choose from; and they had to accept those that came, lowering from time to time their standards to meet the needs of incoming members, narrowly trained to fit into some particular specialty within an otherwise broad craft.

In many of these organizations the trade test—still in vogue in Europe, the training camp of real craftsmen—has had to be sacrificed that members might be admitted, so as to avoid the criticism of unduly restricting the number of men in a trade.

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Disregarding the well-known fact that the past quarter of a century has indicated a decided drifting away from over-all jobs and into white collar jobs, there has developed here in America an efficiency wave, the aim of which is greater production with a decrease in the cost per unit. This movement seems to have established itself permanently.

Undoubtedly this movement has been a success in manufacturing circles and has resulted in America being placed in the forefront in much of its work. As to the success of this movement in such industries as can be standardized, there remains no doubt, but in the construction industry, at least, it is a debatable question. Many a construction contractor will claim there is no debate when he can show that, in spite of the use of specialists, taking into consideration too the increased costs due to wages, his relative costs are higher than they were when all-round trained men were used.

*Of Different Character*

There is no doubt that the construction industry can never be standardized to the degree attained in other lines. Therefore, caution must be exercised before any attempt is made to train men for some narrow specialty that later, through the development of new materials, may cease to exist.

The economic loss due to frequent unemployment of men, trained in one narrow division, who must seek re-employment reflects itself in larger per diem wages, the results of which are only measured in final costs.

A striking example of this loss was noted when recently it was the privilege of the writer to visit a job of considerable size in which wood floors were being laid by specialists in floor laying. Due to a delivery of flooring from out of town being five days overdue, it was necessary to divert the efforts of these men to other lines in order that they be retained for use when the flooring arrived.

In spite of the fact that these men were members of a labor group covering all branches of the woodworking trade, there was but one man among the ten who had the skill or experience sufficient to simply cut and fit base of which there was considerable to be cut and fitted. Naturally the other nine had to be laid off. Some found employment elsewhere; the others drifted back when the flooring arrived.

The slowing down in anticipation of a layoff was readily noticed in the production records even before the layoff occurred. The completed building carried the loss, as does every other job on which conditions of this type develop.

*Many Similar Cases*

This is not an isolated case for within another basic craft—that of the inside

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electrical worker—a condition even worse seems to exist, due to no fault, apparently, of either the labor organization or the employers, but rather to an indifference or apathy on the part of both, perhaps because of a feeling of inability to cope with the situation.

Although an apprenticeship of four years in this trade is generally insisted upon, and regardless of the fact that this period, if properly made use of, should provide thorough training in all branches of the trade, it will be found that the majority of the men engaged know little, if anything of other than their specialty on either bells, telephones and signals, or rigid conduit or armored cable or metal molding or open-wire systems or service connections or motors, generators and switchboards.

One can quote similar conditions in each and every one of the construction trades, were there space to permit.

Many will claim that the all-round man is not needed under present conditions, yet that same group, almost to a man, will place a wide range of ability as a requisite for employment. As an example of the adaptability of all-around training to participation in special work, the writer recalls a visit made to one of New York's recently erected skyscrapers, the elevator doors and trim of which were made of bronze, the placing of which was done by the carpenters' and joiners' craft. Of the 17 men engaged on the finer branches of the work, there was but one who had not learned his trade through a full four or six-year apprenticeship and entirely in the wood-working. Each had had a basic training in work at the bench and had been selected for metal trim erection because of his skill in tool using.

#### *One Specific System*

The Apprenticeship Commission of the New York Building Congress, composed, as it is of members from among the employers, employees, architects, investors and the public at large, had all previous trade education efforts in mind when it began its work on apprenticeship. It has set up a system of trade extension training which shall be conducted during four or more evening hours a week for the duration of the apprentice period. Some of the trades have under consideration the granting of four hours a week during the day time to their apprentices in order to make the instruction more attractive.

During these four hours only such work as has been proven basic by investigation and laid out in a course of study by the Commission and which covers all of the practical and theoretical work possible will be attempted. In no case will specializing be allowed, although an apprentice may get assistance in his division or specialty.

A broad basic training is to be insisted upon. This idea has been borrowed from

the experiences of those trade extension schools in Europe that have developed such thorough craftsmen.

The first year's work for the electrician, dealing as it does with the basic elements in bells, telephone annunciator, telegraph and other signaling devices, is typical of the approach to all-roundedness in training for that and other trades.

The carpenter does not confine himself to bench work alone, but undertakes framing, stair building, trimming and concrete work also. As far as possible, there is tool practice on projects in the school, but where such cannot be the case, drawing and other related work takes its place.

In such trades as the cement mason, the testing laboratories of the school, the draftsman's table and the applied problems in arithmetic will take the place of the hand tools.

#### *Careful Note Taken*

The progress of the apprentice on the job is watched and such frequent readjustments made as will mean for all-round training.

Admittance into the trade from day vocational schools of a pre-trade sort, the course of study of which meets the requirements of the Commission, has already been arranged for in several trades, with allowance made for an advanced wage and a shortened apprentice period.

The methods adopted by the New York City Commission can be adapted to a considerable degree by most of the cities of over 100,000 population and in some of those with a smaller population.

Where the industry provides good tool practice much of the school shopwork may be eliminated. It is hoped that the result of the concentrated effort in New York will not be that told in the story of the chameleon which, when placed on a piece of red goods turned to a shade of red; when placed on blue goods turned to a shade of blue, then on green goods to a green, but when placed on a Scotch plaid blew up in trying to make good. Rather is it hoped that the chameleon-apprentice-journeyman, when he is confronted with the Scotch plaid industrial complex, will turn to a neutral efficiency and prove his worth.—*The Constructor*.

### THE GRAVITY SYSTEM OIL BURNER

With the whole nation turning to oil as a fuel; a change brought about by the inconvenience and objectionable conditions necessary in burning coal; the diminishing supplies; not to mention the threatening shortages and the annual labor fights, the question that arises in the mind of the individual is "what is the best way to burn oil?" With scores of oil burners on the market and with each one making an equally strong appeal for

its advantages, it is a hard nut for the public to crack.

In this article, we shall endeavor to set forth the difference in the two types of oil burners, i. e., power feed and gravity feed, in an unbiased way. The reader may draw his own conclusions.

#### *Power-using Burners*

Generally speaking, oil burners are divided into two classes: power feed and gravity feed. Most power burners rely on electrical devices and motors to pump the oil from a tank into the burner and then to atomize the oil by running it through a rapidly rotating fan or by some other means of mechanically reducing its molecular size. Then, too, there are burners that use gravity feed for bringing oil into the burner from the tank, thus eliminating the use of a pump, but a motor is used to give pressure to the oil stream so that the oil may be forced into an atomizing device under great pressure and the atomized oil projected forth at the nozzle.

In all of the above methods, electrical or at least moving pieces of machinery are necessary in order to burn the oil. Naturally, there is a great deal of expense, noise, vibration and possibility of wear attached to them. Some of them have the advantage of using a low grade of oil—some of them crude oil—but it is a question whether the saving on the oil will compensate for the additional expense of the additional parts and the cost of mechanical operation. Of course, there is the convenience that goes with all types of oil burners, but by means of the type of burner described below, the disadvantages of the power burners are eliminated without losing any of the convenience of these burners, in fact there are even more elements of convenience.

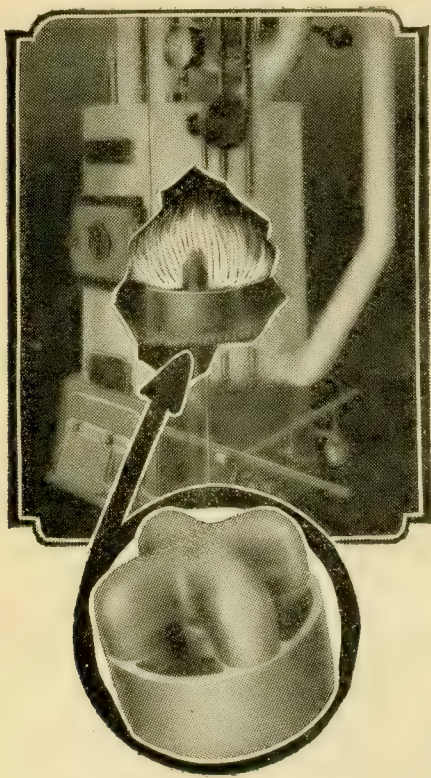
#### *Gravity Oil Burners*

The second type of oil burner—or more correctly oil-gas burner—depends entirely upon gravity and nature for its operation. There are no moving parts, no chances for wear and no noise or vibration. The equipment is so simple and can be manufactured at such a great rate of speed, that the cost is far less than the majority of the power burners. In this type of burner, the oil is led from the tank to the burner by gravity and it is atomized by generating the oil in the feed pipe before turning the burner on. The pre-heating transforms the oil into a vaporized body that when released and precipitated upon a hot plate, bursts into flame. Pressure is obtained by gravity and by running the oil through a large diametered pipe line and releasing the vapor through a minute orifice.

In this latter system, there is no loss of heating efficiency, and while heavy oils have been burned in this type of burner, the companies manufacturing them do not advise the use of anything heavier



than distillate. For this reason, the fuel cost is a bit greater than some of the most economical of the power burners burning crude oil, even running a bit more than coal at times, but the lack of operating cost more than makes up for the difference between these burners and power burners. Then, too, there is simplicity of construction in this type of burner that makes it a far more understandable piece of machinery than the complicated power type. It is mainly because of this simplicity of construction that this burner can be manufactured to sell at such a reasonable price.



From the above it would seem that the oil-gas type of gravity burner has all of the advantages and none of the defects that go with burning oil as a fuel. That in a sense is true. In the matter of safety, the power burners have of course, the advantage of mobility of the storage tank, i. e., the tank may be placed at any convenient place in the yard and buried, or it may be placed quite a distance from the house. However, this may be done with the gravity type burner with the tank placed outside and higher than the burner. With the gravity type of burner, the tank must necessarily be higher than the burner by several feet, and the tank should be at least seven feet from the burner. Oil has the peculiar property of being non-combustible except when pre-heated or when a wick is supplied, and this tends to bring the danger from combustion to the minimum. Furthermore, since oil will not burn except under the above conditions, the flame could not in any way work its way back through the feed line to the tank.

On the Oliver Oil-Gas Burner, the burner that the writer is most familiar with, further precautions are taken to prevent the fire-hazard. A special overflow pipe through which the oil

flows to an overflow cup, is attached, so that should anything happen that the fire be put out, the oil would run into a cup, which, when two-thirds full, drops down, shutting off the valve that regulated the flow of oil. The possibility of the feed line becoming clogged for any reason is obviated by the use of a strainer at the point where the feed line enters the tank. The oil is strained from the bottom of the strainer to the top, and any sediment can be easily removed by means of a cock in the bottom of the strainer.

Thus, in conclusion, we find that in the power burner the advantage lies in the ease of placing the tanks at any desired position, and in some cases in the initial fuel cost, while the gravity burner has the advantage of no moving parts, no noise, no expensive equipment, no switches, or other electrical apparatus, no operation cost, greater convenience for heat control and very low initial cost.

Of course in all methods of oil burning, there is the elimination of dirt and soot and ashes and in oil burners on which it is possible to install thermostatic control, there is the elimination of janitor service. While the fuel cost will sometimes amount to slightly more than coal, that should not be made a basis for comparison when the work saved and convenience is taken into account. Furthermore, the gravity system will just as often prove itself cheaper or as cheap as coal, depending, of course upon the grade of coal formerly used, the care of the burner, and the knowledge of operating it in the most efficient and economical manner.

#### STANDARD RECOMMENDED PRACTICE FOR PORTLAND CEMENT STUCCO

1. *Design*—Whenever the design of the structure permits, an overhanging roof or similar projection is recommended to afford protection to the stucco. Stuccoed copings, cornices and other exposed horizontal surfaces should be avoided whenever possible. All exposed stuccoed surfaces should shed water quickly, and whenever departure from the vertical is necessary, as at water tables, belt courses, and the like, the greatest possible slope should be detailed. Stucco should not be run to the ground whenever other treatment is possible. Should the design of the structure require this treatment, the backing should be of tile, brick, stone, or concrete, providing good mechanical bond for stucco, and should be thoroughly cleaned before plastering. Unless special care is taken to thoroughly clean the base and each plaster coat from dirt and splash before the succeeding coat is applied, failure of the stucco may be expected.

2. *Flashing*. Suitable flashing should be provided over all doors and window openings wherever projecting wood trim occurs. Wall copings, cornices, rails; chimney caps, etc. should be built of concrete, stone, terra cotta, or metal with ample overhanging drip groove or lip, and watertight joints. If copings are set in bricks with mortar joints, continuous flashing should extend across the wall below the coping and project beyond and form an inconspicuous lip over the upper edge of the stucco. Continuous flashing with similar projecting lip should be provided under brick sills. This flashing should be so installed as to insure absolute protection against inferior leakage. Cornices set with mortar joint should be provided with flashing over the top. Sills should project well from the face of the stucco and be provided with drip grooves or flashing as described above for brick sills. Sills should also be provided with stools or jamb seats to insure wash of water over the face and not over the ends. Special attention should be given to the design of gutters and down spouts at returns of porch roofs where overflow will result in discoloration and cracking. A 2-inch strip should be provided at the intersection of walls and sloping roofs and flashing extended up and over it, the stucco being brought down to the top of the strip.

3. *Preparation of Original Surface*—All roof gutters should be so fixed, and downspout hangers and all other fixed supports should be put in place before the plastering is done, in order to avoid breaks in the stucco.

Metal lath and wood lath should be stopped not less than 6 inches above grade to be free from ground moisture.

All trim should be placed in such manner that it will show its proper projection in relation to the finished stucco surface, particularly in overcoating.—*Associated Contractor*.

#### HINTS FOR INSTALLING BRASS PIPES

The following extract is made from an address delivered by Mr. John F. Gowen of the Copper and Brass Research Association before the Master Plumbers' Association, Philadelphia.

Brass pipe cannot rust, and needs no extra size to take care of clogging by rust. On this basis it becomes possible initially to install a smaller sized brass pipe than would be required were iron or steel used. Many years' experience have demonstrated that the following is entirely practical:

*For Mains and Risers in Hot Water Lines*

½ in. brass pipe will do the work of ¾ in. iron,



$\frac{1}{2}$  in. brass pipe will do the work of 1 in. iron.

$\frac{3}{4}$  in. brass pipe will do the work of  $1\frac{1}{4}$  in. iron.

1 in. brass pipe will do the work of  $1\frac{1}{2}$  in. iron.

$1\frac{1}{2}$  in. brass pipe will do the work of  $2\frac{1}{2}$  in. iron.

2 in. brass pipe will do the work of 3 in. iron.

#### *In Cold Water Lines*

$\frac{1}{2}$  in. brass pipe will do the work of  $\frac{3}{4}$  in. iron.

$\frac{3}{4}$  in. brass pipe will do the work of 1 in. iron.

1 in. brass pipe will do the work of  $1\frac{1}{4}$  in. iron.

$1\frac{1}{4}$  in. brass pipe will do the work of  $1\frac{1}{2}$  in. iron.

$1\frac{1}{2}$  in. brass pipe will do the work of 2 in. iron.

2 in. brass pipe will do the work of  $2\frac{1}{2}$  in. iron.

In branch lines, both hot and cold  $\frac{3}{8}$  in. brass pipe will do the work of  $\frac{1}{2}$  in. iron.

This economy of using a smaller size brass pipe is so well established that the Building Code of New York City reads as follows:

"Sec. 153—The diameter of all riser lines in plumbing system shall be not less than three-quarters ( $\frac{3}{4}$ ) inch; except that when. . . Brass pipe is used, the minimum diameter may be one-half ( $\frac{1}{2}$ ) inch."

In connection with the smaller sizes, depending whether they are branch lines or risers, it is, of course, necessary to comply with the building code of the locality in which they are being installed. By figuring the sizes and weights of the requisite piping in accordance with the above tables the complete cost for most brass pipe jobs exceeds only by a very small margin the cost of the finished job when using iron or steel pipe.

The installation of brass pipe presents no greater difficulties than those met when installing pipes of iron or steel. Presuming that the correct size of pipe has been determined on, order pipe "iron pipe size." By this is meant brass pipe for plumbing work which has the same dimensions as iron or steel pipe. In other words the same size dies that are used for threading iron or steel pipes will also thread the iron pipe size brass pipe because it has the same outside and inside diameter as the iron or steel pipe.

Brass fittings, which are the only fittings that should be used with brass pipe, should be obtained from a recognized manufacturer. It is essential that they be properly threaded to produce good joints, for with poorly threaded fittings the joint is sure to leak.

Brass pipe threads easier than iron or steel pipe and for this reason some few precautions should be observed. To

start with, a poorly threaded iron or steel pipe can be screwed home in the fitting and left to rust tight. With brass pipe, good threads are necessary to obtain tight joints—this means good dies. Good dies have their cutting edges slightly tangential to the pipe surface whereas a poor cutting die will have the cutting edges pointing directly toward the center of the pipe. This results in tearing the threads. Both the pipe and the fittings must be tapped standard gage and standard depth, otherwise leaky joints will result.

The smaller sizes, say 1 inch down, should have at least three perfect threads over which the fitting is finally screwed up tightly with the wrench. In the finished work no threads should show. A good mechanic does not have any threads showing, and he can accomplish this result without having to cut the male threads too small. Care in threading is the answer to successful brass pipe joints. No pipe filling compound is necessary where the male and female threads are carefully and correctly cut. Wicking has lately been recommended as preferable to such compounds as red lead and glycerine and red lead and oil. When threading oil may be used to advantage, although it is not absolutely necessary. It makes for easier working conditions.

When using the ordinary pipe vise, do not screw it down more than just enough to hold the pipe and keep it from turning. It is much better to attach a set of lead jaws or special jaws to the vise which prevent the teeth from cutting into the brass pipe. Certainly with polished or nickel plated brass pipe such protective jaws are a necessity. They may be obtained from vise manufacturers at a reasonable cost.

Keep the end of the brass pipe being threaded as near to the vise as is possible with comfort. If the pipe stick out too far it is apt to be bent or strained in the threading. When actually screwing home the pipe don't use a large stillson wrench as the leverage is too great and the teeth cut into the pipe. It is much better practice to use a friction wrench when installing brass pipe. Such wrenches are readily obtainable and are expressly manufactured for the purpose. They will not cut, dent or bruise the pipe and will produce a better appearing job. Where polished or nickel plated pipe is used they are absolutely necessary.

In those larger installations where expansion and contraction enter into the problem as a major item, go on the same basis as with iron or steel pipe, bearing in mind, however, that brass expands .0000106 per degree F., copper .0000093 per degree F., and iron or steel about .0000067 per degree F. Where the pipe is imbedded in concrete it is advisable to wrap it with asphalt paper or wind with

mineral wool in order to allow the pipe to move after the concrete hardened. Brass pipe has been directly imbedded in concrete with success, but with any material that expands it is better practice to allow for such movement rather than risk the necessity of expensive repairs.

#### *Installation Hints*

Use only the best brass fittings. Do not use iron fittings on a brass pipe job.

Use good dies, without broken teeth, and with their cutting edge tangential to the pipe.

Keep the end of the pipe as near to the vise as is consistent with easy working.

While a lubricant is not absolutely necessary, it facilitates threading.

Use care in threading and cut the threads down to exactly standard gage or size.

Be sure to cut perfect threads; the smaller sizes, one inch or under, should have at least three perfect threads to be screwed up with the wrench.

In the finished joint no threads should show. A good mechanic accomplishes this without having to cut the male threads too small.

Best appearance in the finished job is obtained by using friction jaws in the vise and friction wrenches. Use care if you screw brass pipe home with a stillson wrench.

With careful threading, good fittings and proper screwing home, no pipe "dope" is necessary. Wicking is recommended as preferable to lead compounds.

—*Architecture and Building.*

There is not a business one can think of, which is not full of little temples where one can curse or pray. Every business that one knows has its host of light in it, fighting against its host of darkness; one set of men conducting the business as if they and the public were engaged in a sort of mutual enthusiasm and daily service, with permanent success as the goal; and another set of men whose success is ruining the business to which they belong, and the public besides—and themselves.

It is surely an injustice to your workmen as well as a source of loss to yourself to supply poor tools in your shop equipment. No man can do anything approaching good work with tools that take the edge off enthusiasm. In shop management, as in most things, details are the whole cloth. Tools are like men. They do good work or they do not, according to the character which they possess. Character in tools is a matter of good materials, expert making and correct design.

The impractical dreamers are not the architects, but the clients themselves, as a rule.



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January 9, 1924

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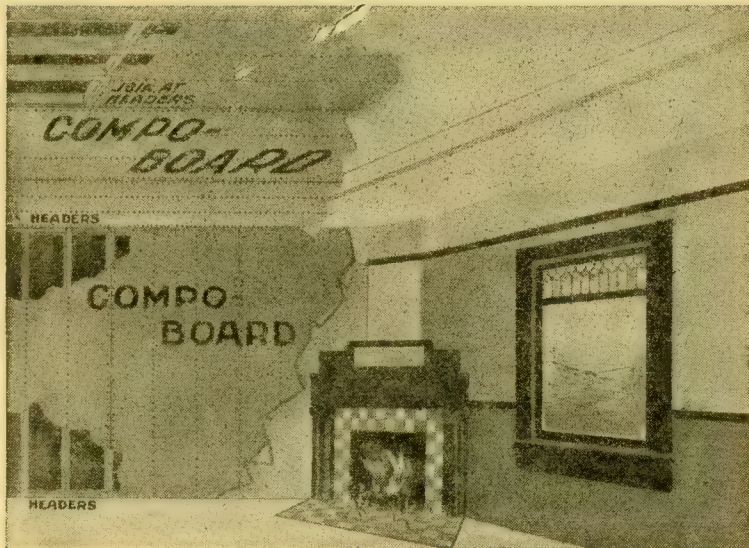
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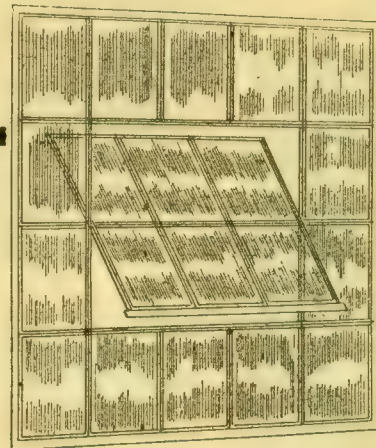
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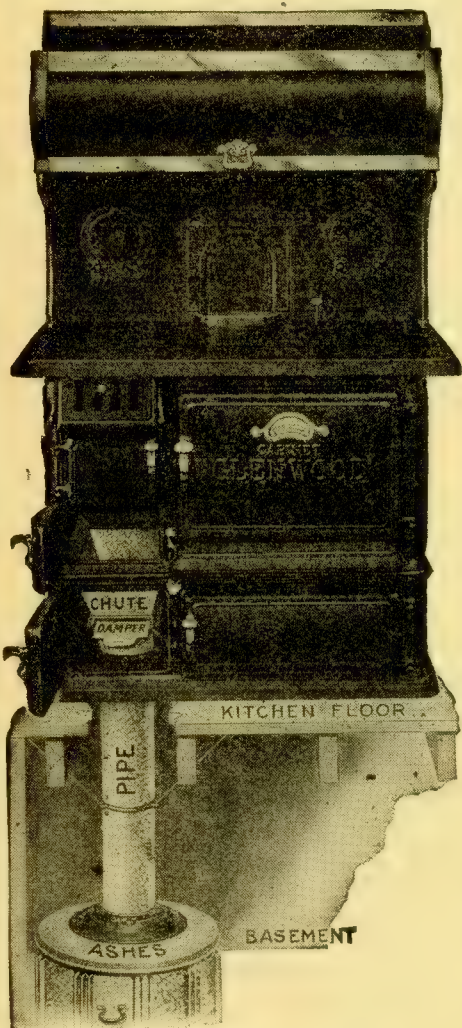
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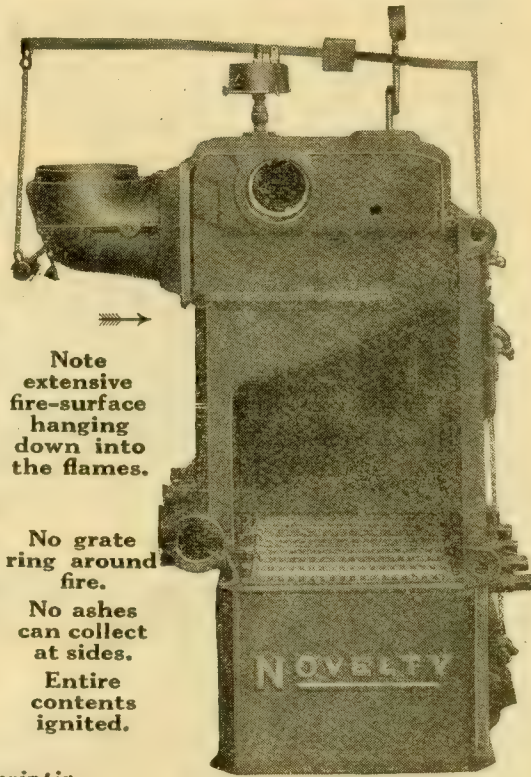
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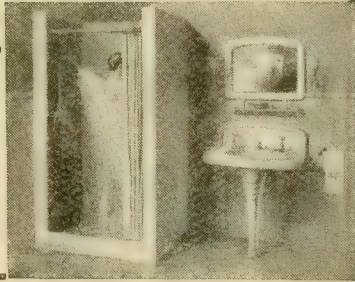
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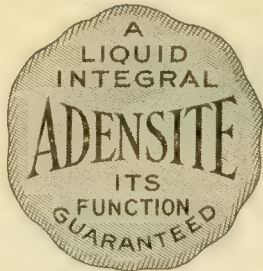
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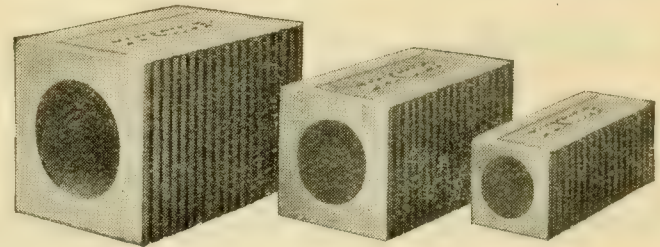
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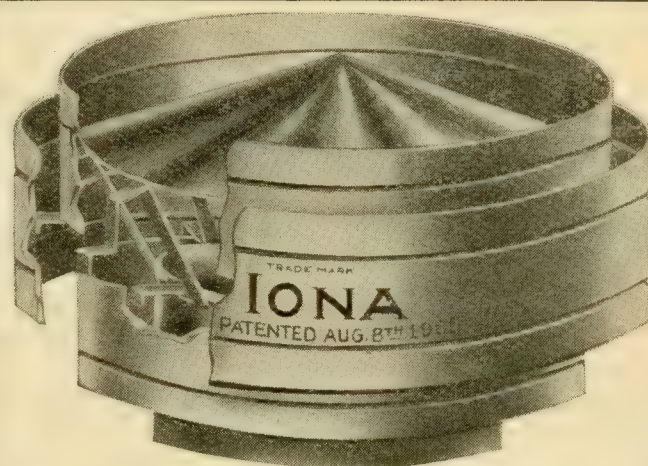
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 2

PHILADELPHIA  
January 9, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



The estimated cost of all buildings, alterations, additions, repairs and miscellaneous work in buildings for which permits were issued by the Philadelphia Bureau of Building Inspection for 1923 was \$122,650,935, according to detailed reports printed on other pages of this issue of the GUIDE, an increase of \$7,769,895 over 1922, which before 1923 was the greatest record made. Thus 1923 broke all records for work started in any year.

Dwelling construction shows a falling off in 1923 of 1423 houses of all types as compared to 1922. As Philadelphia was approximately 20,000 houses below requirements at the beginning of the year 1923, we are now about 21,423 short of requirements. The average number of dwellings erected per year in Philadelphia prior to 1917 was 7,150. The average from 1917 to 1920 inclusive was 2550 which showed a decrease per year of 4,600 houses for the four years, totaling 18,400. With a shortage in 1921 of 4,900 houses, Philadelphia began 1922 with approximately 23,000 short of requirements. With an increase in dwelling construction in 1922 Philadelphia was then approximately 20,000 houses short. Now a decline in housing in 1923 increases again our shortage.

Although there was a decrease of 1423 dwellings in 1923 over 1922 the cost of dwellings started in 1923 was slightly more than in 1922, \$49,325,370 being expended in 1923 and \$49,273,820 put into

dwellings in 1922. Next to residence construction came in order: office buildings, \$12,516,200, an increase of \$4,383,210 over 1922; manufactories, \$7,680,400 a decline of \$607,100 from 1922; schools, \$7,212,315, an increase of \$510,615 over 1922; garages, \$5,415,885, an increase of \$343,100 over 1922; tenement houses, \$4,086,840, a decline of \$391,660 from 1922.

March led in the number of new buildings started in 1923 with 2615 costing \$21,064,685; April with 2984 costing \$19,729,815 was second, and May followed with 2298 costing \$12,709,660. December, 1923, was the lowest in number of operations, 1180, costing \$5,298,995.

### Estimated Cost for Each Month

Month	Per- mits	Opera- tions	Estimated Cost
Jan. ....	747	967	\$ 6,504,100
Feb. ....	768	1,295	6,799,960
March ...	1,359	2,615	21,064,685
April ....	1,540	2,984	19,729,815
May ....	1,566	2,298	12,709,660
June ....	1,334	1,742	8,370,875
July .....	1,460	1,920	11,346,155
August ...	1,346	1,848	8,246,280
Sept. ....	1,097	1,390	7,086,060
Oct. ....	1,429	1,972	10,950,310
Nov. ....	1,053	1,335	5,406,040
Dec. ....	814	1,180	5,298,995
	14,513	21,546	\$122,650,935

The following table shows the total for each year back to and including 1909:

Year	Operations	Estimated Cost
1909 .....	17,294	\$42,881,370
1910 .....	16,383	37,866,565
1911 .....	16,215	40,030,985
1912 .....	14,907	37,173,635
1913 .....	14,813	38,763,850
1914 .....	15,709	35,419,605
1915 .....	17,712	39,444,125
1916 .....	15,613	49,896,570
1917 .....	8,977	34,016,408
1918 .....	5,950	15,452,670
1919 .....	14,509	65,088,750
1920 .....	12,512	55,305,400
1921 .....	14,654	42,790,780
1922 .....	22,588	114,881,040
1923 .....	21,546	122,650,935

The Forty-Second Ward, with 2441 dwellings erected in 1923 led all districts and built almost three times as many houses as any other ward.

Reports from over all the country show a marked increase in building in 1923 and 1924 shows great possibility of passing 1923. Winter Construction is increasing in all sections of the country and this should help increase the volume of 1924 building.

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# RECORD OF RESIDENCE CONSTRUCTION IN VARIOUS WARDS OF PHILADELPHIA FOR EVERY MONTH DURING THE YEAR 1923

Showing the Number of Houses for which Permits were Issued by the Bureau of Building Inspection

TWO-STORY DWELLINGS—Including Two-story Stores and Dwellings.																												
Wards	2	3	18	21	22	23	24	25	26	27	28	29	31	33	34	35	36	38	39	40	41	42	43	44	45	46	T's.	
January	..	..	..	9	1	12	..	..	9	..	..	..	..	15	69	6	..	..	..	52	2	42	..	..	3	45	46	220
February	..	..	..	..	66	39	..	..	..	10	..	60	..	9	39	15	42	1	..	25	7	202	..	..	..	82	..	597
March	1	1	..	4	82	118	29	..	..	..	..	..	..	..	213	14	..	1	9	253	51	560	1	1	3	10	1356	
April	..	..	..	9	230	233	..	21	108	..	7	..	1	26	33	49	76	9	49	31	75	535	..	11	36	..	1539	
May	..	..	..	22	40	24	..	..	..	..	..	..	..	..	109	37	..	70	..	133	83	294	..	12	..	..	824	
June	1	..	..	..	25	23	..	..	40	1	..	..	..	23	1	15	..	..	..	88	39	94	..	6	..	..	356	
July	..	..	..	7	118	18	..	..	..	..	..	..	..	8	118	28	..	2	..	74	12	88	..	..	..	32	505	
August	..	..	..	1	80	7	1	..	..	..	..	..	..	23	123	14	..	12	..	58	38	194	..	..	2	..	553	
September	..	..	..	18	24	59	..	..	..	1	..	..	..	..	52	22	..	1	..	53	17	56	..	..	..	..	303	
October	..	..	..	15	16	13	..	..	54	..	..	25	..	59	93	30	..	..	2	84	45	92	7	..	4	7	546	
November	..	..	..	3	60	2	..	..	..	..	..	..	..	1	17	19	..	2	79	21	9	60	3	..	..	..	276	
December	..	..	1	2	13	4	1	..	..	..	..	..	..	9	20	12	..	..	..	42	4	201	..	1	1	35	346	
Total	2	1	1	90	755	552	31	21	211	12	7	85	1	173	892	261	118	98	139	914	382	2418	8	16	67	166	7421	

THREE-STORY DWELLINGS—Including Three-story Stores and Dwellings.																								
Wards	2	3	5	7	8	11	19	21	22	23	25	27	34	35	38	41	42	43	46	47	48	T's.		
January	..	..	..	..	..	..	..	..	3	3	..	..	..	..	..	..	1	..	..	..	..	7		
February	..	..	..	..	..	..	..	2	9	10	..	..	..	..	3	..	2	..	2	..	..	28		
March	..	..	..	..	20	..	1	2	39	2	..	..	22	16	1	..	2	..	..	..	..	105		
April	..	..	..	1	..	..	..	1	17	1	..	..	1	3	6	..	3	10	..	..	..	43		
May	..	..	..	..	..	1	1	3	7	..	1	..	4	4	1	..	6	..	..	..	..	31		
June	..	2	..	..	..	..	..	..	10	..	..	..	2	3	16	1	3	..	..	..	1	36		
July	..	..	..	1	..	..	..	..	16	5	..	..	1	1	..	..	2	..	..	..	..	26		
August	..	1	..	..	2	..	..	1	7	..	..	..	2	..	..	..	1	..	..	6	..	20		
September	..	..	1	..	1	..	..	1	7	..	..	..	1	..	3	..	2	..	..	..	..	16		
October	..	..	..	..	..	..	..	..	6	..	..	1	..	..	..	..	1	..	..	..	..	8		
November	..	..	..	..	..	..	..	1	23	..	..	..	2	..	1	..	..	..	..	..	..	27		
December	..	..	..	..	..	..	..	..	34	..	..	..	..	1	1	..	..	..	1	..	..	37		
Totals	1	3	1	2	23	1	2	11	178	21	1	1	35	28	32	1	23	10	3	6	1	384		

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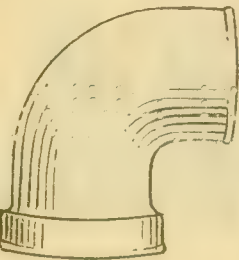
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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Building (alts. and add.),** Queen Lane and Pulaski avenue, Philadelphia. Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owners, Glenn & Walker, 308 West Queen Lane, Germantown, Philadelphia. Brick, 1 and 2 stories, irregular size, hot water heat, electric light, tile work, slag roof, pine floors, copper cornices. Revised plans in progress.

**Alterations,** 422-24-26 South Broad street, Philadelphia. Architects, Morris & Erskine, 1716 Cherry street, Philadelphia. Owner, Samuel T. Hall, care of architects. Brick, 1 story, 10x15 feet, slag roof, composition and oak floors, plastering, painting and glazing. Revised plans in progress.

**Stores and Offices (alts.),** Germantown and Queen Lane, Germantown, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, Trinity Lutheran Church, on premises. General alterations. Plans in progress.

**Two-Family Residence,** Camac and Medary streets, Philadelphia. Architect, A. Mueller, 901 Walnut street, Philadelphia. Owner, J. W. Allen, 900 Walnut street, Philadelphia. Brick, 2 stories, 32x39 feet, vapor heat, electric light, tile work, slag roof, hardwood and composition floors. Owner ready for general bids.

**Store and Apartment (alts.),** 4034 Girard avenue, Philadelphia. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, J. Segal, Phoenixville, Pa. General alterations, steam heat, electric light, hardwood floors, marble front, metal ceilings, copper bars, plate glass, flush bulks. Plans completed. Architect ready for sub-bids.

**Garage,** Queen Lane and Morris street, Germantown, Philadelphia. Architect, private plans. Owners, Manor Building Co., 5232 Laurens street, Philadelphia. Brick and concrete, 1 story, 56x65 feet, cement floors, steam heat, electric light. Owners taking sub-bids due as soon as possible.

**Addition and Alterations,** Germantown and Cheltenham avenues, Philadelphia. Architect, Arthur Broekie, 154 South Fifteenth street, Philadelphia. Owners, Germantown Trust Co., on premises. Brick work, cut stone, carpentry and mill work, electric light, plastering, plumbing, structural steel and iron, com-

position roof, galvanized iron sash, steel loop lath, oak floors, heating alts. Architect taking bids due January 12th.

**Apartment House,** Forty-third and Chestnut streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, I. Newton Smith, care of architect. Brick, cut stone, steel, 4 stories and basement, 233x116 feet, slag roof, cement and oak, pine floors, roof ventilators, waterproofing, terra cotta, ornamental iron work, bond, fire doors, copper skylights, tile and marble work, metal lath, steam heat, electric light. Architect taking bids due January 15th.

**Mill Building,** Northeast Corner Allegheny and Boudinot street, Philadelphia. Architect, E. A. Stopper, Fuller Building, Philadelphia. Owners, Concordia Silk Mills, W. Ewald, on premises. Brick, concrete, reinforced, steam heat, 2 stories and basement, 164x65 feet, slag roof, concrete and maple floors, hollow tile, elevators, safety treads, roof ventilators, ornamental iron work, Hard-n-tyte floor hardener, bond, fire and kalamein doors, rolled steel skylights and sash, metal lath, electric light, sprinkler system. Architect taking bids due January 18th.

**Women's Ward (add.),** Frankford, Philadelphia. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Friends' Hospital of Frankford, Philadelphia. Stone, brick, cut stone, steel, concrete, stucco, new second story, 1 story add., 36x113 feet, 1 story, 62x36 feet, slate roof, cement floors, roof ventilators, rolled steel sash, metal lath, electric light, steam heat. Architect taking bids due January 11th, 2 P. M.

**Alterations,** 912 South Fifth street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owners, Penn Pin-smith Supply, on premises. Carpentry and mill work, cement work, hollow metal skylights, iron work. Owners taking bids.

**Alterations,** 651 North Fifty-second street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Lewis A. D'Lessandro, on premises. Mill work, carpentry, painting and glazing, plate glass, terra cotta. Architect taking bids due as soon as possible.

**Garage,** 538 Locust avenue, Philadelphia. Architect, T. B. Lippincott, 11 South Six-

teenth street, Philadelphia. Owner, Mrs. T. William Kimber, on premises. Brick, 1½ stories, 18x31 feet, slate roof, cement and pine floors, hot water heat, electric light. Architect taking bids due January 12th.

**Emergency Work for Repairs to Floating Plant.** Architect, private plans. Owners, Department of Wharves, Docks and Ferries, Municipal Piers, No. 4 South Wharves, Philadelphia. Owner taking bids due January 14th at noon.

**Delaware River Bridge Commission (demolition),** Contracts 9A, B, D, 10A, B. Architect, private plans. Owners, Delaware River Bridge Joint Commissioner, Widener Building, Philadelphia. Philadelphia approach, Front to Third streets, Fourth to Sixth streets. Camden approach, between Delaware avenue and Fourth street, Camden. Deposit, \$10. Refund, \$10. Owners taking bids due January 16th at 2.30 P. M.

**Schools (2),** Fourth and George and Sixth and Carpenter streets, Philadelphia. Architect, private plans. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Fourth and George, low bidders: McCloskey Co., 1620 Thompson street, Philadelphia, \$427,427; M. Melody & Son, 1322 Race street, Philadelphia, \$452,000; plumbing, S. Faith & Son, 2427 Pennsylvania avenue, \$27,000; heating, W. J. McKenzie, 315 South Fifteenth street, Philadelphia, \$44,118; ventilating, S. Faith & Son, 2427 Pennsylvania avenue, \$1,850; electric, James Cummings, 4653 Frankford avenue, Philadelphia, \$12,156. Sixth and Carpenter: McCloskey Co., 1620 Thompson street, Philadelphia, \$418,666; M. Melody & Son, 1322 Race street, Philadelphia, \$440,000; plumbing, Bullman Brothers, Fifth and Cumberland, Philadelphia, \$27,666; heating, W. P. McKenzie, 315 South Fifteenth street, Philadelphia, \$44,118; ventilating, S. Faith & Son, 2427 Pennsylvania avenue, \$1,850; electric, F. Buchanan, 1804 Sansom street, Philadelphia, \$12,887.

**Electric Work** (low bidders), Philadelphia. Architect, private plans. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Logan School: Goldfarb Brothers, 1908 North Eighth street, Philadelphia, \$3,251. Stanton School: J. F. Buchanan, 1904 Sansom street, Philadelphia, \$1,861. Hollowell School: Goldfarb Brothers, 1908 North Eighth street, Philadelphia, \$1,495. Clymer School: J. F. Buchanan, 1904 Sansom street, Philadelphia, \$1,487.

Residences and Garages (23), Stores (2),

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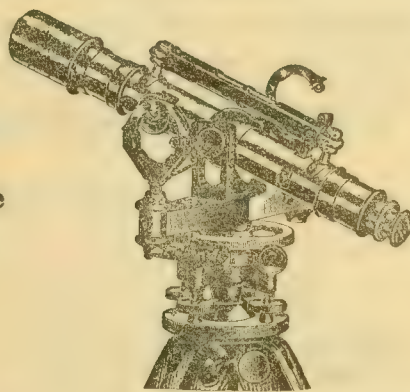
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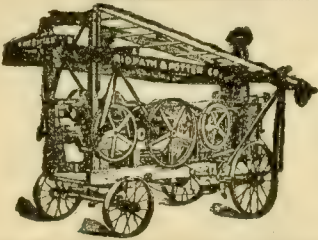
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**PHILADELPHIA**

South side Luray street, East of D street, Philadelphia, \$139,000. Architect, private plans. Owner, John T. Clasby, 4449 North Ninth street, Philadelphia. Brick, 2 stories, 15x37 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric light. Owner will build.

**Hospital (alts. and add.),** East side Thirty-ninth street, South of Filbert, \$10,000. Owners, Presbyterian Hospital, on premises. Brick, second story add., 18x26 feet, 11x15 feet, general alterations. Owners will build.

**Residences (8),** North side Lycoming avenue, East of "O" street, \$5,000 each. Architect, private plans. Owner, Harry F. Dinkelacker, 1612 McKean street, Philadelphia. Brick, 2 stories, 15x30 feet, 11x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2),** East side Montour street, South of Cottman, \$5,000 each. Architect, private plans. Owner, Henry Kuhn, 1223 Cottman street, Philadelphia. Brick, 2 stories, 16x55 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Factory,** Sixty-third to Sixty-seventh, Schuylkill River to P. B. W. R. R., Philadelphia. Architect, Albert Kahn, Detroit, Mich. Owners, Ford Motor Co., Detroit, Mich. Concrete, brick, steel, saw-tooth construction, 1 story, 301x1160 feet, slag roof, concrete floors, electric light, steam heat, rolled steel sash. Owner taking bids, due January 17.

**Auto Show Rooms (2),** (1) Fiftieth and City avenue and (1) Fiftieth and Golf Road, Philadelphia, \$3,500 each. Architect, private plans. Owner, William F. Reilly, Fiftieth and Overbrook avenue, Philadelphia. Concrete, 1 story, 26x109 feet each, concrete floors, electric lighting. Owner will build.

**Garage and Shop,** West side Hope street, North of Loudon street, \$3,000. Architect, private plans. Owner, George L. Purvis, 109 West Loudon street, Philadelphia. Brick, 2 stories, 38x36 feet, slag roof, cement and pine floors, hot water heat, electric light. Owner will build.

**Garage,** 188 East Benezet street (rear), Philadelphia, \$2,400. Architect, private plans. Owner, Peter Bucci, on premises. Brick, 1 story, 40x40 feet, slag roof, cement floor. Owner will build.

**Residence and Garage,** Horrocks and Ox-

ford avenue, Philadelphia. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Harry Sarfert, Noble, Pa. Stone, 3 stories, 43x43 feet, 1 story, 21x23 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Apartment House,** Jenkintown, Pa. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, P. B. Widener, care of architect. Hollow tile and stucco, 3 stories, 19 feet, 6 inches x 56 feet, Spanish tile and slag roof, hardwood floors, electric lighting, hot water heat, tile work. Plans in progress.

**Store (alts. and add.),** 512 North Ninth street, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owners, Central Candy Co., on premises. Plans in progress.

**Residences (6) and Garages,** Sixty-first and Nassau streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Samuel Schlosberg, Pine above Forty-ninth street, Philadelphia. Stone, brick and stucco, 3 stories, 16x48 feet, 1 story, 10x18 feet, slate, slag and tin roof, hardwood and cement floors, electric light, hot water heat, tile and marble work. Owner ready for sub-bids.

**Apartment House,** Sixty-first and Nassau streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Samuel Schlosberg, Forty-ninth and Pine streets, Philadelphia. Brick, stone, steel, 3 stories, 42x93 feet, slag roof, hardwood floors, hot water heat, electric light, tile and marble work. Owner ready for sub-bids.

**Residences (101),** Forty-fifth and Forty-sixth, below Girard avenue, Philadelphia. Architect, W. Lowenthal, 1208 Chestnut street, Philadelphia. Owner, David L. Sloan, 2061 North Sixty-second street, Philadelphia. Brick, 2 stories, 15x39 feet, slag, tin, slate roof, hardwood floors, hot water heat, electric light, metal lath, cement work, garages in basement of 64 houses. Owner ready for sub-bids.

**Printing Plant** Harvery near Germantown avenue, Philadelphia. Architect, Ellery K. Taylor, 1416 Chestnut street, Philadelphia. Owners, Fleu & Fetterolf, 5954 Germantown avenue, Philadelphia. Brick, 2 stories, 50x60 feet, slag roof, pine floors, steam heat, electric light. Architect taking bids due January 16th, 5 P. M.

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# Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Alterations and Add.,** 1508 Chestnut street, Philadelphia. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owners, Provident Life & Trust Co., 409 Chestnut street, Philadelphia. Brick, cut stone, reinforced concrete (plumbing, heating, elevators reserved), cement floors, hollow tile, metal lath, terrazzo work, hollow metal doors, metal ceilings, waterproofing, ornamental iron work and iron stairs. Contract awarded R. C. Balinger & Co., 925 Walnut street.

**Plant,** Sedgley and N street, Philadelphia. Architect, private plans. Owner, William D. Whitaker, Sedgley and N street, Philadelphia. Brick, concrete and steel, building No. 1, 3 stories, 55x239 feet; pucker house, 3 stories, 35x70 feet, boiler house, 1 story, 30x38 feet, slag roof, concrete floors, steam heat, electric light, elevators, rolled steel sash. Contract awarded William Steele & Son, 219 North Broad street, Philadelphia.

**Plant,** Fifth and Bristol streets, Philadelphia. Architect, private plans. Owners, Brandel & Smith, Fifth and Bristol streets, Philadelphia. Brick, concrete and steel, building No. 1, 272x80 feet, 3 stories, building No. 2, 2 stories, 249x80 feet, building No. 3, 3 stories, 207x192 feet, power house, 74x75 feet, 1 story, spray pond, 1 story, 30x60 feet, steam heat, electric light, slag roof, concrete floors, elevators, rolled steel sash, ornamental iron work. Work started. Contract awarded William Steele & Sons Co., 219 North Broad street, Philadelphia.

**Store (alts.),** 6012 Lansdowne avenue, Philadelphia. Architect, Benjamin Rush Stevens, 1737 Filbert street, Philadelphia. Owner, Benjamin Gelb, 5924 Lansdowne avenue, Philadelphia. Brick, steel, 1 story and basement, 48x22 feet, slag roof, cork tile, cement and pine floors, steam heat, electric light, metal lath, rolled steel sash and skylights, bond, iron work, waterproofing. Contract awarded Barnes Const. Co., 1828 Arch street, Philadelphia.

**Warehouse,** Fifth and Buttonwood streets, Philadelphia. Architect, private plans. Owners, Donnelly & Co., on premises. Brick and

steel, 2 stories, 55x75 feet, slag roof, cement floors, rolled steel sash, ornamental iron work. Contract awarded E. E. Hollenback, 1804 Brandywine street.

**Residence,** North side Carpenter street, East of Wissahickon avenue, \$16,000. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, C. W. Bacon, Manufacturers' Club, Philadelphia. Stone, 3 stories, 35x31 feet, slate roof, hardwood and pine floors, electric lighting, tile work. Contract awarded to James Riley & Son, Forest avenue, Mt. Airy.

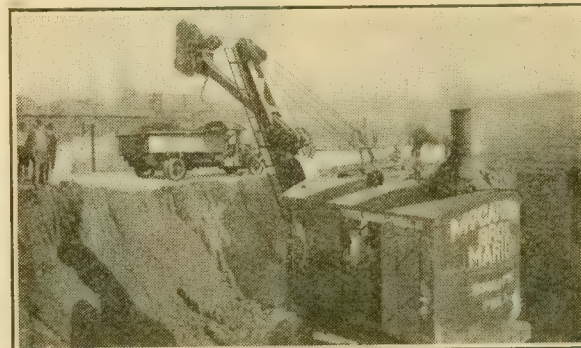
**Repairs,** 2342-44-46 North Front street, Philadelphia. Architects, Hoffman Henon, Finance Building, Philadelphia. Owners, Berger Brothers, on premises. Brick work, carpentry and mill work, iron work, metal ceilings, slag roof, plumbing. Contract awarded W. Edward Pierce, Juniper and Pine streets, Philadelphia.

**Garage,** 5112 Westminster avenue, Philadelphia. Architects, R. R. Neely and E. W. Martin, 2301 Spruce street, Philadelphia. Owner, name withheld. Brick and steel, 1 and 2 stories, 112x50 feet, slag roof, cement and plank floors, electric light, one pipe and steam heat. Contract awarded Felix Claro, 5439 Webster street, Philadelphia.

**Alterations,** 1700 South Eighth street, Philadelphia, \$2,200. Architect, M. Capobianco, 721 Walnut street, Phila. Owner, Henry Silverstein, on premises. Carpentry and mill work, concrete work, plumbing, cement floors, plastering, painting and glazing, plate glass, electric work, galvanized iron work. Contract awarded F. Vinnalo, 818 South Thirteenth street, Philadelphia.

**Warehouse,** Richmond, below Ontario street, Philadelphia. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owners, Brodsky Brothers, Inc., on premises. Brick, 1 story, 155x300 feet, electric light, slag roof, cement floors. Contract awarded Sarson & Kousar, care of owner.

**Store (alts.),** 1521 Germantown avenue, Philadelphia. Architect, private plans. Owner, Joseph Schorr, 1547 Germantown avenue, Philadelphia. General alterations, hot water heat, electric light, marble work, plumbing, painting and glazing, flush bulks. Contract awarded Max Sklar, 2421 South Tenth street, Philadelphia.



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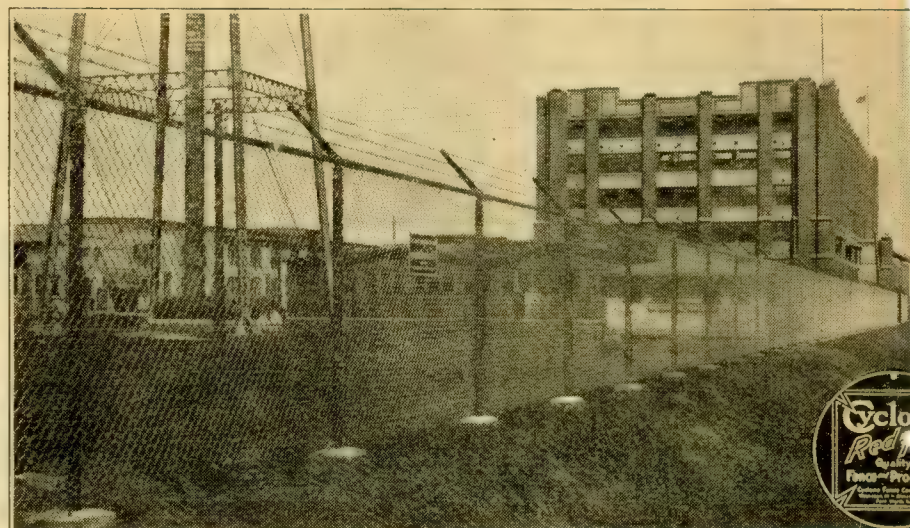
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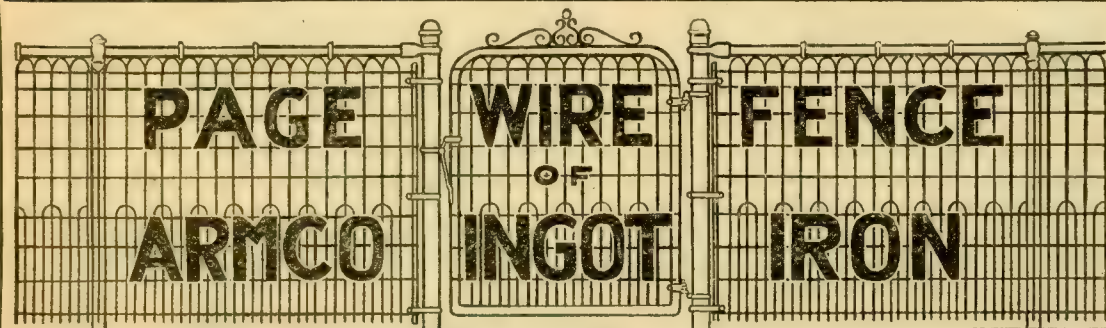
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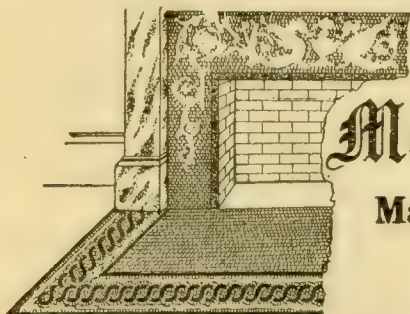
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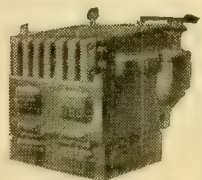
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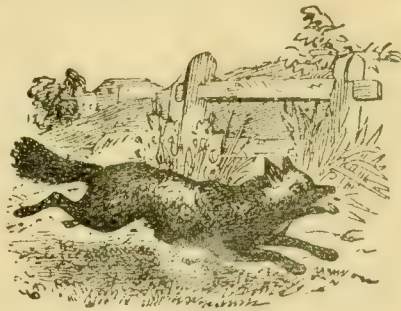
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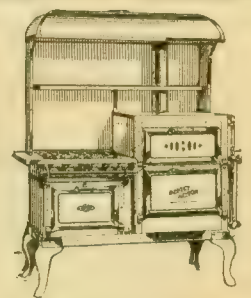
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Residence and Garages, West side Montgomery, North of Spring Mill Road, Villa Nova, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, J. M. Taylor, 101 Llanfair Road, Ardmore, Pa. Contract awarded F. R. Heaven, Norristown, Pa.

Residences (2), North side Magee street, West of Tabor Road, \$4,500 each. Architect, private plans. Owners, Smith & Kirmer, 902 Walter street, Philadelphia. Brick and frame, 2 stories, 16x49 feet, hot water heat, electric light. Contract awarded to A. H. Smith, 902 Walter street, Philadelphia.

Residence and Store (alts.), Northeast Corner Fifty-eighth and Chestnut streets. Architect, private plans. Owner, Sol Topker, 5465 Arlington avenue, Philadelphia. General alterations. Contract awarded to L. Bacharach, 314 Greenwich street, Philadelphia.

Store (alts.), 714 Market street, Philadelphia, \$8,000. Architect, private plans. Owners, Stern & Company, on premises. New brick elevator shaft. Contract awarded to William Steele & Sons Co., 219 North Broad street.

Garage, Southwest Corner Allen Lane and McCallum street, Philadelphia, \$5,000. Architects, Rankin, Kellogg & Crane, 1012 Walnut street, Philadelphia. Owner, George H. Buzby, on premises. Brick, 1 story, 20x24 feet, cement floors, electric light. Contract awarded to C. C. Eddleman, 1627 Sansom street, Philadelphia.

Bank (alts.), 5335 Market street, Philadelphia, \$4,650. Owners, Brown & Stevens, Broad and Lombard streets, Philadelphia. General alterations. Contract awarded to J. F. Trent, 2041 Master street, Philadelphia.

Residence (alts.), 1102 Manning street,

Philadelphia, \$2,000. Architect, private plans. Owner, Walter S. King, 1205 Walnut street, Philadelphia. General alterations. Contract awarded to Thomas Little & Son, 1713 Moravian street.

Residence (add.), 5442 Walnut street, Philadelphia, \$2,000. Architect, private plans. Owner, Mark Rush, on premises. Brick, 2 stories add., 9x26 feet. Contract awarded to Charles E. Marker, Llanerch, Pa.

Apartment and Store (alts. and add.), 2231 Germantown avenue, \$5,000. Architect, private plans. Owner, J. Klein, 1123 Girard avenue, Philadelphia. Brick, third story add., 13 feet, 9 inches x 38 feet, 6 inches, general alterations. Contract awarded to B. Israel, 1235 North Seventh street, Philadelphia.

Residences (4), South side Robbins avenue, East of Oakley street, \$5,000 each. Architect, private plans. Owner, Leslie F. Quinlan, 917 Princeton avenue, Philadelphia. Brick, 2 stories, 14 feet, 6 inches x 35 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to C. W. Rutler, 917 Princeton avenue, Philadelphia.

Residence and Bakery (alts.), Northeast Corner Twenty-seventh and Lehigh avenue, \$3,500. Architect, private plans. Owner, August Wornert, on premises. General alterations. Contract awarded to William Cole, 2720 West Lehigh avenue, Philadelphia.

Residence and Store (alts. and add.), 1335 South Fifty-eighth street, Philadelphia. Architect, private plans. Owner, A. Eddenstein, 5820 Whitby avenue, Philadelphia. Brick, 1 story add., 15x18 feet, general alterations. Contract awarded to John Black, 6022 Walnut street, Philadelphia.

Auto Sales and Service Building, Southwest Corner Thirty-second and Arch streets. Architect, Horace W. Castor, Stephen Girard Building, Philadelphia. Owner, John F. Brown, Jr., care of C. A. Mitchell, Lincoln Building. Brick, steel, concrete, 2 stories, 200x141 feet, slag roof, cement floors, safety treads, iron work, floor hardener, bond, fire, kalamein and hollow metal doors, rolled steel sash and skylights, tile, slate and terrazzo work, metal lath, steam heat, electric light. Permit issued.

Stand Pipe and Foundation, 5860 Woodland avenue, \$4,500. Architect, private plans. Owners, Overbrook Steam Heat Co., 2012 North Sixtieth street, Philadelphia. Iron and concrete. Contract awarded to M. W. Young, 2037 North Sixty-third street, Philadelphia.

## Pennsylvania

### Construction News

Residence (fire repairs), Radnor, Pa. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owner, J. F. Sullivan, Market Street National Bank, 1107 Market street. Brick and stone, 3 stories, 45x110 feet. Plans in progress.

Bungalow, Swarthmore, Pa. Architect, Charles M. Wells, Rutledge, Pa. Owner, John Robinson, Swarthmore, Pa. Stucco, tile, cement block, 2 stories, 30x34 feet, asbestos roof, pine floors, pipeless heat, electric light. Plans completed. Owner taking bids.

Residence, Tenth and Prospect avenue, Moore, Pa. Architect, Charles M. Wells, Rutledge, Pa. Owner, Dr. Richard Owen, Moore, Pa. Brick and frame, 2½ stories, 26x38 feet, wing, slate roof, hardwood and mineral floors, hot water heat, electric light, tile and marble work. Ready for bids in 3 weeks. Plans in progress.

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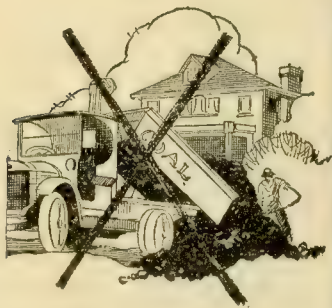
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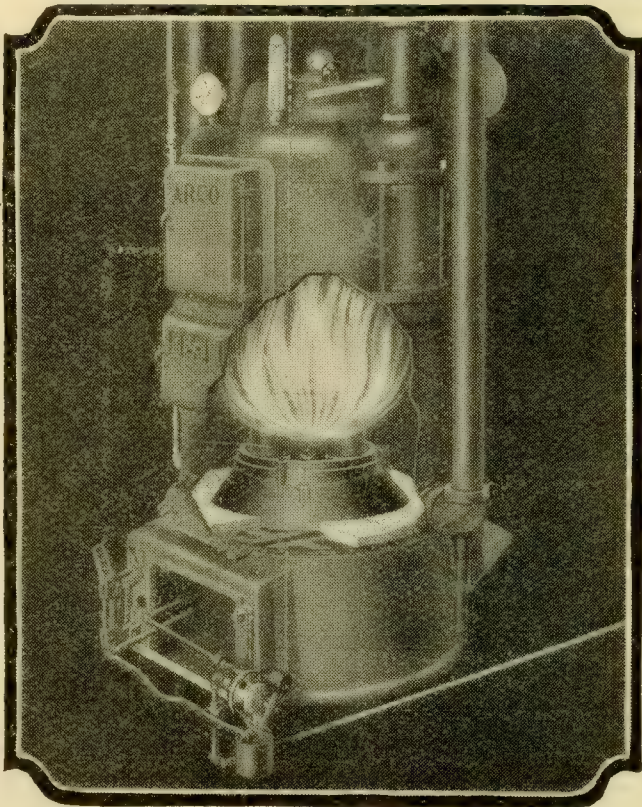
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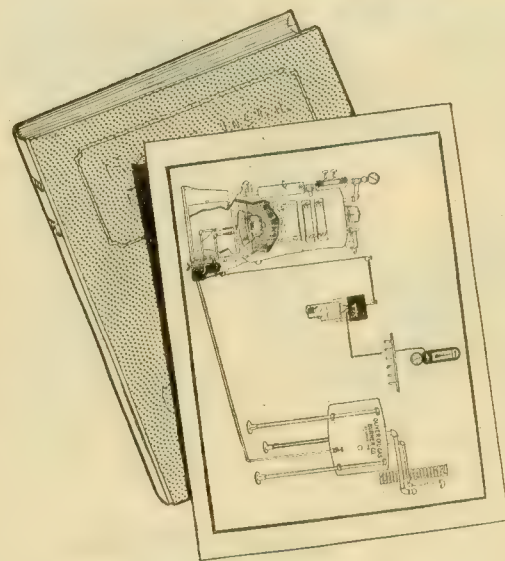
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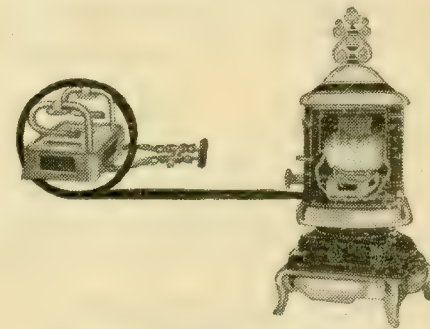
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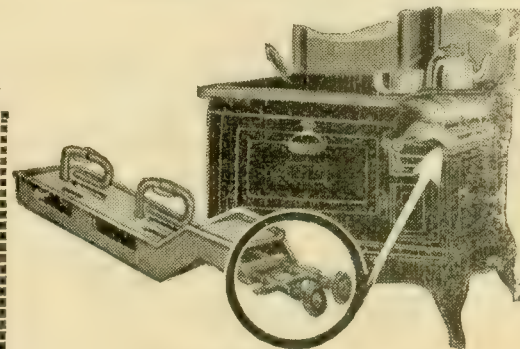
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Bank and Office Building (add.), Williamsport, Pa. Architects, Paul A. Davis, 3rd, and Dunlap, 1713 Sansom street, Philadelphia. Owners, First National Bank, Williamsport,

### ALBERT COSENZA

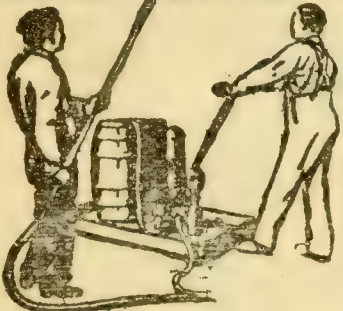
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Pa. Brick, steel, cut stone, granite, 7 stories and basement, 123x117 feet, slag roof, cement linotile, composition floors, hollow tile, elevators, safety treads, roof ventilators, metal weather strip, metal ceilings, shoring, waterproofing, terra cotta, ornamental iron work and stairs, floor hardener, bond, bank fixtures, kalamein doors, rolled steel skylights, tile, marble, terrazzo work, metal lath, electric light, steam heat (alt. marbeloid). Architects taking bids due January 25th at 3 P. M.

**Church, Sunday School and Parsonage**, Lancaster, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Covenant United Brethren Church, care of architects. Brick, hollow tile, 1 story and basement, 86x106 feet, slate roof, hardwood floors, hollow tile, waterproofing and dampproofing, vapor heat, electric light, metal lath, plumbing. Owners taking bids due January 19th.

**Church and Sunday School**, Frackville, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Zion Lutheran Church, Rev. W. L. Gallenkamp, Frackville, Pa. Stone, 1 story, 59x139 feet, slate roof, hardwood floors, vapor heat, electric light, hollow tile, hollow metal skylights. Owners taking bids due January 19th.

**Residence**, Lansdowne, Pa. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owner, Dr. Robert H. Ivy, Medical Arts Building, Philadelphia. Brick, cut stone, frame, 2½ stories, 70x23 feet, hot water heat, electric light, shingle roof, oak and pine floors, tile work. Architect taking bids due January 14th.

**Church (alts.)**, York, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Memorial Reformed Church, Rev. E. O. Keen, York, Pa. Interior finish, metal lath, stucco, ornamental plaster, general interior alterations. Owners taking bids due January 15th.

**Residence and Garage**, Springfield avenue, Springfield, Pa. Architect, private plans. Owner, Frank Silverwood, 1610 Sansom street, Philadelphia. Frame, 2½ stories, shingle roof, hardwood and cement floors, tile work, electric light. Owner taking sub-bids.

**High School**, Emporium, Pa., \$90,000. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, School Board of Emporium, George Metzger, Jr., secretary, Emporium, Pa. Brick, frame, 2 stories and basement, composition roof, hardwood floors, hollow tile, electric light, roof ventilators, fire doors, iron stairs, ornamental iron work. Architects taking bids due January 29th.

**Church and School**, Oil City, Pa. Architects, C. W. Bolton & Son, Witherspoon Building, Philadelphia. Owners, The Trinity Methodist Episcopal Church Van Peters, Oil City, Pa. Stone, 1 and 2 stories, 120x130 feet. Plans completed. Architect will be ready for bids in one week.

**Bank**, Queen street, Lancaster, Pa. Architects, Mowbray & Uffinger, 56 Liberty street, New York. Owners, Fulton Bank, I. Baier, secretary, Lancaster, Pa. Architects selected.

**Apartments and Stores**, Southeast part of York, Pa., 650,000. Architects, Gemmill & Billmeyer, York, Pa. Owners, Yorkshire Apartments, 17-19 East Market street, York, Pa. Limestone, fireproof, 9 stories, concrete floors, hollow tile, elevators, safety treads, roof ventilators, waterproofing, dampproofing, terra cotta, electric work, metal lath, tile, marble and terrazzo work, rolled steel skylights, iron stairs, ornamental iron work. Plans in progress.

**School**, Spring Grove, York, Pa. Architect, Edward Leber, Hay Building, York, Pa. Owners, Spring Grove Township, York County, care of architect. Brick, 2 stories, 4 rooms, slag roof, pine floors (heating, plumbing and electric work reserved). Plans in progress.

**Bank**, Lancaster, Pa. Architects, Griswold Building Co., 101 Park avenue, New York. Owners, Northern Trust Co., E. J. Ryder, president, Lancaster, Pa. Litholite brick, 1 story, 100x32 feet, 150x64 feet, Barrett specification roof, tile and terrazzo floors, vapor vacuum heat, electric light, tile, marble and terrazzo work, vault, rolled steel sash, bronze work, metal window guards. Architects will sub-let.

**Residences (4)**, State street, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, William E. Flick, 43 West Vine street, Lancaster, Pa. Tapestry brick, 2½ stories, 23x40 feet, tile roof, hardwood floors, hot air heat, electric light, tile work. Owner will build.

**Residences (8)**, Susquehanna street, Harrisburg, Pa. Architect, private plans. Owner, A. E. Brough, 2026 Bellevue Road, Harrisburg, Pa. 2½ stories, 40x35 feet. Plans in progress.

**Residence**, Walnut street, Lancaster, Pa., \$25,000. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, Joseph Jacobs, Carolina Apartments, Lancaster, Pa. Brick, stucco, 2½ stories, 46x45 feet, tile roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress. Architect will be ready for bids in ten days.

**Residence**, Bellevue Park, Harrisburg, Pa. Architects, Kast & Kelber, 222 Market street, Harrisburg, Pa. Owner, F. M. Gilbert, Dauphin Deposit & Trust Co., Harrisburg, Pa. Stone, 1½ stories, 40x40 feet, tile roof, hardwood floors, tile work, electric light. Plans in progress. Bids March 1st.

**Church**, Camp Hill, Pa. Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owners, Presbyterian Church, care of architects. Stone, 1 story and basement, 100x100 feet, slate roof, concrete and cork tile floors, hollow tile, steam heat, electric light, metal lath, tile work. Architects ready for bids.

**Residence (alts.)**, New Garage, Rydal, Pa. Architects, Thomas Martin & Kirkpatrick, Otis Building. Owner, H. Norris Harrison, Rydal, Pa. Frame, 1 story, 15x20 feet, hot water heat, electric light, shingle roof, cement floors. Architect taking bids due January 12th.

**Residence**, Latham Park, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owner, Louis Burke, Fourth and Girard avenue, Philadelphia. Brick, plastered, limestone, trims, 2½ stories, 100x30 feet, vapor heat, electric light, tile roof, hardwood floors, tile and marble work. Architects taking bids due January 18th.

**School**, Springhouse, Montgomery County, Pa. Architect, G. Edwin Brumbaugh, Real Estate Trust Building, Philadelphia. Owners, Lower Gwynedd Township, Board of Education, Pa. Low bidders: Roy Randall, Jenkintown, Pa., \$53,885; J. H. Wells Co., 34 South Sixteenth street, Philadelphia, \$56,600. Heating and ventilating, W. G. Cornell, Colonial Trust Building, \$10,542. Plumbing, J. E. Kirk, Ambler, Pa., \$3,500. Electric, Clarence D. Nuss, North Wales, Pa., \$884.20.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa.

Indiana County, Route 54, Cherryhill and Rayne Townships. Contract awarded to M. Bennett & Sons, Indiana, Pa., \$201,987.91.

Jefferson County, Pine Creek Township, Route 61. Contract awarded to F. S. Wilson, Kittanning, Pa., \$87,730.50.

**Inn**, Lancaster Pike, near Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, R. C. Numamocher, 559½ North Plume street, Lancaster, Pa. Cinder block and stucco, 2½ stories, 35x50 feet, shingle roof, pine floors. Contract awarded to R. Wohlsen, care of architect.



**Club House (alts. and add.),** Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown. Owners, St. Aloysius' Society, H. Spiegel, South Bethlehem, Pa. Brick, composition roof, hardwood floors, hollow tile, safety treads, roof ventilators, steam heat, electric light, metal lath, tile and marble work, rolled steel sash. Contract awarded to Ochs Const. Co., 440 Wire street, Allentown.

## New Jersey Construction News

**School,** Gloucester, N. J. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Board of Education, Gloucester, N. J. Architect selected. Plans in progress.

**Assembly Building,** Trenton, N. J. Architect, Walter Hankin, 39 East State street, Trenton, N. J. Owners, City of Trenton, care of architect. Frame, 1 story, 57x59 feet, pine floors, electric light, plumbing. Plans in progress. Too early for details.

**Camp (11 buildings),** Trenton, N. J. Architect, Walter Hankin, 39 East State street, Trenton, N. J. Owners, City of Trenton, care of architect. Frame, 1 story, 27x27 feet, pine floors, electric light. Too early for details.

**Dining Hall, No. 2,** Morris Plains, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, Board of Managers, State Hospital, Morris Plains, N. J. Brick, hollow tile, structural steel, 5 stories, 30x60 feet, slate roof, composition and slate roof, composition floors, fan system heating, electric light, metal lath, rolled steel sash, fire doors, freight elevators, hollow tile, waterproofing and dampproofing, iron stairs, ornamental iron work. Architects will take bids in ten days.

**Factory Building,** Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton, N. J. Owners, Mutual Pot-

teries, 381 North Clinton street, Trenton, N. J. Brick, steel, fireproof, 2 stories, 60x360 feet, slag roof, concrete and wood floors, elevators, roof ventilators, electric lighting (heating reserved), rolled steel sash and skylights, fire doors, floor hardener, iron stairs. Architect taking bids due January 11th.

**Factory Addition,** Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, Mutual Potteries, 381 North Clinton street, Trenton, N. J. Brick, steel, fourth story add., 60x350 feet, slag roof, concrete and wood floors, electric light (heating reserved), metal lath, rolled steel sash and skylights, fire and kalamein doors, floor hardener, iron stairs. Architect taking bids due January 11th.

**Stores and Apartments (3),** Washington Crossing, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, J. A. Belantoni, Pennington, N. J. Fireproof, steel, 2 stories, 60x80 feet, tile and slag roof, hardwood floors (heating and plumbing reserved), bulk windows. Architect taking bids due January 11th.

**School,** Bordentown, N. J. Architects, Guilbert & Betelle, Newark, N. J. Owners, State Board of Education, N. J. Low bidders: Fred Lange, Audubon, N. J., \$150,000; item 1, add \$115; 2, add \$3,025; 3, —; 4, \$13,306 subtract. General Cont. & Const. Co., Trenton, N. J., \$168,000; item 1, —; 2, add \$1,250; 3, —; 4, \$17,000 subtract. Plumbing, Jennings Peoples Co., care of architect, \$16,550. Electric, Jackson & Co., Trenton, N. J., \$3,162. Heating and ventilating, Mechanical Equipment Co., 214 South Twelfth street, Philadelphia, \$10,944.

**Laundry and Garage,** Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, Orthopedic Hospital, Front and Montgomery streets, Trenton. Brick, steel, 1 story, 35x35 feet, slag roof, concrete floors, hot water heat, electric light, rolled steel sash, laundry equipment. Lowest bidder: Harrison & Fisher, 35 Perdicaris street, Trenton, N. J.

**Stores and Apartments,** Pacific avenue, Wildwood, N. J., \$27,000. Architect, Mark B.

Reeves, Wildwood Trust Building, Wildwood, N. J. Owners, Glick Brothers, 131 Spruce street, Philadelphia. Brick, concrete, 1 story, 100x96 feet, built-up roof, wood floors, metal ceilings, waterproofing (heating reserved), electric light, metal lath, metal bulks. Architect will build. Work about to start.

**Laundry Building, Boiler House and Garage,** Phillipsburg, N. J. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owners, Phillipsburg State Hospital, secretary of Board of Trustees, Phillipsburg, N. J. Plumbing and heating. Owners taking bids due January 15th, 1 P. M.

**Garage, Warehouse and Service Station,** Park Boulevard, Wildwood, N. J. Architect, Mark B. Reeves, Wildwood Trust Building, Wildwood, N. J. Owners, South Jersey Oil Co., care of architect. Stucco, cement block, 1 story, 40x43 feet, 30x40 feet and 20x40 feet, oil tanks and meters, asbestos roof, concrete floors (heating reserved), electric light, roof ventilators, waterproofing, floor hardener. Architect will build. Work about to start.

**School,** Allentown, N. J. Architect, H. A. Hill, Broad Street Bank Building, Trenton, N. J. Owners, Allentown School Board, E. H. Porter, Allentown, N. J. Brick, 2 stories, 116x60 feet, slag roof, yellow pine floors, hollow tile, safety treads, roof ventilators, metal lath, steam heat, electric light, bond. Contracts awarded: General, William C. Ehrer, 13 West State street, Trenton, \$58,986. Heating, William G. Royer, 510 Stuyvesant street, Trenton, \$8,690. Electric, Jackson Electric Co., Forst Richey Building, Trenton, N. J., \$1,260.

**Store, Apartment and Garage,** Hamilton avenue, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, J. Miller Heidweiler, 30 Division street, Trenton, N. J. Brick, frame, 3 stories, 22x60 feet, 1 story, 25x30 feet, slag roof, pine and concrete floors (heating and plumbing reserved), electric light, tile and marble work, plate glass, floor hardener. Contract awarded to Harrison & Fisher, 35 Perdicaris street, Trenton.

### IMMEDIATE DELIVERIES

Step Ladders  
Bricklayers' Ladders  
Painters' Ladders  
Rolling Ladders  
Painters' Swing Staging

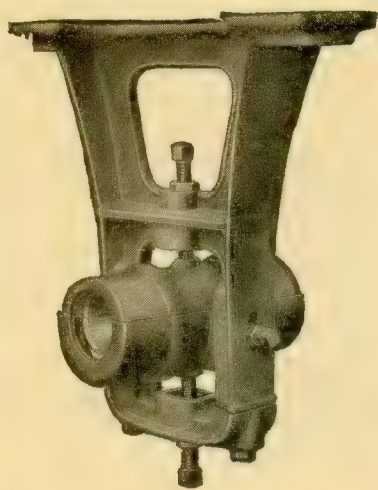
# LADDERS

Extension Ladders  
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# PHILADELPHIA AS A BUILDING CENTER

## A Classified and Tabulated Statistical Review of Structural Activities During 1923

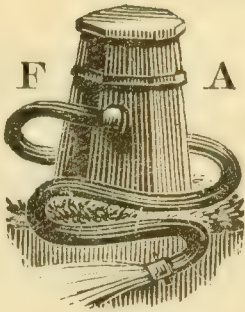
### Number of New Buildings Erected from January 1st to December 31st, 1923

	Jan.	Feb.	March.	April.	May.	June.	July.	Aug.	Sept.	Oct.	Nov.	Dec.	Operations.	Estimated Cost.
Amusements, Places of.....	1	..	1	1	..	1	..	..	..	..	..	..	4	\$375,000
Banks .....	1	1	..	1	3	1	4	..	..	2	1	..	14	1,204,000
Charitable Institutions .....	..	..	..	..	1	..	..	1	..	..	..	..	2	58,000
Churches .....	..	..	..	..	1	1	..	..	..	4	2	1	9	633,500
Club Houses .....	..	..	..	2	1	..	..	..	2	..	..	..	5	3,155,185
Dwellings, one-story .....	..	1	1	..	2	3	4	7	2	9	1	..	30	72,650
“ two-story .....	220	597	1356	1539	824	356	505	553	303	546	276	346	7,421	41,341,080
“ three-story .....	7	28	105	43	31	36	26	20	16	8	27	37	384	5,036,225
“ frame .....	4	7	12	55	16	35	25	26	19	42	32	14	287	1,454,540
Engine and Boiler Houses.....	2	..	..	..	2	1	1	..	..	..	1	1	8	249,400
Garages .....	90	74	180	280	234	268	212	225	224	342	216	177	2,522	5,415,885
Gymnasiums .....	..	..	..	..	..	..	..	..	..	..	1	..	1	120,000
Halls .....	..	1	..	..	..	1	..	1	..	..	1	..	4	250,000
Hospitals .....	..	..	..	..	..	..	1	..	..	1	..	..	2	389,000
Hotels .....	..	..	1	1	..	1	..	..	..	..	..	..	3	3,968,565
Laboratories .....	..	..	..	..	..	..	1	..	..	..	..	..	1	50,000
Manufactories .....	12	8	9	7	5	8	6	8	4	7	2	4	80	7,680,400
Municipal Buildings.....	1	..	..	..	1	..	1	..	..	1	..	..	6	451,925
Miscellaneous Buildings.....	15	9	21	25	15	13	18	21	22	17	19	8	203	271,730
Office Buildings.....	2	7	6	6	6	2	3	1	2	4	2	..	41	12,516,200
Parish Buildings.....	..	..	1	..	..	..	1	..	..	..	..	..	2	160,000
Power Houses.....	1	1	..	..	1	..	1	..	..	1	1	1	7	278,100
Schools .....	..	..	2	4	2	2	5	..	..	..	..	..	15	7,212,315
Stables .....	1	..	3	..	..	2	2	2	..	2	..	..	12	146,000
Stores .....	2	1	8	6	8	5	7	11	2	10	..	7	67	2,296,550
Recreation Buildings.....	..	..	..	..	..	..	1	..	..	1	2	..	4	273,000
Tenement Houses .....	4	15	15	22	2	4	1	1	..	..	1	1	66	4,086,840
Warehouses .....	6	5	4	1	3	2	5	5	..	6	8	2	47	2,641,750
Workshops .....	7	3	9	10	10	10	5	6	10	10	11	7	98	500,040
Total New Buildings.....	376	758	1734	2003	1168	752	835	888	606	1013	604	608	11,345	\$102,287,880
Additions .....	123	122	257	281	351	311	346	315	283	320	214	151	3,074	\$12,988,260
Alterations and Repairs.....	294	277	426	475	515	456	528	466	350	434	375	279	4,875	6,486,685
Grand Total.....														
Fire Escapes.....													19,294	\$121,762,825
Heaters .....													125	71,230
Miscellaneous Work.....													98	113,675
Signs .....													1,709	578,180
													344	125,025
Total work of all kinds.....													21,570	\$122,650,935



# Fire Association

OF PHILADELPHIA



Organized Sept. 1, 1817  
Incorporated March 27, 1820

PERPETUAL CHARTER

Capital, \$1,000,000.00  
Assets, \$16,226,190.00

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Insurance Company

502 WALNUT STREET

PHILADELPHIA

Assets over - - - \$4,000,000

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BUCK WHITE LEAD A combination white paint  
CROWN PAINTS—Ready Mixed, semi-liquid, paste  
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PHILADELPHIA

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Penn Square, Philadelphia

Capital and Surplus, \$4,000,000

*An Empty Purse fills the face with  
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# THE Fourth Street National Bank

131-145 SOUTH FOURTH STREET  
PHILADELPHIA

invites accounts from corporations,  
firms and individuals

**Capital, Surplus and Profits**  
**\$12,000,000**

Penn Square Office:

1416-1418 SOUTH PENN SQUARE

## Franklin National Bank

Chestnut Street West of Broad

Philadelphia, December 31, 1923

### RESOURCES

Loans and Investments .....	\$35,137,663.69
United States Bonds and Certificates .....	8,232,000.00
Banking House and Office Building .....	1,500,000.00
Liability Under Letters of Credit .....	4,545.07
Interest Earned Uncollected .....	234,297.76
Due from Banks .....	16,469,146.87
Cash and Reserve .....	5,360,120.36
Exchanges for Clearing House .....	8,817,774.21

\$75,755,547.96

### LIABILITIES

Capital .....	\$ 2,000,000.00
Surplus .....	4,500,000.00
Undivided Profits .....	1,123,120.65
Reserved for Taxes, etc. ....	164,824.68
Discount and Interest Unearned .....	121,940.10
Letters of Credit .....	4,545.07
Deposits .....	67,841,117.46

\$75,755,547.96

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J. WM. HARDT, Vice-President and Cashier W. M. GEHMANN, Jr., Asst. Cashier  
M. D. REINHOLD, Assistant Cashier

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	Edward F. Beale	Agnew T. Dice

FOREIGN EXCHANGE IN ALL ITS BRANCHES

## REPORT OF Philadelphia Trust Company

at the close of business December 31st, 1923

### RESOURCES

Cash on Hand and in Banks .....	\$6,035,667.01
Loans upon Collateral .....	17,279,989.62
Investment Securities Owned .....	7,995,964.44
Real Estate .....	653,013.00
Accrued Interest and Other Items Receivable .....	39,810.86
	<b>\$32,004,444.93</b>

### LIABILITIES

Capital Stock .....	\$1,000,000.00
Surplus .....	5,000,000.00
Undivided Profits .....	636,024.76
Deposits .....	25,368,420.17
	<b>\$32,004,444.93</b>

TRUST FUNDS .....

CORPORATE TRUSTS .....

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President

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Treasurer

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4% Interest on Saving Fund Accounts

Capital \$1,000,000      Surplus \$1,000,000  
Deposits Over \$12,000,000

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# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Artesian Well Drilling Co.,  
Aramingo and Girard Ave., Phila.  
Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

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Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Keasbey & Mattison Co. ....1927 Market St., Phila.  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.  
McHugh, J. J. ....1617 Race St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

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## COMPOSITION FLOORING.

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## CONCRETE TILE.

Duntile Concrete Mfg. Co. ....Darby, Pa.  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

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Anti-Hydro Waterproofing Co. ....Newark, N. J.  
Gibson, Thomas F. ....20 S. 15th St., Phila.  
Truscon Laboratories....1432 S. Penn Square, Phila.

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## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

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McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Berko Bros. ....Randolph and Wood Sts., Phila.  
Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.  
Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

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Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.  
Gibson, Thomas F. ....20 S. 15th St., Phila.  
Truscon Laboratories....1432 S. Penn Square, Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
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Fleck Bros. ....44 N. 5th St., Phila.  
Keystone Supply & Mfg. Co. ...949 N. 9th St., Phila.

## HOLLOW METAL WINDOWS.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.  
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Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

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## LEVELS.

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Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

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## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.  
Gillingham Co. ...Norris and Richmond Sts., Phila.  
Ketcham, Howard.....3rd and Girard Ave., Phila.  
Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

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Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

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Morrissey Bros. ....4345 N. 7th St., Phila.

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Builders' Specialty Co., Inc. ....1844 N. Front St., Phila.  
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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 3  
January 16, 1924

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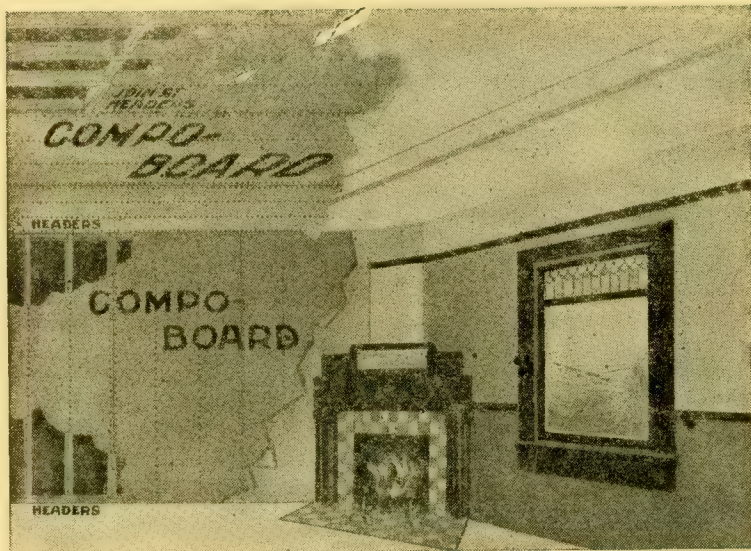
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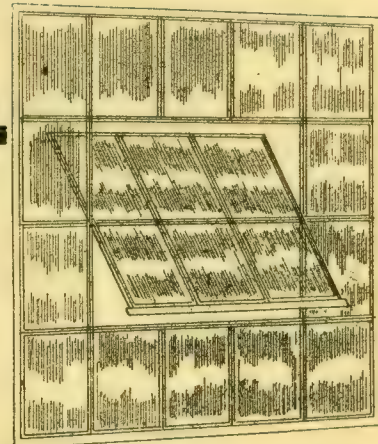
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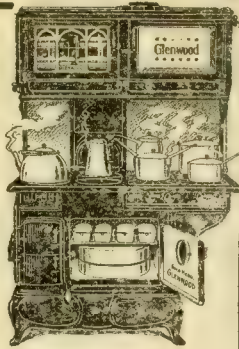


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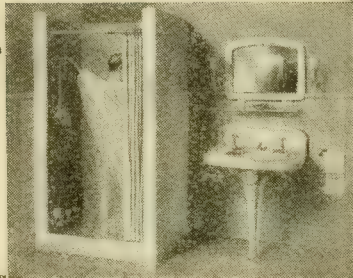


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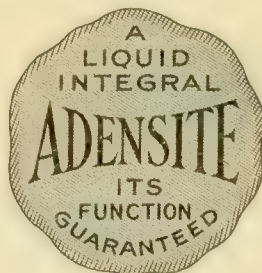
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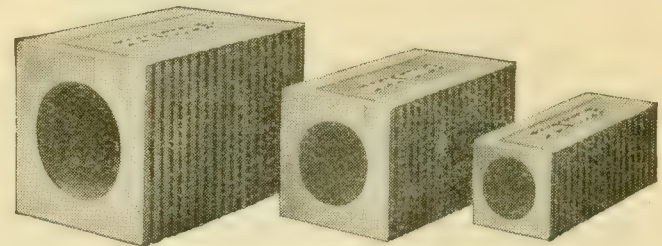
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 3

PHILADELPHIA  
January 16, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 324-325-326)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## As The Editor Sees It



EVERYWHERE, in all lines of activity, we see glowing accounts of what a prosperous year 1923 has been. The biggest year building has experienced in all parts of this country. In Philadelphia, as seen by the resume of 1923 building permits printed last week in the GUIDE, the building trades certainly have been most active. Newspapers are filled with head lines and captions holding out great prospects for 1924. We read "Continued Good Trade Expected in 1924," "Most Lines Had Excellent Business Last Year With Prospects Bright Now," then "Larger Achievement is Foreseen for 1924." Next, "Decrease in Number of Business Failures," "Realty Prospects Good," "Encouraging Trend in Electrical Utilities," "Steel Markets Active," "Wool Lines Promising," "Gas and Electricity to Have Good Demand," "Labor Looking to New Year With Confidence," "Nation Going Strong," "Lower Prices Seen," "Practically All Sections of U. S. Report Activity," "Prospects are for Gain in Business," "Wall Street Sees Progress in 1924," "Oil Industry Has Better Sentiment," "Outlook for Leather is More Encouraging," "Shoe Plants Busy," "Woolen Industry to Have Big Year," "Future is Bright in Auto Industry," "Railroads Break Many Records in a Most Remarkable Year," "Traffic in 1924 is Expected to be as Large as in 1923," "New Year Finds American Farmer More Optimistic."

What more could be said to fill us with brilliant prospects and satisfying assurance that we are starting a year that lays open to us many opportunities for great business.

It is very pleasing to contemplate all the promising signs of prosperity facing this great country at the beginning of this New Year. We believe, however, that the man who complacently accepts his prosperity and success without thought for his fellow creatures, begets for himself only the husks of satisfaction and happiness. The "Golden Rule" is just as much a part of business as of any other portion of our lives. After all, Christianity is a life to be lived every day, not a masquerade costume with which to disguise ourselves on Sunday.

With so much facing us in the Architectural and Building Trades, why not more "honest to goodness" fair play in our every day practices? Every one associated with architects, builders and sub-contractors is most familiar with the common practice existing very largely throughout architecture and building of "huckstering" bids. What a deplorable practice this is! Why should an architect ask a builder or a sub-contractor to cut his bid, or why should the recipient of bids call in the bidders and play one bid against the other forcing the eager bidder to accept a lower bid than is fair or profitable. No concern can stay in business if profit can not be obtained

from the services performed. Why not give the lowest responsible bidder the work? Cut out the "huckstering" unfair play. If you don't intend to give the job to the low man among those you invite to bid, don't invite the undesirable one. It costs money to prepare estimates. Be just as fair in your practice with those you invite to bid as you would have them be fair to you if the position were reversed.

If builders and sub-contractors and material houses, after they put in their bids, would have enough backbone to stand firmly on their price, the despicable custom of cutting bids would soon be killed. Every one would be happier and would make a profit on the job instead of making themselves believe that because a job was handed them they were going to make money.

Put in a bid that includes a fair profit and stand on your bid. If all sub-contractors and builders adhere to this practice the work will be awarded properly and all will have cleaner business and a prosperous year.

The only road to advancement is to do your work so well that you are always ahead of the demands of your position. Our employers do not decide whether we shall stay where we are or go on and up; we decide that matter ourselves. Success or failure is not chosen for us: we choose them for ourselves.—H. W. Mabie.

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## 1924 MARKS CENTENNIAL OF CEMENT INDUSTRY

Old records on file in the British patent office show that in 1824—just one hundred years ago—an English brick-layer named Joseph Aspdin was awarded a patent for a material he called "portland cement." At that time a number of men were engaged in experiments in an effort to produce a cement superior to the natural cements then in use. As far back as 1756 an English contractor named John Smeaton had discovered that an impure limestone containing a certain amount of clayey matter possessed decided hydraulic properties when burned. Aspdin's contribution was his discovery of the value of taking proper proportions of different ingredients and then pulverizing and thoroughly mixing them before they were burned into clinker, which later was finely ground. He called his material "portland" cement because when it hardened it resembled a building stone quarried on the Isle of Portland.

Although Aspdin's invention was brought out in 1824, it was not until 1872 that the portland cement industry started in the United States. Of course natural cements had been used here for years, and in the late sixties imported portland cement was gaining a strong foothold in the American market. In 1872 David O. Saylor established a plant for the manufacture of portland cement at Coplay, Pennsylvania, and so far as can be ascertained, this is the first plant of its kind to be started in this country. Within a few years other plants were built at South Bend, Indiana, Kalamazoo, Michigan, and various parts of the east.

Many interesting stories are told in connection with the early efforts to produce portland cement in the United States. One man used a cookstove in which to burn rock while conducting his experiments. Another used a piece of sewer pipe as a kiln, and ground his materials in a coffee mill. Still another pressed a bent car-axle into service as a part of a grinding machine. For a number of years the reputation of imported cements was so strong that American manufacturers had a difficult time in securing a market for their product. It was not until the late nineties that the home product took its place on an equal footing with imported cement, and eventually won the market.

One hundred years after the invention of the material, the plants of the United States are producing more portland cement than the rest of the world combined. United States Geological Survey figures indicate that about 135,000,000 barrels were made in this country in 1923.

This development has necessitated the revolutionizing of methods of manufacture. Where the early pioneers used

crude dome-like kilns for burning their raw materials a modern plant contains huge rotary kilns—steel brick-lined cylinders that may weigh as much as eight Pullman cars each. One of these great modern kilns will produce as much clinker in a day as one of the old kilns could turn out in a year. The old fashioned grinding machinery has been supplanted by a variety of crushers and centrifugal, hammer and ball mills, in which the raw materials and clinker are reduced to a powder finer than flour.

The centennial of the invention of portland cement is an important date in industrial history, and as such will be fittingly observed by various organizations in the building field.

## THOSE WHO PLAN AND BUILD

Faith is the basis of progress. A man must have faith in himself, his neighbor, his city and his community if each of them is to prosper and go forward. That sort of faith which causes an individual or an organization to preach community spirit, the merits of local products and above all the competency of its architects, engineers and contractors, is beautiful to contemplate. But when this evidence of faith is broadcasted throughout the land 365 days in the year and on the 365th day, the community spirit, or whatever it is that causes sudden conversions to the detriment of the community, brings its architects, engineers and contractors from afar to do that which local technical men are better qualified to perform, the ordinary mortal wonders why. He also wonders why it is necessary for local concerns and individuals, ready and willing to supply that which is necessary in building a representative structure, to be compelled to fight and bring to bear all the influences at their command, that they may have even a small part in the construction of that for which their money is helping to pay.—*Pacific Builder and Engineer.*

At its meeting in New York City, the Board of Directors of the American Institute of Architects deemed it wise to change the place at which the fifty-seventh annual convention will be held.

Some months ago it seemed both wise and possible to hold the convention in New York City and a temporary committee was appointed to study and report to the Board in November. After a careful canvass it was thought best, in view of the limited time available for preparing for the elaborate program conceived by the Board, that it would be wiser to hold the fifty-seventh convention in Washington in May, 1924, and to hold the fifty-eighth convention in New York City in 1925.

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# Advance Construction News

CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Station "C" (alts.)**, 1921 Oxford street, Philadelphia. Architect, private plans. Owners, United States Government, Treasury Department, Washington, D. C. Rolled steel skylights (3), carpentry and mill work, ornamental iron work, tile and marble work, concrete and cement work, hot water heating, electric work, plumbing. Owner taking bids due January 21st.

**Store Front**, 5129 Germantown avenue, Philadelphia. Architect, private plans. Owner, M. Weiss, on premises. Cabinet work, mill work, leaded glass, steel cellar doors, copper bards, plate glass, quarry tile, tile and marble work, electric light. Plans completed. Owner will be ready for general bids in one month.

**Residences (10)**, North side Sixty-eighth avenue, East of Eighteenth street, \$68,000. Architect, private plans. Owner, Benjamin Levicoff, 4231 Viola street, Philadelphia. Brick, (2) 3 stories, 17x43 feet, 25x21 feet, (8) 2 stories, 16x36 feet, 20x14 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (11)**, East side Fiftieth street, South of Overbrook avenue, \$7,000 each. Architect, private plans. Owner, T. F. Reilly, Bryn Mawr and Overbrook avenues, Philadelphia. Stone, 3 stories, 27x40 feet, 18x8 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Apartment House (alts. and add.)**, 3409 Powelton avenue, \$3,000. Architect, private plans. Owner, L. R. Hewitt, 4709 Sansom street, Philadelphia. Brick, 3 stories add., 17x10 feet, 35x10 feet and 18x11 feet, general alterations. Owner will build.

**School**, Fox Chase, Pa. Architects, Hoffman Henon, Finance Building, Philadelphia. Owners, St. Cecilia's Roman Catholic Church, Rev. J. S. Burke, on premises. Brick, cut stone, steel, limestone, 2 stories, 53x113 feet, slag roof, maple floors, metal lath, tile and terrazzo work, roof ventilators, terra cotta, ornamental iron work (plumbing, heating, electric, per antiseptic tanks reserved). Contract awarded H. J. Salter, Jr., Broad street, Quakertown, Pa..

**Twin Residences (5 pairs)**, Gordon Lane,

Chestnut Hill, Pa. Architect, Guy B. Johnson, 5413 Media avenue, Philadelphia. Owner, J. H. Rice, 1317 Widener Building, Philadelphia. Frame and stucco, 2½ stories, 16x49 feet, wing, hot water heat, electric light, tile work, shingle roof, hardwood floors. Owner taking sub-bids.

**Residences (9)**, Latimer Lane and Twenty-first street, Philadelphia, \$80,000. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, Kier Const. Co., 1612 Spruce street, Philadelphia. General remodeling, lot 15x20 feet, electric light, stone, brick and stucco, hardwood floors, tile work, landscape gardening. Owner will build and is taking sub-bids.

**Office and Apartment Building (alts. and add.)**, 1427 Spruce street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Otto T. Mallery, on premises. Carpentry and mill work, cut stone, brick, steel and iron work, slag roof, hardware, slag roof, plastering, painting and glazing, electric work, plumbing. Architect taking bids January 21st.

**Apartment House**, Nineteenth and Panama streets, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owner, name withheld. Brick, stone, concrete and limestone, 8 stories, 50x60 feet. Plans completed. Architect will be ready for bids in one week.

**Apartment House (alts.)**, Northeast Corner Twenty-first and Walnut streets, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Morris Finkle, care of architect. Brick, cut stone, 3 stories and basement (plumbing, heating, electric reserved), oak and cement floors, metal lath, tile and marble work, rolled steel sash, galvanized iron skylights, tin-lined and kalamein doors, metal bulks, floor hardener, iron work, terra cotta, roof ventilators, cold water paints. Revised plans in progress.

**New Front (alts. and add.)**, Southwest Corner Twenty-first and Appletree street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owners, Levin Brothers, Commonwealth Building, Philadelphia. Brick, 3 stories, 16x80 feet, slag roof, composition floors, metal lath, bond, metal bulks, store fixtures, marble work, elec-

tric light, hot water heat. Plans in progress.

**Apartment House**, Germantown, Philadelphia. Architect, T. B. Lippincott, 11 South Sixteenth street, Philadelphia. Owner, name withheld. Brick, 3 stories. Preliminary plans in progress.

**Chapel and School Building**, Cottman and Torresdale avenue, Tacony, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owner, name withheld. Plans in progress. Architect will be ready for bids in one month.

**Auto Repairing Shop**, 521-23-25 Rodman street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 1 story, 30x40 feet, slag roof, concrete floors, electric, metal lath, roof ventilators, hollow metal skylights, bond, demolition. Plans in progress.

**Bank Building**, Germantown avenue and Berks street, Philadelphia. Architects, Bissell & Sinkler, 1520 Locust street, Philadelphia. Owners, United Security Life Ins. & Trust Co., 605 Chestnut street, Philadelphia. Plans in progress.

**Apartment House**, Hunting Park avenue and Old York Road, Philadelphia. Associate architects, J. E. Fieldstein & Alvin C. Bieber, Otis Building, Philadelphia. Owner, M. J. Reider, 251 South Felton street, Philadelphia. Brick, limestone, 4 stories, 55x118 feet, 2 wings, slag roof, hardwood floors, vapor heat, electric light, tile and marble work, Murphy beds, kitchen equipment (24 apartments). Owner ready for sub-bids.

**Manufacturing Building (add.)**, Northeast Corner Wilde and Krams avenue, \$6,000. Architects, Wilson Ruff Co., 1101 Franklin Trust Building, Philadelphia. Owners, Repel-A-Rain Co., on premises. Brick, 2 stories, 50x12 feet, second story, 50x40 feet. Architects will build.

**Apartment Hotel**, Northwest Corner Eighteenth and Chestnut streets, Philadelphia. Architect, William L. Redditt, Otis Building, Philadelphia. Owner, name withheld. Brick, limestone, granite, steel, 16 stories, 91x40 feet, steam heat, electric light, metal lath, tile and marble work, hollow metal sash, bond, ornamental iron work, terra cotta, waterproofing and dampproofing, concrete and oak floors, slag roof. Architect taking bids due January 21st.

**Race Sub-Station (alt. and add.)**, Northwest Corner Fifty-sixth and Race streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., W. C. L. Eglin, chief engineer, Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, 1 story, 41x63 feet, slag roof, cement floors, heating extension, hollow metal sash, waterproofing, plumbing, ornamental iron work. Architect taking bids due January 18th.

**Stores (6) and Office Building**, Griscom and Arrotts Sts., Philadelphia. Architect, Arnold

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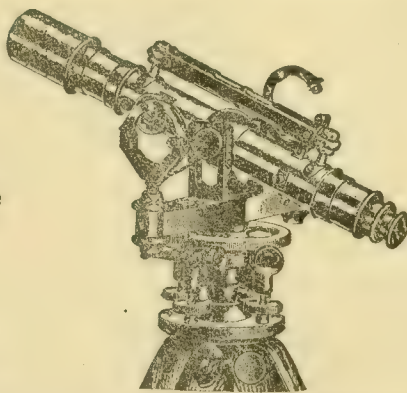
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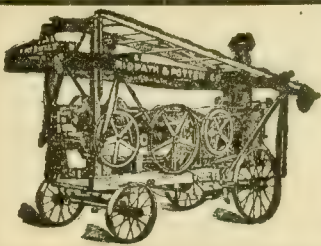
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Mueller, 901 Walnut St., Philadelphia. Owner, Arthur K. Stern, Tioga and Cedar streets, Philadelphia. Brick and steel, 2 stories and basement, 20x100 feet, Spanish tile roof, maple floors, steam heat, electric light, metal lath, tile and marble work, copper skylights, bond, copper bulks, ornamental iron work. Owner taking bids due as soon as possible.

**Residence (alts. and add.)**, Moyland Road, St. Martin's, Chestnut Hill. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owner, Mrs. John W. Geary, on premises. Brick, cut stone, reinforced concrete, stone, 2½ stories, 17x30 feet, slate roof, tile and slag roof, oak floors, metal lath, tile and marble work, hardware, painting and glazing, plastering, bond, ornamental iron work. Architect taking bids due January 18th.

**Factory (alts. and add.)**, Venango and Sepviva streets, Philadelphia. Architect, private plans. Owners, Corrugated Container Co., on premises. Brick, 2 stories, 80x93 feet, slag roof, maple floors, elevators, plumbing, steam heat, electric light, metal lath, rolled steel sash, bond, ornamental iron work. Bids due January 21st.

**Factory (alts.)**, (new front), Fourth and Florist streets, Philadelphia. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owner, George W. Plumly, on premises. Brick work, cement work, plastering, painting, roof repairs, fire escapes, carpentry, iron work, plumbing, electric work, heating repairs. Architect taking bids due January 17th at noon.

**Abattoir**, Northwest Corner Front and Venango streets, Philadelphia. Owners, Duffy & Brothers, Inc., 3255 North Front street, Philadelphia. Brick, cut stone, steel, 2 and 1 stories, 80x63 feet, 33x119 feet, electric light, metal lath, rolled steel sash, waterproofing, plumbing, concrete and maple floors, hollow tile, composition roof, cork insulation. Owner taking bids due January 19th.

**Bennett Hall**, Thirty-fourth and Walnut streets, Philadelphia. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owners, University of Pennsylvania, Thirty-fourth and Walnut streets, Philadelphia. Brick, cut stone, granite, steel, 3 stories, 231x93 feet, slate and slag roof, cement and maple floors, metal lath, marble and terrazzo work, rolled steel sash, fire doors, bond, iron stairs, ornamental iron work, waterproofing, roof ventilators. Architect taking bids due February 8th before 5 P. M.

**Residences (35)**, Mascher street, Clearfield to Tusculum, \$157,500. Architect, private plans. Owners, Charles W. Irvin Co., 721 Walnut street, Philadelphia. Brick, 2 stories, 16x34 feet, 9 inches, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Residences (29)**, Gratz street and Sixty-seventh avenue, Philadelphia, \$264,500. Architect, private plans. Owner, Russell Foster, 6901 North Broad street, Philadelphia. Brick, 2 stories, (12) 16x56 feet, (4) 20x56 feet, and (23) 16x32 feet, 12x19 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (32)**, North side Miriam Road, North of Pratt street, \$135,000. Architect, private plans. Owner, M. J. Best, 4929 Roosevelt Boulevard, Philadelphia. Brick, 2 stories, 15x39 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

build.

**Residences (7)**, North side Pennsgrove avenue, West of Thirty-eighth street, \$29,700. Architect, private plans. Owners, Fagen Brothers, 517 Susquehanna avenue, Philadelphia. Brick, 2 stories, 16x28 feet, 14x11 feet, and (6) 14x24 feet, 11x11 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (12)**, South side Sixty-sixth avenue, West of Twenty-first street, \$60,900. Architect, private plans. Owner, Michael Benjamin, 241 Market street, Philadelphia. Brick, 2 stories, 16x39 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (7)**, South side Wyoming avenue, East of C street, \$36,000 total. Architect, private plans. Owners, Fishman & Fort, 2011 South Fifth street, Philadelphia. Brick, 2 stories, (1) 18x56 feet, (6) 16x56 feet, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Warehouse (add.)**, West side D street, North of Erie avenue, \$25,000. Architect, private plans. Owners, John Maneely Co., 247 North Twelfth street, Philadelphia. Brick, 1 story add., 136x195 feet, slag roof, electric work. Owners will build.

**Garage**, 6039 Pine street, Philadelphia, \$18,000. Architect, private plans. Owner, M. Hokowitz, on premises. Brick, 1 story, 80x140 feet, slag roof, cement floors, electric work. Owner will build.

**Garages (15)**, 3300 to 3328 Queen Lane, Philadelphia, \$10,500. Architect, private plans. Owners, Carson Brothers, 5601 Germantown avenue, Philadelphia. Stone, 1 story, 13x22 feet, slag roof, cement floors. Owner will build.

**Garage**, 3313-15 Melon street, Philadelphia, \$8,000. Architect, private plans. Owner, Peter J. Gallagher, 3308 Fairmount avenue, Philadelphia. Brick, 1 story, 50x85 feet, slag roof, cement floors, electric lighting. Owner will build.

**Manufacturing Building (add.)**, 778-82 South Swanson street, \$7,000. Architect, private plans. Owner, L. B. Botfield, 776 South Swanson street, Philadelphia. Brick, 1 story add., 56x64 feet. Owner will build.

**Residences (3)**, West side Seventh street, South of Cayuga street, \$5,400 each. Architect, private plans. Owners, C. F. & T. M. Conway, 4150 North Broad street, Philadelphia. Brick, 2 stories, 16x25 feet, 13x10 feet, slag roof, hardwood and pine floors, hot water heat, electric work. Owners will build.

**Residences (2)**, East side Bingham street, North of St. Vincent, \$5,000 each. Architect, private plans. Owner, Michael Glaser, 1328 Lawrence street, Philadelphia. Brick, 2 stories, 16x40 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Brunswick avenue, West of Seventy-eighth street, \$4,200. Architect, private plans. Owner, Charles F. Kirchner, 7425 Buist avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, South side Clearview street, West Mitchell street, \$3,000. Architect, private plans. Owner, Thomas Bancroft, 4223 Pechin street, Philadelphia. Stone, 1 story, 38x30 feet, cement floors, electric lighting. Owner will build.

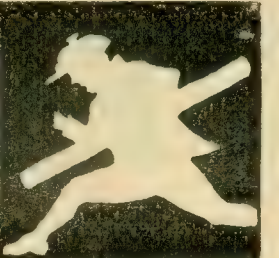


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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Garage**, West side Paul street, North of Orthodox street, \$3,500. Owners, Drs. J. A. & E. H. Thompson, 1656 Orthodox street, Philadelphia. Brick, 2 stories, 18x24 feet, slag roof, cement floors. Contract awarded to George C. Geiger, Jr., 4657 James street, Philadelphia.

**Office Building**, Sixteenth and Arch streets, Philadelphia. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owner, Insurance Company of North America, 232 Walnut street, Philadelphia. Brick, cut stone, steel, artificial stone, 17 stories and basement, 231x147 feet, steam heat, electric light, metal lath, tile and marble work, rolled steel skylights, hollow steel doors, bond, floor hardener, ornamental iron work, slag and tile roof, rubber, concrete and oak floors, elevators, roof ventilators, metal ceilings, kitchen equipment, shoring, terra cotta, pipe covering, bronze work, mail chutes. Contract awarded Stone & Webster, 1616 Arch street, Philadelphia, who are taking sub-bids.

**Store Building (alts.)**, 122 South Thirteenth street, Philadelphia. Architect, Solomon Kaplan, 10 South Eighteenth street, Philadelphia. Owner, J. Lichterman, care of architect. Bond, brick work, cut stone, steel and iron work, carpentry and mill work, plastering, oak floors, composition floors, tin roof, painting and glazing, plumbing, electric work. Contract awarded Farrell Roth, 1624 Spruce street, Philadelphia.

**Schools (2)**, Fourth and George streets, and Sixth and Carpenter streets, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Contracts awarded on Fourth and George: McCloskey Co., 1620 Thompson street, Philadelphia, \$427,427; plumbing, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$27,000; ventilating, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$1,850; heating, W. J. McKenzie, 315 South Fifteenth street, Philadelphia, \$44,118; electric, James Cummings, 4653 Frankford avenue, Philadelphia, \$12,156. Contracts awarded Sixth and Carpenter: McCloskey 1620 Thompson street, Philadelphia, \$418,666; plumbing, Bullman Brothers, Fifth and Cumberland streets, \$27,666; heating, W. P. McKenzie, 315 South Fifteenth street, Philadelphia, \$44,118; ventilating, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$1,850; electric, J. F. Buchanan, 1904 Sansom street, Philadelphia, \$12,887.

**Telephone Building**, Rising Sun and Cottman streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadel-

phia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 3 stories and basement, 101x64 feet, slag roof, steam heat, electric light, metal lath, tile and marble work, hollow metal sash, bond, waterproofing, cement floors. Contract awarded F. W. Van Loon, Perry Building.

**Apartment House**, Twenty-first and Vemango streets, Philadelphia. Architect, Thomas B. Lippincott, 11 South Sixteenth street, Philadelphia. Owner, G. K. Davidyan, care of architect. Brick, cut stone, 8 stories, 44x225 feet, steam heat, electric light, tile and marble work, metal lath, slag roof, oak and pine floors, elevators. Contract awarded Merion Const. Co., 2315 Walnut street.

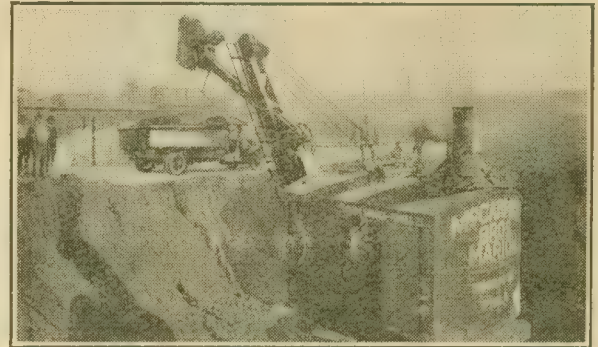
**Stores and Apartment (11)**, East side Broad street, below Rockland street, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. H. Woldow, Widener Building, Philadelphia. Brick, cut stone, 3 stories, 61x61 feet, slag roof, pine floors, metal lath, bond, metal bulks, terra cotta, iron work. Contract awarded Philip Savar, 718 Snyder avenue, Philadelphia.

**Touraine Apartments (alts.)**, 1520 Spruce street, Philadelphia. Architects, Webber & Wurster, 1530 Locust street, Philadelphia. Owners, Touraine Apartments, on premises. Bronze work, plate glass, plumbing, heating and lighting, alterations, limestone, granite, hollow tile. Contract awarded Jacob Copeland 1218 North Seventh street, Philadelphia.

**Laundry and Garage (alts.)**, 2006-08 Sansom street, \$8,000. Architect, private plans. Owner, S. E. Hutchinson, 1718 Walnut street, Philadelphia. Brick and cement work, electric work, slag roof, carpentry, mill work, plumbing, hot water heating. Contract awarded to J. Sims Wilson Co., 1125 Brown street, Philadelphia.

**Bakery**, 515-17 Emily street, Philadelphia, \$7,000. Architect, private plans. Owner, Julius Grossman, 1803 South Fifth street, Philadelphia. Brick, 2 stories, 32x46 feet, slag roof, electric lighting. Contract awarded to M. Kuzinsky, 2627 South Seventh street, Philadelphia.

**Residences (6)**, 4410-20 North Fourth



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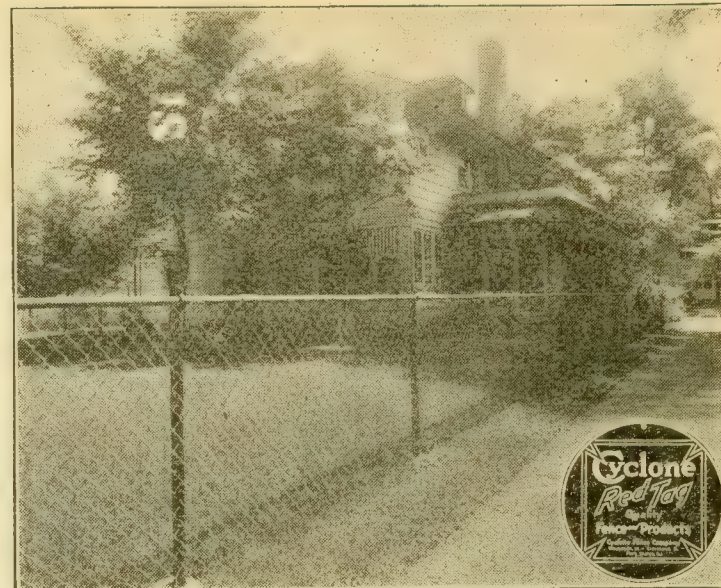
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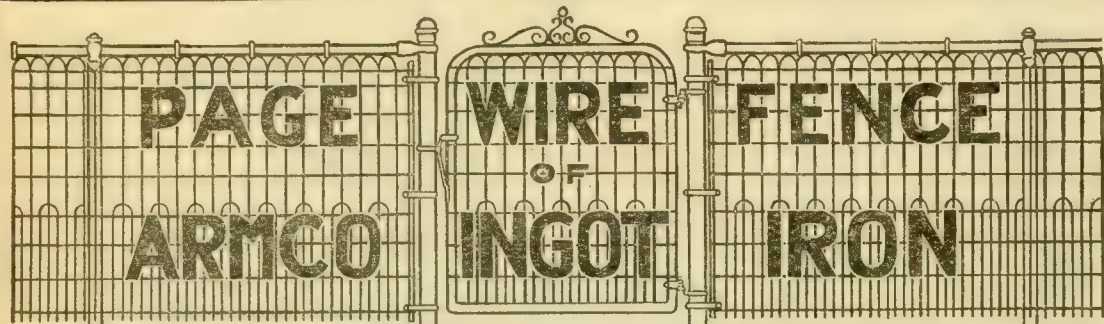


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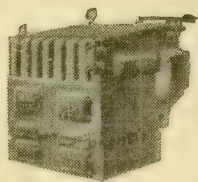
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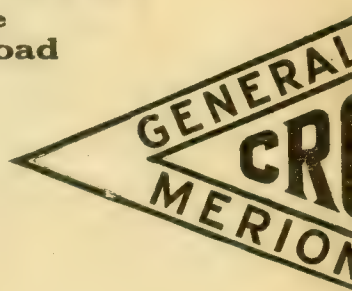
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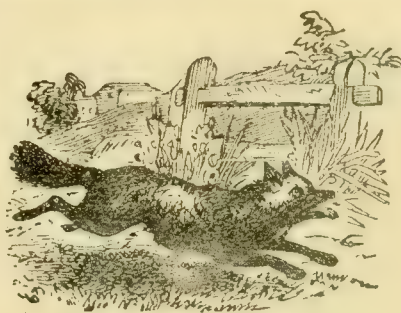
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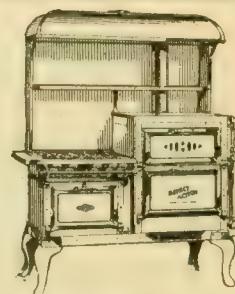
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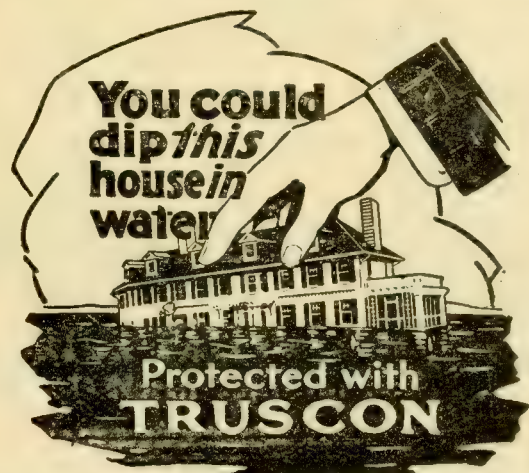
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street, Philadelphia, \$27,000. Architect, private plans. Owner, J. Ford Burkhart, 5519 North Fifth street, Philadelphia. Brick, 2 stories, 15½x39 feet, slag roof, hardwood and pine floors, hot water heating, electric lighting. Contract awarded to Charles M. Sinn, 5518 North American street, Philadelphia.

**Store and Rooming House (alts. and add.),** 4936 North Broad street, \$7,000. Architect, private plans. Owner, Dr. John C. Conner, on premises. Brick, 3 stories, 20½x17 feet, 1 story, 30x16 feet, and 1 story, 4½x19 feet, general alterations. Contract awarded to William Liss, 2618 South Sheridan street, Philadelphia.

**Manufacturing Building,** East side Bodine street, North of Bristol street, \$6,900. Architect, private plans. Owner, William R. Pike, 1301 Leveck street, Philadelphia. Brick, 1 story, 42x62 feet, slag roof, electric lighting. Contract awarded to A. E. Barnes & Co., 2044 East Clementine street.

**Store (alts.),** Southeast Corner Thirteenth and Sansom streets, Philadelphia, \$3,500. Architect, private plans. Owner, Albert May, on premises. General alterations. Contract awarded to Basch & Co., Ruan and Tackawanna streets.

**Office Building (alts.),** 804 Chestnut street, Philadelphia, \$6,000. Owners, Edelstein & Burnstein, 215 South Fifteenth street, Philadelphia. General alterations. Contract awarded to P. Savar, 718 Snyder avenue, Philadelphia.

**Show Room (alts.),** Northeast Corner Kensington avenue and Thayer street, \$5,500. Architect, private plans. Owner, John Vincent, on premises. General alterations. Contract

awarded to Oscar C. Wehmeyer, 313 East Eleanor street.

**Show Room,** East side Germantown avenue, South of Washington Lane, \$4,000. Architect, private plans. Owner, Samuel Golder, 908 Finance Building, Philadelphia. Brick, 1 story, 21x50 feet. Contract awarded to Golder Const. Co., 263 South Fifteenth street, Philadelphia.

**Garage,** 2855 North Mascher street, Philadelphia, \$3,000. Architect, private plans. Owner, Harry Hagan, on premises. Brick, 1 story, 13x52 feet, 16x17 feet, slag roof, cement floors. Contract awarded to Daniel Carr, 3331 Frankford avenue, Philadelphia.

**Boiler House, Power House, Engine Room, Ice Plant,** Southwest Corner Third and Thompson streets, Philadelphia. Architect, private plans. Owner, Louis Burk, on premises. Brick, 3 stories, 149 feet, 2 inches x 138 feet, 5 inches, slag roof, cement floors, electric light, structural steel, reinforced concrete. Contract awarded to J. N. Gill Const. Co., City Center Building, Philadelphia.

**Shop (add.),** 492 North Third street, Philadelphia, \$7,000. Architect, private plans. Owner, W. Schmitz, 531 Race street, Philadelphia. Brick, 2 stories, 18x66 feet, slag roof, pine floors, electric work. Contract awarded to George Adams, 5905 Chester avenue, Philadelphia.

**Residence,** Southeast Corner Rhawn and Loudon streets, Philadelphia, \$5,800. Architect, private plans. Owner, Walter Krehn, Rhawn and Duncan streets, Philadelphia. Frame, 2 stories, 26x34 feet, 6 inches, hardwood and pine floors, hot air heat, electric light. Contract awarded to Harry Miller, 7319 Palmetto street, Philadelphia.

**Building (alts.),** Southwest Corner Horrocks and Orthodox streets, \$4,000. Owner, Stanley Querns, American and Diamond streets, Philadelphia. Brick elevator hatchway. Contract awarded to Harry Kuehnlein, 2040 Trenton avenue, Philadelphia.

**Warehouse (alts.),** Northwest Corner Delaware avenue and Bainbridge street, \$3,500. Architect, private plans. Owner, William Bailey, on premises. General alterations. Contract awarded to Drehmann Paving & Const. Co., 408 Glenwood avenue, Philadelphia.

**Store and Residence (alts. and add.),** 6841 Germantown avenue, \$4,000. Architect, private plans. Owner, David C. Price, on premises. Brick, 1 story, 19x40 feet, second story, 9x11 feet, general alterations. Contract awarded to T. Esbromson, 1700 North Sixtieth street, Philadelphia.

**Laundry (add.),** 763 South Seventeenth street, Philadelphia, \$3,000. Architect, private plans. Owner, J. G. Patton, on premises. Brick, 1 story add., 32x32 feet, 16x20 feet. Contract awarded to Charles H. S. Zebley, 340 South Quince street, Philadelphia.

**Storage Building,** 231 North Second street, Philadelphia, \$2,000. Architect, private plans. Owners, C. B. Porter Co., 124 North Second street, Philadelphia. Iron, 1 story, 70x24 feet, 12x18 feet, corrugated iron roof. Contract awarded to Stewart Brothers & Co., 2526 North Orkney street.

## Pennsylvania

### Construction News

**Bank and Office Building (add.),** Williamsport, Pa. Architects, Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owners, First National Bank of Williamsport, Pa. Architect taking bids due January 25th.

**Residence and Garage,** Owen and Powell Road, Ardmore, Pa., \$18,000. Architect, Guy B. Johnson, 5413 Media avenue, Philadelphia. Owner, J. Owen Yetter, Ardmore, Pa. Stone and Penn Building Block, stuccoed, 2½ stories, 26x46 feet, garage wing, hot water heat, electric light, tile work, shingle roof, hardwood floors. Owner taking bids due January 28th.

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**Apartment House (alts.),** Lancaster and Gordon Road, Haverford, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Mrs. C. Devenny, care of architect. General alterations. Plans in progress.

**Bank (alts. and add.),** Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Brick, steel, 1 story, 40x60 feet, slag roof, composition floors, electric light, tile work, (2) vaults. Plans in progress.

**Factory,** Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Brick, steel, fireproof, 1 story, 180x61 feet, Barrett Specification roof, concrete floors, steam heat, electric light, rolled steel sash, fire doors. Plans in progress.

**School,** Forty Fort, Pa., \$300,000. Architect, Ralph M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, Forty Fort School Board, P. Crosby, secretary, Kingston, Pa. Brick, steel, 2 stories, 200x125 feet slag roof, hardwood floors (heating, electric lighting and plumbing reserved), metal lath, cut stone, iron stairs. Plans in progress.

**Eagles' Home,** Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owners, Order of Eagles, care of architects. Semi-fireproof, 3 stories, 100x110 feet, built-up roof, hardwood floors, hollow tile, dumb waiters, roof ventilators, waterproofing, steam heat, electric light, tile and marble work, rolled steel sash, fire doors, iron stairs, ornamental iron work. Revised plans in progress.

**Apartment,** Wilkes-Barre, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Dr. Rumbary, care of architects. Brick, 4 stories, 42x58 feet, slag roof, hardwood floors, elevator (heating, electric work and plumbing reserved). Architects taking bids due January 15th.

**Warehouse,** Lansdale, Pa. Architects, Conner & Winter, Lansdale, Pa. Owner, Ol. Rosenberg Son, Lansdale, Pa. Concrete block, 2 stories, 105x42 feet, slag roof, cement floors. Owner taking bids due as soon as possible.

**Garage and Oil Station,** Allentown, Pa. Architect, A. J. Bibighaus, 530 Hamilton street, Allentown, Pa. Owner, P. Minnich, care of architect. Fireproof, 1 story, 100x100 feet, slag roof, concrete floors, rolled steel sash. Preliminary plans in progress.

**Marquise,** Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem. Owners, Moravian College, Dr. Rau,

Elizabeth avenue and Main street, Bethlehem, Pa. Ornamental iron and copper, 1 story. Plans in progress.

**Rectory,** Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem. Owners, St. Simon & Jude Parish, Rev. E. Stapleton, Bethlehem, Pa. Brick and stucco, 3 stories, 36x62 feet, tile roof, hardwood floors, electric light, tile work. Revised plans in progress.

**Residence and Garage,** City Line and West Chester Road, Llanerch. Architect, John Charles Norton, Ardmore, Pa. Owners, Knox Mariani Co., Lorraine avenue, Ardmore, Pa. Stone and concrete block, 3 stories, 28x48 feet, wing 14x20 feet, tile roof, hardwood floors, electric light, hot water heat, tile work. Plans in progress.

**Gymnasium,** Lancaster, Pa. Architect, William C. Pritchett, 225 South Sixth street, Philadelphia. Owners, Franklin & Marshall College, Lancaster, Pa. Working plans in progress. Will be ready for bids in 3 weeks.

**Chapel (alts. and add.),** Lancaster, Pa. Architect, William C. Pritchett, 225 South Sixth street, Philadelphia. Owners, Franklin & Marshall College, Lancaster, Pa. General alterations and additions. Preliminary plans in progress. Too early for details.

**Residence,** Fox Chase, Pa. Architect, Charles Fries, Fox Chase, Pa. Owner, Paul Cameron, 412 Rhawn street, Fox Chase, Pa. Frame, cut stone, 2½ stories, 57x24 feet, shingle roof, oak and pine floors, tile work (heating, plumbing and electric reserved). Revised plans in progress.

**Residences (10),** Grand View and Spring avenues, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Progressive Realty Co., 6127 Market street, Philadelphia. Concrete block, plastered, 3 stories, 18x54 feet, hot water heat, electric light, tile roof, hardwood and cement floors. Architect ready for sub-bids.

**Combination of Church and Sunday School,** Hampden Road and Sansom street, Stonehurst, Delaware County, Pa. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Alice's Roman Catholic Church, Rev. W. L. Hayward, Stonehurst, Pa. Architect ready for bids in 3 weeks.

**Store (new front),** 331 Market street, Harrisburg, Pa. Architects, Stuckert Co., Crozer Building, Philadelphia. Owners, Books Shoe Co., on premises. Tile and marble work, slate roof, metal bar, plate glass, cabinet work. Architects will build and are taking sub-bids.

**Residence,** Winber, Somerset County, Pa. Architect, H. L. Reinhold, 1513 Walnut street, Philadelphia. Owners, Wilmore Coal Co., Winber, Somerset County, Pa. Frame, 2 stories, 25x37 feet, shingle roof, pine floors, hot water heat, electric light. Owner will build.

**Bank Building,** Edwardsville (suburb of Wilkes-Barre), Pa., \$90,000. Architects, Simon Brittain & English, 929 Chestnut street, Philadelphia. Owners, People's Bank, Edwardsville, Pa. Brick, stone, concrete, steel, limestone, 31x102 feet. Plans in progress. Architect will take bids in one month.

**Store (alts.),** South Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Lonstein's, 221 East Third street, Bethlehem, Pa. Copper work, plate glass, art glass, general alterations. Owners will build.

**Residences (2) and Garages,** Ardmore avenue and Haverford Road, Ardmore. Architect, W. K. Durham, 1345 Pine street, Philadelphia. Owner, W. K. Durham, 1345 Pine street, Philadelphia. Hollow tile or building block and stucco, 2½ stories, 56x28 feet each, 19x21 feet, shingle roof, hardwood and cement floors, hot water heat, electric light, tile work, 3 baths. Architect ready for sub-bids due at once.

**Residences (2),** Garages, Ardmore avenue and Haverford Road, Ardmore. Architect, W. K. Durham, 1345 Pine street, Philadelphia. Owner, W. K. Durham, 1345 Pine street, Philadelphia. Hollow tile or building block and stucco, 2½ stories, 37x34 feet each, 19x21 feet, shingle roof, hardwood and cement floors, hot water heat, electric light, tile work, 3 baths. Architect ready for sub-bids due at once.

**Operation of Residences,** Watsontown, Pa. Architect, W. K. Durham, 1345 Pine street, Philadelphia. Owners, Feero Brick Co., Watsontown, Pa. Brick, frame and stucco, 2½ stories, 25x25 feet, hot water heat, electric light, shingle roof, pine floors. Owners will build and are ready for sub-bids.

**Hotel (alts.),** Sixth and Main streets, Carbondale, Pa. Architect, A. J. Ward, County Bank Building, Scranton, Pa. Owners, S. & B. Letzie, River street, Carbondale, Pa. Brick, 4 stories, steam heat, tile floors, hollow tile, roof ventilators, kitchen equipment, plumbing, general alterations. Architect ready for bids.

**Store and Loft,** Carbondale, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owner, F. P. Kelly, Main and Seventh streets, Carbondale, Pa. Brick, steel, 3 stories, 54x105 feet, slag roof, reinforced concrete floors, steam heat, electric light, rolled steel sash, kalamein doors, iron stairs. Owner and architect ready for bids due February 1st.

**Church,** Olyphant, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owner, Rev. P. J. Murphy, Olyphant, Pa. Stone, brick and steel, 1½ stories, 60x130 feet, tile roof, hardwood floors, electric light, tile, marble and terrazzo work, ornamental

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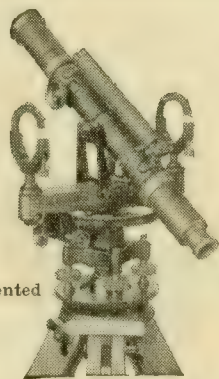
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**Double Residence**, Lorraine and Chestnut avenues, Ardmore Park, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Nanti Rose, Ardmore, Pa. Concrete block and plaster, 3 stories, 18x48 feet, hot water heat, electric light, tile work, metal ceilings, hardwood floors, slate roof. Owner taking sub-bids.

**New High School**, Palmerton, Pa. Architect, William H. Lee, 1505 Race Street, Philadelphia. Owners, Board of Education, Borough of Palmerton, T. J. Keinmerer, secretary, Palmerton, Pa. Brick and steel, cut stone, cast stone, 3 stories, 164x138 feet, asbestos built-up roof, mastic, cement and maple floors, hollow tile, waterproofing, terra cotta, ornamental iron work and stairs, floor hardener, bond, kalamein doors, galvanized iron skylights, rolled steel sash, marble work, metal lath, steel partitions, dumb waiters. Owners taking bids due January 18th, 1 P. M.

**Residence and Garage**, Morgan avenue, Aronimink, Delaware County, Pa. Architect, Addison H. Savery, 1309 Locust street, Philadelphia. Owners, Mr. and Mrs. C. J. Michener, care of architect. Stone, 2½ stories, 25x40 feet, wing 8x25 feet, shingle roof, hardwood and pine and cement floors, hot water heat, electric metal lath, tile work, 2 baths. Architect taking bids due January 19th.

**Residence and Garage (alts. and add.)**, Wal-lingsford, Pa. Architects, Willing, Sims & Talbutt, 129 South Eighteenth street, Philadelphia. Owner, Philip G. Platt, care of architect. Stucco, cut stone, brick, 2½ stories, 22x30 feet, canvas-tin roof, cement and pine floors, carpentry and mill work, waterproofing, bond, ornamental iron work. Architect taking bids due January 18th.

**Mill Building**, Scranton, Pa. Architect, A. J. Ward, County Bank Building, Scranton, Pa. Owners, Wagberg, Feganbain & Levy, Scranton, Pa. Slow-burning construction, 2 stories, 40x60 feet, slag roof, freight elevator, steam heat, electric light, metal lath, rolled steel sash, fire doors. Architect taking bids due January 23rd.

**Work Shops and Sheds**, Yeadon, Delaware County, Pa. Architect, Paul A. Monaghan, 1713 Sansom street, Philadelphia. Owners, Holy Cross Cemetery, Archdiocese of Philadelphia, Eighteenth and Race streets, Philadelphia. Brick, 1 story, 62x21 feet, 66x14 feet, 134x21 feet, composition and tile roof, cement floors, plumbing, tile work, ornamental iron work. Architect taking bids due January 18th.

**Residence and Garage**, School Lane, Drexel

Hill, Pa. Architect, Herman Miller, 1420 Chestnut street, Philadelphia. Owner, Harry Moore McBurney, Fifteenth and Federal streets, Philadelphia. Brick, hollow tile, stucco, 2½ and 1½ stories, 40x35 feet, garage, 19x24 feet, shingle roof, neolithic, oak, pine and cement floors, ornamental iron work, bond, tile work, hot water heat, electric light (asbestos roofing-alternate). Architect taking bids due January 18th.

**Dormitory Building**, Sheaton, near Nanticoke, Pa. Architect, A. I. Prawdzik, 821 Moosie street, Scranton, Pa. Owners, St. Stanislaus Orphanage, Rev. V. L. Riezsko, Nanticoke. Brick, limestone, hollow tile, stucco, 2½ stories, 119x73 feet, canvas, slag and slag roof, cement, maple and pine floors, metal lath, rolled steel sash, copper skylights, bond, kalamein dors. Owners taking bids.

**Residence**, West Upsal street and Jefferson, Philadelphia. Architect, Edward A. Yeo, 225 South Sydenham street, Philadelphia. Owner, Louis G. Green, care of architect. Stone and brick, 2½ stories, irregular size, shingle roof, oak and pine floors (plumbing, heating, electric, tile reserved). Architect taking bids.

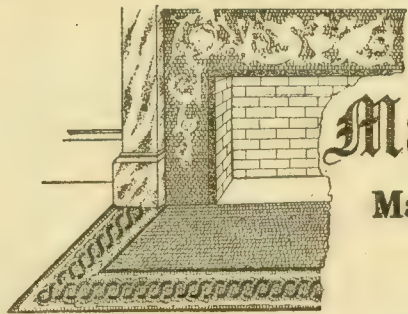
**Henry Hauck School**, Lebanon, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Lebanon School Board, Lebanon, Pa. Brick, reinforced concrete, cast stone, steel, 2 stories and basement, 247x78 feet, wing 57x70 feet (plumbing, heating and electric work separate bids), tile roof, composition cork tile and cement and maple floors, hollow metal doors, rolled steel sash, tile work. Lowest bidders: J. H. Greiner & Co., Lebanon, Pa., \$213,000; Henson & McLain, Johnstown, Pa., \$223,000.

**Garage**, Harrisburg, Pa. Architect, Albert Kelsey, Perry Building, Philadelphia. Owner, M. E. Olmstead, Harrisburg, Pa. Brick and stucco, 2 stories, 64 feet, 6 inches x 31 feet, slate roof, cement floors, steam heat, electric light. Plans in progress.

**Residences and Garages (3)**, Drexel Hill, Pa. Architect, private plans. Owner, J. J. Minahan, care of Franklin Realty Co., Drexel Hill, Pa. Stucco, 3 stories, 27x36 feet, shingle roof, hardwood, pine and cement floors, hot water heat, electric light, tile work. Owner taking bids due January 19th, 12 noon.

**Pennsylvania****Contracts Awarded**

**Stores (2)**, Office and Apartment, South Main street, Wilkes-Barre. Architects, Mack & Sahm, Coal Exchange Building, Wilkes-

**Italian Marble Mosaic Co.**

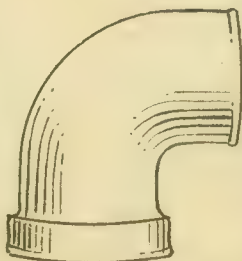
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Barre, Pa. Owner, Henrietta Mack, 45 Public Square, Wilkes-Barre, Pa. Brick, steel, 3 stories, 25x104 feet, slag roof, hardwood floors, steam heat, electric light, metal lath, marble work, rolled steel sash, copper work, plate glass, ornamental iron work. Contract awarded to O. J. Behrens Sons, 179 Blackman street, Wilkes-Barre.

**Residence**, Wyncote, Pa. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owner, Ester Hokanson, Wyncote, Pa. Frame and stucco, 2½ stories, 26x30 feet, warm air heat, electric light, tile work, shingle roof, pine floors. Contract awarded Maxwell W. Overholtzer, Glenside, Pa.

**Apartment House (alts.)**, Lansdowne, Pa. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owner, Irene Maxwell, care of architect. Interior alterations. Contract awarded to Adolph Korn & Co., East Lansdowne, Pa.

**Bank**, Conshohocken, Pa. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owners, First National Bank of Conshohocken, Pa. Brick, cut stone, steel, 2 stories, 49x50 feet, slag roof, cement, cork, tile and linoleum floors, metal lath, tile and marble work, rolled steel and hollow metal sash, kalamein doors, bond, waterproofing, iron work. Contract awarded H. E. Baton, 1713 Sansom street, Philadelphia.

**Telephone Building (alts. and add.)**, 31-33 North Fifth street, Reading, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 4 stories, 47x30 feet, 3 and 4 floors (new) 1,37x30 feet, steam heat, electric light, slag roof, cement floors, bond. Contract awarded Sharp Cont. Co., Reading, Pa.

**Service Station**, Wyncote, Pa. Architect, William F. B. Koelle, Otis Building. Owner, Mr. A. Krumbauer, care of architect. Brick, 2 stories (heating reserved), electric light, pine floors, interior partitions, wood casements. Contract awarded George Sherm & Son, 709 South Fifty-ninth street, Philadelphia.

**Sales and Service Station**, Paoli, Pa. Architect, Philip S. Tyre, 1509 Arch street, Philadelphia. Owner, Walter T. Matthews, care of architect. Brick, 2 stories. Contract awarded A. W. Supplee, Paoli, Pa.

**Residence**, Elm street, Scranton, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, J. M. Seaman, Scranton, Pa. Frame, 2½ stories, 24x33 feet, composition roof, hardwood floors, steam heat, electric light. Contract awarded to Otto Carfoss, Clark's Summit, Pa.

## New Jersey Construction News

**Bank Building (alts.)**, Penn and Atlantic avenue, Atlantic City, N. J. Architects, Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owners, Atlantic Safe Deposit & Trust Co., on premises. Interior alterations. H. Mathis, Guarantee Trust Building, Atlantic City, N. J., taking sub-bids.

**Steel Pier (add.)**, Atlantic City, N. J. Architect, W. S. Hewitt, Guarantee Trust Build-

ing, Atlantic City. Owners, Steel Pier Co., Mr. Bothwell, care of architect. Steel, 1 story, 50x100 feet, asbestos shingle roof. Plans in progress.

**Residence (alts. and add.)**, Ventnor, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owner, Dr. E. Doughty, 1905 Pacific avenue, Atlantic City, N. J. Brick, 2 stories, irregular size, slate and tin roof, hardwood floors, electric light, general alterations. Plans in progress.

**Store and Apartment**, 1428 Atlantic avenue, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Atlantic Delicatessen Co., 1328 Atlantic avenue, Atlantic City, N. J. New front, new floors, partitions, plumbing. Plans in progress.

**School**, Northfield, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Northfield School Board, C. Kreritz, Northfield, N. J. Brick, 1 story, 2 rooms, slag roof, pine floors, hollow tile, safety treads waterproofing, dampproofing. Plans in progress.

**Residence**, Trenton, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owner, Mr. Webster Eggerly, care of architects. Brick and frame, 2½ stories, 30x40 feet, hardwood floors, electric lighting. Plans in progress.

**Kuser School (add.) and Auditorium**, Hamilton Township, Mercer County. Architect, William A. Klemann, First National Bank Building, Trenton, N. J. Owners, Hamilton Township School Board, care of Mr. Robbins, Greenwood School, Greenwood avenue, Trenton, N. J. Brick, 1 and 2 stories, 8 rooms and auditorium, slag roof, hardwood floors, hollow tile, roof ventilators, iron stairs, bond, rolled steel skylights, cut stone, metal lath (heating, electric work and plumbing reserved). Plans in progress.

**Manufacturing Plant**, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, Charles A. Reynolds, Walnut street, Camden, N. J. Cinder block, slow burning, 1 story, 50x100 feet, slag roof, concrete floors, roof ventilators, electric light. Owner ready for bids.

**School (add.)**, Florence, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Florence School District, E. Robbins, Florence, N. J. Brick, 2 stories, 12 rooms and auditorium, slate roof, maple floors, hollow tile, safety treads, iron stairs, tile work, metal lath (plumbing, heating and electric reserved). Will take bids in one week.

**Bank**, Atlantic and Kentucky avenues, Atlantic City, N. J. Architects, Simon, Brittain & English, 929 Chestnut street, Philadelphia. Owners, Union National Bank, on premises. General remodeling of building, 46x107 feet. Plans in progress. Ready for bids in 2 weeks.

**Residence**, Pitman, N. J. Architect, C. R. Peddle, 136 South Fourth street, Philadelphia. Owner, name withheld. Frame, rough cast, 2½ stories, 28x42 feet, shingle roof, hardwood floors, warm air heat, electric, tile. Plans in progress. Ready for bids in a few days.

**William R. Allen School (add.)**, Burlington, N. J. Architect, H. A. Brown, Burlington, N. J. Owners, Board of Education, Burlington, N. J. Brick, 1 story and basement, 50x60 feet, tin roof, maple floors, electric light, steam heat. Owner will be ready for bids in one week.

**T. Samuel Smith School (add.)**, Burlington, N. J. Architect, H. A. Brown, Burlington, N. J. Owners, Board of Education, Burlington, N. J. Brick, 1 story, 60x80 feet, slate roof, maple floors, steam heat, electric light. Owners will be ready for bids in 2 weeks.

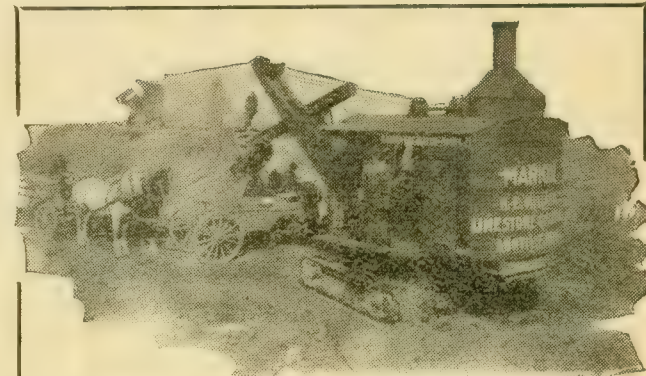
**Store and Apartment** 717 Broadway, Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Carl Swartly, care of architect. Brick, cement block, 2 stories, 21x96 feet, slag roof, hardwood and pine floors, hot water heat, electric light, plate glass, copper work, limestone trim. Plans in progress.

**Residences (4)**, Merchantville, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Edward M. Solomon, 325 Market street, Camden, N. J. Frame, 2 stories, 24x26 feet, shingle roof, pine floors, hot water heat, electric light. Owner will build.

**Store (alts. and add.)**, 450 Kaighn avenue, Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Benjamin Weinberg, on premises. Brick, second story add., 20x35 feet, slag roof, hardwood floors, electric light, general interior alterations. Owner taking bids.

**Building**, Sixth and Atlantic streets, Camden, N. J. Architect, Simon Kaplan, 243 South Sixty-second street, Philadelphia. Owner, name withheld. Brick and steel, 1 story, 150x325 feet, slag roof, maple floors, roof ventilators, rolled steel sash and skylights, steam heat, electric light. Architect taking sub-bids.

**High School**, Fifth and Broad streets, Millville, N. J. Architects, Guilbert & Betelle,



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Chamber of Commerce, Newark, N. J. Owners, Board of Education, H. Headley, Clerk, Millville, N. J. Brick, steel, concrete and stone, 2 stories, 222x150 feet, masonry, carpentry, steel and iron work, roofing, bond (heating and ventilating, electric, plumbing and gas fittings reserved). Owners taking bids due January 30th, 8 P. M. Deposit, \$25. Refund, \$25. Plans may be secured from architect or Board.

**Seventh Floor, Guarantee Trust Building,** Atlantic City, N. J. Architect, S. Hudson Vaughn, Guarantee Trust Building, Atlantic City. Owners, Board of Chosen Freeholders of Atlantic County, Mr. Johnson, care of architect. Office furniture and equipment. County Treasurer's suite, 4 rooms; Prosecutor's Suite, 12 to 18 offices. Architect will be ready for bids in ten days.

**Elks' Club,** Virginia avenue, Atlantic City, N. J. Architect, Vivian B. Smith, Guarantee Trust Building, Atlantic City. Owners, Elks' Club, Maryland and Atlantic avenues, Atlantic City. Terra cotta and steel, 75x125 feet, Barrett Specification roof, hardwood floors, electric light, tile and marble work. Architect will be ready for bids in one week.

**Apartment,** Baltic and Kentucky avenues, Atlantic City, N. J. Architect, W. S. Hewitt, Guarantee Trust Building, Atlantic City. Owner, I. Levine, Atlantic City, N. J. Brick, steel, 3 stories, 42x42 feet, slag roof, pine floors, hot water heat, electric light, tile work. Owner will take bids.

**Residence,** Hammonton, N. J., \$30,000. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, J. B. Clark, care of architect. Brick, concrete block, stucco, 2½ stories, 60x65 feet, Creo-Dipt shingle roof, hardwood floors, vapor heat, electric light, tile work. Owners, care of architect, will take sub-bids.

**City Hall,** Northfield, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, City of Northfield, City Council, care of architect. Brick, hollow tile, stucco, 2 stories, 35x50 feet, slate roof, hardwood floors, steam heat, electric light, tile work, rolled steel sash, roof ventilators. Architect will take bids.

**Central Office Building,** Bridgeton, N. J. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Delaware & Atlantic Telegraph & Telephone Co., care of Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 3 stories and basement, 63x43 feet, slag roof, composition and cement floors, steam heat, electric light, metal lath, tile and marble, bond. Architect taking bids due January 18th.

**Memorial Building for Colored Veterans,** Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owners, Board of Commissioners, H. H. Steinbucker, City Hall, Atlantic City, N. J. Brick, steel, cut stone, 3 stories, 100x50 feet, promenade tile and slag roof, maple and cement floors, hollow tile, metal weather strip, waterproofing and dampproofing, ornamental iron work and stairs, bond, kalamein doors, tile and marble work, metal lath. Owners taking bids due January 30th.

## New Jersey Contracts Awarded

**Warehouse,** New York and Baltic avenues, Atlantic City, N. J. Architect, Vivian B. Smith, Guarantee Trust Building, Atlantic City. Owners, Seashore Supply Co., New York and Mediterranean avenues, Atlantic City, N. J. Frame and concrete, 2 stories, 50x80

feet. Contract awarded to J. Mathis & Son, Guarantee Trust Building, Atlantic City.

**Bungalow,** Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, W. A. Sterns, Atlantic City, N. J. Frame, concrete block, 1½ stories, 24x55 feet, asbestos shingle roof, pine floors, hot water heat, electric light, tile work. Contract awarded to M. Fisher, Atlantic City, N. J.

## Miscellaneous Construction News

**Church,** Ozone Park, Long Island, N. Y. Architect, Emil G. Perrot, 1211 Arch strete, Philadelphia. Owners, St. Mary's Gate of Haven R. C. Church, Ozone, L. I., N. Y. Brick, stone, 66x167 feet, slate roof, steam heat, electric light. Architect taking new bids due January 28th at noon.

**Manufacturing Building,** Homeland and Notre Dame avenue, West of York Road, Baltimore, Md. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Bal MarVo and Leonard L. Greif & Bro., Inc., L. L. Greif, vice-president, Eutaw and Redwood streets, Baltimore, Md. Brick, cut stone, pre-cast stone, steel, 1 and 2 stories, 451x214 feet, saw-tooth slag roof, composition and maple floors, hollow tile, safety treads, waterproofing and dampproofing, ornamental iron work, bond, rolled steel sash, marble work, metal lath. Stedman floors. Architects taking bids due January 17th.

## Miscellaneous Contracts Awarded

**Sales and Service Station and Motor Building,** Washington avenue and Elks street, Albany, N. Y. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, E. B. Stratton Motor Corporation, Albany, N. Y. Reinforced concrete, steel, brick, 4 stories, 66x75 feet, 4 stories, 66x226 feet, slag roof, cement floors, elevators, ornamental plaster, terra cotta, wire glass, rolled steel sash, marble work, electric light, steam heat. Contract awarded J. N. Finn & Son, Albany, N. Y.

**Manufacturing Building,** Jacksonville, Fla. Architect, Albert Kahn, Detroit, Mich. Owners, Ford Motor Car Co., Detroit, Mich. Steel, reinforced concrete, 1 and 2 stories, 600x200 feet, slag roof, cement floors, electric light, rolled steel sash. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia.

## A SURE CURE FOR STRIKES

BY ERNEST FLAGG AYRES

Only a few years ago, the workers of the northwestern lumber camps were about as radical a bunch as could be found anywhere in the United States. The I. W. W. was born in these camps, was fostered in them, and it grew with alarming rapidity under the shadows of the big trees of Washington, Oregon and Idaho. It was in the Northwest that the "Wobblies" first tried their new found strength. Everyone remembers the big general strike in Seattle. It proved a

fizzle, but it left smoldering embers which the strike leaders hoped to fan into a stronger flame in later years. Today, even those embers have been extinguished, and by the workers themselves.

Another union has stepped into the lumber camps, an organization that has solved the problem of industrial co-operation. It has never had a strike. It never will have one. By the very nature of its organization, it cannot strike, for the workers will never vote for a lock-out, nor the employers for a walkout. Both sides are represented in this strange union.

### U. S. Organizes Four L's

At a time when the I. W. W. was urging sabotage and every other possible means of delaying the production of spruce for airplanes, Uncle Sam stepped in and helped organize the Loyal Legion of Loggers and Lumbermen, better known as the Four L's. He withdrew his official support shortly after the armistice was signed, but the plan had worked so well in war times that no one could see any reason why it would not do equally good work under peace conditions. It had rather tough sledding for a while, but today it is one of the fastest growing organizations in the country. It has about ten thousand members, all of them in the Pacific Northwest, and other sections of the country are beginning to sit up and take notice.

Unlike most labor organizations, its membership is not limited to the laborer alone. The foreman, the superintendent, even the Big Boss himself, are members, with the same duties, the same vote, and the same responsibilities as the humblest "hunky" in the camp.

According to W. C. Ruegitz, Executive Secretary of the Four L's, the secret of their success lies in one word—"Conference." Other unions have their "Grievance Committees," and the very name indicates the attitude of its members toward the employer. They never visit the main office to talk over conditions in the plant, except when some one of their number has had his feelings wounded. Their claim may be just, or it may not. In either case they view the problem from just one angle, that of the laborer, regardless of the merits of the employer's position.

### Place Cards on Table

Don't get the idea that this is a paternalistic society, controlled by the Boss, with the men paying dues, but afraid to say a word which might imperil their jobs. Nothing of the sort. Just attend one of their meetings and listen to the fight when some particularly important issue is at stake. Both sides scrap it out in earnest, but each side places all its cards on the table, face up, and neither party has any legitimate kick



coming when the final decision is reached.

Here is the plan of organization. Each mill, or camp, has its own conference committee, elected by the workmen from among their own number. These men meet with a similar committee appointed by the management from their representatives on the job. Both sides are more familiar with local conditions than any outsider, no matter how well-intentioned he could possibly be. As a general rule, it does not take them very long to reach a mutually satisfactory decision on any disputed point. But if they cannot agree, what then? Is there a strike, or a lock-out, with the plant shut down during a busy season, and labor left to drift to other jobs—or starve? Not a bit of it. The mill keeps right on turning out lumber, and the men continue on the payroll, while the unsolved problem is passed on to a District Board which is elected annually by the local units. These Boards are composed of an equal number of representatives of the loggers and of the employers. There are twelve such districts in the Northwestern states, enough so that each Board can keep in close touch with conditions in its jurisdiction.

If the vexatious problem proves too big for the District Board it goes to the highest Four L court, the Board of Directors, composed of one worker and one employer member of each District Board, or twenty-four in all. These men gather round the table and dissect that problem until there is nothing left of it except the bare essentials. Then they reach their decision, and every thing is lovely once more. In fact, everything has been lovely all the time. No strike, no lock-out, no waste and no hard feelings.

#### *All Disputes Settled*

Of course, with an even number on the Board of Directors, there is always the possibility of a tie vote. If this should happen, the matter is submitted to an impartial arbitrator, with both sides pledged to accept his findings. But no problem has yet been submitted to the arbitrator. In fact very few questions ever reach the Board of Directors. The conference committees and district boards settle all disputes as they arise.

"This system," says Mr. Ruegnitz, "is merely carrying the principle which made the small shop so successful a couple of generations ago, into the government of larger units. My grandfather had a wagon shop back in Iowa. He knew every one of his employees personally, and they all knew him. They knew his problems; when the wagons must be ready for delivery, and why. He knew their difficulties in handling the materials and simple tools in the little shop. They

met every day at a conference table. To be sure, it was grandma's dinner table, but what better place can be found to discuss problems dispassionately? No one can get into a very heated argument when his mouth is full of pie.

"Then came the days of machinery, larger organization, and absentee management. Sometimes the superintendents were worthy successors of the old time employer. They were sympathetic, without being soft; strict disciplinarians, without being cranky. Others were impressed with the idea that they were hired to make money for the boss, so they emulated the tactics of the slave driver. Still others were easy going, altogether too much so. The men soon learned to take care of themselves under the new system. The slave driver found his production falling off, yet to save himself he could not catch anyone lying down on the job. The easy boss found himself being run over on all occasions, and the men in such shops, usually wound up by killing the business. The efficient superintendent got results, but his number was limited—very limited.

#### *Men, Materials, Machinery*

"In the early days, the employer had but two items to consider—Men and Materials. Now another 'M' has been added, for machinery has become a third link in the chain of production. With the proper co-ordination of these three 'm's' labor difficulties will cease. The trouble is that so many employers consider only Materials and Machinery. They forget the most important element, Men, or at best regard them as in the same class as Materials. You cannot have a successful conference and leave out the Men."

Here is how the plan works out in practice. A superintendent of a certain mill asked to have a Four L meeting called in the evening. Anxious to have as many as possible in attendance, he posted notices stating that any man who came would be paid for one hour's time. No one was obliged to come, and no black mark was placed against his record if he stayed away. On the other hand, he did not get that hour's pay if he failed to attend. At the end of the hour he was free to leave, for no pay would be granted for extra time spent at the hall. Yet he could remain as long as he liked. It was distinctly up to him.

The superintendent got his crowd, as he hoped. He had a few things he wanted to tell all the workers, and here was his chance. Among other things, he mentioned the high cost of oil and grease at the mill. He told them that it was costing nine cents per 1000 ft. B. M. for this one item, and he wanted their opinion as to whether or not this was an excessive cost. Then he turned to one of

the men and asked him to tell how he used his oil and grease in his part of the work. After this chap had explained his system, others were called upon, and a regular round table discussion was started. The hour passed by, but no one wanted to leave. (Too interesting. At the end of two hours solid discussion, the men themselves selected the best points from each system, and everyone agreed to try it out and see how it would work. Within a week, the cost of oil and grease per 1000 ft. B. M. had dropped from nine cents to a little less than five cents, and no bearings were allowed to go dry, either. The unnecessary waste had been eliminated.

#### *Improved Conditions*

The superintendent says that the money saving was the least advantage gained from that meeting. The next day when he went around the mill, men who had never glanced at him before now greeted him with a pleasant "Good Morning" and a cheerful smile. Heads and shoulders up, there was nothing servile in these greetings. It was man to man, with a pride in working for an organization where the "old man" would come in and ask the boys to help him solve his problems.

Other men, old timers with more experience than the superintendent, came to him with suggestions for increasing the output, or for improving certain conditions around the plant. Naturally, it was not possible to adopt all these suggestions at once, but it showed that a new esprit de corps had been developed in the organization. He had built up that intangible quality called morale, the most valuable asset any army can acquire, whether in war or in the equally important battles of industry.

Here is another example of how the Four L system works. A Washington mill was unable to get sufficient cars to handle its "cut," and the railroad company reported that it would be at least thirty days before a larger supply would be available. The Superintendent called a special meeting of all the men, both day and night shifts, and laid the facts before them.

He told them that they could see how the lumber was piling up in the yards, and he read them the letter he had received from the railroad company. He added that he could get barely enough cars to keep one shift going, but he did not want to lay off any of the men.

The men discussed the situation among themselves and then asked if it would be possible to move enough lumber so that both shifts might work four days a week. This was satisfactory to the management and mill ran under that agreement for about a month.

In the olden days, the first notice given



the men would have been a sign on a locked door stating that the mill was closed for an indefinite period owing to shortage of cars. Or the night shift would have been laid off, creating hard feelings among the men, who had been unceremoniously dumped out of a job, and restlessness among the men who were still on the pay roll. The Four Ls handle things better, with no hard feelings on either side. It pays to lay all the cards on the table.

#### *Ten Thousand Join*

Don't think that the four L's have been accepted with open arms by all the men, or by all the employers. Many mill owners object to any form of organization among their employees. They will have nothing to do with the system, at least, not yet. And many of the men prefer the older methods of the American Federation of Labor or the more radical I. W. W., and cast their lot with these associations. There are seventy thousand men working in the lumber sections of the Pacific Northwest, and only ten thousands have joined the Four Ls. About one thousand have affiliated with the A. F. of L., and no one knows how many carry the little red card of the I. W. W. But it is the Four Ls who have fixed working conditions in the mills and camps, and who have voted unanimously, both employers and workers, in favor of the eight hour day. The Four Ls are the controlling influence in the lumber industry, and they have attained this place without a single strike, or a lock-out.

One reason for the miraculous peace and harmony which has prevailed in this organization is the wisdom in its choice of officials. Someone had to be Chairman of the Board of Directors. Someone had to be Executive Secretary. Should one be selected from the ranks of the management and the other from the workers? If so, which should be which? Like most big problems, the solution was simple. They went completely outside their own ranks and selected two men, eminently fitted for the work, to fill both positions.

Norman F. Coleman, formerly professor at Reed College, Portland, Oregon, was chosen as chairman of the Board of Directors. He has no vote, but he has infinite tact, abounding patience, and the ability to convince both sides that he is absolutely neutral and impartial. His personal knowledge of the lumber industry is more academic than actual, but he knows men and that is the most important qualification for his position.

#### *Executive Secretary Qualified*

They used an almost uncanny judgment in the selection of W. C. Ruegnitz as Executive Secretary, for it would have

been impossible to get a better man. Educated as a civil engineer, he soon saw the error of his ways and went into contracting where he stayed until called to fill his present position with Four Ls. He had spent several years in the lumber industry, both in the logging and the manufacturing fields. He had served as employment representative for several big companies, so knows how to bring the right man in touch with the right job. Every Four L employer knows where he can get good men when he needs them, and every Four L worker knows that he need not pay the extortionate charges of a private agency to get a job at good wages, and under standard working conditions.

Why not start similar organizations in other fields of industry. We have employers associations, presided over by employers, and governed by employers. We have labor organizations, with labor presidents, labor delegates, and an exclusively labor membership. Both organizations meet, examine questions from their own particular angle, and then lock horns to fight it out. It is usually a question of endurance, with both sides losing in the long run, no matter who happens to win the particular skirmish. Yet both associations are made up of reasonable men who would be willing to give a courteous hearing to the other fellow if they had some common meeting ground. The Four L system provides this common ground.

Why not get together and try it out? No one can argue that it will not work, for it has worked for more than three years under conditions that were worse than anything to be encountered in other branches of industry. The Four L insure against both Herrin massacres and Harrison lynchings. Isn't it worth a trial?—*National Builders' Bulletin*.

#### OFFICE OF THE CITY SERVICE COMMISSION

7th Floor, City Hall

Milwaukee, Wis., January 4, 1924.

"Builders' Guide",  
Perry Building,  
Philadelphia Pa.,

Gentlemen:

The City Service Commission of Milwaukee has been asked by the Milwaukee School Board to search anywhere in the United States for qualified architects for two new positions known as Chief and Assistant Chief of a new Bureau known as Buildings and Grounds, the salary of the two positions, which must be full time service, being from \$6,000.00 to \$9,000.00 for the first and from \$4,000.00 to \$6,000.00 for the second.

The Milwaukee School Board has an immense school building program before it,

part of which is caused by lack of building during the war period and the time immediately following, and part by the normal increase of the city and the demand for new school buildings. They have been dependent for their architectural work on a local firm, Van Ryn & DeGelleke, the work being handled by this firm on a part time basis. The School Board has determined that, in order to meet the need of the large number of new buildings, they must have two full time architects, and have, therefore created this new bureau which will also include the necessary draftsmen, etc. It is estimated that within the next five years approximately \$6,000,000.00 will be spent on new construction.

On account of the need for the immediate securing of such men, competition in which candidates submit designs on some standard specification, will be dispensed with and candidates will be requested only to answer a questionnaire on training and experience and to submit samples of executed work. A competent examining board of architects will go over these questionnaires and the work submitted, and those persons who are considered properly qualified will be called together, either in Milwaukee or some other city centrally located for the candidates, for a personal interview.

No architect interested in these positions should hesitate to immediately send in to the City Service Commission for a formal application.

The City Service Commission will appreciate your calling the attention of any of your readers who are qualified and interested to these two vacancies.

Very truly yours,

M. H. PLACE,  
Secretary.

Albert Kelsey, Philadelphia, has been awarded a medal by the Twentieth International Congress of the Americas held at Rio Janeiro "in recognition of his work as an architect and in the interests of closer and more cordial relations between the Pan-American republics." The presentation was made through the United States National Museum.

You owe it to yourself to keep in touch with what is going on in the trade, and you can do this only by becoming a subscriber to and regular reader of your trade paper. If you are not a regular reader of the Builder's Guide you should be. The cost is not excessive. A five-spot insures it fifty-two times in the course of a year.

The man with an order to place doesn't hunt you up in the city directory these days. He hasn't the time. If he can't find you in your trade magazine he can and does find somebody else, and that somebody else books the order.



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Weil, J. H., Co. ....1315 Cherry St., Phila.

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Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Ketcham, O. W. ....121 N. 18th St., Phila.  
McHugh, J. J. ....1617 Race St., Phila.

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Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

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The Parkway at 24th St., Phila.

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The Van Sciver Corporation,  
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## CEMENT WORK.

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McDevitt, John F.....1403 N. 20th St., Phila.  
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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 4  
January 23, 1924

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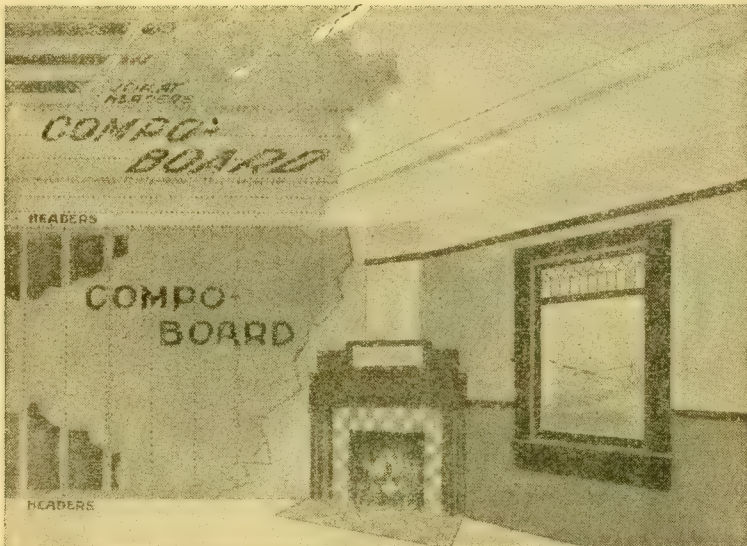
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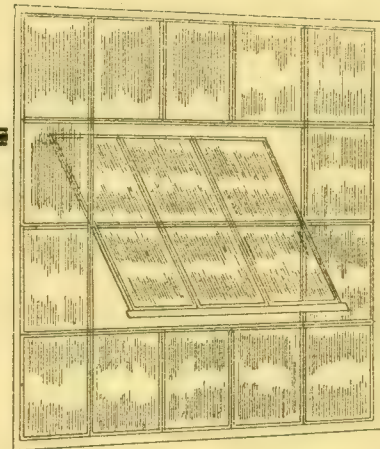
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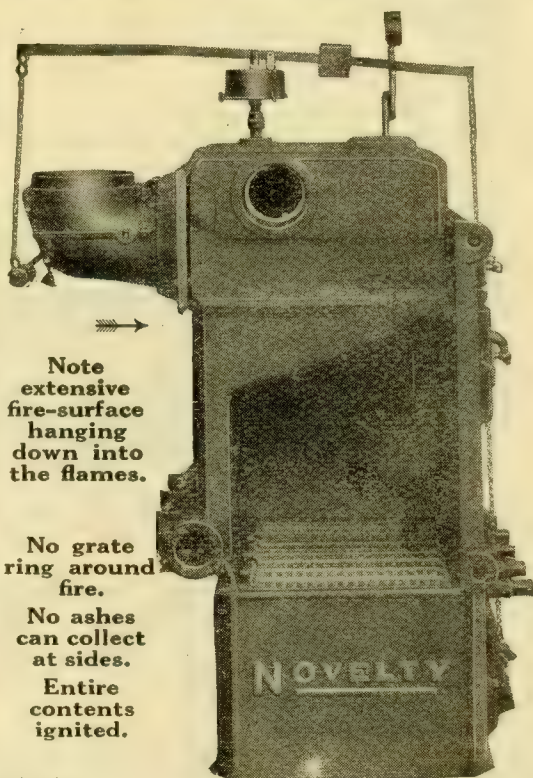
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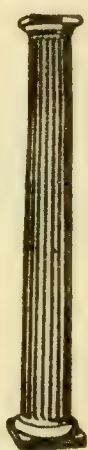
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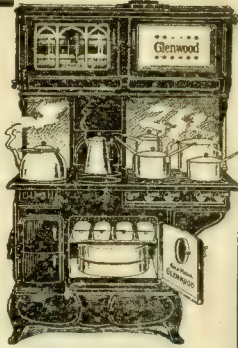


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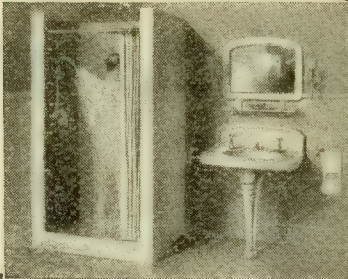
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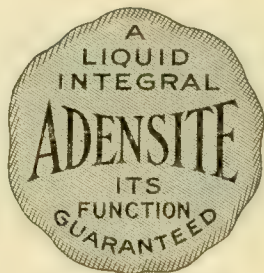
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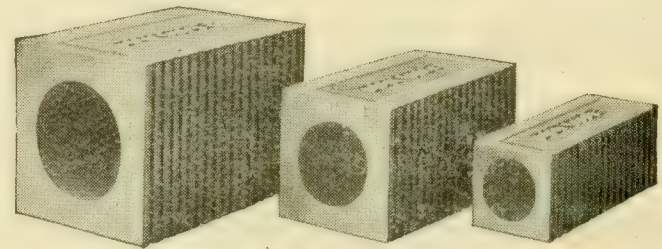
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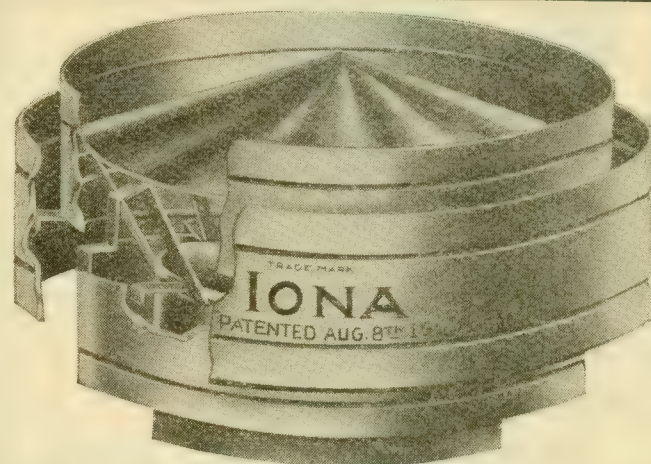
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 4

PHILADELPHIA  
January 23, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### SAFE CONSTRUCTION OF BUILT-IN GARAGES EXPLAINED BY DEPARTMENT OF COMMERCE

"Motorists who keep their cars in built-in garages, or garages attached directly to the side of their dwellings do not run an undue fire risk if they follow certain elementary precautions," states Mr. Ira H. Woolson, chairman of the Building Code Committee of the Department of Commerce, and consulting engineer of the National Board of Fire Underwriters, in an interview just given out. "We covered the subject of built-in garages for one and two-family houses quite thoroughly in the Recommended Minimum Requirements for Small Dwelling Construction that have just been published by the Department of Commerce," states Mr. Woolson, "and gave directions for constructing them safely, that can be followed by any competent builder.

"If a built-in garage is not properly constructed, it is a menace to life and property. Our investigations showed that if a fire does start in a single or two-car garage, it is not likely to be more severe than would be withstood by the construction classed as affording one hour fire resistance by the Bureau of Standards of the Commerce Department, the Fire Underwriters' Laboratories, and other authorities. It follows that with an incombustible floor, and the garage

separated from the rest of the building by unpierced partitions and ceiling that will meet the one hour fire test, there is no unreasonable fire hazard. Of course, the outside walls must be fire resistant too, and so must outside windows and the garage doors, in order to prevent flames from breaking out and spreading fire through windows, or to exterior wood work above. The code does permit, under stringent safeguards, a single swinging, self-closing fire door leading from the garage directly into the house, but we strongly advise that there shall be no opening whatever between the two. It is much safer to enter the garage from the outside."

For the sake of motorists and builders who desire complete directions, Mr. Woolson has prepared below a statement, giving the six rules from the code, together with the directions for carrying them out, as given in the appendix, with a few changes to simplify the working, which was a little more technical in the original in order to make the rules more practical to enforce. The rules are here arranged by Mr. Woolson "from the ground up" starting with floor construction, walls and partitions, then outside doors and windows, and dealing finally with the permissible case of a door directly between the garage and the dwelling.

Rule 1. Garage floors shall be of concrete or equally fire restrictive and impervious material.

For convenience in cleaning and to prevent dangerous accumulations of water, oil or grease, all parts of the floor should drain naturally.

Rule 2. Walls and partitions shall be built to meet the requirements of the standard one hour fire-test (mentioned above).

Many materials are acceptable under this rule, such as brick, hollow tile, concrete block, or gypsum block four inches thick; or reinforced concrete three inches thick. As a minimum requirement, walls may also be constructed of wooden studs spaced 16 inches center to center, with metal lath attached outside and inside. The outer lath is to be plastered and back-plastered with Portland cement stucco, and the inner lath plastered with  $\frac{3}{4}$  inch Portland cement or gypsum plaster. For interior partitions separating the garage from the rest of the dwelling,  $\frac{3}{4}$  inch Portland cement or gypsum plaster on metal lath, on both sides of studs spaced 16 inches apart, is satisfactory. The specifications for metal lath and plaster to be used are given fully in the Code Committee's Report.

Rule 3. The combined floor and ceiling construction directly above the garage shall be unpierced, and shall have a fire resistance of one hour. The same rule applies to the roof when the garage is attached to the side of the dwelling.

Ceilings or roofs of reinforced concrete, or some other type of incombustible

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tible construction that meets the fire test, are best and most reliable. In the case of true built-in garages, a good, inexpensive overhead construction is as follows:

Ordinary 2 inch or thicker floor joists may be used, spaced not more than 16 inches center to center, and properly bridged. The ceiling should be of heavy metal lath weighing not less than 3 pounds per square yard, and Portland cement or gypsum plaster not less than  $\frac{3}{4}$  inch thick. The metal lath is to be attached to the joists by sixpenny nails driven nearly home and the heads turned over against the lath, and is to be bent down 6 inches along the walls on all sides and securely attached to them. The flooring above the ceiling is to be double of  $\frac{7}{8}$  inch rough and finished floor boards, with a layer of asbestos or other high grade floor felt between.

Where the garage is attached to the side of a dwelling, an equivalent construction for the roof can easily be devised.

Rule 4. When a garage is located beneath a dwelling, all outside doors and windows with their frames and sash shall be of standard fireproof construction, and glazed with wired glass.

Only products approved by competent authorities should be used. A large variety of fire doors and windows have been tested and approved by the Underwriters' Laboratories, and are a standard commodity in the building material market. It is important that such devices should be installed in metal frames, and that the same hardware be used as that with which they were equipped when tested. If not, they may fail during a fire. Fire doors are made in both swinging and sliding types, and many of the former are as artistic as wooden doors. Wired glass glazing is required in all outside windows and doors to prevent flames from a fire in the garage from breaking through and endangering the structure or windows above.

Rule 5. Openings from a dwelling into a garage shall be restricted to a single doorway. This opening shall be protected by a standard swinging, self-closing fire door, with approved fire resistive frame and hardware. No glass shall be permitted in such a door.

A self-closing fire door is one that normally swings shut by a mechanical device. A swinging door is required because it fits closely into its frame and thereby prevents passage of heat and smoke when attacked by fire. Wired glass is not allowed in this door because it is liable to soften and sag from its fastenings at a temperature of about 1600 degrees Fahrenheit, which is a heat easily produced by burning gasoline or

oil. But, as stated above, it is better to have no opening in any of the partitions.

Rule 6. When a doorway connects directly with a cellar or basement on the same or lower level in which there is any heating device or gas fixture, the door sill shall be raised at least one foot above the garage floor level, or the doorway shall lead into a vestibule which connects with the cellar or basement by a second door.

This is to prevent fumes from gasoline which may leak or be spilled upon the floor from reaching a furnace fire or gas light that might be located in any lower portion of the building. It is well known that gasoline vapors are heavier than air, and will accumulate on a floor like water, and flow to any lower level, and if they come in contact with fire of any kind—even a spark—will ignite and flash back to the starting point, and cause an explosion. Hence the high door sill.

#### A NEW HOTEL IN YOUR TOWN IV. *Adapting the Hotel to the City's Needs*

A continuation of these practical, common sense discussions that are tracing the logical steps through which the new hotel should pass in order to properly safeguard its future.

BY W. L. STODDART  
*Architect*

*Reprinted Through the Courtesy of  
"Hotel Management"*

IN the foregoing article in this series I took up the question of the hotel's best site. Obviously, if the proprietors of the new establishment are interested in seeing it become a successful reality, the matter of the site is an extremely important one. But even if a hotel is built on the best available location, it will not succeed if it is not planned in such a way as to properly cater to the requirements of its patrons—and it is easily possible to plan a new hotel at the start in such a way as to meet the demands of its prospective guests. On the other hand, it is practically impossible to alter a fireproof building after construction. The cost of the alterations would be almost prohibitive. The seeking out of expert advice while the building is being planned will obviate such a condition, and in this way will frequently save many thousands of dollars. Furthermore, the directors should bear in mind their responsibilities as trustees for the stockholders, and do everything in their power to conserve the large investment that every modern hotel today represents.

Adapting a hotel to the requirements of any particular city is largely a question of properly analyzing that city's needs. Once these are determined, it is

(Continued on page 62)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Building**, Dock, between Walnut and Moravian streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Seamen's Church Institute, Second and Walnut streets, Philadelphia. Architect taking bids due February 5th.

**Plant (add.)**, Stenton avenue, Germantown, Philadelphia. Architect, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Atwater Kent Mfg. Works, 4937 Stenton avenue, Philadelphia. Architect taking bids due January 31st.

**Garage**, Northeast side Unity, below Griscom and Penn streets, Philadelphia. Architect, W. E. S. Dyer, Land Title Building, Philadelphia. Owners, Frankford Grocery Co., on premises. Brick and steel, 1 story, 99x67 feet, asphalt built-up roof, cement floors, plumbing, metal window guards, bond, ornamental iron work, rolled steel sash and skylights, metal lath. Architect taking bids due January 25th, 10 A. M.

**Residence and Store (alts. and add.)**, 5216 Locust street, \$2,500. Architect, private plans. Owner, John Harvey, on premises. Brick, 3 stories add., 15x16 feet, general alterations. Owner will build.

**Bank and Office Building (alts.)**, Southeast Corner Twenty-eighth and Earp streets. Architects, Stuckert & Co., 1420 Chestnut street, Philadelphia. Owners, Wharton Title & Trust Co., on premises. Concrete vaults (2), steam heat, electric light, tile work, bank fixtures. Architects will build and are taking sub-bids.

**Supplies**, Philadelphia. Owners, Fairmount Park Commissioners, 127 City Hall, Philadelphia. Lumber, brick, cement, hardware, paint, glass, cast iron, plumbers' supplies, stone, tin, settees, picnic tables, border iron, gardeners' supplies, terra cotta pipe, broken trap rock and screening, broken slag, sundries, tree guards, top soil and nursery stock, road oils, lubricating oils and grease. **Miscellaneous Work**, paving, cut granite, curbing, vitrified and slag blocks, cleaning wells, granolithic and asphalt pavement, surface treatment, road and construction and erection of guard boxes. Owners taking bids due January 29th at noon.

**Sewers, etc.**, Philadelphia. Owners, Depart-

ment of Public Works, Bureau of City Property, 216 City Hall. Test boring for sewers and bridges. Owner taking bids due January 29th at noon, 216 City Hall.

**Bungalow**, near City Line, Montgomery County, Pa. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Jennaro Schabo, 1311 McKean street, Philadelphia. Frame and stucco, 1½ stories, 26x42 feet, asbestos shingle roof, pine floors, hot water heat, electric light. Plans completed. Architect and owner taking sub-bids.

**Store and Storage Houses (2)**, Tenth and Christian streets, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Anthony Fiumario, 902 South Tenth street, Philadelphia. Brick, 3 stories, 38x32 feet, slag roof, pine floors, electric light, metal bulks, plate glass. Plans in progress.

**Residence and Garage (2)**, Sedgwick avenue, Germantown, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, name withheld. Brick, stone, concrete block, plastered, 2 stories, 32x39 feet, 1 story, 10x16 feet, slate roof, hardwood, linoleum, composition cement floors, electric light, hot water heat, tile work. Architect ready for bids in 10 days.

**Building (alts.)**, Northeast Corner Eighteenth and Vine streets, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, Dr. J. Clarence Fitch, care of architect. Carpentry and mill work, brick work, plastering, painting and glazing, tile and marble work (heating, electric and plumbing reserved). Architect taking bids due January 25th.

**Residence (alt. and add. to 6 apartments)**, 5528 Wayne avenue, Philadelphia. Architects, R. R. Neely and E. W. Martin, 2301 Spruce street, Philadelphia. Owner, name withheld. General alterations, steam heat, electric light, tile work, hardwood and composition floors, incinerators. Plans in progress.

**Factory**, 312-316 New street, Philadelphia. Architect, Herman H. Kline, Bulletin Building, Philadelphia. Owners, J. Kopperman & Son, 309 Florist street, Philadelphia. Concrete and steel, slow burning, 3 stories, 55x84 feet, slag roof, plank floors, steam heat, electric lighting. Plans in progress.

**Office Building (alts. and add.)**, Southeast

Corner Eighth and Chestnut streets, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 4 stories, 22x98 feet, slag roof, metal lath, hot water heat, electric light, marble work, demolition, hollow metal skylights, bond, metal bulks, terra cotta, metal ceilings, metal lath. Plans in progress.

**Alterations and Additions**, 2945 Diamond street, Philadelphia. Architect and engineer, M. M. Bonnin, Northeast Corner Eighth and Porter streets, Philadelphia. Owner, name withheld. New metal bulk front, slag roof, pine floors, carpentry and mill work, painting and glazing, plastering, cement work, plate glass, marble work, electric light. Architect taking sub-bids due as soon as possible.

**Residences (52)**, Cresheim Road, Weideman and Idell street, Philadelphia. Architects, MacKenzie & Wiley, Liberty Building, Philadelphia. Owner, Eugene Tourison, Jr., 1310 Arch street, Philadelphia. Stone, brick and stucco, 2 stories, 20x30 feet, slag and slate roof, hardwood floors, tile work, hot water heat, electric light, garages in basement. Owner ready for sub-bids.

**Hospital (alts. and add.)**, Allegheny and Tulip street, Philadelphia. Architect, Edward Yeo, 225 Sydenham street, Philadelphia. Owners, Northeastern Hospital, on premises. Brick, concrete and steel, 3 stories and basement, 40x45 feet, slag roof, cement floors, safety treads, iron work, bond, rolled steel sash, tile and marble and terrazzo work, metal lath. Architect will take new bids in one week.

**Synagogue**, Forty-first and Viola streets, Philadelphia. Architect, Abraham Levy, 1208 Real Estate Trust Building, Philadelphia. Owners, Tikvas Israel Congregations, on premises. Brick, steel, artificial stone, granite, 2 stories, 57x112 feet, steam heat, electric light, tile and marble work, oil burning equipment, slag roof, maple floors, mill work, leaded glass, art cement, sheet metal work. Architect will be ready for general bids in a few days.

**Stores (4)**, **Residences (43)**, Eleventh, between Olney and Chew streets, Philadelphia. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owners, Zerbey & Holloway, 4713 North Broad street, Philadelphia. Brick, 2 stories, 47x16 feet, 40x16 feet, slag and tile roof, pine floors, hot water heat, electric light, tile work, copper bars, leaded glass, flush bulks. Owners taking sub-bids.

**Garage and Service Station**, 4648-50 Umbria street, Manayunk, Philadelphia. Architect, Frank V. Nickels, 15 South Twenty-first street, Philadelphia. Owner, Howard F. Righter, on premises. Brick, stone, concrete, steel, stucco, 1 and 2 stories, 50¾x91½ feet, slag roof, cement floors, steam heat, electric light, plumbing. Owner ready for general bids.

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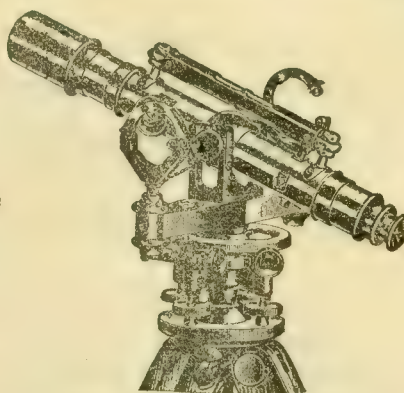
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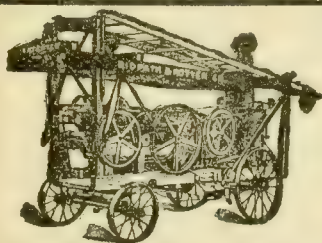
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**Store (alts. and add.),** 234 South street, Philadelphia. Architect, Edwin A. Roth, Drexel Building, Philadelphia. Owner, D. Rosenfeld, on premises. Brick, 2 story rear addition, 15x20 feet, new front, marble and plate glass, slag roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress. Architect will take bids in 10 days.

**Office Building and Shop,** 1239 North Front street, Philadelphia. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Herman Mayer Co., Inc., 105 Walnut street, Philadelphia. Brick, 2 stories, 20x100 feet, slag-roof, hardwood, pine and concrete floors, steel heat, electric light. Plans about completed. Architect will be ready for bids in one week.

**Bank Building (alts.),** Fifty-second and Ludlow streets, Philadelphia. Architect, H. Child Hodgins, 130 South Fifteenth street, Philadelphia. Owners, Bank & Trust Co. of West Philadelphia, on premises. Brick, steel, concrete, cut stone, 1 story and mezzanine, 66x50 feet, steam heat, metal lath, hollow metal sash, kalamein doors, bonds, ornamental iron work, shoring, ornamental plaster, painting and glazing, elevators, hollow tile, cement and maple floors (banking fixtures, including glass, glazing, steel phone booths, steel coat closets, steel elevator enclosures, steel shelving, steel wainscoting, steel partitions, wire cages, radiator grills, all marble work, including terra cotta backing, counters and fronts, tile floors and electric work separate bids.) Architect taking bids due January 29th.

**Apartment House,** West Philadelphia. Architect, private plans. Owner, William Conway, 5800 Walnut street, Philadelphia. Brick, steel, 3 stories, 75x100 feet, steam or hot water heat, electric light, metal lath, tile work, slag roof, oak floors. Contract awarded Herbert Conway, 5800 Walnut street, who is taking sub-bids.

**Residence and Garage,** South side Chester, East of Eighth street, Philadelphia. Architect, Eugene A. Stopper, 10 South Eighteenth street, Philadelphia. Owner, George W. Keller, 305 East Upsal street, Philadelphia. Stone and stucco, 2½ stories, 38x35 feet, 1 story, 20x22 feet, tile roof, hardwood and cement floors, hot water heat, electric light, tile baths (2), steel window sash, gas range. Architect will be ready for bids in two weeks.

**Building (alts.),** 3403 Walnut street, Philadelphia. Architect, C. H. North, 1709 Sansom street, Philadelphia. Owner, J. Orville Patterson, care of architect. New store front, stone, 1 pipe steam heat, plumbing, plate glass, electric wiring and fixtures, flush bulks. Architect taking bids due as soon as possible.

**Alterations and Additions,** Southwest Cor-

ner Germantown avenue and Berks street. Architects, Bissell & Sinkler, 1520 Locust street, Philadelphia. Owners, United Security Life Insurance & Trust Co., 605 Chestnut street, Philadelphia. Brick work, concrete and cement, cut stone, marble tile, terrazzo, steel and iron work, carpentry and mill work, painting and glazing, plumbing, metal lath, plastering, limestone, bond. Architects taking bids.

**Apartment Houses (3),** City avenue and Bryn Mawr avenue, Philadelphia. Architects, Hoffman Henon, Finance Building, Philadelphia. Owner, I. Fink, Land Title Building, Philadelphia. Brick, stone, steel, terra cotta, 4 stories and basement, 104x47 feet each, steam heat, electric light, tile and marble work, slag roof, hardwood and composition floors. Architects taking revised sub-bids due January 25th.

**Delaware River Bridges Approaches Piers,** Contracts 11 and 12. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract 11, Philadelphia approach, Front and Fourth streets, Philadelphia. Contract 12, Camden approach pier, West of Delaware avenue and Third street, Camden. Foundations for piers will in general be spread footings, on firm gravel in open excavations where satisfactory foundations cannot be secured on spread footings reinforced concrete piles will be driven. Owners taking bids due February 13th, at 2 P. M.

**Concrete Trestle,** Port Richmond at Pier, 13 feet off Huntingdon street, Philadelphia. Architect, Samuel T. Wagner, Reading Terminal, Philadelphia. Owners, Philadelphia & Reading R. R., Reading Terminal, Philadelphia. Reinforced concrete, asphalt mastic paving, 354 feet long, 23 feet wide. Architect taking bids due January 25th.

**Warehouse,** Griseom and Unity streets, Philadelphia. Architect, W. E. Dyer, Land Title Building, Philadelphia. Owners, Frankford Grocery Co., G. A. Sdgar, Penn and Unity streets, Philadelphia. Reinforced concrete, brick, 4 stories, 40x90 feet, slag roof, cement floors. Architect taking bids.

**Federal Sub-Station (alts. and add.),** Sixth and Federal streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., W. C. L. Eglen, Tenth and Chestnut street. Brick, cut stone, steel, 2 stories and basement, 57x59 feet (electric work reserved), steam heat, slag roof, cement floors, plumbing, rolled steel sash and skylights, bond, floor hardener, ornamental iron work, waterproofing. Owners taking bids due January 29th.

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cials, lay water pipes. Owners taking bids due January 29th at noon, Room 216.

**Store (alts. and add.),** 621 North Fifty-second street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Lewis A. D'Alessandro, on premises. Terra cotta front, front and rear additions, brick, 2 stories, slag roof, pine floors, hot water heat, electric light, tile work, plumbing, metal ceilings, metal bulks. Architect taking bids due as soon as possible.

**Apartment House (alts.),** 4615 Springfield avenue, Philadelphia. Architect, Oliver Randolph Parry, 1524 Sansom street, Philadelphia. Owner, Arthur Freeston, care of architect. Carpentry and mill work, plastering, tile work, painting and glazing, electric work, plumbing, heating repairs. Architect taking bids.

**Residence,** Bellmill Road, Philadelphia. Architects, H. Child Hodens & Hill, 130 South Fifteenth street, Philadelphia. Owner, S. E. Swope, care of Chelton Electric Co., Stenton and Rockland streets, Philadelphia. Stone, 2½ stories, 39x36 feet. Owner taking bids.

**Apartment Houses (3),** Forty-second street, North of Baltimore avenue, \$120,000. Architect, Herbert Goddard, 1524 Chestnut street, Philadelphia. Owners, T. J. & J. R. Whelan. Seventeenth and Summer streets, Philadelphia. Brick, 3 stories, 30x77 feet, slag roof, hardwood and pine floors, steam heat, electric light, tile work. Owners will build.

**Residences (12),** (6) North side Allengrove street, East of Rutland, and (6) North side Pratt street, West of Rutland, \$7,500 each. Owners, J. D. Fotheringham, 1000 Arrott street, Philadelphia. Brick, 2 stories, 16 feet, 4 inches x 58 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residence,** South side Midvale avenue, East of Fox street, Philadelphia, \$15,000. Architect, private plans. Owner, C. Kiely, 511 East Penn street, Philadelphia. Stone, 3 stories, 18x50 feet, and 2 stories, 8x25 feet, 6 inches, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences and Garages (2),** Moreland avenue, West of Devon street, \$13,000. Architects, private plans. Owners, Philadelphia Tile & Mosaic Co., 184 East Willow Grove avenue. Brick, 3 stories, 18x36 feet, slate roof, hardwood and pine floors, hot water heat, electric light, garages, 1 story, 12x20 feet, cement floors. Owners will build.

**Residences (2),** West side Montour street, North of St. Vincent street, \$10,000. Architect, private plans. Owner, Henry Kuhn, 1223 Cottman street, Philadelphia. Brick, 2 stories, 16x55 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (7),** Barnes and Borbeck streets, Philadelphia, \$5,000 each. Architect, private plans. Owner, G. Weber, Southeast Corner Lawndale avenue and St. Vincent street. Frame, 2 stories, 24x40 feet, electric light,

hardwood and pine floors. Owner will build.

**Residence,** North side Midvale avenue, West of Fox street, \$15,000. Owners, Johnson & Talley, Room 11, Post Office Building, Germantown, Philadelphia. Stone, 3 stories, 27x40 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Store and Residence (1), Residences (10),** Sixteenth street and Sixty-eighth avenue, \$70,000. Owner, George Schwingle, 5th and Lycoming Sts. Brick, 3 stories, 20x36 feet, (5) 2 stories, 20x36 feet, and (5) 2 stories, 10x34 feet, 13x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (25),** Twentieth and Church Lane, Philadelphia. Architect, private plans. Owner, E. P. Stahl, 5209 North Third street, Philadelphia. Brick, 2 stories, 16 feet, 4 inches x 32 feet, slag roof, hardwood floors, hot water heat, electric light. Owner taking sub-bids.

**Synagogue and Community Building,** Thirty-third, between Diamond and Susquehanna avenue. Architect, Sugarman, Hess & Berge, 16 East Forty-third street, New York. Owners, Buai Heshurum Congregation, on premises. New plans completed. Architect ready for new bids.

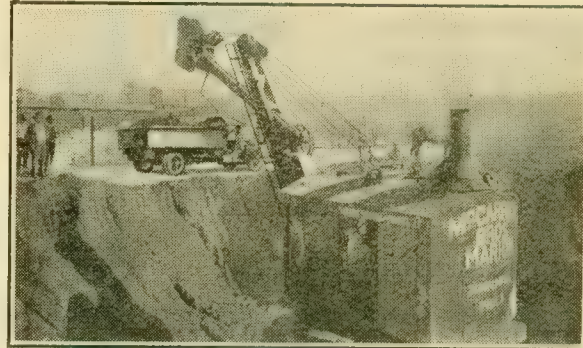
**Residence,** 7444 Oxford avenue, Philadelphia, \$9,200. Architect, private plans. Owner, Henry J. Tunstall, 1006 Cottman street, Philadelphia. Brick, 3 stories, 38x32 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (6),** East side Shelbourne street, South of Princeton avenue, \$5,200 each. Architect, private plans. Owners, Messinger & Trumboldt, 4917 North Eighth street, Philadelphia. Brick, 2 stories, 14x37 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2),** West side Rockwell avenue, North of Bleigh street, \$5,000. Architect, private plans. Owner, John H. Bauer, 4938 North Fairhill street, Philadelphia. Brick, 2 stories, 141 feet, 4 inches x 40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence and Store (add.),** 5227 Chestnut street, Philadelphia, \$3,500. Architect, private plans. Owner, Dennis Dunn, 6109 Cobb's Creek Parkway, Philadelphia. Brick, 2 stories add., 16x18 feet, 2 stories add., 13x20 feet, general alterations. Owner will build.

**Garage,** West side Cemetery Lane, North of Chester avenue, \$7,000. Architect, private plans. Owners, Woodland Const. Co., 5925 Woodland avenue, Philadelphia. Brick, 1 story, 30x18x62 feet, cement floors. Owners will build.



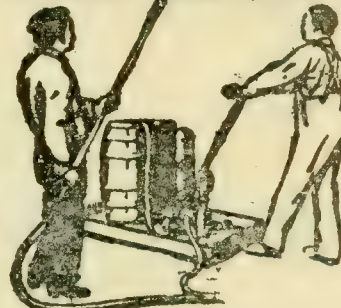
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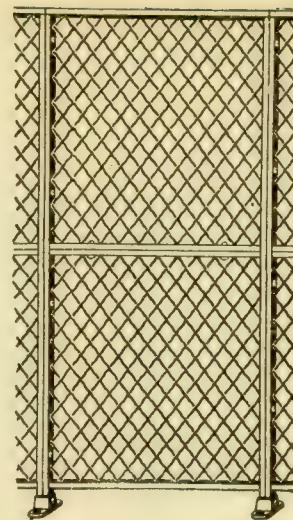
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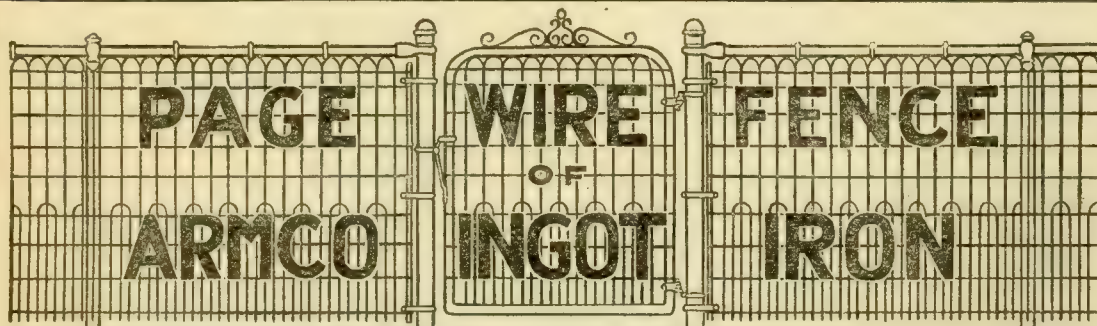


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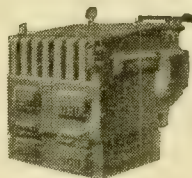
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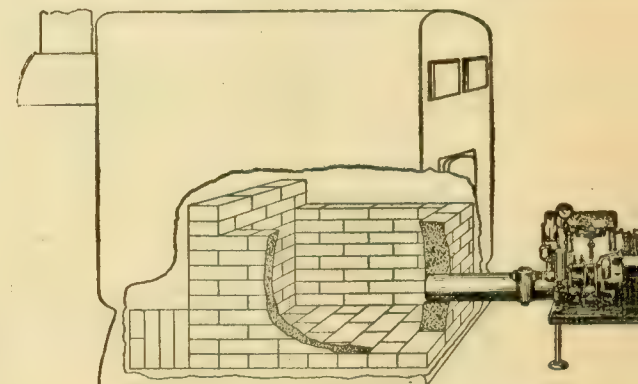
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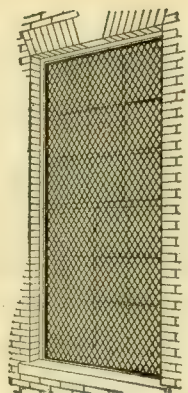


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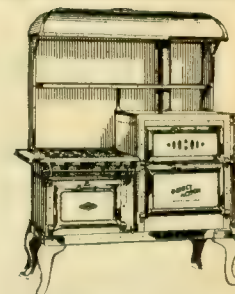
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**Residences (2)**, South side Cheltenham avenue, West of Weymouth, \$5,000 each. Architect, private plans. Owner, Thomas M. Keeley, 4411 Germantown avenue, Philadelphia. Frame, 2 stories, 25 feet, 6 inches x 36 feet, shingle roof, hardwood and pine floors, electric lighting, hot water heating. Owner will build.

**Residence (add.)**, 215 Mountain street, Phil-

adelphia, \$2,000. Owner, C. Di Gregoria, 1011 Carpenter street, Philadelphia. Brick, 2 stories add., 15x12 feet, 12x13 feet. Owner will build.

**Store and Residence (alts.)**, 16 North Fifty-second street, Philadelphia, \$2,500. Architect, private plans. Owner, M. Goodstein, 1702 Point Breeze avenue, Philadelphia. General alterations. Owner will build.

lication, Nineteenth street above Chestnut street. Reinforced concrete, brick work, waterproofing, iron work, composition roof, carpentry, mill work, hardware (plumbing, heating, electric work separate bids), bond. Contract awarded to William Langhorne Co., 304 South Fiftieth street, Philadelphia.

**Residence (alt. and add.)**, Willow Grove avenue, West of Stenton avenue, \$16,000. Architect, R. R. McGoodwin, 1600 Walnut street, Philadelphia. Owner, Mrs. H. P. McKean, on premises. Brick, 2 stories, 20x4 feet, 2 stories, 11x18 feet, 2 stories, 14x35 feet, 1 story, 14x18 feet, slag roof, hot water heat, electric light, oak and pine. Contract awarded J. S. Cornell & Son, 1412 Morris Building, Philadelphia.

**Factory**, Eighteenth and Indiana avenue, Philadelphia, \$20,000. Architect, private plans. Owner, Martin H. Walrath, Sixteenth and Indiana avenue, Philadelphia. Brick and steel, 1 story, 62x159 feet, slag roof, cement floors, steam heat, electric work. Contract awarded Farrell Roth, 1624 Sansom street, Philadelphia.

**Alterations and Additions**, 127 North Eleventh street, Philadelphia. Architect, Paul Livingstone Boyd, 6943 Limekiln Pike, Philadelphia. Owner, William A. Lechler, 3705 Germantown avenue, Philadelphia. Brick and stone, 4 stories, 18x90 feet, slag roof, hot water heat, electric light, glazed steel sash, sheet metal skylights. Contract awarded George A. Boyd, 5701 North Sixth street, Philadelphia.

**Warehouse**, 816 Wood street, Philadelphia, \$20,000. Architect, W. A. Toperzer, 4345 Lauriston street, Philadelphia. Owner, Joseph A. Wurster, 817 Vine street, Philadelphia. Brick, 3 stories, 18x75 feet, slag roof, electric work. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Garage**, North side Lindley avenue, West of Forty-fifth street, Philadelphia, \$18,000.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Residence (alts. and add.)**, Eleventh and Cheltenham avenue, Philadelphia. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, Morris Gross, 1233 Market street, Philadelphia. Brick, concrete, cement, slag roof, limestone, carpentry and mill work oak floors, metal weather strips, cork tile, plastering, metal lath, steel and iron work, tile and marble. Contract awarded Roy Randall, Jenkintown, Pa.

**Bins (5)**, West side Oxford Pike, South of Borbeck street, \$10,000. Architect, private plans. Owner, H. P. Boone, 3330 North Front street. Stone, 45 feet high, 18x18 feet. Contract awarded to Fanning-Schuett Eng. Co., Third and Cayuga streets.

**Building**, Broad street, 175 feet North of Columbia avenue, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Lionel Freidman, care

of architect. Brick, cut stone, 2 stories, 85x72 feet, slag roof, concrete and pine floors, steam heat, electric light, metal rolled steel sash, galvanized iron skylights, bond, metal stairs, ornamental iron work, roof, ventilators. Contract awarded Kober Const. Co., 34 South Seventeenth street, Philadelphia.

**Store and Apartment (alts. and add.)**, 5236 Walnut street, Philadelphia. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, David Duszian, care of architect. Brick, 2 stories, front and rear addition, 16x30 feet each, hot water heat, electric light, slag roof, hardwood and pine floors, tile work, plumbing, copper bars, plate glass. Contract awarded Harry Devlet, Sixtieth and Walnut streets, Philadelphia.

**Blaine School (add.)**, Southwest Corner Thirtieth and Norris streets, \$20,494. Architect, private plans. Owners, Board of Edu-

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Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owners, Willig & Kratzack, Lincoln Building, Philadelphia. Brick, 1 story, 70 feet, 6 inches x 109 feet, slag roof, cement floors. Contract awarded to Federal Const. & Eng. Co., 1240 Reed street.

**Workshop**, East side Hutchinson street, South of Tioga street, \$15,000. Architect, William H. Wooters, 816 West Allegheny avenue, Philadelphia. Owners, F. Snedaker & Co., Ninth and Tioga streets, Philadelphia. Brick, 2 stories, 58x74 feet and 42x57 feet, slag roof, electric work. Contract awarded to H. E. Sweger, 4435 North Uber street, Philadelphia.

**Garage**, Southwest Corner Race and Alden streets, Philadelphia, \$15,000. Architect, private plans. Owner, Daniel W. Simkins, 834 Land Title Building, Philadelphia. Brick, 1 story, 60x102 feet, slag roof, cement floors. Contract awarded to Frank I. Wintz, 1610 North Twenty-seventh street, Philadelphia.

**Garage**, 5044 Westminister avenue, Philadelphia, \$13,000. Architect, private plans. Owner, J. Nullville, 22 North Fifty-second street, Philadelphia. Brick, 1 story, 112x50 feet, and second story, 13x70 feet, slag roof. Contract awarded to Felix Claro Co., 1700 Morris Building, Philadelphia.

**Bank Building**, Unity street and Frankford avenue, Philadelphia. Architects, Stearns & Woodnutt, Stephen Girard Building, Philadelphia. Owners, Frankford Trust Co., 4344 Frankford avenue, Philadelphia. Brick, cut stone, steel, 1 story and mezzanine and third floor, 114x70 feet, built-up asbestos, cement, pine, cork, tile floors, hollow tile, metal lath, tile, marble and terrazzo work, bond (plumbing, heating and ventilating, dampproofing and dumb waiters reserver). Contract awarded F. V. Warren, 1913 Arch street, Philadelphia. Plumbing, J. A. Quinn, 4324 Paul street, Philadelphia.

**Building (alts. and add.)**, 144 North Sixteenth street, Philadelphia. Architect, private plans. Owner, Charles Weissinger, 145 North Sixteenth street, Philadelphia. General alterations and additions. Contract awarded Hood & Gross, 1613 Chestnut street, Philadelphia.

**Store and Residence (alts. and add.)**, Northwest Corner Sixtieth and Walton avenue, Philadelphia, \$10,000. Architect, private plans. Owner, L. Smuckler, 1609 North Thirty-third street, Philadelphia. Brick, 1 story add., 31 feet, 6 inches x 8 feet, general alterations. Contract awarded to M. A. Greene, 1607 North Thirteenth street, Philadelphia.

**Manufacturing Building (alts.)**, 216-34

Lombard street, \$9,000. Architect, William H. Timm, Perry Building, Philadelphia. Owners, Abbott's Alderney Dairies, on premises. General alterations, carpentry, mill work, cement work, brick work. Contract awarded to W. O. Springer, 2004 Naudain street, Philadelphia.

**Residence**, 215 Clarkson avenue, Philadelphia, \$7,000. Architect, private plans. Owner, Theresa G. Massart, 213 Clarkson avenue, Philadelphia. Brick, 2 stories, 20x30 feet, slag roof, hardwood and pine floors, electric lighting. Contract awarded to Fred Peccan, 5507 North Fairhill street, Philadelphia.

**Building (alts. and add.)**, 1501 West Susquehanna avenue, \$6,000. Architect, private plans. Owner, H. Love, on premises. Brick, 3 stories, 15x14 feet, and 3 stories, 3x28 feet, general alterations. Contract awarded to M. Burner, 2415 North Natrona street, Philadelphia.

**Garage (add.)**, rear 3971 Kensington avenue, Philadelphia, \$6,500. **Stores (2)**, 3973-75 Kensington avenue, Philadelphia, \$2,500. Architect, private plans. Owner, John P. McGarvey, 601 Erie avenue, Philadelphia. Brick (garage), 1 story, 17x56 feet and 23x16 feet, and (stores) 1 story, 14x25 feet each, slag roof, pine floors, electric light, cement floors. Contract awarded to A. E. Barnes Co., 2044 East Clementine street.

**Residences (2)**, North side Arendel avenue, East of Jackson street, \$3,500 each. Architect, private plans. Owner, Blanche Guether, care of builder. Frame, 2 stories, 14x28 feet, and 1 story, 14x10 feet, hot air heat, electric lighting. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Residence (add.)**, 3941 North Sixth street, Philadelphia, \$3,000. Architect, private plans. Owner, N. De Giorum, on premises. Brick, 2 stories add., 16x14 feet. Contract awarded to Larry Costello, 1915 Spruce street, Philadelphia.

**Store and Apartment (alts. and add.)**, 1815 North Thirty-first street, \$2,700. Architect, private plans. Owner, S. Levin, on premises. Brick, 2 stories add., 12x22 feet, 9 inches, general alterations. Contract awarded to A. Barsky, 3275 Arlington street, Philadelphia.

**Store and Residence (add.)**, 2302 South Seventh street, Philadelphia, \$2,500. Architect, private plans. Owner, J. Stein, on premises. Brick, 1 story add., 12x17 feet. Contract awarded to M. Knosen & Son, 3955 Pennsgrove street, Philadelphia.

**Office and Storage House (alts.)**, 10 South Front street, \$2,500. Owners, Brecht, Hayes

Co., on premises. General alterations. Contract awarded to Herbert G. Campion, 112 South Sixteenth street.

**Workshop**, 2129-31 North Fifth street, Philadelphia, \$2,300. Architect, private plans. Owner, Andrew Kiss, 1029 West Nevada street, Philadelphia. Brick, 1 story, 32x31 feet, slag roof. Contract awarded to Joseph Matz, 2921 Cambridge street, Philadelphia.

**Tenement (alts.)**, 1613 Columbia avenue, Philadelphia, \$2,500. Architect, private plans. Owner, A. E. Bechtel, 1514 Diamond street, Philadelphia. General alterations. Contract awarded to Basch & Co., Ruan and Tackawanna streets, Philadelphia.

**Ice Manufacturing Building (alts.)**, 4160 Wayne avenue, \$2,500. Architect, private plans. Owners, Midvale Ice Co., on premises. General alterations. Contract awarded to E. R. Hall, 34 South Seventeenth street, Philadelphia.

**Coal Conveyer**, Southwest Corner Tasker and Meadow streets, Philadelphia, \$2,200. Owners, W. J. McCahan Co., on premises. Iron. Contract awarded to U. G. I. Const. Co., Broad and Arch streets, Philadelphia.

**Shop**, 4514 Edgemont street, Philadelphia, \$2,100. Architect, private plans. Owner, S. Flerkonski, 4510 Edgemont street, Philadelphia. Brick, 1 story, 16x28 feet, slag roof, pine floors. Contract awarded to S. Pietrykowski, 3416 Richmond street, Philadelphia.

**Store and Residence (alts. and add.)**, 707 South street, \$12,000. Architect, private plans. Owner, J. Munster, on premises. Brick, 3 stories add., 15x28 feet, general alterations. Contract awarded to M. Brenner, 2034 South Fifth street, Philadelphia.

**Garage**, 213-215 Clarkson avenue, Philadelphia, \$8,000. Architect, private plans. Owner, Theresa G. Massart, 213 Clarkson avenue, Philadelphia. Brick, 1 story, 45x49 feet, 11 inches, slag roof, cement floors. Contract awarded to Fred Peccan, 5507 North Fairhill street, Philadelphia.

Man and the giraffe are the only two living things that can't swim naturally. Throw a day-old kitten into the Mississippi and it will paddle its way to shore. The giraffe can't swim because he's not built that way. Man can't swim, just because he is afraid. The chances are that the reason you are not in the swim—financially or otherwise—is because you are afraid.—Glen Buck.

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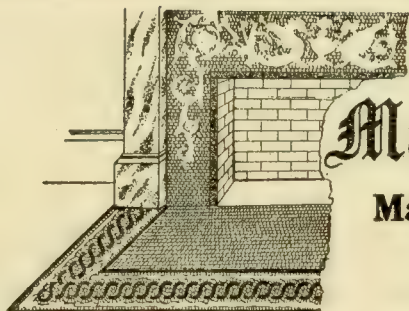
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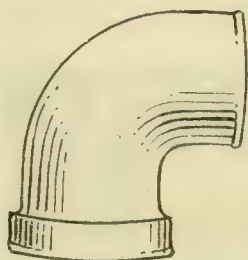
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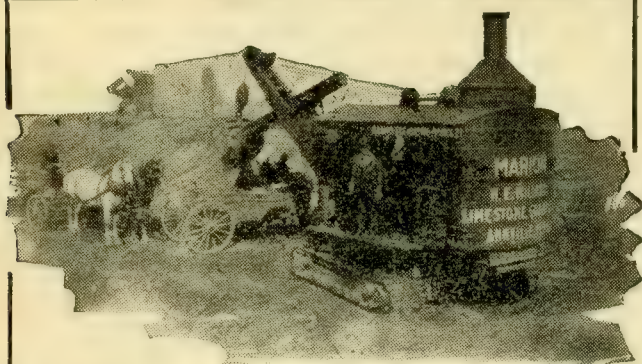
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## PENNSYLVANIA

# Construction News

**Bakery**, Seventeenth and Brookwood streets, Harrisburg, Pa. Architect, A. B. Kister, 424 North Nineteenth street, Philadelphia. Owners, American Stores Co., 424 North Nineteenth street, Philadelphia. Brick, reinforced concrete and steel, 1 and 2 stories, 75x150 feet, slag roof, cement, tile and mineral floors, hollow tile, waterproofing, bond, ornamental iron work, fire doors, rolled steel sash (electric, heating and plumbing, elevators, refrigerators, ice machines reserved). Architect taking bids due January 26th.

**School**, Lancaster, Pa. Architect, C. Emlen Urban, Lancaster, Pa. Owners, Lancaster City School District, Lancaster, Pa. Brick, granite, caststone, limestone 3 stories and basement 210x39 feet (plumbing, heating, electric reserved), wing 70x42 feet, wing 48x93 feet, slag roof, cement and pine floors, hollow tile, metal lath, tile and marble work, galvanized iron skylights, bond, ornamental iron work and stairs, waterproofing, terra cotta. Owner taking bids February 7th.

**New High School**, Palmerton, Carbon County, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Board of Education, Borough of Palmerton, T. J. Keinerner, secretary, Palmerton, Pa. Low bidders: J. Y. Loux, Fifteenth and Hunting Park avenue, Philadelphia, 224,480. Heating, B. G. Carpenter Heating Co., Wilkes-Barre, Pa., \$32,500.

**Apartment House**, Lancaster Pike, near Ardmore, Pa. Architect, William Macy Stanton. Engineer, Stanley P. Stewart, 1524 Chestnut street. Owner, name withheld. Brick, 3 stories, 60x19 feet, irregular, slag roof, hardwood floors, probably vapor heat, electric light, tile work, refrigerator system, incinerator. Plans in progress.

**Stores and Apartment (2)**, Lansdowne, Pa. Architect, William Macy Stanton, 1524 Chestnut street, Philadelphia. Owner, name withheld. Brick, 2 stories, 42x50 feet, hot water heat, electric light, slag roof, pine floors, metal bars, plate glass. Plans in progress.

**High School**, Hazleton, Pa., \$800,000. Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owners, Hazleton School Board, D. T. Evans, secretary, Hazleton, Pa. Brick, fireproof, 2 stories and basement. Architects selected.

**Residence and Garage**, Pottsville, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owner, G. H. Kaercher, Thompson Building, Pottsville, Pa. Hollow tile and stucco, 2½ stories, 42x42 feet, vapor heat, tile work, electric light, slate roof, hardwood floors. Plans in progress.

**Hotel (alts.)**, Gettysburg, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Gettysburg Hotel, Gettysburg, Pa. New marquee, mill work, interior alterations, hardwood and tile floors, electric light, plate glass, passenger elevators, ornamental plastering. Plans in progress.

**Convent (alts. and add.)**, Twelfth street, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Mary's Polish Church, care of architects.

Brick, third floor add., 40x60 feet, slate roof, pine floors, tile work, heating extension, electric light. Preliminary plans.

**Church and Rectory (add.)**, School (alts.), Catasauqua, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, Rev. Henry I. Connor, Catasauqua, Pa. Brick, 3 stories. Preliminary plans in progress.

**Apartment (alts. and add.)**, 117 Winsor street, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, N. K. Simmons, care of architect. Brick, 3 stories, tin roof, electric light, tile work, partition work, general interior alterations. Plans in progress.

**Residence (alts.) to Apartment**, 127 Spring street, Reading. Architect, Calvin Young, 226 North Sixth street, Reading, Pa. Owner, Mrs. A. S. Potteiger, on premises. Brick, 2 stories, 37x17 feet, tile roof, pine floors, steam heat, electric light. Plans in progress.

**Church**, Kingston, Pa. Architect, T. H. Hamilton, Patriot Building, Harrisburg, Pa. Owners, Church of Christ, C. H. Freck, Kingston, Pa. Brick, stone, 1 story and basement, 70x90 feet, composition roof, hardwood floors, hollow tile, vapor heat, electric light, metal lath. Plans in progress.

**Residence**, Bellevue Park, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, Captain J. Smith, care of architects. Brick, 2½ stories, 30x44 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Residence**, Penn Side, Reading, Pa. Architect, Earl Hickman, 119 South Fifth street, Reading, Pa. Owner, H. E. Printz, Mt. Penn, Reading, Pa. Hollow tile, stucco, 1 story, 37x51 feet, tile roof, tile and marble work, electric light, hot water heat, plate glass, ornamental iron work. Plans in progress.

**School**, Jersey Shore, Pa., \$200,000. Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owners, School Association of Borough of Jersey Shore, C. E. Peterson, secretary, Jersey Shore, Pa. Brick, 2 stories. Architects selected.

**School (add.)**, Swarthmore, Pa. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Board of Education, Borough of Swarthmore, Pa. New plans in progress. Will be ready for bids in 6 weeks.

**Residence and Garage**, College avenue and Golf House Road, Haverford, Pa. Architects, MacKenzie & Wiley, Liberty Building, Philadelphia. Owner, Frank Mahan, Ardmore, Pa. Stone, building block and stucco, 2½ stories, 120x26 feet, slate roof, hardwood floors, oil burning equipment, hot water heat, electric light, tile work. Owner building and subletting.

**Residence**, East Willow Grove avenue, Chestnut Hill, Pa. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Pierce Myers, care of architect. Stone, 2½ stories, 43x40 feet, hot water heat, electric, tile work, shingle roof, hardwood floors. Plans in progress.

**Church**, Camp Hill, Pa. Architects, Lawrie

## CHAPMAN SLATE CO.

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& Green, Commonwealth Building, Harrisburg, Pa. Owners, Presbyterian Church, care of architects. Stone, 1 story and basement, 100x100 feet, slate roof, concrete and cork tile floors, steam heat, electric light, metal lath, tile work. Architects ready for bids.

**High School**, St. Mary's, Pa. Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owners, St. Mary's Borough School Board, E. G. Beck, secretary, St. Mary's, Pa. Brick, steel, 2 stories and basement, 165x88 feet, composition roof, composition and hardwood floors, roof ventilators, waterproofing, terra cotta (heating, electric and plumbing reserved), metal lath, rolled steel sash, kalamein doors, bond, iron stairs, ornamental iron work. Architects ready for bids.

**Store Building (alts. and add.)**, Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Watt & Shand, 2 East King street, Lancaster, Pa. Brick, steel, 4 stories, slag roof, steam heat, electric light, rolled steel sash. Plans in progress. Architect will be ready for bids in two weeks.

**School**, Strasburg, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owners, Strasburg School Board, Mr. Stauffer, secretary, Strasburg. Brick, 2 stories, 40x60 feet, slate roof, maple floors, steam heat, electric light. Revised plans in progress. Will be ready for bids February 15th.

**Garage**, rear of 113 South Fifth street, Reading, Pa. Architect, Earl Hickman, 119 South Fifth street, Reading, Pa. Owner, Charles C. Miller, on premises. Brick, steel, 2 stories, 30x80 feet, composition roof, concrete and wood floors, roof ventilators, steam heat, electric light, rolled steel sash, fire doors. Owner will sub-let.

**Residences (pair)**, Stoney Creek Mills, Berks County, Pa. Architect, Earl Hickman, 119 South Fifth street, Reading, Pa. Owner, C. D. Wentzel, Stoney Creek Mills, Pa. Frame, stucco, 2 stories, 24x48 feet, shingle roof, pine floors, hot air heat, electric light. Owner will build.

**School**, Steelton, Pa. Architects, Johnson & Starr, 9 North Second street, Harrisburg, Pa. Owners, St. Peter's Parish School, Rev. L. Gladek, Steelton. Brick, 2 stories, 36x74 feet, slag roof, pine floors, roof ventilators, metal lath (heating, plumbing and electric work reserved). Architects will be ready for bids in two weeks.

**Church**, Pine street, Harrisburg, Pa. Architects, Cram & Ferguson, Pittsburgh, Pa. Associate architects, Starr & Johnson, Spooner Building, Harrisburg, Pa. Owners, Pine Presbyterian Church, Dr. A. Cherry, 315 North Front street, Harrisburg, Pa. Stone, 3 stories, slag roof, hardwood floors, electric light, tile work. Architects will be ready for bids in two weeks.

**Sunday School**, Kingston, Pa. Architect, Lester Davis, 616 Spruce street, Scranton, Pa. Owners, Westmoor Church of Christ, Rev. George W. Woodmar, 65 Loveland avenue, Wilkes-Barre, Pa. Frame and stucco, 2 stories and basement, 65x85 feet, tile roof, steam heat, electric light, composition floors, hollow tile, roof ventilators, metal window guards, tile work, metal lath, floor hardener, iron stairs, ornamental iron work. Will be ready for bids March 15th.

**Residence and Garage**, Drexel Hill, Pa. Architect, Charles M. Talley, Telford, Pa. Owner, Nieman Hower, 97 East Baltimore avenue, Lansdowne, Pa. Stone, terra cotta tile, frame, 2½ stories, 46x26 feet, 1 story, 20x20 feet, slate roof, hardwood and cement floors, hot water heat, electric light, tile baths (2), plumbing. Owner ready for bids in a few days.

**Office (alts. and add.)**, Telford, Pa. Architect, Charles M. Talley, Telford, Pa. Owner,

Dr. J. H. Hedrick, Telford, Pa. Frame, 2 stories, 41x25 feet, hot water heat, electric light, slate roof, pine floors, cement and stone work. Owner taking bids due as soon as possible.

**Residence and Garage**, Drexel Hill, Pa. Architect, W. E. Hance, 2301 Spruce street, Philadelphia. Owner, L. Stewart, Drexel Hill, Pa. Stone and stucco, 2½ stories, 30x42 feet, 1 story, 18x18 feet, slate roof, hardwood and cement floors, hot water heat, electric light, tile work. Architect will be ready for bids in one week.

**Bank (alts.)**, Ninth and Walnut streets, Reading, Pa. Architect, Harry Maurer, 234 North Fifth street, Reading, Pa. Owners, Penn Trust Co., H. B. Hagy, president, Ninth street, Reading, Pa. General interior alterations, copper work, tile and marble work, terrazzo floors. Plans in progress. Owners will sub-let.

**Bungalow**, Temple, Pa. Architect, Earl Hickman, 119 South Fifth street, Reading, Pa. Owner, Charles Potteiger, Sixth and Washington streets, Reading, Pa. Frame, 2 stories, 25x27 feet, shingle roof, hardwood floors, electric light, metal lath. Revised plans in progress. Owner will build.

**Show Room**, Minersville, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, S. E. Noel, Minersville, Pa. Hollow tile and brick, 2 stories, 50x1150 feet, slag roof, pine floors, steam heat, electric light, rolled steel skylights, fire doors. Architect ready for sub-bids.

**Residence (remodeling)**, Elkins Park, Pa. Architect, Abraham Levy, 1208 Real Estate Trust Building, Philadelphia. Owner, Alex. Lieberman, 211 South Fifteenth street, Philadelphia. General remodeling. S. H. Levin, 1631 South Fifth street, will be general contractor. Plans not yet started.

**Residence**, Overbrook, Pa., \$50,000. Architect, P. H. Heald, 275 North Lansdowne avenue, Lansdowne, Pa. Owner, Arthur H. Hadley, Liberty Building, Philadelphia. Stone, 2½ stories, electric light, tile work, hardwood floors. Plans in progress. Architect and owner will take bids in one week.

**Residences (3)**, Ardleigh street, North Mermaid avenue, Chestnut Hill, Pa. Architect, Paul Livingstone Boyd, 6943 Limekiln Pike, Philadelphia. Owner, A. K. Schook, 45 Graver's Lane, Chestnut Hill, Pa. Stucco, brick, stone, 2½ stories, 54x47 feet, slate and slag roof, hardwood floors, hot water heat, electric light. Owner taking sub-bids.

**Stores (2), Apartment**, Conshohocken, Pa. Architects, MacKenzie & Wiley, Liberty Building, Philadelphia. Owner, William H. Baldwin, 110 Fayette street, Conshohocken, Pa. Brick, 2 stories, 40x80 feet, slag roof, hardwood floors, steam heat, electric light, tile work, metal ceilings, plate glass, flush bulks. Plans about completed. Owner will take bids.

**Residences (2)**, Harper's Tract, Jenkintown, Pa. Architect, private plans. Owner, Dr. E. N. Quinn, Jenkintown, Pa. Brick, frame and pebble dash, 2½ stories, 26x40 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner taking bids due January 28th.

**Bakery**, 528-30 Moss street, Reading, Pa. Architect, Earl Hickman, 119 South Fifth street, Reading, Pa. Owner, E. J. Faller, on premises. Brick, steel, 2 stories, 40x100 feet, composition roof, maple floors, freight elevator, roof ventilators, fire doors, galvanized iron skylights, rolled steel sash, metal lath, steam heat, electric light. Owner ready for bids due January 30th.

**Bungalow**, Reiffton, Pa. Architect, Earl Hickman, 119 South Fifth street, Reading, Pa. Owner, P. J. Arnold, Reading, Pa. Cinder block, stucco, 1 story, 33x37 feet, factory stained shingle roof, pine floors, hot water heat, electric light, tile work. Owner taking

bids due January 26th.

**Summer Home for Children**, Westtown, Pa. Architects, Gleason Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, Society of St. Vincent de Paul, 1608 North Twenty-first street, Philadelphia. Brick, cut stone, steel, 2 stories and basement, 207x43 feet (plumbing, electric reserved), slag and canvas deck roof, cement floors, hollow tile, roof ventilators, shoring, waterproofing, ornamental iron work and stairs, bond, rolled steel sash. Architects taking bids due January 24th.

**High School**, Emporium, Pa., \$90,000. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, School Board of Emporium, George Metzger, Jr., secretary, Emporium, Pa. Brick, frame, 2 stories and basement, composition roof, hardwood floors, hollow tile, electric light, roof ventilators, fire doors, iron stairs, ornamental iron work. Architects taking bids due January 29th.

## Pennsylvania Contracts Awarded

**Building**, 122-28 North Tenth street, Reading, Pa. Architect, Earl Hickman, 148 North Fifth street, Reading, Pa. Owners, Catholic Literary and Social Union, on premises. Brick and stone, 3 stories, 60x115 feet, composition roof, maple floors, roof ventilators, waterproofing and dampproofing, terra cotta coping, vapor heat, electric light, metal lath, marble work, fire doors. Contract awarded to Charles H. Schlegel, Reading, Pa.

**Henry Hauck School**, Lebanon, Pa. Architects, Riteher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Lebanon School Board, Lebanon, Pa. Brick, reinforced concrete, cast stone, steel, 2 stories and basement, 247x78 feet, wing 57x70 feet (plumbing, heating, electric reserved), tile roof, composition cork, tile and cement floors, maple floors. Contract awarded to J. H. Greiner & Co., Lebanon, Pa., \$213,000.

**Rectory**, Ringtown, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, Rev. P. J. Dougherty, on premises. Frame, 3 stories, 41x35 feet, slate roof, hardwood floors, tile work. Contract awarded to E. Basstress, Mt. Carmel, Pa.

**School**, Springhouse, Montgomery County, Pa. Architect, G. Edwin Brumbaugh, Real Estate Trust Building, Philadelphia. Owners, Lower Gwynedd Township Board of Education, Montgomery County, Pa. Brick, cement block, 1 story, 167x67 feet (plumbing, heating, electric reserved), slate roof, maple floors, metal lath, tile and marble work, bond, ornamental iron work. Contract awarded Roy Randall, Jenkintown, Pa.

**School**, Brockport, Pa. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, Horton Township School Board, F. W. Jackson, Shawmont, Pa. Brick, 1 story, 130x70 feet, composition roof and floors. Contract awarded to W. H. Cramer Const. Co., Emporium, Pa.

**Residence (alts.)**, 18 Jefferson street, Media, Pa. Architect, C. H. North, 1709 Sansom street, Philadelphia. Owner, Frederick W. Breiting, 18 Jefferson street, Media, Pa. General interior alterations, brick, plastering, painting, plumbing, heating system repairs, electric wiring and fixtures. Contract awarded William D. North, Norwood, Pa.

**Apartment (alts. and add.)**, 384 Penn street, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, Oscar Miller, care of architect. Frame, 3 stories, pine floors, general alterations, tile work, partitions. Contract awarded to D. H. Hunter, 820 North Eleventh street, Reading, Pa.



## New Jersey Construction News

**School**, Robbinsville, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owners, Washington Township School Board, Miss Hepburn, Winslow, N. J. Brick, 4 rooms. Too early for details.

**School (add.)**, Florence, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Florence School District, E. Robbins, Florence, N. J. Brick, 2 stories. 12 rooms and auditorium, slate roof, maple floors, hollow tile, safety treads (heating, plumbing and electric work reserved), metal lath, tile work, bond, iron stairs. Owners will be ready for bids in a few days.

**Dining Hall No. 2**, Morris Plains, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, Board of Managers, State Hospital, Morris Plains, N. J. Brick, hollow tile, structural steel, 5 stories, 30x60 feet, slate roof, composition and slate roof, composition floors, fa system heating, electric light, metal lath, rolled steel sash, fire doors, elevators, hollow tile, waterproofing and dampproofing, iron stairs, ornamental iron work. Architects ready for bids.

**New Cynwyd Hotel (alts.)**, 145 South Tennessee avenue, Atlantic City, N. J. Architect, Abraham Levy, 1208 Real Estate Trust Building, Philadelphia. Owner, name withheld. Brick work, stone front, electric light, plate glass, general interior alterations. Architect ready for bids.

**High School**, Millville, N. J. Architects, Guilbert & Betelle, Newark, N. J. Owners, Board of Education, Millville, Cumberland County, N. J. Brick, reinforced concrete, limestone, bluestone, granite, steel, 2 stories and basement, 222x150 feet (plumbing, heating, ventilating reserved), slag roof, monolithic, cement, pile and maple floors, hollow tile, roof ventilators, dampproofing, terra cotta, ornamental iron work and stairs, bond, kalamein doors, rolled steel skylights, marble work, metal lath (metal weather strip alternate), Johns Mansville roof alternate. Owners taking bids due January 30th.

**Office Building (add.)**, Burlington, N. J. Architect, private plans. Owners, United States Cast Iron Pipe & Foundry Co., Burlington, N. J. Brick, cut stone and steel, 3 stories, 30x40 feet, slag roof, pine floors, steam heat, electric. Owners taking bids due January 26th.

**Public Building**, Mt. Holly, New Jersey. Architects, E. A. Wightman and W. G. LeConey, Heed Building, Philadelphia, and Moorestown, N. J. Owners, Board of Chosen Freeholders, Burlington County, N. J. Brick, stone and steel, 1 story and basement, 60x65 feet, slag roof, cement and pine floors. Architects taking bids due February 8th.

**Panel and Erecting Shop**, Pavonia Shop, Camden Terminal Station, Camden, N. J. Architect, William H. Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad, Broad Street Station, Philadelphia. Drainage, plumbing, steam heating. Irwin & Leighton, 126 North Twelfth street, Philadelphia, taking sub-bids on the above-mentioned items due January 24th.

## New Jersey Contracts Awarded

**Church (alts. and add.)**, Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, Central Baptist Church, care of architect. Stone, stucco, 1 story and basement, 50x15 feet, slag roof, hardwood floors, hollow tile, heating ex-

tension, electric light, metal lath, tile, marble work, hollow metal skylights, general alterations. Contract awarded to J. H. Morris & Co., 211 North Montgomery street, Trenton.

**Store Front**, 148 State street, Trenton, N. J. Architect, Walter Hankin, 39 East State street, Trenton, N. J. Owner, J. Granopolos, care of architect. Copper work, plate glass, tile floors, marble work, alterations. Contract awarded to William Ehret, 13 West State street, Trenton, N. J.

**Building (alts.)**, Pacific and Sovereign avenue, Atlantic City, N. J. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, M. Leichtenstein, Atlantic City, N. J. Contract awarded P. G. Hannum, Georgia and Thorofare, Atlantic City.

## Delaware Construction News

**Country Club (rebuilding)**, Wilmington, Del. Architect, not yet selected. Owners, Wilmington Country Club, H. P. Scott, president, DuPont Building, Wilmington, Del. Brick, stone. Work contemplated.

**Residence**, 1007 Rodney street, Wilmington, Del. Architect, C. R. Hope, DuPont Building, Wilmington, Del. Owner, R. McMullen, care of architect. Brick, 2½ stories, 38x34 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Public School**, Claymont, Del. Architects, Coffin & Coffin, 522 Fifth avenue, New York City. Owners, Board of Education, Claymont, Del. Brick, limestone, steel, 3 stories, 197x60 feet, wing 61x66 feet (plumbing, heating, electric separate bids), built-up roof, maple and cement and mastic floors, metal lath, tile, marble and terrazzo work, rolled steel sash and skylights, kalamein doors, bond, ornamental iron work and stairs, waterproofing and dampproofing. Owners taking bids due February 7th, 2 P. M.

## Delaware Contracts Awarded

**Building (alts. to factory)**, Southeast Corner Fifth and French streets, Wilmington, Del. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, F. Sutro & Sons Co., Wilmington, Del. Remodeling basement into cafeteria, remodeling fire tower, general alterations. Contract awarded J. E. Healy, Wilmington, Del.

## Miscellaneous Construction News

**School (add.)**, Chesapeake City, Md. Architect, C. R. Hope, DuPont Building, Wilmington, Del. Owners, Cecil County School Board, care of H. Caldwell, secretary, Elkton, Md. Brick, 2 stories, 4 rooms, slag roof, pine floors, roof ventilators, steam heat, electric light, iron stairs. Plans in progress.

**Apartments (18)**, Hagerstown, Md. Architect, H. E. Yessler, Rupp Building, York, Pa. Owner, M. P. Moller, care of architect. Brick, 3 stories, 153x91 feet, composition roof, hardwood and concrete floors, hollow tile, vapor heat, electric light, tile and marble work. Plans in progress.

**Garage (add.)**, Hagerstown, Md. Architect, H. E. Yessler, Rupp Building, York, Pa. Owners, Ludwig Motor Co., Hagerstown, Md. Brick, steel, 2 stories, 80x175 feet, concrete floors, steel trusses, rolled steel sash, floor hardener. Architect taking sub-bids.

**School (add.)**, Rising Sun, Md. Architect,

C. R. Hope, DuPont Building, Wilmington, Del. Owners, Cecil County School Board, E. Caldwell, secretary, Elkton Md. Brick, 2 stories, 4 rooms, slag roof, pine floors, steam heat, electric light, roof ventilators iron stairs. Plans in progress.

**School (add.)** Northeast, Md. Architect, C. R. Hope, DuPont Building, Wilmington, Del. Owners, Cecil County School Board, H. Caldwell, secretary, Elkton, Md. Brick, 2 stories, 4 rooms, slag roof, pine floors, steam heat, electric light. Plans completed. Owners will take bids.

**Grade School**, Elkton, Md. Architect, C. R. Hope, DuPont Building, Wilmington, Del. Owners, Cecil County School Board, H. Caldwell, secretary, Elkton, Md. Brick, 2 stories, 40x80 feet, slag roof, pine and composition floors. Owners ready for bids.

(Continued from page 52)

a comparatively easy matter in most cases to plan a structure that will meet these conditions. When finding out just what the town's requirements are in the way of hotel accommodations, it is well to look to the city's future development as well as to its present status—but at the same time, as mentioned in a previous article in this series—it is a poor business policy to incorporate in a new hotel a larger number of rooms than there would seem to be a need for within the next five year period. The point I wish to make in this connection, is that the proportion between the different types of bedrooms, and the number and character of the hotel's public rooms should be based on the most reliable estimates obtainable as to the *types* of hotel-using persons who are coming to the city.

It may be found, for example, that the new hotel will afford the town an opportunity for securing conventions that it never before had. And if this is the case, the new hotel should, of course, be planned in such a way as to accommodate them. If conventions can be anticipated it will, for example, be more than ordinarily important that the hotel have a ball room that is easily convertible into a convention hall.

### *How to Plan the Ball Room*

The question of whether or not to install a ball-room—particularly for the typical 100 to 200 room hotel in the average city or town—is a difficult one. In addition to convention delegates, tourists can be counted on to use such a room during the tourist season, and it should also prove a convenience for the local Rotary and Kiwanis Clubs, as well as for many social gatherings such as balls, weddings, charity drives and the like. In spite of these uses, however, it will frequently be found difficult to keep such a room in use regularly throughout the entire year. The mistake is often made of devoting to the ball room valuable floor space that should be used for other purposes. It is in most cases much more practical to install the ball room on the second floor or on the top floor. Hotel in this connection.



While the year 1923 has witnessed unprecedented developments in the erection of apartment, residential and resort hotels throughout the country, by far the biggest source of income for the average hotel is still the commercial traveler. In nine cases out of ten the owners of the new hotel will find that he is the principal type of guest whom they should aim to please. He comes at all seasons of the year and adverse business conditions affect his travel very much less than that of tourists and pleasure seekers. These remarks do not mean, however, that the management of the new hotel should aim to cater to the traveling salesman alone, for it is easily possible to erect a building that embodies features appealing to him, to tourists and to the townspeople—the latter more particularly insofar as residence quarters and public rooms are concerned.

In the enthusiasm of starting the new hotel, the stockholders and board of directors are frequently inclined to overshoot the mark both as regards the size of the bedrooms and the number of unnecessary elaborate treatment of the public rooms. Particularly are they inclined to incorporate too many large and spacious bedrooms. This is where the experience of the prospective lessee will prove of special value.

#### *Keeping Bedrooms Within Reasonable Limits*

Early in hotel history it was considered a good plan to scatter a liberal number of big impressive bedrooms all through the hotel. It then dawned on a manager who has since become famous for the economy of space with which his hotels are planned that this idea did not make for uniformity and was consequently extravagant.

The next development for providing the larger rooms that tourists like was that of placing them all on one floor. This was soon found unsatisfactory because of the desire on the part of some hotel guests to be near the ground while others wanted to be higher up. Furthermore, it did not obviate the disadvantages and additional cost that come with a plan which fails to provide for uniform floors throughout.

Modern hotels are now built in such a way that the larger guest rooms are provided one above the other on all the floors—and on the average there are fewer big rooms per floor than formerly. This results in a uniform floor plan that is economical from a structural standpoint and that also serves the guests' best convenience.

For the typical hotel in a city 20,000 to 50,000 population, and where a survey shows that the patronage will be chiefly commercial in character, I would recommend the following sizes for bed-rooms:

Court rooms—from 9½ to 11 feet

wide by 14 to 15 feet deep.

Rooms on street frontages—10½ to 12½ feet wide by 16 feet deep.

Corner rooms—13 to 14 feet wide by 16 feet deep.

The best height ceiling for a hotel of this character is one that measures 9½ feet from floor to floor.

#### *The Advantages of Building Rooms En Suite*

Tourists usually demand somewhat larger and more elaborate accommodations than do traveling men and corner rooms en suite of the above dimensions will usually appeal to them. It is also frequently possible to rent some of these corner rooms to residents in the city on 6 or 12 months leases. This is a very desirable type of business—particularly at the start—for it furnishes the management with a definite amount of steady income that can be counted on in advance. Later on, when the hotel gets to the point where it is filled nearly every day, it should prove more profitable to sell these rooms by the day; as the rates on a long term rental are, of course, somewhat lower than those made on a daily basis. In order to meet the requirements of tourists and city residents, corner rooms should be so planned that they may be utilized as suites by opening up the rooms on either side of them—the corner room itself being used as a sitting room in the day time and a bedroom at night.

The question as to how many double rooms the new hotel should provide can best be handled by furnishing all the street front and corner rooms with twin beds and making an additional charge for double occupancy. The court rooms should be furnished with beds 4½ feet and an additional charge for double occupancy should be made here also.

Considerable misunderstanding is prevalent both among hotel men and the traveling public as to the cost of installing and operating a shower bath as opposed to a tub bath. Where the former is properly installed, it will cost at least as much as a bath tub and many hotel managers will tell you that it is more expensive to operate a shower than a tub. The public, however, has the impression that less should be charged for a room with shower than one with bath, and consequently traveling men who are trying to economize on their hotel accommodations demand the former. In my opinion no reduction in rates should be made for such rooms, but inasmuch as some hotel patrons do actually prefer them regardless of the rate, from 10 per cent. to 15 per cent. of the court rooms should, I believe, be equipped with showers.

#### *Fixing the Number and Location of Sample Rooms*

The matter of determining how many sample rooms to include in the new hotel

is also a trying one, for during a large part of the year these areas are non-productive and their number should therefore, be kept to the lowest possible minimum with which the management can "get by" without incurring the commercial traveler's ill will. The merchant members of the board of directors should be consulted when it comes to deciding how many of these rooms to include and a survey should also be made of the sample room facilities offered by the other hotels in the city. If there already are an unusually large number of such accommodations in these it may be found that the new hotel's interests can be served most effectively by omitting sample rooms entirely and by dispensing with this type of commercial travel in order to devote this space to additional bedrooms.

Sample rooms should always be planned with a view to utilizing them as bedrooms—built-in folding beds can be easily installed at the time the hotel is erected, and cots may be kept on hand for use at the time of conventions. They should be placed as near the freight elevators as possible, for the problem of getting merchandise in and out of them is frequently a difficult one.

#### *The Practical Planning of Public Rooms*

When it comes to planning the new hotel's public rooms in such a way as to meet the city's needs, the first and foremost requirement in any modern hotel is a lunch room or coffee shop. This should be given the best store location on the ground floor that is accessible to the kitchen service. It has been proved time and again, from actual operating records, that a lunch room or coffee shop will bring in considerably more revenue than could be had from the space it occupies if leased out as a store. A room of this kind attracts a great deal of business from townspeople as well as from certain classes of commercial travelers and tourists.

The kitchen and main dining room should be placed either on the lobby floor level or slightly above it. Easy, convenient access (preferably by means of a ramp) should be provided between the kitchen and the coffee shop.

The matter of accommodating local business and social clubs that are always glad to patronize the new hotel will to a considerable extent determine the size and number of private dining rooms. It is best to ascertain in advance how many organizations of this character the hotel can count on. If several such groups will agree to patronize it, the private dining rooms should be planned so that they may be turned into one big room for larger functions—and also bear in mind the fact that they should be reasonably near the kitchen.

Except in isolated cases, I believe it a mistake for a modern hotel that is primarily commercial in character to provide



a roof garden. The popularity of rooms of this character is on the wane, and because of their distance from the kitchen they are expensive to operate, for not only the food and garbage but also the employees and guests must be transported from the main floor to the room and back. The exception to this general rule is that of hotels in hot climates where such rooms are in continual use all year 'round, where they are unusually popular because of their coolness and the view they afford.

As I said at the outset of this article, the most important factor in fitting the new hotel to the city's needs is to analyze those requirements accurately before the hotel is planned and to then design the hotel in such a way that it will meet those requirements conservatively. It is always safer to under-build rather than to over-build—and, to apply that same principle to this particular discussion, it is safer to underestimate the number of large bedrooms and the number of public rooms that should be incorporated than to over-estimate them.

#### COST OF HOME IN PROPORTION TO INCOME

BY MAURICE I. FLAGG

*Director of Service*

*The Architect's Small House Service  
Bureau of the United States*

If it is good business to build houses and rent them to other people there must be a profit in it.

Consequently, when you build your own home you may expect to find it a profitable venture, provided you build economically—spending enough to secure sound and durable materials but not too much for your income. A great deal, however, depending on financing, and therefore when you think of building a home, ask yourself this fundamental question, "How much can I afford to put into a home?"

The easiest way of settling this question is on a basis of the rent you are accustomed to pay. Budget experts say that one-fourth to one-fifth of the average income should be spent on rent. It is probable that you can afford to invest one-fourth, possibly more, of your income in payments for a home of your own. As a result of these payments you eventually possess a warranty deed and enjoy complete ownership.

The portion of your income which you are justified in spending on building depends on two factors; first, what is your income? Second, how much can you save each month after deducting living expenses? Consider carefully whether you can lay aside more than your rent and if so, how much over and above this amount. It is a serious mistake and a common cause of trouble to attempt financing a home beyond the limits of your income.

Experts on home building consider that you may feel reasonably secure in building a home on which you can complete payments in about fifteen years. This means that if you have already saved one-fifth of the value of your home—a wise precaution—you should be able to pay the balance in about twelve years.

For example: in the case of a small home costing \$5,000, one-fifth would be \$1000. To pay the balance or \$4000 in twelve years, would require 144 monthly payments. Payment on the principal, therefore, amounts to nearly \$28.00 a month. Interest at the rate of 6% would make the first payment \$20.00. Adding about \$14.00 a month to cover insurance, taxes, and upkeep gives a total of \$62.00 a month. In a similar way you can easily figure out how much you can afford to pay towards a home, and whether you can afford a \$5,000 home or a more expensive one.

This is just an illustration, but it shows a way to determine for yourself how expensive a home you can afford to build. While all you have to show after you have lived in another man's house is a rent receipt, when you put money into a home of your own, you secure something tangible. When you own a home you possess property, you can borrow money on that security whenever you need it, and you are well on the road to independence.

Such a condition, however, exists only when the title is clear, when the owner has built a home that he can really afford. And after you have determined how much you can afford, the next problem is financing.

#### STABILITY IN THE CONSTRUCTION INDUSTRY

Labor does not gain if extremely high wages are offset by prolonged periods of unemployment; nor do owners, real estate men, and builders gain under a system which gives a higher unit cost of building and a decreasing return on investment. Continuity in the long run serves the common interest.

One would imagine from the amount of space devoted to "Training More Apprentices," that this is the one and greatest obstacle that stands between the builders and Promised Land. But there would be little gained in stabilizing the labor supply without stabilizing other factors. To find enough labor to supply an abnormal demand would be merely to intensify future unemployment and to emphasize every undesirable feature in the business cycle.

It is as important to avoid a labor surplus as to remedy a trade labor shortage. We have heard enunciated lately the assertion that every economic and industrial problem has its one best method of solution.

Surely the building industry and the

men engaged in the various forms of contract construction have reached a stage in the development of their local and National Associations where they can see the impropriety of training enough men to fill all positions at the peak of demand for construction.

The National Association of Builders' Exchanges does not only subscribe to the theory that Vocational Education is the only solution to the problem of the high cost of building construction. True it is, that the establishment of vocational schools may act as a stop-gap to higher construction figures, but the crux of the situation lies not in training more bricklayers and plasterers, but in utilizing those already in the industry over a lengthened building season. Spread the building peak over a longer period of time each year and we can get along without the several thousand less building craftsmen, who statisticians say, have dropped from the industry within the last ten years.

Much in the solution of the problem of seasonal occupation lies with the individual contractor but it is essential that the National Association strike the keynote and awaken the consciousness of the industry to the essential method of procedure.—*National Builders' Bulletin*.

#### AN URGENT NEED FOR STABILIZATION

The economic loss that is produced by any industry that is mainly a seasonal one is self-evident; therefore, it behooves every one in the building industry to promote an educational campaign to offset the general belief that this industry is one that can proceed only in fair weather.

Briefly, winter construction appears to offer economies by (1) spreading overhead costs over twelve producing months instead of some less period; (2) reducing the seasonal employment of men in construction and the allied industries; (3) ironing out the peak in the curve of production of construction materials and equipment; (4) equalizing the demand on transportation agencies.

The economic waste in all of these activities, due to reduction of construction during cold weather, is universally admitted as a general truth, but there are no determined figures of the amount of waste. This data is what research is called upon to supply.

The reasons that such data is necessary are: 1. The construction industry is the servant of the building public and evidence of specific savings is necessary to induce the building public to alter its practices.

2. Without full knowledge of the economic waste from winter idleness, the industry hopes to stabilize its own business or assume the duty, which it must, of teaching the building public.



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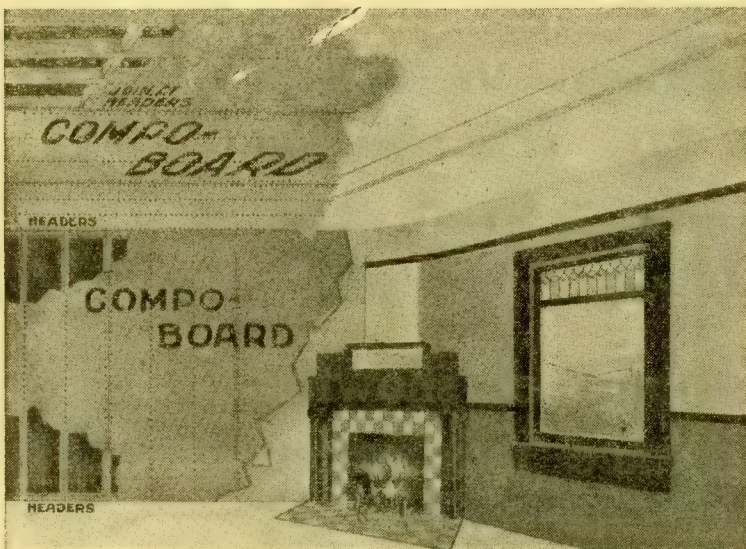
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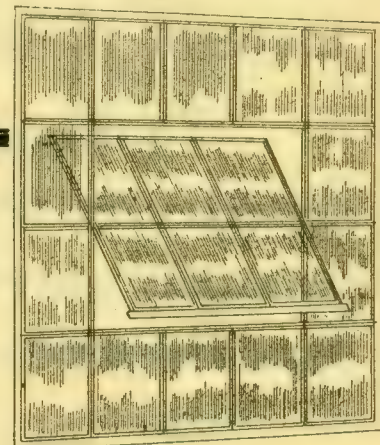
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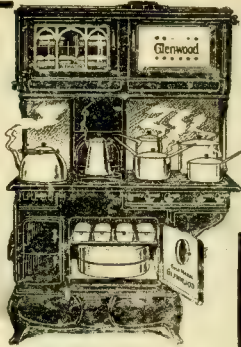


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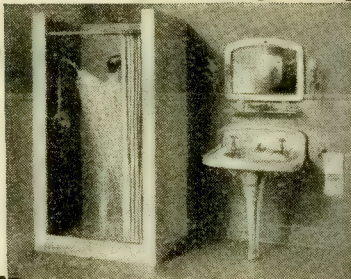
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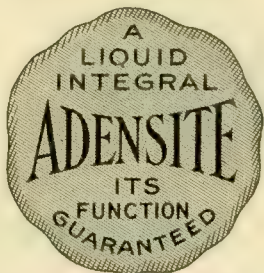
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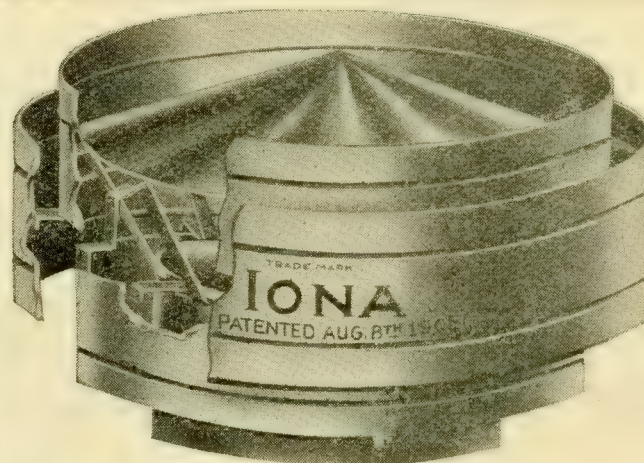
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 5

PHILADELPHIA  
January 30, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### WINTER OPERATION

*Address delivered by Alfred S. Alschuler, Architect, Chicago, at Fifth Annual Meeting of the Associated General Contractors of America, La Salle Hotel, Chicago, Ill., Jan. 23, 1924.*

**B**UILDINGS are constructed not only of brick and steel and wood, but with every bit of mortar there is mixed a certain amount of sentiment; a dream long visioned to be materialized; a vision long anticipated fully realized.

For it is this human hope and ambition to own a home to shelter one's family, to provide meeting places where human beings may gather for mental or spiritual improvement, or to house growing industries in which all one's energies are centered—it is for the realization of such hopes and dreams that buildings are transformed from visions into substance.

All this may at first glance seem to be entirely foreign to the subject of this paper, but upon further thought, you will realize that this hope and sentiment which plays such an important part in human affairs is after all, affected and influenced, not only by material considerations, but largely by what we are pleased to call "Psychological Conditions."

The man who has been saving for years to build a home for his family or for his industry usually puts off the final decision to act until his mind is made up—or to put it in other words, until the mood strikes him.

It is hardly necessary to state that such

moods in human beings follow closely other natural phenomena and that Spring is the most likely and Winter the least natural time for such moods to be brought about and decisions reached. There is daily evidence of such moods easily corroborated by all salesmen who prefer to solicit a customer in sunshiny weather and would save their efforts on dark or gloomy days. So it is this psychological aspect which must be considered in trying to overcome the prejudice against and inertia toward Winter operation.

I have made an analysis of various charts showing monthly operation over a period of years and have assembled this information in a new chart. This chart indicates the average monthly operation over a period of years in the larger cities of the United States which are influenced by climatic conditions. This chart represents a very large percentage of the work done in the United States and clearly indicates a season of tremendous activity from March first to October first, a gradual decline for October and November and a sharp decline for December, January and February. It is unnecessary to state the tremendous disadvantages arising therefrom and affecting both capital and labor where such seasonal operation exists and the desirability of overcoming this as far as possible. This condition varies considerably according to climate, but for present purposes, I have assumed a belt or zone including

Chicago and New York under which conditions a very large proportion of the building operations of this country are carried on.

To go into this subject extensively would require a careful analysis of each group or class of buildings, as each group is subject to slightly different influences. I will, however, consider them briefly as follows:

Office building projects in some cities are influenced largely by the fact that they must be ready for May 1st renting or else suffer vacancies for a considerable period. To meet this condition usually compels the starting of large operations about May 1st, carrying on at a top speed through the Summer and Fall to enclose the building at the earliest possible date and then the carrying on of all interior work during the winter months. This class of building provides work substantially over the entire year. There is not much latitude permitted in the starting of such operations unless other renting conditions prevail. Even under other rental conditions this class provides practically an all year occupation, as it takes substantially a year to complete such structures if they are of any considerable size.

Places of amusement which furnish much work are usually desired for completion in time for Fall opening. These therefore depending on their size, must start either in early Spring or the preceding Fall and carry on right through the

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Winter, so that this class as well as office buildings should normally provide a considerable amount of Winter work.

Public works and utilities furnish a class of work which should not be influenced by seasonal activities and which should be used as a reservoir to draw upon both in times of building depression and if required during boom periods, should be carried on during the least busy months. This would surely benefit all parties concerned. The public owning the buildings or paying revenue for their support would profit by reduced building cost. Contractors and workmen would gain by being occupied during the Winter months and the building public would further profit by having that much less work thrown into the Summer months.

Apartment houses are to a large extent built by a class known as "Speculative Builders" on small margins of capital and must be turned out for completion just prior to the renting season. If May 1st is the most popular renting date, I believe starting in Fall and going on through the Winter would be both possible and highly profitable. Where no fixed rental date exists, a campaign of education for Winter building might be effective.

Residences are very largely influenced by the mood of the builder and I believe something could be done here to offset the popular prejudice against Winter building.

I have left until last, the group of industrial buildings with which I happened to be most familiar. In the past, this was subject to the same influence as above mentioned, but within the past five years, I have noticed a considerable change of attitude. With the rapid expansion of business certain owners have decided to expand to meet the pressure regardless of the time of year. Others having seasonal business of their own have been compelled to plan to move according to their business needs. Still others planning new buildings fitted to their requirements in order to reduce their operating costs likewise seek in the face of high building costs to take advantage of every possible opportunity to keep down their investment. These classes, I believe, are rapidly growing and the result in my office at least has been a steady increase of Winter work. It is here that a large opportunity is afforded for education, showing the advantage of Winter operations.

To accomplish this, it is first necessary to overcome existing prejudices. These are mainly the established fear of damage particularly in reinforced concrete buildings resulting from cold, and the thought of decreased labor efficiency or increased cost resulting therefrom. That there is some ground for this assumption

is understood. The developments and improvements in method of construction in recent years are not generally understood. For example the class of reinforced concrete buildings are probably more affected by cold than any other kind of construction. And yet they are being carried on more and more and without harm.

You gentlemen as contractors, are familiar with the numerous methods by which materials are heated and by which the form work and reinforcing steel is cleared of ice and snow during the Winter months and it is not my intention to go into the numerous details of these provisions. One feature, however, which has been used on several of our concrete buildings of especial interest is the use of the form work for the floor above that which is being poured as a protection over the concrete. By standing the 4x4 uprights on wedge shaped concrete blocks which rest on the form of the slab to be poured, the forming for the next floor above can be practically completed. In case of heavy snow or rain, tarpaulins laid over this form work give a watertight protection, as well as enclosing the space for temporary heating. By these methods and including the use of chemicals under certain conditions, building operations are facilitated so that except under most severe conditions, work can be carried on without interruption. Although it is necessary to prepare and provide all necessary precautions, it frequently is the case that Winter weather turns out to be mild and no difficulties whatever are encountered. In this case, provided the right kind of contract is entered into both owners and contractors will gain thereby.

During the last Winter, one heavy reinforced concrete structure ten stories in height, containing 16,000 sq. ft. on each floor, through the efforts of an energetic contractor, was carried up from the first floor to the roof in less than seventy total days or sixty actual working days. Another concrete building, the previous Winter, containing 6,000 sq. ft. per floor was carried up twelve floors in one hundred total days. This included bad weather conditions, holidays and some days when work was held back for the lower floor to set; some floors being poured in five working days from the time of completing the previous floor.

My experience leads me to believe that it is largely a matter of contractors. Some overcome all difficulties, whereas others sink under them.

The omission of the top finish and placing this after the building is enclosed and heated greatly expedites work. When this is done, great care must be used to see that the finish adheres thoroughly. This requires considerable skill to ab-

(Continued on page 79)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Bank**, Fifth and Wyoming avenue, Philadelphia. Architects, McLanahan & Bencker, Bellevue Court Building, Philadelphia. Owners, Wyoming Bank & Trust Co., care of architect. Brick, stone, steel, 1 story, 74x80 feet. Plans in progress.

**Bank (add.)**, Ridge and Green Lane, Roxborough, Philadelphia. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Roxborough Trust Co., G. C. Littlewood, president, on premises. Limestone, 1 story, steam heat, electric light. Plans completed. Architect will be ready for bids in a few days.

**Hospital Building**, Roosevelt Boulevard and Rhawn street, Philadelphia. Architect, P. E. Johnson, 1713 Sansom street, Philadelphia. Owners, Philadelphia Mystic Shriners, W. Freeland Kendricks, 1337 Spring Garden street, Philadelphia. Brick, stone, steel, 2 stories. Plans completed. Architect ready for bids.

**Home**, 957 West Franklin street, Philadelphia. Architect, Samuel Abramson, 2315 Walnut street, Philadelphia. Owners, Uptown Home for the Aged, on premises. Reinforced concrete, 3 stories, 50x95 feet, slag roof, reinforced concrete and pine floors, hot water heat, electric light, tile work. Plans in progress. Architect will be ready for bids in a month.

**Club House**, Center Philadelphia. Architect, not selected. Owners, Poor Richard Club, B. J. Doyle, president, 239 South Camac street, Philadelphia. Brick, 3 stories, 76x60 feet. Contemplated.

**Apartment House**, Northwest Corner Forty-third and Spruce streets, Philadelphia. Architect and engineer, associate, J. L. Stetler & H. W. Deysher, 1015 Chestnut street, Philadelphia. Owner, name withheld. Brick, steel, cast stone, 4 stories and basement, 74x150 feet (48 apartments), slag roof, oak and composition floors, elevators, roof ventilators, ornamental iron work, kalamein doors, hollow metal skylights, tile and marble work, metal lath, electric light, vapor heat. Plans about completed. Owner will be ready for bids in 10 days.

**Residences (4)**, Shelbourne street, North of Levick, Lawndale, Pa. Architect, William H. Wooters, 816 West Allegheny avenue, Phila-

delphia. Owner, name withheld. Brick and stucco, 2 stories, 16 feet, 4 inches x 39 feet, mill work, plumbing, glazing, etc., hot water heat, electric light, tile work, shingle and slag roof, hardwood and pine floors. Architect ready for sub-bids.

**Residence**, Dicks avenue, West of Sixty-third street, Philadelphia. Architects, Durham Brothers, 1609 Sansom street, Philadelphia. Owner, Samuel Hall, Twenty-sixth and Ritner streets, Philadelphia. Brick, 2 stories, 32x35 feet, hot water heat, electric light, tile work, shingle roof, hardwood and pine floors. Plans completed. Architect ready for sub-bids.

**Residences (14)**, Seventieth and York Road, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owner, Frank D. Williams, Sixty-sixth and Ogontz avenue, Philadelphia. Brick, 2 stories, 20x40 feet, slag, slate and tin roof, hardwood floor, hot water heat, electric light, tile work (2 baths each). Owner ready for sub-bids.

**Store and Office (add. and alt.)**, Northeast Corner Twenty-first and Walnut streets, \$10,000. Architect, Charles Oelschlager, 1615 Walnut street, Philadelphia. Owner, H. Finkel, on premises. Brick, cut stone, 4 stories, 20x12 feet, 20x30 feet. Permit issued. Architect will be ready for general bids in a few days.

**Apartment Hotel**, Northwest Corner Eighteenth and Chestnut streets, Philadelphia. Architect, William L. Redditt, Otis Building, Philadelphia. Owner, name withheld. Brick, limestone, granite, steel, 16 stories, 91x40 feet, slag roof, concrete and oak floors, waterproofing and dampproofing, terra cotta, ornamental iron work and stairs, bond, hollow metal sash, tile and marble work, metal lath, electric light, steam heat. Architect taking sub-bids due as soon as possible.

**Apartment (6) and Stores (alts. and add.)**, Southwest Corner Green and Duval streets. Architect, A. H. Mueller, 901 Walnut street, Philadelphia. Owner, J. Egnal, 5414 Overbrook avenue, Philadelphia. Stone, 3 stories, 26x43 feet, 26x45 feet, vapor heat, electric light, tile work (6 baths), marble work, fire tower, kalamein doors, plate glass, flush bulks, ornamental iron work, ornamental terra cotta, metal ceilings, brick work, hard-

wood and composition floors, slag and slate roof. Owner taking bids due February 14th.

**Loft Building**, 1024-26-28 Buttonwood street, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Brick, reinforced concrete, 3 story add., 24x70 feet, slag roof, maple floors, freight elevators, oil burning equipment, fire tower, metal ceilings, kalamein doors, rolled steel sash, steam heat, electric light. Architect will take bids next week.

**Sores (3)**, Twentieth, Limekiln Pike, Cora street, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Brick, 1 story and basement, irregular, 29x21x66 feet, 9 inches, slag roof, cement floors (heating reserved), electric lighting, plumbing, metal ceilings, flush bulks, plate glass, ornamental iron work, structural steel. Architect taking general bids next week.

**Apartment House**, 5018 Pine street, Philadelphia. Architects, Huston & Lewis, 1713 Sansom street, Philadelphia. Owner, name withheld. Brick, cut stone, steel, 4 stories, 50x100 feet, slag roof, oak and pine floors, elevators, metal lath, tile work, steam heat, electric light. Architect taking sub-bids.

**Church**, West Manayunk, Pa. Architects, Bureau of Architecture, Methodist Episcopal Church, 1701 Arch street, Philadelphia. Owners, Ashland Methodist Episcopal Church, West Manayunk, Pa. Brick, stone, stucco, 1 story, 52x24 feet (heating and plumbing reserved), shingle roof, pine floors, electric light, metal lath, tile work, ornamental iron work. Architect taking bids.

**Residence**, Queen Lane Manor, Germantown, Pa. Architect, E. B. Gilchrist, 1618 Latimer street, Philadelphia. Owner, Maurice A. Webster, care of architect. Brick, 2½ stories, 50x34 feet, wing 23x20 feet (heating reserved), electric light, tile work, shingle roof, oak and pine floors, plumbing. Architect taking bids due February 2nd.

**Synagogue**, Thirty-third and Diamond and Susquehanna avenue, Philadelphia. Architects, Sugarman, Hess & Berger, 16 East Forty-third street, New York City. Owners, Bnai Jeshurun Cong., care of Morris Hafer, Victory Building, Philadelphia. Brick, stone, precast stone, 2 and 1 story, 150x140 feet, slag roof, pine and cement floors, terra cotta tile, roof ventilators, metal weather strip, shoring, waterproofing, ornamental iron work, tin-clad and kalamein doors, copper skylights, hollow metal sash, tile and marble work, metal lath, dumb waiters. Owners taking bids due February 4th, 2 P. M.

**Cherry Sub-Station (alts. and add.)**, Eleventh street, Cherry to Arch, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, cement, 3 stories and basement, 98x64 feet, slag roof, cement floors (electric work reserved), metal lath, tile and marble work, rolled steel sash

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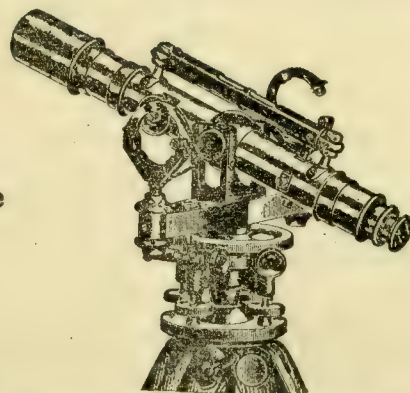
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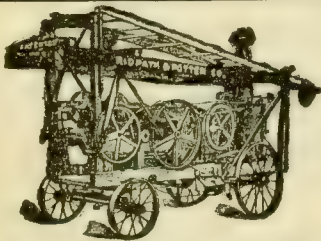
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**Residence (alts.),** 2340 North Park avenue, Philadelphia. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, Joseph Caplan, care of architect. Heating repairs, carpentry and mill work, structural steel, iron work, carpentry and mill work, plastering, tile and marble work, hardware, painting and glazing, oak floors, electric repairs. Architect taking bids due February 1st.

**Garage,** 538 Locust avenue, Philadelphia. Architect, T. B. Lippincott, 11 South Sixteenth street, Philadelphia. Owner, Mrs. T. William Kimber, on premises. Brick, 1½ stories, 18x31 feet, slate roof, cement and pine floors, hot water heat, electric light. Architect taking revised bids due as soon as possible.

**Store and Residence (5), Residence (7), Garage,** East of High street, and Ross street, West of High street, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, L. Angelone, 336 East Price street, Philadelphia. Brick, stone, 2 stories, 15x35 feet, 1 story, 12x20 feet, slag and tin roof, pine floor, hot water heat, electric light. Architect taking bids.

**Purchasing Agent,** E. J. Lafferty, 312 City Hall, Philadelphia, taking bids February 1st, fuel oil and lumber. On February 4th, service brick, "Cyl-Tal oil" suction hose, paints and varnishes.

**Reconstruction,** Fairmount Dam, Philadelphia. Architect, private plans. Owners, Department of Public Works, Bureau of Water, 216 City Hall. Owners taking bids due February 14th at noon. Subject to future appropriation. Inquire 796 City Hall.

**Stores and Residence (alt. and add.), Garage,** 401 and 403 East Haines street. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Isaac Matt, on premises. Brick, 2 stories, 17x30 feet, 1 story, 14x20 feet, slag roof, hardwood and cement floors, excavating, plumbing, tile work, hot water heat. Architect and owner taking bids due January 31st.

**Public School,** Wyoming, East of B street, Philadelphia. Architect, Irwin T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, concrete, steel, cut stone, granite, 3 stories and basement, 218x97 feet, wing 28x50 feet (plumbing, heating, electric and ventilating reserved), slag roof, maple floors, hollow tile, shoring, waterproofing and damp-proofing, terra cotta, ornamental iron work, bond, marble work, metal lath. Lewis Elkins School, Clearfield and D and Royer streets, 3 stories, 2 wings, 39x27 feet, 1 wing, 25x20 feet add. Henry W. Lawnton School, Benner and Ditman streets, 2 wings, 77x38 feet, 2 stories, 41x77 feet. Owners taking bids due February 7th.

**Schools,** Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Each school, heating, recreation room. Binney and Feltonville Schools, electric work. Kinsey School, new platforms. Stokley School, air filters. Wissahickon School, repairs to roof. Various schools, wire guards on radiators, steel flag poles, repairs to wooden flag poles, new metal weather stripping, wire screen guards for doors, etc., galvanized iron rails on entrance steps, eyes and

bolts for window cleaners. Bond. Owners taking bids February 7th at noon.

**Delaware River Bridge Approach Piers,** Contracts Nos. 11-12. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract 11, Philadelphia approach, Front and Fourth Streets, Philadelphia. Contract 12, Camden approach, pier West of Delaware avenue and Third street, Camden. Foundations for piers will in general be spread footings on firm gravel in open excavations, where satisfactory foundations cannot be secured on spread footings reinforced concrete piles will be driven. Owners taking bids due February 13th, 2.30 P. M.

**Building,** 43-45 South Seventeenth street, Philadelphia. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, S. Hopkins, care of architect. Brick, cut stone, steel, 3 stories, 54x30 feet, slag roof, pine floors, shoring, ornamental iron work, bond, hollow metal doors, galvanized iron skylights, metal lath, electric light, steam heat (alternate cast concrete stone). Architect taking bids due January 31st.

**Residences and Garages (31),** South side Belmar Terrace, Fifty-ninth to Sixtieth streets, Philadelphia, \$174,500. Architect, private plans. Owner, Hyman Barkan, Fifty-eighth and Cobb's Creek Parkway, Philadelphia. Brick, 2 stories, 17x34 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric light. Owner will build.

**Residences (48),** Apsley street, Pulaski avenue and Zerelda street, \$385,000. Architect, private plans. Owner, A. J. Boylan, 5149 Lancaster avenue, Philadelphia. Brick, 3 stories, 18x57 feet, (4) 2 stories, 16x44 feet, and (43) 2 stories, 16x37 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Apartment House,** Northeast Corner Overbrook and Lancaster avenues, \$300,000. Architect, private plans. Owners, Arrow Const. Co., 1627 Sansom street, Philadelphia. Brick, 4 stories, irregular size, slag roof, oak and pine floors, vapor heat, electric light, tile work, elevators. Owners will build.

**Residences (12), and Garages (12),** East side Fifty-fourth street, Montgomery avenue to Morse street, \$88,000 total. Owners, Steinberg & Feinman, 5421 Morse street, Philadelphia. Brick, 2 stories, (2) 17x60 feet, (10) 16x50 feet, 13x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light, garages, 12x15 feet, \$400 each. Owners will build.

**Residences (4),** 6708-10-12-14 Tulip street, Philadelphia, total \$15,400. Architect, private plans. Owner, J. Gerski, 3532 Princeton avenue, Philadelphia. Brick, 2 stories, 15x39 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (9),** North side Florence avenue, West of Fifty-third street, \$7,500 each. Architect, private plans. Owner, A. A. Shatter, 6142 Pine street, Philadelphia. Brick, 2 stories, 15x31 feet, 10x8 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence,** 234 South Forty-fifth street, Philadelphia, \$4,000. Architect, private plans. Owner, S. D. Silverman, 226 South Fourth street, Philadelphia. General alterations. Owner will build.

**Residences (2),** East side Montour street,



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South of Bleigh, \$3,800 each. Architect, private plans. Owners, Louis Loitenberger & Sons, 7345 Oxford avenue, Philadelphia. Frame, 2 stories, 14x43 feet, hot water heating, electric lighting. Owners will build.

**Residence**, West Coulter street, Queen Lane Manor, Philadelphia. Architects, Edwin A. Yeo and Ralph L. Colton, 225 South Sydenham street. Owner, E. Burk Estabrook, 402 West Stafford street, Philadelphia. Brick, stucco, steel, 2½ stories, 28x40 feet, shingle roof, oak floors, hot air heat, electric light, tile work. Architects taking bids due January 31st.

**Apartment House**, Northeast Corner Fortieth and Spring Garden streets, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, name withheld. Brick, stone, steel, terra cotta, 4 stories, 60x77 feet, slag roof, hardwood floors, 20 apartments, steam heat, electric light, tile and marble work, kitchen equipment. Plans in progress. Will be ready for bids in ten days.

**Stores and Apartments (4)**, 5123-29 Walnut street, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, name withheld. General renovation. Plans in progress. Will be ready for bids in three weeks.

**Shriners' Hospital for Crippled Children** (Bensalem Branch), Roosevelt Boulevard, Philadelphia. Architect, Philip Johnson, 1713 Sansom street, Philadelphia. Owners, Pennsylvania Mystic Shrine, W. Freeland Kendrick, 1337 Spring Garden street, Philadelphia. Brick, granite, steel, cut stone, slag and slate roof, granolithic, cement and linoleum floors, steam heat, electric light, metal lath, tile, marble and terrazzo work, elevators, metal weather strips, shoring, waterproofing, damp-proofing, hollow metal sash, rolled steel skylights, iron stairs, ornamental iron work. Architect taking bids due February 28th. Refectory building, 3 stories, 59x44 feet; dormitories (2), 2 stories, 43x25 feet, wing 45x25 feet and 27x34 feet, wing 41x25 feet; administration building, 3 stories, 42x126 feet;

power house and laundry, 1 story, 86x40 feet.

**Residences (82)**, Anderson, Price and Stafford streets, Germantown. Architect, private plans. Owner, Francis B. J. Branagan, Sixth and Bristol streets, Philadelphia. Brick, 2 stories, 15x40 feet, slag and tin roof, hardwood, pine and cement floors, hot water heat, electric light, metal lath, tile work, garages in basement. Owner taking sub-bids due February 6th.

**Residences (50)**, Wagner street, East of Eleventh street, Philadelphia. Architect, private plans. Owner, Jacob M. Faust, 4611 North Broad street, Philadelphia. Brick, 2 stories, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will take bids in spring of 1924.

**Factory Building**, Third and Wingohocking streets, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owners, Columbia Steel Equipment Co., on premises. Brick, steel, galvanized iron, 1 story, 29x55 feet, slag roof, cement floors, steam heat, electric light, rolled steel sash, hollow metal skylights. Owners will build.

**Warehouse and Garage**, 1020 York street, Philadelphia. Architect, Edwin L. Rothschild, 1420 Chestnut street, Philadelphia. Owner, Aaron Cohn, 2401 North Tenth street, Philadelphia. Brick, 1 story, 37x60 feet, slag roof, cement floors, electric light, rolled steel sash. Plans in progress.

**Residences (operation)**, Lansdowne avenue, Sixty-sixth street, Media street and Edgemoor avenue. Architect, private plans. Owner, Pompey Ansell, 6620 Lansdowne avenue, Philadelphia. Brick, 2 stories, 20x38 feet, 15x45 feet, 18x38 feet, 15x28 feet, 12x9 feet, slag roof, hardwood and pine floors, electric light. Owner will build.

**Store and Residence**, Northwest Corner Lycoming and Hunting Park avenue, \$7,500. Architect, private plans. Owner, Harry F. Dinkelacker, 1612 McKean street, Philadelphia. Brick, 3 stories, 17x38 feet, 20x17 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

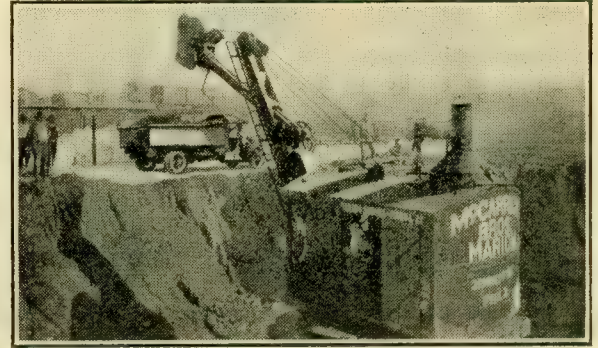
## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Apartment House**, Oxford Pike and Saul street, Philadelphia. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owner, George P. Sale, care of architect. Brick, concrete, cut stone, steel, 4 stories, 35x75 feet, hot water heat, electric light, metal lath, tile and marble work, slag roof, oak and pine floors, terra cotta, copper bars. Contract awarded Rush Brothers, Darrah below Margaret street, Philadelphia.

**Apartment House**, Delancey and Bouvier

streets, Philadelphia. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owner, George P. Sale, care of architect. Brick, steel, terra cotta, 4 stories, 39x80 feet, slag roof, hardwood floors, vapor heat, electric



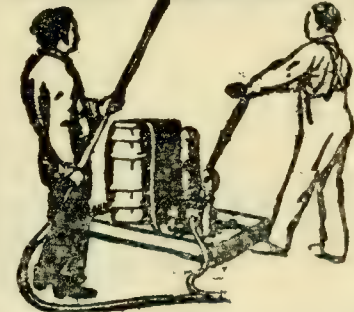
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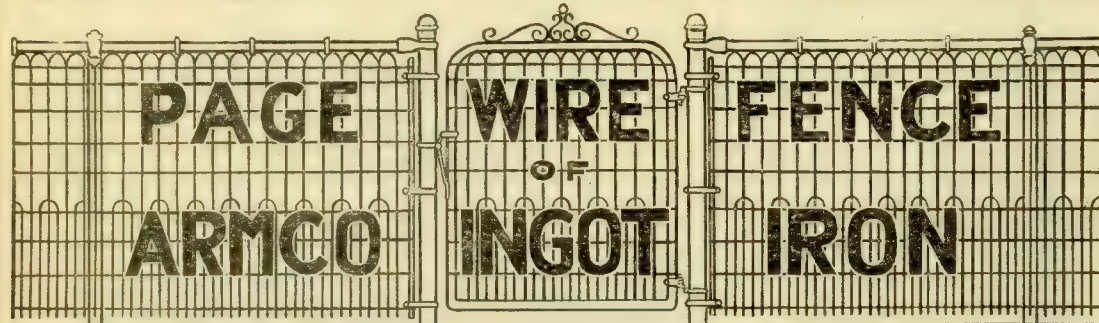
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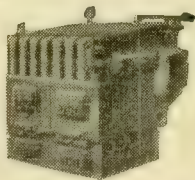
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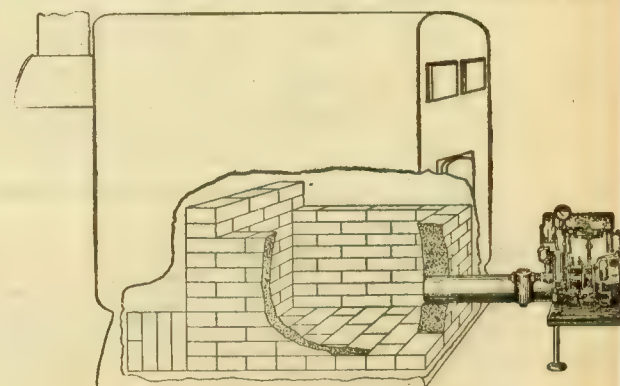
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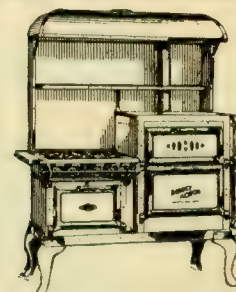
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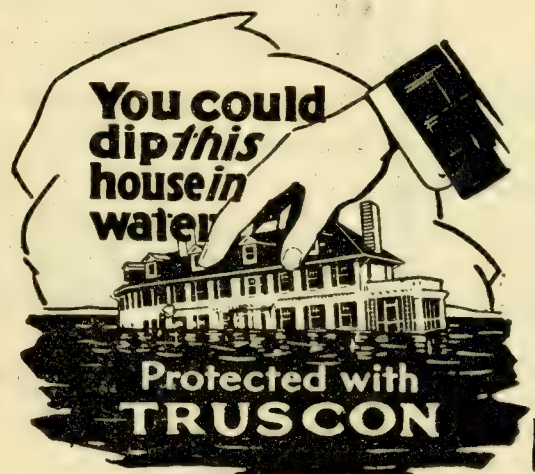
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light, tile and marble work, Murphy beds (elevators reserved), galvanized iron bays, kitchen equipment, fire tower. Contract awarded Ketcham & McQuade, 1029 Brown street, Philadelphia.

**Library**, 218 South Nineteenth street, Philadelphia. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, Philadelphia City Institute Library, on premises. Brick, cut stone, slag roof, pine floors, painting and glazing, hardware, plumbing, ornamental iron work, hollow metal doors and sash, tile and marble work, metal lath. Contract awarded W. O. Springer, 2004 Naudain street, Philadelphia.

**Alterations and Additions**, Germantown and Chelten avenues, Philadelphia. Architect, Arthur Brockie, 254 South Fifteenth street, Philadelphia. Owners, Germantown Trust Co., on premises. Brick work, cut stone, carpentry and mill work, electric work, plastering, plumbing, structural steel and iron work, composition roof, galvanized iron sash, steel loop lath, oak floors, heating. Contract awarded Fred Elvidge, 5522 Germantown avenue, Philadelphia.

**Residence (alts. and add.)**, Moreland avenue, St. Martin's, Chestnut Hill. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owner, Mrs. John W. Geary, care of architect. Brick, cut stone, reinforced concrete and stone, 2½ stories, 17x30 feet, slate tile, slag roof, oak floors, hardware, painting and glazing, plastering, metal lath, tile and marble work, bond, ornamental iron work. Contract awarded E. Allen Reeves, Abington, Pa.

**Church, Sunday School (completion)**, Fiftieth and Locust streets, Philadelphia,

\$110,000. Architects, Stuckert & Co., Crozer Building, Philadelphia. Owners, First Reformed Church, Rev. H. M. Kerschner, on premises. Stone, Indiana limestone, 1 story, 75x135 feet, slate roof, pine floors, vapor heat, electric light, tile work. Contract awarded Thomas O. Trafford, 1613 Sansom street, Philadelphia.

**Store (alts.)**, 320-22 West Susquehanna avenue, Philadelphia. Architect, private plans. Owner, Robert Garrison, care of builder. Copper bars, electric, tile work, plate glass, mill work, cement, steel cellar doors, wood bulks. Contract awarded J. Maurer Co., 1304 North Second street, Philadelphia.

**First Floor (alts.)**, Pennsylvania Building, Fifteenth and Chestnut streets, Philadelphia, \$25,000. Architect, Ralph White, Pennsylvania Building, Philadelphia. Owners, Pennsylvania Building, Philadelphia. Granite work, cement paving, carpentry and mill work, plastering, structural and ornamental iron work, painting and glazing, tile floors. Contract awarded Murphy & Quigley, 1524 Sansom street, Philadelphia.

**Addition**, Ludlow street, East of Thirty-first street, Philadelphia. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Abbott's Alderney Dairies, on premises. Brick, cut stone, concrete, 1 story and basement, 57x43 feet, slag roof, steam heat, electric light, metal lath, hollow metal sash, concrete floors, waterproofing and damp-proofing. Contract awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Building J (fire repairs)**, Byberry, Pa. Architect, Philip S. Johnson, 1713 Sansom street, Philadelphia. Owners, Philadelphia Institute for Feeble Minded, Byberry, Pa. Bond, car-

penry and mill work, steel and iron work, painting and glazing, steel doors, terrazzo work, alberene stone, metal lath, plastering (plumbing, heating and electric work reserved). Contract awarded C. H. Evans, 2315 Walnut street, Philadelphia.

**Alterations and Additions**, Southwest Corner Germantown avenue and Berks street. Architects, Bissell & Sinkler, 1520 Locust street, Philadelphia. Owners, United Security Life Insurance & Trust Co., 605 Chestnut street. Brick work, concrete and cement, cut stone, marble, tile and terrazzo, steel and iron work, carpentry and mill work, painting and glazing, plumbing, metal lath, plastering, limestone, bond. Contract awarded F. L. Hoover, 1023 Cherry street, Philadelphia.

**Manufacturing Building**, Fifth and Brown streets, Philadelphia. Architect, private plans. Owner, G. A. Bisler, 545 North Sixth street, Philadelphia. Brick, reinforced concrete and steel, 4 stories and basement, 138x143 feet, slag roof, cement floors, steam heat, electric light, rolled steel sash. Contract awarded W. Steele & Son, 219 North Broad street, Philadelphia, who will be ready for sub-bids in a few days.

**Alterations**, 323 South Hicks street, Philadelphia. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Miss Mary E. Vogt, care of architect. Brick, cut stone, stucco, hot water heat, electric light, metal lath, tile work, rolled steel sash, bond, ornamental iron work, oak and composition floors, plumbing, plastering, painting and glazing. Contract awarded Thomas Duff, Wyoming and Castor Road, Philadelphia.

**Store and Factory**, 240 North Eighth street, Philadelphia, \$13,000. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, David Gramm, 238 North Eighth street, Philadelphia. Brick, 3 stories, 19x70 feet, 9x15 feet, slag roof, electric work. Contract awarded to Negin & Keyman, 1809 South Fourth street, Philadelphia.

**Show Room and Garage**, 4613 North Broad street, Philadelphia. Architect, private plans. Owners, Mochaelson & Spear, 1528 Vine street, Philadelphia. Brick, steel, limestone, 1 story, 40x140 feet, slag roof, cement floors, plate glass, plumbing, steam heat, electric light. Contract awarded Hood & Gros, 1613 Chestnut street, Philadelphia.

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**Service Station**, Forty-eighth and Woodland avenue, Philadelphia. Architect, William Lowenthal, 1208 Chestnut street, Philadelphia. Owner, H. Slater, care of architect. Brick, 1 story and basement, 16x30 feet, slag roof, cement floors, electric light. Contract awarded A. N. Tatro, 1345 Arch street, Philadelphia.

**Tioga Central Office Building**, Seventeenth and Allegheny avenue, Philadelphia. Architect, private plans. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, 1 story add., 14x18 feet, slag roof, cement floors, steam heat, electric light. Contract awarded Murphy & Quigley, 1524 Sansom street, Philadelphia.

**Residence (alts.)**, 1831 West Diamond street, Philadelphia, \$6,000. Architect, private plans. Owner, E. Thornton, on premises. General alterations. Contract awarded to Walter A. Evitts, 5001 Chestnut street, Philadelphia.

**Residence**, 324 Lemonte street, Philadelphia, \$6,000. Architect, private plans. Owner, George Lake, Jr., 320 Cinnaminson Lane, Philadelphia. Brick, 2 stories, 18x34 feet, tin roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to James S. Batty, 6239 Ridge avenue, Philadelphia.

**Church**, Southwest Corner G and Kingston streets, Philadelphia, \$11,500. Architect, private plans. Owners, Tioga Heights Community Church, care of builder. Brick, 1 story, 30x60 feet. Contract awarded to Walt. J. Erwin, 3532 North Fifteenth street, Philadelphia.

**Garage**, 1437-39 Federal street, Philadelphia, \$17,000. Architect, private plans. Owner, Joseph Nigro, 129 South Thirteenth street, Philadelphia. Brick, 2 stories, 34x103 feet, slag roof, cement floors. Contract awarded to N. Brandoline, 1412 South Fifteenth street, Philadelphia.

**Warehouse (add.)**, Northeast Corner Fifth and Clearfield streets, \$8,000. Architect, private plans. Owner, Charles Masover, 3228 North Fifth street, Philadelphia. Brick, 1 story add., irregular size, electric work. Contract awarded to L. Rosengarten, 4742 Market street.

**Store and Storage (alts. and add.)**, 127 North Eleventh street, \$5,000. Architect, private plans. Owner, Mary Cobough, 4806 Castor Road, Philadelphia. General alterations. Contract awarded to George Boyd, 6106 North Sixth street, Philadelphia.

**Factory (add.)**, East side Stokley, North of Westmoreland street, \$4,000. Architect,

private plans. Owners, Budd Wheel Co., on premises. Brick, 1 story add. (open shed), 10x56 feet, 15x200 feet. Contract awarded to Wark Co., 1600 Walnut street, Philadelphia.

**Residences (2)**, North side Hofnagle street, West of Ferndale street, \$4,000 each. Architect, private plans. Owners, Arthur Gallagher, 116 East Rockland street, Philadelphia, and Harry F. Wanamaker, 4952 North Fifth street, Philadelphia. Frame, 1 story, 24x32 feet, hardwood and pine floors, electric lighting, shingle roof. Contract awarded to Alex. Caso, 5518 Paschall avenue, Philadelphia.

**Store and Residence (alts.)**, 1716 South Fourth street, Philadelphia, \$2,000. Architect, private plans. Owner, I. Schwartz, on premises. General alterations. Contract awarded to S. Shon, 2530 South Sixth street, Philadelphia.

**Residence and Hall (alts.)**, 715 Pine street, Philadelphia, \$2,100. Architect, private plans. Owners, Elivantgrad Association, on premises. General alterations. Contract awarded to P. Goodman, 2409 South Third street, Philadelphia.

**Residence and Store (add.)**, 5245 Haverford avenue, \$2,000. Architect, private plans. Owner, E. H. Thompson, on premises. Brick, 1 story add., 16x14 feet. Contract awarded to Max Cotler, 1220 North Forty-second street, Philadelphia.

**Residence and Store (alts.)**, 1910-12 South Eighteenth street, \$2,600. Architect, private plans. Owner, Angelo Rollo, 1912 South Twenty-fourth street, Philadelphia. General alterations. Contract awarded to H. F. Dinkelacker, 1614 Mt. Vernon street.

**Residence and Office (add.)**, 1714 Dickinson street, \$2,000. Architect, private plans. Owners, Salvation Army, Broad and Fairmount avenue, Philadelphia. Brick, 2 stories add., 18x9 feet, electric work, heating extension. Contract awarded to F. L. Hoover & Son, 1023 Cherry street, Philadelphia.

**Residence and Office (alts. and add.)**, 5130 Walnut street, \$2,000. Architect, private plans. Owner, Dr. De Forest Ewing, Highland Park, Pa. Brick, 1 story, 15x21 feet, general alterations. Contract awarded to Howard R. Longacre, Highland Park, Pa.

**Residence (add.)**, 4831 Baltimore avenue, Philadelphia, \$2,000. Architect, private plans. Owner, Mrs. Catharine Hughes, 905 South Forty-eighth street, Philadelphia. Brick, 1 story add., 16x16 feet. Contract awarded to Clarence Ramos, 5233 Rodman street, Philadelphia.

**Residence and Store (2) (alts.)**, 2509-11 North Front street, \$3,600. Architect, private plans. Owner, J. Rabinowitz, 2912 Germantown avenue, Philadelphia. General al-

terations. Contract awarded to J. Gorchov, 4116 Girard avenue, Philadelphia.

**Garage**, West side Park avenue, North of Tabor Road, Philadelphia, \$3,500. Architect, H. E. Kennedy, 1324 Walnut street, Philadelphia. Owner, Edward D. Cuthbert, Clinton Apartments, Philadelphia. Brick, 1 story, slag roof, cement floors. Contract awarded to Penn Realty & Const. Co., 1324 Walnut street.

**Store and Residence (alts.)**, 930 South Eighth street, Philadelphia, \$2,500. Architect, private plans. Owner, C. C. A. Baldi, 928 South Eighth street, Philadelphia. General alterations. Contract awarded to Seurei & Macrano, 734 South Seventh street, Philadelphia.

**Residence (add.)**, 245 Wilder street, Philadelphia, \$2,000. Architect, private plans. Owner, S. Miller, on premises. Brick, 2 stories add., 15x10 feet. Contract awarded to Max Friedman, 411 Snyder avenue, Philadelphia.

**Store and Residence (alts.)**, Northwest Corner Warnock and Norris streets, \$2,000. Architect, private plans. Owner, Meyer Benner, Southeast Corner Warnock and Norris streets, Philadelphia. General alterations. Contract awarded to N. Epstein, 2221 North Franklin street, Philadelphia.

**Garage and Service Station**, 1933 Brandywine street, \$15,000. Architect, private plans. Owners, Schiller & McClernon, on premises. Brick, 2 stories, 48x40 feet, steam heat, electric light, cement floors, slag roof. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Store (alts.)**, 155 North Ninth street, Philadelphia, \$2,000. Architect, private plans. Owners, Joseph Mallon, Continental-Equitable T. & T. Co., Twelfth street above Chestnut street. General alterations. Contract awarded to William W. Cochran, 2046 Van Pelt street, Philadelphia.

**Office and Apartment Building (alts. and add.)**, 1427 Spruce street. Architect, William F. Koelle, Otis Building, Philadelphia. Owner, Otto T. Mallory, on premises. Carpentry, mill work, cut stone, brick, steel, iron, slag roof, hardware, plastering, painting, glazing, electric work. Contract awarded to T. S. Fetter, 1829 Filbert street, Philadelphia.

**Race Sub-Station (alts. and add.)**, Northeast Corner Fifty-sixth and Race streets. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., W. C. L. Eglin, Tenth and Chestnut streets. Brick, cut stone, steel, 1 story, 41x63 feet, slag roof, cement floors, plumbing, heating extension, hollow metal sash, waterproofing, ornamental iron work. Contract awarded to Franklin M. Harris & Co., 1520 Parrish street.

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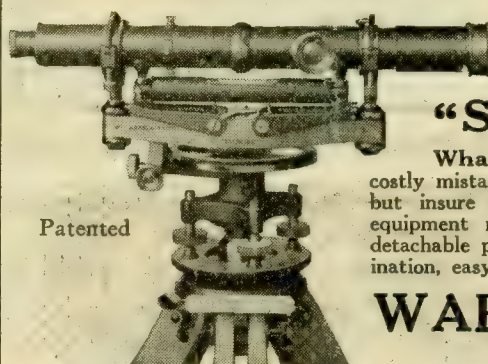
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## PENNSYLVANIA Construction News

**Gymnasium**, Freeland, Pa. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owners, Mining & Mechanical Institute, care of architect. Brick, 4 stories. Plans in progress.

**Residence (alts.)**, Fourteenth street, Windber, Somerset County, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, Butler Freeman, on premises. Plans in progress.

**Residence (alts.)**, Windber, Somerset County, Pa. Architect, H. L. Reinhold, 1513 Walnut street, Philadelphia. Owner, E. J. Newbaker, on premises. Plans in progress.

**Residence (alts.)**, Villanova, Pa. Architect, Edward S. Hoffman, 315 South Fifteenth street, Philadelphia. Owner, S. C. Perry, care of architect. Cement and concrete, carpentry, iron work, mill work, linoleum floors, hardware, sheet metal work, painting and glazing, electric wiring. Revised plans in progress. Architect will be ready for bids in a few days.

**Apartment**, Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, George Snyder, Northampton, Pa. Brick, 3 stories, 40x148 feet, slag roof, pine floors, steam heat, electric light. Plans in progress. Architect will be ready for bids in one week.

**Community Building**, South Side, Bethlehem, Pa., \$150,000. Architect, D. Levy, 949 Hamilton street, Allentown, Pa. Owners, Bethlehem Jewish Community Centre Association, Aaron Polruch, Wyandotte Hotel, Bethlehem, Pa. Brick, steel, 3 stories, 130x100 feet, slag roof, hardwood floors, electric light, tile and marble work, rolled steel sash, ornamental iron work. Architect will be ready for sub-bids in one week.

**Hall and Recreation Building**, Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, St. Joseph's Sick & Benefit Society, care of architect. Brick, concrete, steel, 3 stories, 115x45 feet, slag roof, maple floors, steam heat, electric light, roof ventilators, bowling alley. Plans in progress. Architect will take bids March 1st.

**Factory**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, J. Feinberg, 443 North Second street, Allentown, Pa. Brick, steel, concrete, 3 stories, 90x30 feet, slag roof, concrete and wood floors, roof ventilators, steam heat,

electric light, rolled steel skylights, floor hardener, iron stairs. Architect ready for bids.

**Garage**, Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, E. R. Lilly, Northampton, Pa. Concrete, brick, steel, 2 stories, 105x60 feet, slag roof, concrete and steel lumber floors, steam heat, electric light, rolled steel sash, floor hardener. Plans in progress.

**Apartment and Store Building**, Lehigh and Union streets, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, care of architect. Brick, 3 stories, 30x70 feet, slag roof, pine floors, hot water heat, electric light, plate glass, copper work. Plans in progress.

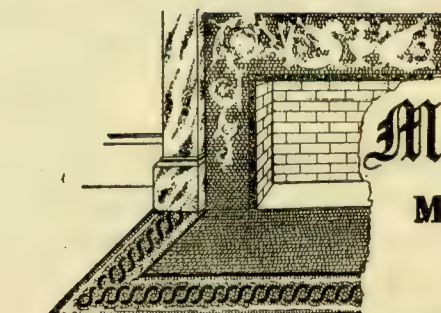
**Residences (3)**, Drexel Hill, Pa. Architect, private plans. Owner, name withheld, care of Mr. French, 1615 Spruce street, Philadelphia. Frame, stucco, 3 stories, 27x38 feet, shingle roof, excavations, stone foundations, brick work, plastering, tile, cement, pine and hardwood floors, heating, plumbing, electric, gas and electric fixtures, roofing, sheet metal. Owner taking sub-bids due February 1st.

**Twin Houses**, Allentown, Pa. Architect, S. G. Dobbin, Segal Building, Atlantic City, N. J. Owner, I. Phillips, 1311 Hamilton street, Allentown, Pa. Cinder block and stucco, 2 stories and basement, 44x50 feet, slag roof, pine floors, hot water heat, electric light, tile work. Owner ready for bids.

**Residences (2 double)**, Lancaster Pike and R. R. Station, Rosemont, Pa. Architect, private plans. Owners, Merion Const. Co., 2315 Walnut street, Philadelphia. Frame and stucco, 2 stories, 32x33 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owners taking sub-bids due as soon as possible.

**Store and Apartment House (alts.)**, Fourth and Spruce, Reading, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, George Elderton, Thrift Building, Reading, Pa. General alterations, 3 stories, 14x58 feet, hot water heat, electric light, plumbing, marble work, papering, carpentry and mill work, plastering, painting, plate glass, store fixtures. Plans completed. Owner is taking bids.

**Residences (2)**, Tyson avenue, Glenside, Pa. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Andrew Minter, 5001 Wayne avenue, Philadelphia.



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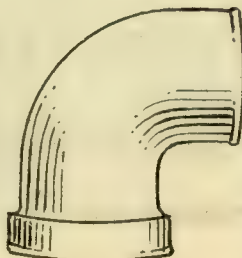
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**Residences (5), Northampton, Pa.** Architect, E. R. Bitting, Odd Fellows Building, Bethlehem, Pa. Owner, E. R. Lilly, Northampton, Pa. Brick, 2½ stories, 80x59 feet (row), slag roof, hardwood floors, hot water heat, electric light, metal lath. Plans in progress. Architect will be ready for bids next week.

**Residence and Store, Palmerton, Pa.** Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, F. Holszman, 228 Delaware avenue, Palmerton, Pa. Brick, steel, 2 stories, 40x85 feet, slag roof, pine floors, hot water heat, electric light, metal ceilings. Plans in progress.

**Residences (3), Bethlehem, Pa.** Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, Harry A. Smith, 740 Linden avenue, Bethlehem, Pa. Brick, 2½ stories, 53x40 feet, slag and slate roof, pine floors, hot water heat, electric light. Plans in progress. Owner will build.

**Bank, Mifflinsburg, Pa., \$90,000.** Architects, Tilghman Moyer Co., 824 Hamilton street, Allentown, Pa. Owners, Mifflinsburg Bank, Mifflinsburg, Pa., D. L. Grover, president. Reinforced concrete, structural steel, brick and concrete, 1 story, 36x71 feet, slag roof or Barrett Specification roof, cement, cork tile and linoleum floors, hollow tile, cast stone, dampproofing, terra cotta, vault, vapor vacuum heat, electric light, metal lath, tile and marble work, rolled steel sash, rolled steel skylights, bank fixtures, bond, ornamental plaster, ornamental iron work, ornamental terra cotta, architectural bronze, demolition. Architects will build.

**Distribution Station, Southeast Corner Ninth and Summerset streets, Darby, Pa.** Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Supplee-Wills-Jones Milk Co., Twenty-sixth and Jefferson streets, Philadelphia. Brick, cut stone, steel, 2 stories, 122x96 feet, slag roof, cement floors, pine and granite block floors, metal lath, tile work, bond, floor hardener, ornamental iron work, waterproofing, terra cotta, cork insulation. Architect taking bids due February 5th at noon.

**Wayne Central Office Building, Lancaster avenue, West of Loudon, Wayne, Pa.** Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., North American, Seventeenth and Parkway, Philadelphia. Brick, cut stone and steel, limestone, 3 stories, 49x40 feet, steam heat, electric light, metal lath, tile work, hollow metal sash, hollow metal doors, bond, cork composition floors, dampproofing, shoring, metal weather strip, kitchen equipment, composition and cement floors, slag roof. Architect taking bids due February 1st.

**Parochial School, Fifth and Webster streets, Ranshaw, Pa.** Architect, Paul A. Monaghan, 1713 Sansom street, Philadelphia. Owners, Saint Anthony's Parish, Rev. Thomas Barth, on premises. Brick, granite, limestone, cut stone, 2 stories and basement, 75x68 feet (plumbing, heating, electric reserved), composition roof, maple floors, metal lath, tile and marble work, copper skylights, bond, ornamental iron work, dampproofing. Architect taking bids due February 2nd.

**Apartment House, Highland Park, Pa.** Architect, private plans. Owner, George Barnes, Highland Park, Pa. Brick and steel, 3 stories, 60x40 feet, hot water heat, electric light, tile work, metal lath, slag roof, oak floors. Owner taking bids due January 31st.

**Residence (alts. and add., fire repairs), Radnor, Pa.** Architect, Horace Trumbauer, and associate architect, Burrell Hoffman, Land Title Building, Philadelphia. Owner,

James F. Sullivan, care of architect. Brick, cut stone, steel, limestone, hot water heat, electric light, tile, tile and marble work, bond, ornamental iron work, slate roof, oak and pine floors, dampproofing, dreadnought mastic floors. Architect taking bids due February 1st.

**High School, St. Mary's, Pa.** Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owners, St. Mary's Borough School Board, E. G. Beck, secretary, St. Mary's, Pa. Brick, steel, 2 stories and basement, 165x88 feet, composition roof, composition and hardwood floors, roof ventilators, waterproofing, terra cotta (heating, electric and plumbing reserved), metal lath, rolled steel sash, kalamein doors, bond, iron stairs, ornamental iron work. Architects taking bids due February 11th.

**Bank Building, Phoenixville, Pa.** Architect, John H. Mower, Phoenixville, Pa. Owners, National Bank of Phoenixville, I. E. Miller, president, Phoenixville, Pa. Indiana limestone, granite and brick, Caenstone, plastering, reinforced concrete, 1 story and basement, 50x88 feet, tin roof, marble, cork and ceramic tile floors, metal window frames and sash, plate glass, corrugated wire and pressed lens glass, bronze and marble fixtures, vault doors and construction, electric wiring. Architect taking bids due February 14th.

**Residence, Villa Nova, Pa.** Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, R. R. Titus, Jeffersonville, Pa. Stone, cut stone, 2½ stories, 101x36 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath, tile work. Architect taking bids due February 6th.

**Church and School, Oil City, Pa.** Architects, W. Bolton & Son, Witherspoon Building, Philadelphia. Owners, The Trinity Methodist Episcopal Church, Van Peters, Oil City, Pa. Stone, 1 and 2 stories, 120x130 feet. Architects taking bids on cast stone due February 4th. On general bids due February 8th.

**Apartment House, Merion, Pa.** Architect, T. B. Lippincott, 11 South Sixteenth street, Philadelphia. Owner, name withheld. Architect taking bids (general) due February 8th.

**Store and Apartments (3), Royersford, Pa.** Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Samuel Green, Second avenue, Royersford, Pa. Brick, stone, 3 stories, 24x72 feet, tin and canvas roof, composition and wood floors, plumbing (heating, plumbing, lighting reserved), tile work, metal cornices, plate glass. Plans in progress. Owner will take bids.

**Residence, Phoenixville, Pa.** Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Joseph Nagy, 159 Nutts avenue, Phoenixville, Pa. Brick, concrete, 2½ stories, 25x45 feet, composition roof, yellow pine floors (heating, plumbing, lighting reserved), bond. Plans in progress. Owner will take bids.

**Department Store, Altoona, Pa.** Architects, H. Childs Hodgins & C. A. Hill, 130 South Fifteenth street, Philadelphia. Owners, Silverman Brothers, Altoona, Pa. Brick, stone, steel, concrete. Plans in progress.

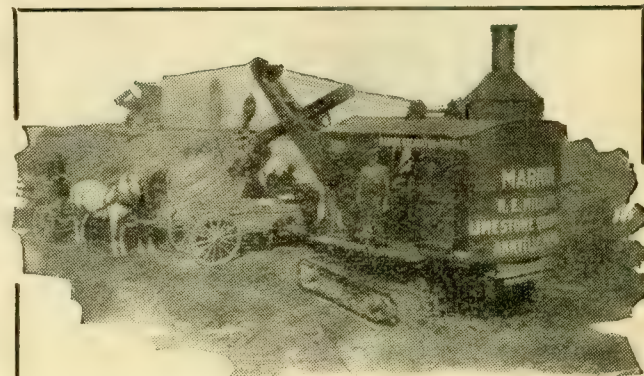
## Pennsylvania Contracts Awarded

**New High School, Palmerton, Carbon County, Pa.** Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Board of Education, Borough of Palmerton, T. J. Keinerner, secretary, Palmerton, Pa. Brick, steel, cut stone, cast stone, 3 stories, 164x138 feet, asbestos built-up roof, mastic, cement and maple floors, hollow tile, metal lath, marble work, rolled steel sash, galvanized iron skylights, bond, kalamein doors, floor hardener, ornamental iron work and stairs, terra cotta, waterproofing, hollow tile, bronze work, steel partitions, dumb waiters. Contract awarded J. Y. Loux, Fifteenth and Hunting Park avenue, Philadelphia, \$224,480. Heating, D. G. Carpenter Heating Co., Wilkes-Barre, Pa., \$32,500.

**Telephone Exchange Building, Bywood, Delaware County, Pa.** Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owner, J. C. Kahn, Morris Building, Philadelphia. Brick, stone and steel, 1 story, 54x80 feet, slag roof, cement and pine floors, metal lath, tile work, steam heat, electric light. Contract awarded J. L. Fawley, 1615 Spruce street, Philadelphia.

**Residence, Lansdowne, Pa., \$25,000.** Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owner, Dr. Robert H. Ivy, Medical Arts Building, Philadelphia. Brick, cut stone, frame, 2½ stories, 70x23 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work. Contract awarded J. Howard Roberts, 22 South Lansdowne avenue, Lansdowne, Pa.

**Stores and Apartment (alts. and add.), South Bethlehem, Pa.** Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem. Owner, Adolph Boek, 472 Birkel avenue, Bethlehem, Pa. Brick, 1 story, 31x60 feet, slag roof, pine floors, hot water heat, electric



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light, copper work, general interior alterations. Contract awarded to Daniel Brace, R. F. D. No. 1, Bethlehem, Pa.

**Bridge**, on line of Elm street, East of Conshohocken, Pa. Architect, private plans. Owners, Philadelphia & Reading R. R., Twelfth and Market streets, Philadelphia. Stone and steel, structural steel, masonry. Contract awarded Frederick Snare, 1524 Chestnut street, Philadelphia. Superstructure, steel. McClintock & Marshall, Morris Building, Philadelphia.

**Moose Home (alts. and add.)**, Tamaqua, Pa. Architect, Benjamin R. Stevens, 1922 Arch street, Philadelphia. Owners, L. O. O. M., Tamaqua Council, Tamaqua, Pa. Contract awarded Butz & Clader, Allentown, Pa.

**Power House (add.)**, Willow street, East of Fifth street, Reading, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Reading Hardware Co., Reading, Pa. Plumbing and drainage. Contract awarded C. H. Schlegel, Mt. Penn, Pa.

## New Jersey Construction News

**Theatre**, Woodlawn Park, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owners, Hindinger Enterprise Co., care of architects. Frame, 1 story, 100x170 feet. Preliminary plans in progress. Too early for details.

**Store and Residence**, Trenton, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, S. Szkhanny, care of architect. Brick, 2½ stories, 18x56 feet, slate roof, pine floors, steam heat, electric light, tile work, metal ceilings. Plans in progress.

**Stores**, Hotel Chalfont, Atlantic City, N. J. Architects, Rankin, Kellogg & Crane, 1012 Walnut street, Philadelphia. Owners, Chalfont Hotel, Atlantic City, N. J. Preliminary plans in progress.

**School**, New Jersey avenue, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. H. Young, secretary, Atlantic City, N. J. Brick. Architect selected.

**School**, Northfield, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Northfield School District, C. Kreutz, secretary, Pleasantville, N. J. Brick, 1 story, (2) rooms, pine floors (heating and electric work reserved). Owners ready for bids.

**Residence (alts. and add.)**, Ventnor, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owner, Dr. E. R. Doughty, 1905 Pacific avenue, Atlantic City. Brick, 2 stories, irregular size, slate and tin roof, hardwood floors, electric light, general alterations. Architect about ready for bids.

**Residence**, Atlantic City, N. J. Architect, S. G. Dobbins, Segal Building, Atlantic City, N. J. Owner, S. G. Dobbins, Segal Building, Atlantic City, N. J. Cinder block and stucco, 1 story, 45x56 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Architect ready for sub-bids.

**Residence**, Ventnor, N. J. Architect, S. G. Dobbins, Segal Building, Atlantic City, N. J. Owners, Hampton Brothers, 4405 Atlantic avenue, Atlantic City, N. J. Frame, 2½ stories, 34x36 feet, slate roof, hardwood floors, hot water heat, electric light, tile work, plate glass. Plans in progress. Owners will build.

**Apartment House (alts.)**, Camden, N. J. Architect, Byron H. Edwards, 34 South Seventeenth street, Philadelphia. Owner, name withheld. Hot water heating extension, electric light, tile work, hardwood floors, deadening felt, plumbing, plastering, papering. Plans in progress.

**Manufacturing Plant**, Trenton, N. J., \$1,000,000. Architect, W. E. S. Dyer, Land Title Building, Philadelphia. Owners, Thomas Maddock's Sons Co., Trenton, N. J. Steel and concrete construction, steel sash. Plant, 1 story, 1600x450 feet; power plant, 40x150 feet; office building, 50x125 feet, 2 stories. Plans in progress.

**Bath House**, Kentucky, Massachusetts avenue, Boardwalk and Calloway avenue, Atlantic City, N. J. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Associate architect, H. E. Stout, Atlantic City, N. J. Owners, Borshad's Baths, Inc., Atlantic City, N. J. Brick, stucco, terra cotta, 4 stories, 104x65 feet, steam heat, electric light, metal lath, tile and cement floors, marble work, hollow metal sash, galvanized iron skylights, tin-clad doors, ornamental iron work, waterproofing, terra cotta. Architect taking bids due January 31st.

**School**, Robbinsville, N. J. Architects, W. W. Slack & Son, St. Regis Theatre Building, Trenton, N. J. Owners, Washington Township School Board, Miss Hepburn, Windsor, N. J. Brick, steel, 1 story and basement, 140x32 feet, slate roof, pine floors, hollow tile, waterproofing and dampproofing (heating, electric work and plumbing reserved). Architects ready for bids due February 6th.

**School (add.)**, Florence, N. J. Architects, P. L. Flower Co., Fitzcharles Building, Trenton, N. J. Owners, Florence School District, E. Robbins, Florence, N. J. Brick, cut stone, 2 stories, 63x147 feet (plumbing, heating and electric reserved), slag roof, pine and composition floors, terra cotta, ornamental iron work, bond, rolled steel sash, tile and marble work, metal lath, electric lighting (alternate on linoleum). Owners taking bids due February 7th.

**New Cynwyd Hotel (alts.)**, 145 South Tennessee avenue, Atlantic City, N. J. Architect, Abraham Levy, 1208 Real Estate Trust Building, Philadelphia. Owner, name withheld. Brick work, stone foundations, electric light, plate glass, general interior alterations. Architect taking bids due December 7th.

**Air Port (alts.)**, Atlantic City, N. J. Architects, Carrere & Hastings, 52 Vanderbilt avenue, New York City. Owners, City of Atlantic City, N. J. Bids due February 7th.

**Church and Sunday School**, Ocean and Simpson avenues, Island Heights, N. J. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owners, Island Heights Methodist Episcopal Church, Islands Heights, N. J. Frame. Architect taking bids due February 9th at noon.

## New Jersey Contracts Awarded

**Factory**, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, Mutual Potteries, 381 North Clinton street, Trenton, N. J. Brick, steel, fireproof, 2 stories, 60x360 feet, slag roof, concrete and wood floors (heating reserved), electric light, metal lath, roof ventilators, elevators, rolled steel sash and skylights, fire doors, floor hardener, iron stairs. Contract awarded to J. H. Morris & Co., 211 North Montgomery street, Trenton, N. J.

**Factory (add.)**, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, Mutual Potteries Co., 381 North Clinton street, Trenton. Brick, steel, fourth story add., 60x350 feet, slag roof, concrete and wood floors, electric light, metal lath, rolled steel sash and skylights, fire and kalamein doors, floor hardener, iron stairs. Contract awarded to William Burton, American Mechanics' Bank Building, Trenton, N. J.

**Factory**, Sixth and Atlantic avenue, Camden, N. J. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, Benjamin Small, care of architect. Brick, concrete, steel, 1 story, 150x325 feet, 12x160 feet, slag roof, maple floors, vacuum heat, electric light, rolled steel sash, hollow metal skylights, tubular doors, roof ventilators, structural steel, oil-burning equipment. Contract awarded Simon Kaplan, care of architect.

**Court House alts.**, South Broad and Market streets, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owners, Board of Freeholders of Mercer County, E. E. Margerum, Court House, Trenton, N. J. Stone, 1 story, hardwood floors, elevator (1), general interior alterations, heating and lighting extensions, tile and marble work. Contract awarded to T. B. Johnson, 669 Princeton street, Trenton.

**Bank (extension)**, Atlantic City, N. J. Architect, J. Vaughn Mathis, Guarantee Trust Building, Atlantic City. Owners, Second National Bank, William Corfer, New York and Atlantic avenues, Atlantic City, N. J. Limestone, 40x100 feet, ornamental bronze, general alterations. Contract awarded to J. Mathis & Son, Guarantee Trust Building, Atlantic City, N. J.

## Delaware Construction News

**Store and Residence**, Eighth and Union streets, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, P. Gold, on premises. Brick, 2 stories and basement, 20x65 feet, slag roof, pine floors, metal ceilings, plate glass. Owner taking sub-bids.

**Residence**, 1006 Union street, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, Mrs. T. Persolio, 1008 Union street, Wilmington, Del. Brick, 2 stories and basement, pine floors, slag roof, slate work. Owner taking bids.

**Store and Residence (alts. and add.)**, 737 West Fourth street, Wilmington. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, I. Spiller, on premises. Brick, 3 stories and basement, 20x60 feet, pine floors, slag roof, metal cornices, general alterations. Plans in progress.

## Delaware Contracts Awarded

**Store and Oil House**, Maryland Avenue Freight Station, Wilmington, Del. Architect, private plans. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Concrete, brick, steel, 1 story, 32x84 feet, built-up roof, concrete, steam heat, electric light, rolled steel sash, rolled steel doors, bond, ornamental iron work, waterproofing. Contract awarded Curtis Grindrod, 10 South Eighteenth street, Philadelphia.

## Miscellaneous Construction News

**Garage**, location withheld. Architect and engineer, associate, J. L. Stetler and H. M. DDeysher, 1015 Chestnut street. Owner, name withheld. Reinforced concrete, brick, terra cotta, 4 stories and basement, 10x146 feet, slag roof, cement floors, metal sash, steam heat, electric light. Plans in progress.



**Apartment House**, location withheld. Architect and engineer, associate, J. L. Stetler and H. M. Deysher, 1015 Chestnut street. Owner, name withheld. Brick, steel, terra cotta, 4 stories and basement, 70x110 feet, slag roof, vapor heat, electric light, tile and marble work, hardwood and composition floors, elevators, kalamein doors. Plans in progress.

**Lyon Hall Dormitory**, Ithaca, N. Y. Architects, Day & Klauder, Franklin Bank Building, Philadelphia. Owners, Cornell University, Ithaca, N. Y. Stone, steel, concrete, 3 stories, 30x110 feet, slate roof, central steam heat, electric lighting, marble and tile work. Architect taking bids due February 5th.

## Proposal

TREASURY DEPARTMENT, Supervising Architect's Office, Washington, D. C., January 17, 1924. Sealed Proposals will be opened in this office at 3 P. M., February 12, 1924, for new roof over call room at the United States Custom House at Baltimore, Maryland. Drawings and specifications may be obtained from the Custodian at Baltimore, Md., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from page 68)

solutely assure adhesion, as frequently the variation of the amount of water contained and the exact time of evaporation play an important part.

It is hardly necessary to state here the various methods which can be employed to safeguard and amply protect foundations and masonry and it might be profitable to conduct a campaign of education along these lines, so that the public will not look with fear upon Winter construction. After a building is enclosed and protected from the elements, the setting of temporary radiators after the installation of the heating system of course expedites the remainder of the work.

The inducement for the prospective builder as we all know lies in the fact that there is usually a better supply of labor during the Winter months. This has been especially true during the last four years when the large flood of building operations during the busiest period has created such a shortage of labor and material as to bring about an unhealthy condition for both contractor and owner.

The contractor who has figured on the established wage scale has too often to his sorrow, found his men soldiering on the job and himself helpless in the situation. A command would only result in losing his help altogether and frequently compel him, in order to complete his work, to raise the wages or pay overtime as an inducement to obtain workers from other contractors who in turn would suffer the same experience and would finally be compelled to bid against the first contractor for the return of their former mechanics.

After a few experiences of this nature, the contractor would naturally endeavor to protect himself in future work and the succeeding owner would be compelled to pay the penalty of this competition for labor.

A better distribution of work throughout the year would tend to decrease this tendency and likewise costs thereby. Another evil which might be eliminated arises from the fact that unemployment drives workers into other fields or climates and many of them do not return, thereby creating a still further economic loss.

It is hardly necessary to state here that the continuous overhead of a contractor's organization is a considerable burden to him during dull seasons and is a corresponding inducement for him to reduce his margin of profit for continuous employment, which will result in a decided advantage to the owner who can be educated to the advantages of building during the Winter period.

I believe a general publicity campaign directed toward the Architect would be beneficial. In order to obtain results, the co-operation of the Architect or Engineer is absolutely vital. If Winter work is under consideration, the conditions to be encountered should be clearly anticipated. I believe it would be advisable where time is of importance, to state in advance that the contract should be based on actual working days. Otherwise the contractor will, or rather should, protect himself by ample allowance for bad weather. Thus the cost is increased and if moderate weather prevails, the owner is likely to be the loser. It is also necessary to definitely consider work as a Winter job in the writing of specifications. In other words, if the contractor's attention is called to the fact that he must figure on thawing out frozen ground, on providing a certain amount of temporary heat, on temporary enclosures at door and window openings and in general, on carrying on his work irrespective of weather conditions, he will then allow enough in his original bid to cover the cost of such work and will not either slow down or stop work or ask the owner for extras when cold weather sets in.

In order to avoid any question at the completion of the work relative to the time element, it is well to specify exactly what weather conditions and temperature are necessary so that a "working day" is clearly defined in advance.

Naturally there are some contractors better fitted than others, by virtue of both experience and necessary equipment, to carry on work during the Winter months. We have found that a number of prospective builders hesitate to let contracts just before cold weather, due to the fact that some friend or associate of theirs has gone through an unfortun-

ate building experience, but by showing them that most difficulties can be avoided by selecting a contractor who knows how to meet these conditions, such prejudice can be overcome.

Where there is not a general contractor on the work, the contractor for the masonry and concrete work, will expect and should receive the proper co-operation of the other trades, so that the building can be enclosed and heated as quickly as possible, with this in mind, the specifications covering glazing, temporary boiler connections or radiators and the maintenance of the heating system should be plainly specified, in order to obtain the co-operation of all trades.

A general publicity campaign might be directed toward the public as well as the contractors. A chart showing clearly the fluctuations as well as a statement showing all the facts clearly and indicating the advantages to be gained, would be valuable and in time should produce results. A thorough study of the situation by Committees representing the various industries throughout the sections of the country affected, and the submitting of their report for discussion among the various local organizations should bring a wider range of experience and knowledge of its practical application to the individual contractors. A campaign carrying a popular slogan, obtained possibly by the offering of prizes to the public, would tend to arouse a general interest in the subject.

It should be pointed out clearly that in many cases owners will profit by proceeding with their work regardless of weather conditions, when they can make savings of interest as well as taxes on investments lying idle. It is surely safe to state conservatively that Winter construction will cost an owner no more than Summer work.

In all of these elements which enter into the general question of improving building conditions, a careful analysis of the situation by both Architect and owner and frequently consultation with an intelligent contractor will produce savings in cost of construction and result in a completed enterprise instead of an abandoned enterprise. This process repeated many times will produce healthier, saner and more satisfactory conditions in the building industry.

(The chart referred to in the sixth paragraph may be obtained by addressing Ira L. Smith, 1038 Munsey Building, Washington, D. C.)

You owe it to yourself to keep in touch with what is going on in the trade, and you can do this only by becoming a subscriber to and regular reader of your trade paper. If you are not a regular reader of the Builder's Guide you should be. The cost is not excessive. A five-spot insures it fifty-two times in the course of a year.



## BUYING WEATHER

Buying summer weather in the winter time, in any latitude, is rather a complex matter. Some people solve the difficulty by going to California, to Florida, or to some more distant semi-tropical land during the cold season. In these states, weather is one of the assets and supposed to be had for the living in it.

On a mild, soft June morning, the air itself is a joy, giving a sense of exhilaration. This condition is the goal toward which the heating engineer is working in the conditioning of the winter air in the house. There are four points which must be taken into consideration in his work toward this end. First, the heat must be produced and efficiently, without undue wastage between the fuel and the heat delivered in the rooms of the house. Second, the house must be so built that this warm air does not leak out faster than it can be efficiently produced. "Forcing the furnace" is the inefficient way of making up for undue heat loss. Third, the quality of the air itself must be kept good, usually by means of ventilation, natural or otherwise; and fourth, there must be sufficient humidity in the air of the house if the living conditions are to be satisfactory.

While the first points are fundamental and fixed more or less in the building of the house and the selection and installation of the heating plant; yet if failure or defects appear along these lines, there are remedies which may be applied at almost any time. Mid-winter is the time when such defects are likely to appear and to make themselves most felt, or when a partial failure in the heating plant is most distressing in the home.

### *Mid-Winter Efficiency for the Heating Plant*

The amount of usefully applied heat, in actual winter conditions of home heating may vary from 25 per cent. to 75 per cent. of the total available heat, under ideal conditions, according to research work of the Experimental station of the University of Illinois. Under poor conditions it is possible to lose through chimney wastage of hot gasses, etc., as much as is usefully applied—even as much as 40 or 50 per cent., including the loss from soot also. The clogging of soot may become a real factor. The loss through the ash pit of unburned fuel, or fuel not completely burned, may be easily detected. There is still the heat lost by radiation before reaching the rooms to be heated.

These unnecessary losses are not due to poorly designed furnaces or improper installation. Thin fires, and lack of care in firing, result in excessive losses. Dirty pipes and soot in the chimney also give wastage of heat. Much black smoke emerging from the chimney shows that

fuel gasses are being thrown off without being consumed. The wise householder will examine into conditions if his chimney smokes very much. When coal was a few dollars per ton one could afford to hire a "boy to run the furnace," and let him use coal enough to get the house warm. In these days it behooves the householder to know something of his own heating plant and to study the science of firing it. Bulletins have been issued which will help at every step.

If one has a furnace which works all right in mild weather but fails in extremely cold weather, relief may be obtained, according to building authorities, by placing a small electric fan in the inlet duct to blow air to the furnace and thus cause a brisker circulation throughout the whole system. The fan would be used only in warming up the house in the morning or in extremely cold weather. It is a matter of record that an ordinary electric fan installed in this way will double or triple the capacity of the heating system.

### *Leaky Building Construction*

If leaking air should stain the walls and ceilings as a water leak does, we should have houses which would be easier to heat because the air leakage which permits an unnecessary waste of heated air would be known and stopped. The difference in coal bills between a leaky construction and a well built house will in a few years repay for thorough insulation in the first building. If the attic is not used, the insulation should be applied between the ceiling of the upper room and the attic floor, rather than under the rafters, otherwise only a thickness of plaster separates a warm room from a cold attic, accompanied by considerable heat loss. Beam filling of a leaky wall at the basement line, closing the partitions from the basement so that heat did not escape to the attic and similar small attentions have been the means of cutting coal bills almost in half; while at the same time making the house more comfortable. It is no exaggeration to state that fully 40 per cent. of the heat losses in the average house can be attributed to this neglect of insulation, according to William H. Driscoll, vice president of one of the big building companies, in *Popular Science Monthly*.

### *Quality of the Air*

Tests as to the quality of the air have been carried on for some years, in the conditioning of the air in school buildings and many practical points have been established which may well be applied to the condition of the air in the home. It seems to be established that it is the movement quite as much as the content of the air which affects the comfort and the working conditions of the individual. These show that only the air in immedi-

ate contact affects the individual, and that a slight movement continually brings new relays of air in contact with the skin. Much interesting experimental work has been done relative to the use of ozone as a means of rejuvenating the air in an enclosed space, and this promises further development. That "mild exhilaration" in the air following a thunderstorm is due to the generation of ozone in the electrical storm. Ozone is not usually present in the air of our cities because it is quickly consumed by the decaying matter and other oxidizable substances. Small units for producing ozone are made which are used in the sick room or in hospitals.

### *Moisture in the Air of the House in Winter*

Outdoor air on a very cold day is comparatively dry. When this air is brought into the house and raised to a temperature of 70 degrees Fahrenheit there is not enough moisture for the expanded air, and this dry air sucks moisture from every object with which it comes in contact, including the human body. The air in our houses in winter is often drier than the air of the most arid desert in the world. Getting enough moisture in the air to have any effect is not an easy matter, when one realizes that authorities say that the evaporation of 15 to 20 gallons of water a day may be necessary for the ordinary 8 or 10-room house—that would be 5 to 10 gallons for the smallest house.

Health authorities state that there is a constant secretion from the normal mucous linings of the passages of the nose and throat which kills the infections which may be inhaled. Living day after day in super-dry air, tends to dry and prevent these germicide secretions and leaves the membranes open to attack and infection.

Modern heating manufacturers are taking these facts into account and are putting water in warm air furnaces, some of which are comparatively efficient, and noiseless steam valves on radiators which bring steam into the air. There are also humidifiers which really do evaporate gallons of water. The large quantity of moisture required must be kept in mind in selecting them. Hygrometers, which show the relative humidity, are coming to be used so that the householder may know the true conditions.

### *A Steaming Teakettle*

In the small house or apartment there is perhaps no better way of getting immediate relief when the air is so dry that every one is cross and irritable than a steaming teakettle pouring its stream of vapor into the air, or drawing a tubful of hot water in the bathroom and letting it stand for a short time.

—Keith's Magazine.



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# Builders' Guide

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Vol. XXXIX, No. 6  
February 6, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

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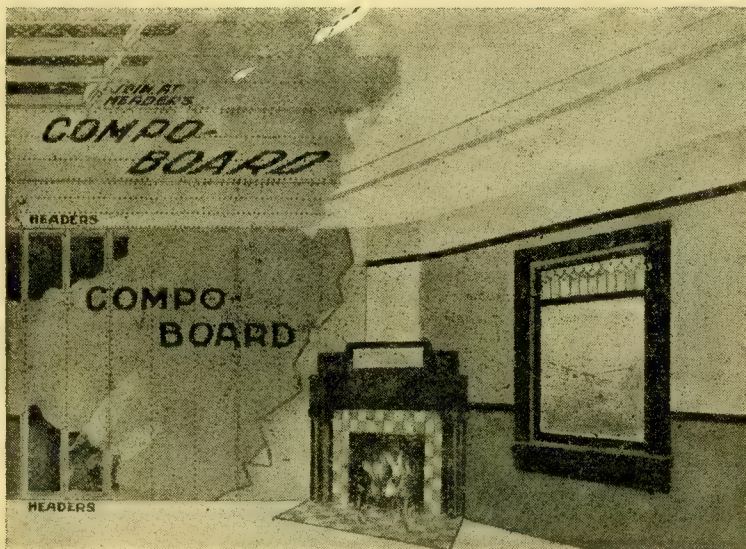
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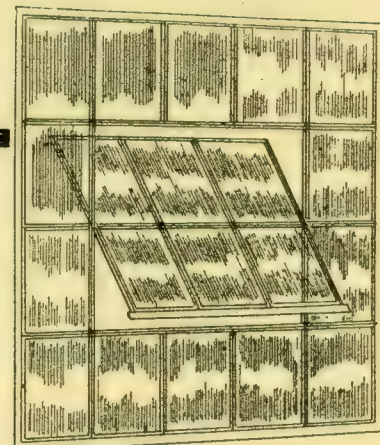
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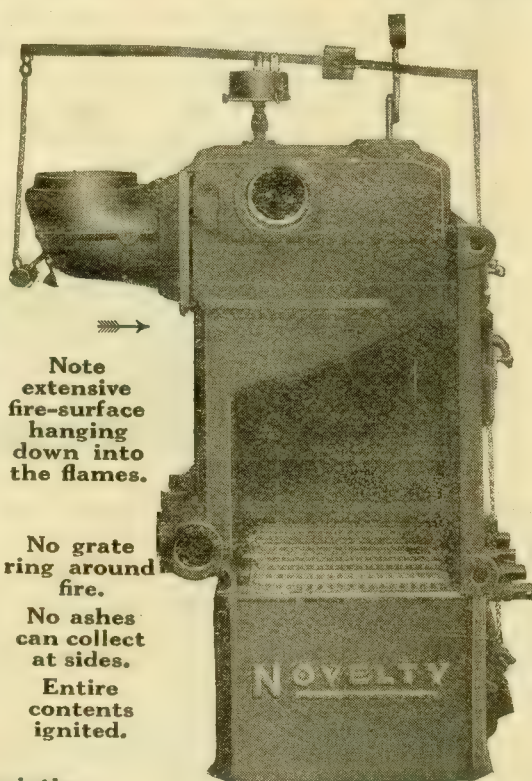
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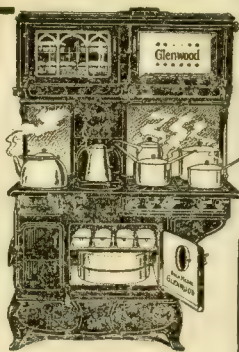


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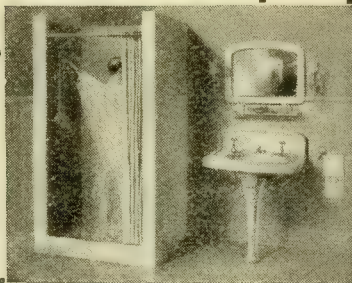


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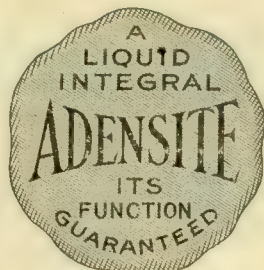
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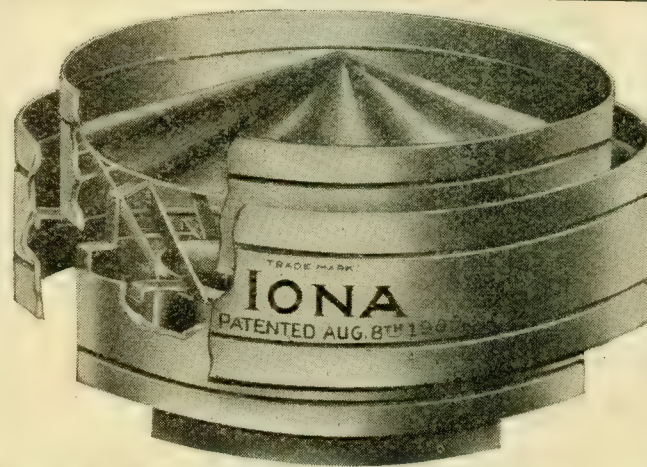
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades  
VOLUME XXXIX  
Number 6  
PHILADELPHIA  
February 6, 1924

## BUILDERS' GUIDE

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Sixteenth and Chestnut Sts., Philadelphia, Pa.

PUBLISHED WEEKLY  
BY

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## As The Editor Sees It



### SERVICES OF AN ARCHITECT

By C. E. SCHERMERHORN, *Architect*  
Member American Institute Architects

The thinking public is awake to the value of the services capable of being rendered by an architect, and recognize that his province bears the same relation to the owner as that of a specialist in medicine or surgery to his patient. In countless ways the expert advice and suggestions of an experienced architect will be found to have substantial value, and his worth, in this respect, cannot be economically ignored by anyone who has determined to build, whether it be a bungalow or a great commercial or monumental project.

When a location is in contemplation or has been determined upon, the architect selected should be made acquainted with the owner's ideas and conception of what the building should be, and its character and purposes. The exigencies of the site should then be studied, and the climate, outlook, grades, drainage and other essential factors carefully considered, as their influence make for the success or failure of the completed building.

This will enable the architect to obtain a knowledge of the essential requirements, to discuss any fallacies, and to sketch out practical and comprehensive plans for the interior arrangement and exterior design, organized and adapted to the real need and precise conditions, in conjunction with the economic condi-

tions that underlie the problem. These preliminary studies may offer several solutions, one being advantageous from one point of view, and another from another point of view, which are then capable of being intelligently discussed with the client and permit of definite conclusions being reached.

From these sketches and studies, showing the general plan and design of the contemplated building, with their accompanying synopsis of the materials of construction, fixtures and finish, close approximate estimates may be obtained from contractors. These estimates may afford a basis for determining the future possibilities of the project and enable its further development by the preparation of the final working drawings, which involve an accurate layout of all floors, of all the elevations, both exterior and interior, also typical sections and detailed methods of construction. The working drawings must be so complete that a contractor will know exactly how and of what material every part of the building is to be constructed, thereby forestalling any guessing, which so frequently is costly to the owner.

The working drawings are accompanied by specifications, taking up in the form of a description what it is impossible to express on the drawings, and stating therein with clearness and precision the grades and character of the work, materials, ingredients, appliances and fixtures required to be used and in-

stalled. These specifications also show how the contractor shall do certain portions of the work and co-operate with the various sub-contractors; they also state the indemnity bonds, insurance, etc., required; and, in general form a complete thesis of the building to be constructed, leaving no doubt in the minds of the bidder, as to the exact amount and character of the work called for. This assures that all estimates received shall have been intelligently submitted, and that, when the contract is ultimately awarded, the contractor can plan its progress with a definite knowledge of the materials and requirements, the work being thus carried out with greater expedition and consequent economy.

After it has been determined to proceed, a legal binding and definite contract must be prepared by the architect in which the requirements on both sides are clearly set forth, the "instruments of service," in the form of specific and technically intelligible drawings and specifications, being made a cohesive part of this contract. Definite terms of payment, time of completion, and requirements in connection with lien laws must be provided for. There must also be provisions in the contract for fire, lightning, casualty, compensation and contingency insurance, for necessary bonds in connection with completion, and for compliance with local, municipal or state requirements, departmental directions or rulings, ordinances and acts.

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After the contract has been awarded the architect should be placed in full charge, so as to enable him to direct and observe the proper laying out of the work, and to see that the plans and specifications are conformed to. He must also make proper disposal of the problems that arise while the building is in progress, passing on all technical questions and furnishing from time to time explanatory detail drawings of the various parts of construction, ornamentation, fixtures, arrangements, etc., as required; he issues certificates of payment as they fall due under the terms of the contract and also becomes the arbiter in all questions of dispute.

It is only by following these steps, in their logical, natural sequences, from the very conception of the building to its final completion, that an owner can obtain the best results with a minimum of worry and a maximum of economy.

In order to construct a building successfully, it is necessary to anticipate each step in the progress of its development, and to outline a complete system for its erection, and to control the work until the building is turned over completed to the owner.

Full architectural services, rendered by a competent man, will save many times his comparatively small compensation. The instruments of service, the plans and specifications, are the fundamental element in the contract, and to produce them requires thought, experience and learning, also familiarity with the qualities, properties, peculiarities, weight and strength of materials, the weights of structures and the relationship of the various operations to be performed by the many trades represented in the building.

The annual banquet of the Philadelphia Builders' Exchange and Employers' Association will be held in the Manufacturers' Club Wednesday evening, February 13, at 6.30 o'clock. The speakers will be the Honorable Walter Gordon Merritt, New York City, Councilman William W. Roper, Philadelphia, and the Honorable Harold B. Wells, Bordentown, N. J.

A notebook containing instructions for modern practice of establishing lines and levels will be sent free to any one requesting it. The calendar and the cross section pages are also useful to builders and contractors and furnishes a convenient means for preserving notes on costs, estimates, measurements, etc. For copy address: Warren-Knight Co., 136 N. 12th St., Philadelphia, Pa.

Don't be discouraged if you make an occasional mistake; if men didn't there wouldn't need to be any claw on a hammer.

## LOOKING AHEAD

BY WILLIAM F. CHEW

Building activity is sweeping over the land and is surpassing everything in that line we have ever known in the past, or even hoped for and yet we have not reached the point where we are even filling up the emptiness created by the long period of inactive building construction work.

Throughout the nation we see progress on every hand. We see greater activities in our factories, on the farm, in the mines, the railroads, and especially in construction, in fact all industry is sparkling with the life of greater activity. The demand for labor is keeping employed practically every willing worker in the country and at a higher rate of wage than ever realized before, except perhaps for a brief period during the late war. We believe that 1924, despite political discussions that may arise, will be the greatest year of business prosperity that this country has ever known.

The New Year opens with a world-wide betterment business program. The \$5,000,000,000 building record of 1923 will probably advance to seven or eight billions in 1924.

The value of the farm products of the country exceeds by nearly \$3,000,000,000 the value for 1922, and the value of 1922 exceeds by \$2,000,000,000 that of 1921, and 1924 will undoubtedly exceed 1923 by \$4,000,000,000, as the farmers are on rising ground despite the handicaps they suffered during 1920-1921.

The boll weevil cut short the cotton crop, and this resulted in an advance of from \$750,000,000 to \$1,000,000,000, over what a larger crop would have produced, and Southern farmers are thus as a whole benefitted to that extent, though individual farmers and individual sections are suffering by reason of boll weevil destructiveness. With added facilities to fight the boll weevil, the Southern farmers hold great expectations for the 1924 other crops to the extent of several hundred million dollars.

Based on December 1 acreage, production and prices the Agricultural Department estimates that thirty principal crops have a farm value of \$8,322,695,000. Similar crops on December 1, 1922, were valued at \$7,449,804,000 and \$5,629,548,000 December 1, 1921. Compared with last year's value, these thirty crops will bring to the farmers an increase of \$872,891,000 and compared with 1921 values an increase of over \$2,693,000,000. Better prices and larger acreage yields in most crops are heartening to the farmers and to the general business outlook of the country. The movement of citrus fruits and vegetables of almost every variety, winter grown for northern and western consumers, has begun, and

(Continued on page 95)

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CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**House**, Stenton and Meadowbrook avenues, Philadelphia. Architect, H. Graham, Jr., 10 South Eighteenth street, Philadelphia. Owner, Charles Gibbons Davis, care of architect. Architect taking bids due February 7th.

**Residence**, 1027 Unruh street, Philadelphia, \$4,500. Architect, private plans. Owner, Robert Stewart, 1031 Unruh street, Philadelphia. Frame, 2 stories, 16x40 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, South side Roxborough avenue, East of Houghton, \$7,500. Architect, private plans. Owners, C. O. Struse & Sons, Shurs Lane, Manayunk, Philadelphia. Brick 1 story, 25x17 feet, 18x17 feet, slag roof, cement floors. Owners will build.

**Apartment House**, Fifty-first and Overbrook avenue, Philadelphia. Architect, Israel Demchick, 1701 Chestnut street, Philadelphia. Owners, Rose Const. Co., North American Building, Philadelphia. Brick and cut stone, 3 stories and basement, 105x45 feet, 123x45 feet, slag and slate roof, hardwood floors, copper flashings and gutters, plumbing, tile, marble, terrazzo work, vapor heat, electric light. Owners taking sub-bids.

**Apartment House (efficiency type)**, Nineteenth and Green streets, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owners, Corporation, care of architect. Onondago litholite stone, brick, 4 stories, 2 sections, 41x100 feet, with connecting combination stair and elevator tower, Barrett, Spanish tile roof, mineral, composition, hardwood floors, automatic elevators, copper cornices, dumb waiters, roof ventilators, stone and concrete foundations, metal ventilators, closet beds and cabinets (kitchen, dressing table, china and iron boards), asbestos wall board, gas ranges, gas clothes dryers, ornamental iron work, Morone art cement wainscoting, fire escapes, lunkin windows, fire doors, fireproof partitions, water supply storage tank and pumps, tile and marble work, Cabot's deadening quilt, vapor heat, electric light, window screens, structural steel, steel base windows. Architect taking bids due as soon as possible.

**Moving and Resetting present Private Patients' Building**, Penn street, Germantown. Architect, Arthur H. Brockie, 254 South Fif-

teenth street, Philadelphia. Owners, Germantown Dispensary and Hospital, Germantown, Pa. Brick, cut stone, concrete and cement, carpentry and mill work, marble and tile, elevators and dumb waiters, plastering, plumbing, painting and glazing, sheet metal work, structural steel and iron work, rolled steel sash, bond, metal lath and metal ceilings, repairs to roof (heating electric, ventilating reserved). Architect taking bids due February 15th.

**Residence**, 147-49 North Hortter street, Germantown, Philadelphia. Architects, Webber & Wurster, 1530 Locust street, Philadelphia. Owner, H. N. Wurster, care of architect. Cinder, concrete, block and stucco, 2½ stories, 36x7 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath. Architects taking bids due February 11th.

**Apartment (alts.)**, 1413 Erie avenue, Philadelphia. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, Dr. N. F. Herman, care of architect. Brick, 3 stories, 18x50 feet, (3) apartments, hot water heat, electric light and fixtures, tile work, hardware, oak, composition floors, linoleum floors. Architect will be ready for general bids in 10 days.

**Alterations and Addition to Building**, 222 South Eighth street, Philadelphia. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, T. B. Lovatt & Son, on premises. Brick, slag roof, metal windows, general alterations (heating, plumbing and electric reserved). Architect taking bids due February 11th.

**Residence (alts. and add.) and Garage**, Seventh and Olney avenue, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Max Weiss, care of architect. Garage, 1 story, 30x20 feet, slag roof, carpentry and mill work, painting and glazing, plastering, hardware, hot water heat, electric light, tile work. Architect taking bids due February 12th.

**Bungalow**, Buselton Heights, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Otto F. Hubenthal, care of architect. Frame, 1 story, 24x34 feet, hot air heat, electric light, asbestos shingle roof, pine floors. Architect taking bids due February 12th.

**Buildings**, Nos. 5-6 (Children's Department), Byberry, Pa. Architect, Philip S. Johnson, 1713 Sansom street, Philadelphia. Owners, City of Philadelphia, Department of Public Health, 484 City Hall. Low bidders: George H. Evans, Inc., 105 North Thirteenth street, \$94,264; C. H. Evans, 2315 Walnut street, Philadelphia, \$116,879. Heating, McClintock Brothers, 5608 Race street, \$9,995. Plumbing, N. Connelly, 1404 North Eighteenth street, Philadelphia, \$19,333. Electric, J. F. Buchanan Co., 1904 Sansom street, Philadelphia, \$2,751.

**Store, Dwelling and Garage**, Unruh and Torresdale avenue, Philadelphia. Architect, private plans. Owner, W. G. Consart, 6700 Torresdale avenue, Philadelphia. Owner taking bids due as soon as possible.

**Apartment House (alts. and add.)**, 5528 Wayne avenue, Philadelphia. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owner, C. E. Lloyd, Oak Lane, Philadelphia. Brick, 1 story, 15x25 feet, slag roof, glazed brick, mill work, hardwood and composition floors, dumb waiters, house phones, kitchen equipment, incinerators, steel cabinet, ornamental iron work, hollow metal doors, fire tower, rolled steel sash, tile work, metal lath, electric light, vapor heat. Plans in progress.

**Garage and Service Station**, Ridge avenue and Gerhardt street, Philadelphia. Architect, F. P. Canavan, 7032 Greenway avenue, Philadelphia. Owner, Benjamin Liebovitz, 4045 Baltimore avenue, Philadelphia. Brick, limestone trim, 1 and 2 stories, 76x300 feet, 50x300 feet, slag roof, cement and plank floors, steam heat, electric light. Plans in progress.

**Stores and Apartments**, 211-13 South street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, 3 stories, 27x53 feet, slag roof, pine and hardwood floors, metal lath, metal ceilings, metal bulks, bond, store fixtures, hollow metal skylights, tile and marble work, hot water heat, electric light, demolition. Plans in progress.

**Apartment House and (14) Private Garages**, Germantown, Pa. Architect, Herman Kline, Bulletin Building, Philadelphia. Owner, name withheld. Brick, stone, steel, Art. stone, 2 stories and basement, 20 feet, 6 inches x 136 feet, slag roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Residences (43)**, Fifty-seventh and Diamond streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, Frank Williams & Son, 5603 Diamond street, Philadelphia. Stone and brick, 2 stories, 16x47 feet, slag and tin roof, hardwood floors, hot water heat, electric light, metal lath, marble work, slag and tin roof, garages in basement, cement work. Owners ready for sub-bids.

**Residences (25)**, Massey street, between Buist and Elmwood avenues, Philadelphia. Ar-

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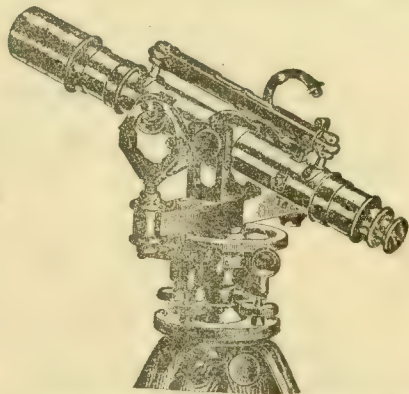
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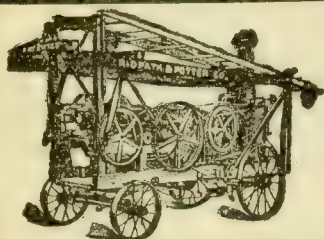
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**PHILADELPHIA**

chitect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, McWilliams & Maloney, 6308 Sherwood Road, Philadelphia. Brick, 2 stories, 16x32 feet, hot water heat, electric light, metal lath, slag roof, pine floors, cement work. Owner taking sub-bids.

**Residences (10)**, Duncannon street, between Twelfth and Marvine streets, Philadelphia. Architect, I. W. Levin, 1011 Jefferson Building, Philadelphia. Owners, Rosen & Finestein, 521 Porter street, Philadelphia. Brick, 2 stories, 16x48 feet, hot water heat, electric light, tile and marble work, slag roof, hardwood floors, cement work, stucco work. Owners ready for sub-bids.

**Swimming Pool and Shelter Building**, Tenth and Mifflin streets, Philadelphia. Architect (city), John Mollitor, Heed Building, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, Philadelphia. Brick, reinforced concrete, steel, slag, asphalt shingle, asbestos shingle roof, cement floors, waterproofing, terra cotta, ornamental iron work, bond. Ready for bids.

**Residences (6)**, **Stores (1)**, Lyons avenue and Eighty-fourth street, Philadelphia. Architect, Guy B. Johnson, 5413 Media avenue, Philadelphia. Owner, Franz Hoppe, 1317 Widener Building, Philadelphia. Brick, 2 stories, 16 feet, 6 inches x 43 feet, 18x49 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Owner ready for sub-bids.

**Manufacturing Building**, 314 New street, Philadelphia. Architect, F. P. Canavan, 7032 Greenway avenue, Philadelphia. Owner, name withheld. Brick, slow burning, 3 stories, electric light, slag roof, plank floors. Clayton F. Lofland, Water and Race streets, will take sub-bids.

**Residence and Garage**, South side Cheltenham, East of Eighth street, Philadelphia. Architect, Eugene A. Stopper, 10 South Eighteenth street, Philadelphia. Owner, George W. Keller, 305 East Upsal street, Philadelphia. Stone and stucco, 2½ stories, 38x35 feet, 1 story, 20x22 feet, tile roof, hardwood and cement floors, hot water heat, electric light, tile work (2 baths), steel window sash, gas range. Architect is subletting.

**Residences (800)**, Fifty-seventh to Sixtieth, Woodbine and Upland Way, Philadelphia. Architect, private plans. Owner, George W. Young, Seventeenth and Moyamensing avenue, Philadelphia, and Merion, Pa. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Work contemplated. Owner will build.

**Residences (15)**, Twenty-seventh and Reed streets, Philadelphia, \$69,400. Architect, private plans. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 2 stories, (1) 18x48 feet, (12) 15x32 feet, 10x9 feet and (2) 18x32 feet, 10x9 feet, slag roof, hardwood and pine floors, hot wa-

ter heat, electric light. Owner will build.

**Garages (2)**, South side Pennsgrove street, East of Fifty-fifth, \$12,000. Architect, private plans. Owner, J. D. Fisher, 5426 Thompson street, Philadelphia. Brick, 1 story, irregular shape, slag roof, cement floors, electric work. Owner will build.

**Residences and Stores (8)**, West side Torresdale avenue, South of Knorr street, Philadelphia, \$7,000 each. Architect, private plans. Owners, Terminal Const. Co., 6019 Market street, Philadelphia. Brick, 2 stories, 15x50 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2)**, East side Elberon avenue, South of Stanwood street. Architect, private plans. Owner, Joseph Ashby, Fox Chase, Philadelphia. Frame, 2 stories, 16x40 feet, 8x8 feet, shingle roof, hardwood and pine floors, electric light. Owner will build.

**Garage**, North side Gordon street, West of Twenty-seventh street, \$20,000. Architect, S. H. Levin, 1631 South Fifth street, Philadelphia. Owners, Haberman & Ockman, 2544 North Thirty-first street, Philadelphia. Brick, 1 story, 130x58 feet, 25x45 feet, slag roof, cement floors. Owners will build.

**Residences (4)**, East side Dalton street, South of Burholme avenue, \$4,500 each. Architect, private plans. Owner, Reuben P. Douglass, 8037 Oxford avenue, Philadelphia. Brick and frame, 2 stories, 20x39 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, 36 North Allison street, Philadelphia, \$4,500. Architect, private plans. Owners, The Millbourne Storage Co., 22 North Fifty-second street. Brick, 1 story, 25x100 feet, slag roof, cement floors. Owners will build.

**Residence**, North side Shelmire street, East of Verree Road, \$6,200. Architect, private plans. Owner, A. J. Menchey, 601 West Norris street, Philadelphia. Frame and stucco, 2 stories, 16x28 feet, 12x12 feet, steam heating, electric lighting, hardwood and pine floors. Owner will build.

**Residence**, West side Eighty-third street, South of Chelwynde street, \$3,500. Architect, private plans. Owner, Waldmire Zapala, 8301 Chelwynde avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, electric work, hot air heat. Owner will build.

**Convent Building**, Twenty-fourth and Green streets, Philadelphia. Architect, C. J. Cumiskey, 118 West Sharpnack street, Philadelphia. Owners, St. Francis Xavier Roman Catholic Church, Twenty-fourth and Green streets, Philadelphia. Brick and stone, 3 stories and basement, 35x130 feet, slag roof, pine floors, heating undecided, electric light, marble work, fire tower, alamein doors, structural steel ornamental iron work. Taking bids.

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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Factory**, Fifth and Hamilton streets, Philadelphia. Architect, Philip S. Tyre, 1505 Arch street, Philadelphia. Owners, Crescent Ink & Color Co., 408 Vine street, Philadelphia. Brick, cut stone, steel, 2 stories and basement, 80x56 feet, slag roof, cement floors, hollow tile, elevators, safety treads, iron work, floor hardeners, bond, fire doors, galvanized iron skylights, hollow metal sash, metal lath. Contract awarded Farrell Roth, 1624 Spruce street.

**Garage**, Northeast Corner Unity, below Griscom and Penn streets, Philadelphia. Architect, W. E. S. Dyer, Land Title Building, Philadelphia. Owner, Frankford Grocery Co., on premises. Brick and steel, 1 story, 99x67 feet, asphalt built-up roof, cement floors, plumbing, metal window guards, bond, ornamental iron work, rolled steel sash and skylights, metal lath. Contract awarded F. G. English, 1610 North Carlisle street, Philadelphia.

**Factory (alts. and add.)**, Venango and Sepviva streets, Philadelphia. Architect, private plans. Owners, Corrugated Container Co., on premises. Brick, 2 stories, 80x93 feet, slag roof, maple floors, elevators, plastering, metal lath, steam heat, electric light, rolled steel sash, bond, ornamental iron work. Contract awarded Robbins Cont. Co., 1137 North Front street, Philadelphia.

**Printing Plant**, Harvey near Germantown avenue, Philadelphia. Architect, Ellery K. Taylor, 1420 Chestnut street, Philadelphia. Owners, Fleu & Fetterolf, 5954 Germantown avenue, Philadelphia. Brick, 2 stories, 50x60 feet, slag roof, pine floors, steam heat, electric light. Contract awarded William C. Wright, 22 Harvey street, Philadelphia.

**Apartment House (alts.)**, 1408 Lyndley avenue, Philadelphia. Architect, private plans. Owner, Dr. Phillips, 5104 North Carlisle street, Philadelphia. Electric light, hot water heat, metal lath, plastering, slag and tin roof, mill work, carpentry, painting, dumb waiters. Contract awarded T. J. Wilkinson, 3639 N. Ninth Street, who is taking sub-bids due as soon as possible.

**Car Barn (alts. and add.)**, Hancock and Huntingdon streets, Philadelphia. Architect, private plans. Owners, Philadelphia Rapid Transit Co., Eighth and Dauphin streets, Philadelphia. Repairing wooden trusses, carpentry. Contract awarded H. E. Baton, 1713 Sansom street, Philadelphia.

**Store and Apartment House**, 520 North Nineteenth street, Philadelphia, \$8,475. Architect, private plans. Owner, C. A. White, 520 North Nineteenth street, Philadelphia.

Brick, 1 story, 12 feet, 6 inches x 6 feet add., slag roof, oak and pine floors, hot water heat, electric light, general alterations. Contract awarded to Lockhart & Simon, 1524 Chestnut street, Philadelphia.

**Garage**, East side Frazier street, South of Pearl street, \$8,000. Architect, private plans. Owner, Alfred S. Hendricks, Rock Hill, Chester County, Pa. Brick, 1 story, irregular size, slag roof, electric work. Contract awarded to J. D. Fisher, 5426 Thompson street, Philadelphia.

**Garage**, 4626-28 Hedge street, Philadelphia, \$6,000. Architect, private plans. Owner, William J. Durst, on premises. Brick, 1 story, 48x53 feet, 20x50 feet, slag roof, cement floors. Contract awarded to J. Y. Loux, Fifteenth and Hunting Park avenue.

**Residence and Store (alts. and add.)**, 2435 West Lehigh avenue, \$4,000. Architect, private plans. Owner, H. Pastor, 2439 Lehigh avenue, Philadelphia. Brick, 1 story add., 15x8 feet, general alterations. Contract awarded to S. F. Brown, 2433 Hagert street, Philadelphia.

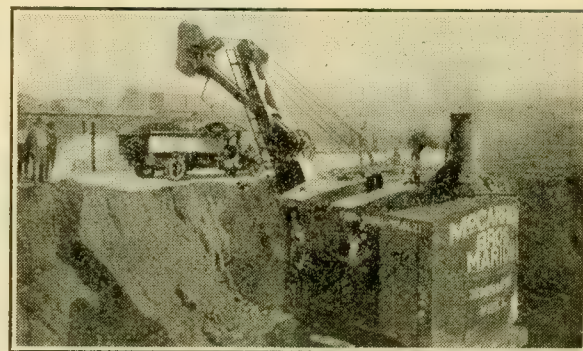
**Residence**, 531 Gates street, Philadelphia, \$10,000. Architect, private plans. Owner, John C. Held, 6104 Ridge avenue, Philadelphia. Hollow tile, 2 stories, 27x31 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to W. H. Eddleman & Son, 453 Green Lane, Roxboro.

**Business Building (add.)**, Northwest Corner Eleventh and McKean streets. Architect, private plans. Owner, Francesco Petrullo, 1922 South Twelfth street, Philadelphia. Brick, 2 stories add., 16x14 feet, slag roof. Contract awarded to James Berlinger, 1535 South Twelfth street, Philadelphia.

**Residence**, South side Brighton street, East of Frontenac, \$7,000. Owner, Robert J. Dixon, 1923 East Pacific street, Philadelphia. Frame, 2 stories, 24x36 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to John E. Miller, Neshaminy Falls, Pa.

**Store (alts.)**, 1014 Market street, Philadelphia, \$6,500. Architect, private plans. Owner, George B. Evans, on premises. General alterations. Contract awarded to F. L. Hoover & Son, 1021 Cherry street, Philadelphia.

**Store and Storage Building (alts. and add.)**,



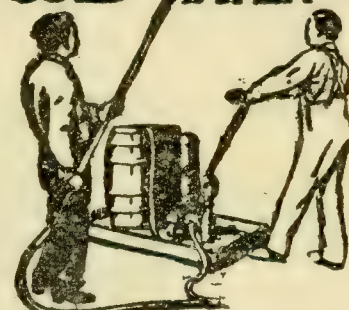
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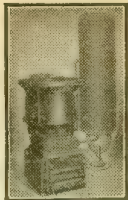
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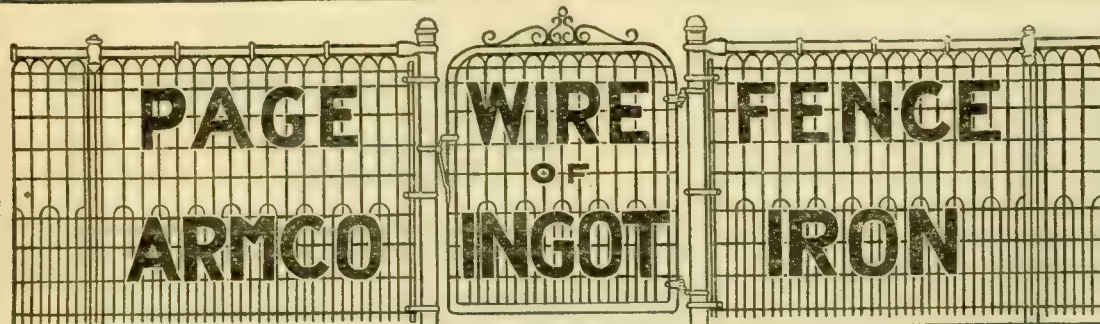
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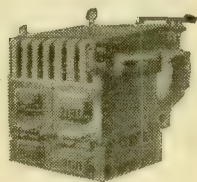
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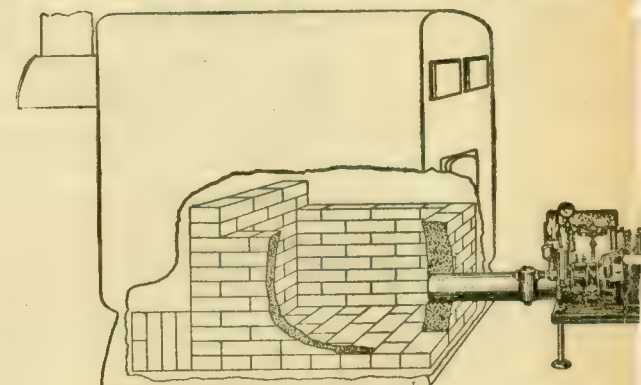
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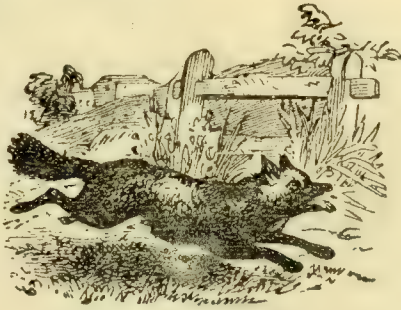
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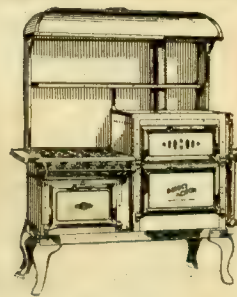
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1801-03 South street, \$6,000. Architect, private plans. Owner, E. Weinstein, on premises. Brick, 1 story add., 25x6 feet, general alterations. Contract awarded to A. Rubin, 1127 Thompson street, Philadelphia.

Residence, South side Tyson street, West of Loretta avenue, \$6,600. Architect, private plans. Owner, A. J. Betz, Buckius and Coral streets, Philadelphia. Frame, 2 stories, 28x28 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Edward H. Christian, Princeton and Loretta avenue.

Bakery (alts.), 636-38 Federal street, Philadelphia, \$4,500. Architect, private plans. Owners, E. & A. Nacchio, on premises. New oven. Contract awarded to General Oven Co., 41 Park Row, New York.

Garage (alts.), 475 York avenue, Philadelphia, \$2,800. Architect, private plans. Owners, Samuel H. French & Co., Fourth and York avenue, Philadelphia. General alterations. Contract awarded to A. Zellfelder, 1324 Walnut street, Philadelphia.

Residence (alts.), 246 West Upsal street, Philadelphia, \$2,000. Owner, W. P. Starkey, 6344 City avenue, Philadelphia. General alterations. Contract awarded to J. C. Finck, Jr., City Center Building, Philadelphia.

Apartment House (alts.), 225 West Tulpehocken street, \$4,000. Architect, private plans. Owner, Mrs. T. A. Fernley, on premises. General alterations. Contract awarded to Samuel Harting & Sons, 20 East Johnson street.

Warehouse (tank support), Northeast Corner Front and Bainbridge streets, \$3,000. Architect, private plans. Owners, Merchants' Warehouse Co., 110 Chestnut street, Phila-

delphia. Brick and iron supports. Contract awarded to Geo. Kessler Cont. Co., 1733 North Marvine street.

Garage and Residence (add.), 4917-19 North Lawrence street, \$2,500. Architect, private plans. Owner, James Butler, 4923 North Fifth street, Philadelphia. Brick, second story add., 40x23 feet. Contract awarded to G. V. Simon, 4908 North Fourth street, Philadelphia.

Store and Residence (alts. and add.), 5651 Chew street, \$3,100. Architect, private plans. Owner, Harry Blum, on premises. Brick, 1 story, 14x7 feet, general alterations. Contract awarded to Maurice C. Manchey, 802 East Washington Lane, Philadelphia.

Residence (add.), 1208 South Sixtieth street, Philadelphia, \$2,000. Architect, private plans. Owner, Samuel Sexsmith, on premises. Brick, 2 stories, 13x7 feet, and 1 story, 13x6 feet. Contract awarded to A. Schleyers, 907 East Church Lane, Philadelphia.

Building (alts.), Northeast Corner Twenty-third and Westmoreland avenue, \$6,000. Architect, private plans. Owners, Budd Wheel Co., on premises. General alterations. Contract awarded to Wark Co., 1600 Walnut street, Philadelphia.

Har Zion Temple, Fifty-fourth and Wynnefield avenue, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Har Zion Temple, 2205 North Fifty-first street, Philadelphia. Stone, brick, cast stone, 1 story, gallery and basement, 60x90 feet, slate roof, pine floors, metal lath, tile and marble work, terra cotta, tin-clad doors, bond, ornamental iron work. Contract awarded, but not signed, Murphy Quigley, 1524 Sansom street, Philadelphia.

## Pennsylvania Construction News

Residence and Garages (21), Levering Mill Road, Lodges and Bala avenue, Cynwyd, Pa. Architects, McLanahan & Bencker, Bellevue Court Building. Owners, Bencker Realty Co., Upper Darby, Pa. Stone, stucco, 2½ stories, 28x37 feet, 1 story, 20x22 feet, various sizes, Spanish and Mission tile roof, hardwood floors, cement work, hot water heat, electric light, tile work. Owner ready for sub-bids on 10. Work to start on 10 March 1st.

School, Collingdale, Pa. Architects, Folsom & Staton, 10 South Eighteenth street, Philadelphia. Owners, Board of Education, Collingdale, Pa. Architects and owners ready for bids.

School, Bloomsburg, Pa., \$500,000. Architects, McLanahan & Bencker, Bellevue Court Building, Philadelphia. Owners, Board of Education, Bloomsburg, Pa. Brick, steel and concrete. Plans in progress.

Church (memorial front), Gettysburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, Rev. M. E. Stock, Gettysburg, Pa. Indiana limestone, 48 feet wide, 30 feet high, marble work. Preliminary plans in progress.

Residence, Second and Manor streets, Harrisburg, Pa., \$20,000. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, D. Lucas, 302 Market street, Harrisburg, Pa. Stone and stucco. Preliminary plans in progress.

Residence (alts.), Birch avenue below Highland avenue, Bala, Pa. Architect, Joseph F. Lowry, Land Title Building, Philadelphia. Owner, Frank Schneider, care of architect. Brick, steam or vapor heat, electric light, hardwood floors, general interior alterations, terra cotta. Plans in progress.

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**Residence,** Lancaster, Pa. Architects, Hamme & Witman, City Bank Building, York, Pa. Owner, J. N. Hetrick, Woolworth Building, Lancaster, Pa. Fireproof, stone, 2½ stories, 30x65 feet, wing 24x35 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light, metal lath, tile and marble work, ornamental iron work. Plans in progress.

**Residence and Garage,** Wynnewood, Pa. Architect, private plans. Owner, Edgar S. Taylor, 1520 Chestnut street, Philadelphia. Stone and stucco, 2½ stories, 60x30 feet, slate roof, oak floors, hot water heat, electric light. Plans in progress.

**Auditorium,** Girardville, Pa. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Joseph's Catholic Club, Girardville, Pa. Brick and steel, 2 stories and basement, vapor heat, electric light, composition roof, pine floors, plumbing, metal ceiling, rolled steel sash. Plans in progress. Architect will be ready for bids in a week.

**Several Bungalows,** near Warnersville, Pa. Architect, R. L. Perot, 137 Harvey street, Germantown, Pa. Owner, name withheld. Frame and stone, 1 story, will contain 6 rooms and (2) baths. Plans in progress. Too early for details.

**Church,** Cornwells, Bucks County, Pa. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Charles' Roman Catholic Church, Rev. Francis J. Flood, Cornwells, Pa. Stone, slate roof. Plans in progress.

**Hotel,** Pottsville, Pa. Architect, W. D. Hill, Pottsville, Pa. Owners, Refowich Brothers, Pottsville, Pa. General remodeling (plumbing, heating and electric work reserved), slag roof, yellow pine floors, hollow tile, wire work, skylights, bond, iron stairs, fire escapes, cold water painting. Plans in progress.

**Residence and Garage,** Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, Albert Wohlsen, 38 South Marshall street, Lancaster, Pa. Stone, cinder block, 2½ stories, 44x28 feet, 20x22 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residence and Garage,** Eden, Lancaster County, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, H. F. Eshelman, Lancaster, Pa. Stone, 2½ stories, 24x120 feet, 22x60 feet, slate roof, hardwood and concrete floors, hollow tile, vapor heat, electric light, tile and marble work.

Plans in progress. Owner will take bids.

**Residence and Garage,** Eden, Lancaster County, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, Roy Eshelman, West Lemon street, Lancaster, Pa. Frame, 2½ stories, 26x120 feet, 22x60 feet, slate roof, hardwood floors, vapor heat, electric light, tile and marble work. Plans in progress. Owner will take bids.

**Residences (2),** Windber, Somerset County, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, Foreman & Assistant Foreman, 37 Eureka Mines, Windber, Pa. Plans in progress.

**Store, Office and Convention Hall,** Prince street, Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owner, George Roumfort, 115 North Lime street, Lancaster, Pa. Steel, concrete, brick, 3 and 4 stories, 60x80 feet, composition roof, reinforced concrete and wood floors, roof ventilators, terra cotta or limestone, steam heat, electric light, tile work, fire doors, rolled steel skylights, iron stairs, ornamental iron work. Plans in progress.

**School,** West Lampeter Township, Lancaster County, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owners, West Lampeter Township School Board, Mr. Musser, Lampeter, Pa. Brick, 1 story and basement, 40x140 feet, slag roof, composition roof, hollow tile, ventilating system, rolled steel sash (heating, plumbing and electric work reserved). Plans in progress.

**Garage and Show Room,** Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, St. Stephen's Protestant Episcopal Church, Dr. Sawyer, 215 North Front street, Harrisburg, Pa. Reinforced concrete, 2 stories, 50x75 feet, slag roof, concrete floors, city heat, electric light, rolled steel sash. Plans in progress.

**Home (alts. and add.),** Wagontown, Chester County, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, Hatfield Estate, C. F. Heitshu, Lancaster, Pa. Cinder block, stucco, 3½ stories, 40x120 feet, slate roof, maple floors, vapor heat, electric light, tile and marble work. Plans in progress.

**Store (alts. and add.),** Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, M. Garvin & Co., 31 East King street, Lancaster, Pa. Brick, steel, 5 stories, 30x250 feet, slag roof, pine floors, hollow tile, roof ventilators, terra cotta, heating extension, electric light, metal lath, tile and terrazzo work, rolled steel sash and sky-

lights, fire doors, fire escapes. Plans in progress.

**Convent,** Twelfth street, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Mary's Polish Church, care of architect. Brick, third floor add., 40x60 feet, slate roof, pine floors, tile work, heating extension, electric light. Preliminary plans in progress.

**Residence,** Reading, Pa. Architect, H. R. Heckman, Baer Building, Reading, Pa. Owner, P. B. Bender, 1392 Perkiomen avenue, Reading, Pa. Stone, 2½ stories, 32x44 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Preliminary plans in progress.

**Residence,** Reiffton, Berks County, Pa. Architect, H. R. Heckman, Baer Building, Reading, Pa. Owner, H. J. Miller, 45 North Seventh street, Reading, Pa. Stone, 2½ stories, 31x38 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Preliminary plans in progress.

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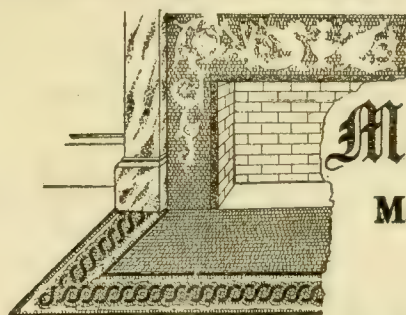
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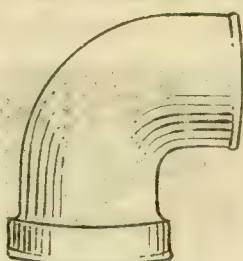
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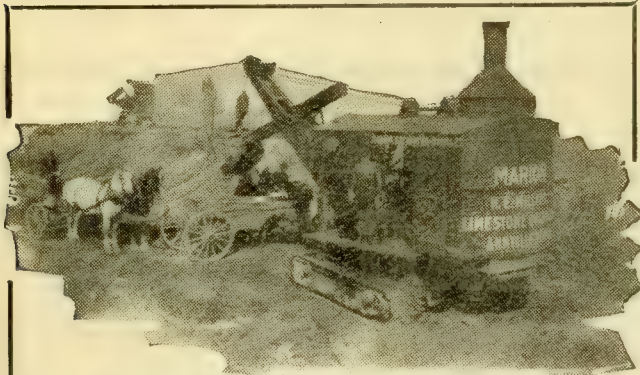
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**Church (alts.), School (alts.) and Rectory (add.),** Catasauqua, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Lawrence's Roman Catholic Church, Rev. Connors, Catasauqua, Pa. Brick, 3 stories, 30x50 feet, slate roof, composition floors, steam heat, electric light, tile work, general alterations. Preliminary plans in progress.

**Chapel,** Fountain Springs, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Helen's Mission, Rev. J. B. Brogan, Gordon, Pa. Frame, 1 story, 25x70 feet, shingle roof, pine floors, hot air heat, electric light. Plans in progress.

**Convent,** Lost Creek, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Mary Magdalene's Roman Catholic Church, Rev. T. Kelly, Lost Creek. Frame, 2½ stories add., 38x70 feet, slate roof, pine floors, hot water heat, electric light, tile work. Plans in progress.



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**High School,** Annville, Pa. Architect, E. Z. Scholl, 136 Robeson street, Reading, Pa. Owners, Annville School Board, Mr. Wagner, secretary, Annville, Pa. Fireproof, 2 stories, 160x95 feet, composition roof, hardwood floors (heating, electric work and plumbing reserved). All bids rejected. Will be ready for revised bids in about two weeks.

**Bank Building,** Tamaqua, Pa. Architect, B. R. Stevens, 1827 Arch street, Philadelphia. Owners, People's Trust Co., Tamaqua, Pa. Limestone, brick, new, 3 stories, 67x59 feet, slag roof, composition floors, alterations to first and second stories, 1-pipe steam heat, electric light, terrazzo floors, structural steel, gypsum block partitions, ornamental limestone, ornamental iron work, steel stairs, plate glass, tile and marble work. Architect will be ready for bids in one week.

**High School,** Windber, Somerset County, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, Borough of Windber, Somerset County, Pa. Stone and brick, 2 stories, 162x47 feet, auditorium and gym, wing 103x68 feet, built-up slag roof, electric light. Plans in progress. Will be ready for bids in 6 weeks.

**Bungalow,** Narberth, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Samuel L. Richtner, Narberth, Pa. Penn Building Block, plastered, 1½ stories, 30x55 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Plans completed. Owner ready for general bids.

**Residence,** Sutton avenue, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, James Haberstadt, Gladwyne, Pa. Frame plastered, 2½ stories, 24x38 feet, slate roof, hardwood floors, hot water heat, electric light, tile work, stone fireplaces, hard wall plaster. Owner will be ready for general bids in one week.

**Garage,** Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, W. T. McGoldrick, Ardmore, Pa. Penn Building Block, plastered, 2 stories, 25x40 feet, shingle roof, cement and pine floors, electric light. Plans completed. Owner will build.

**Building (alts.),** Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Main Line Motor, J. Howard Supplee, Rosemont, Pa. Fireproof partitions, heating and plumbing alterations, Congoleum inlaid linoleum floors, hollow metal doors, new bulks, metal ceilings, plastering. Plans in progress.

**High School,** Shamokin, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Coal Township School Board, Shamokin, Pa. Brick, stone and cast stone, 3 stories and basement, 350x185 feet, slag roof, pine floors, hollow tile, metal lath, fire doors, tile and marble work, steam heat, electric light. Will be ready for bids in a week.

**Residence and Barn (alts.),** Blue Bell, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Louis Klebe, Blue Bell, Pa. Stone and frame, 2 and 2½ stories, 26x46 feet, wings 18x35 feet, 18x30 feet, tin roof, hardwood floors, hot water heat, electric light, tile and marble work, water and sewerage systems, general renovations. Owner taking sub-bids.

**Residences (8) and Garages,** Valley Road, Merion, Pa. Architect, private plans. Owner, W. E. Hexamer, 929 Chestnut street, Philadelphia. Stone and stucco, 2½ stories, 37x26 feet, wing 10x16 feet, garage 18x20 feet, tile and shingle roof, hardwood and pine floors,

hot water heat, electric light, tile work. Owner taking sub-bids on 4 due at once.

**Bank and Office Building (add.),** Williamsport, Pa. Architect, Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owners, First National Bank of Williamsport, W. Beiber, Williamsport, Pa. Low bidder, Frank G. Stewart, 1520 Locust street, Philadelphia.

**Church,** New Freedom, Pa. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, St. John's Lutheran Church, care of architects. Brick and Indiana limestone, 1 story and basement, 112x75 feet, slag roof, hardwood floors, steam heat, electric light. Architects ready for preliminary bids.

**Cold Storage Building,** North George street, York, Pa. Architect, Edward Leber, Hay Building, York, Pa. Owner, P. Tassia, 156 North George street, York, Pa. Brick, steel, fireproof, 3 stories, 36x125 feet, slag roof, concrete floors, freight elevators, roof ventilators, steam heat, rolled steel sash and skylights, electric light, steel fire doors, cork insulation, refrigeration system, floor hardener. Architect ready for bids.

**Residence and Garage,** Ardmore, Pa. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owner, J. B. Mosser, Ardmore, Pa. Stone, frame and stucco, 2½ stories, 37x30 feet, slate roof, hot water heat, electric light, metal lath, tile work, hardwood floors, cement work. Plans completed. Owner will take sub-bids.

**Building,** location not decided. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Department of Fisheries, Mr. Briller, Harrisburg, Pa. Hollow tile, stucco, 1 story, 28x135 feet, asbestos shingle roof, concrete floors, steam heat, electric light. Owners will be ready for bids in one week.

**Residence,** Seventeenth and Foster streets, Harrisburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, Charles Appleby, 99 North Eighteenth street, Harrisburg, Pa. Stone and stucco, 2½ stories, 30x42 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Architect ready for bids.

**Residence,** East Willow Grove avenue, Chestnut Hill, Pa. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Harry Myers, on premises. Stone, 2½ stories, 43x43 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner ready for sub-bids.

**Residences (10),** Llanerch Hill, Upper Darby, Delaware County, Pa. Architect, W. H. Wooters, 816 West Allegheny avenue, Philadelphia. Owners, Berman & Guberman, 6036 Market street, Philadelphia. Stucco, 2 stories, 20x33 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owners taking sub-bids.

**Office Building,** Center Square, Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Conestoga Traction Co., W. W. Griest, president, 15 East Orange street, Lancaster, Pa. Granite, terracotta, steel, 14 stories, 60x66 feet, tile roof, composition floors, hollow tile, (3) elevators, electric light, metal lath, tile and marble work, rolled steel sash and skylights. Architect will be ready for bids in ten days.

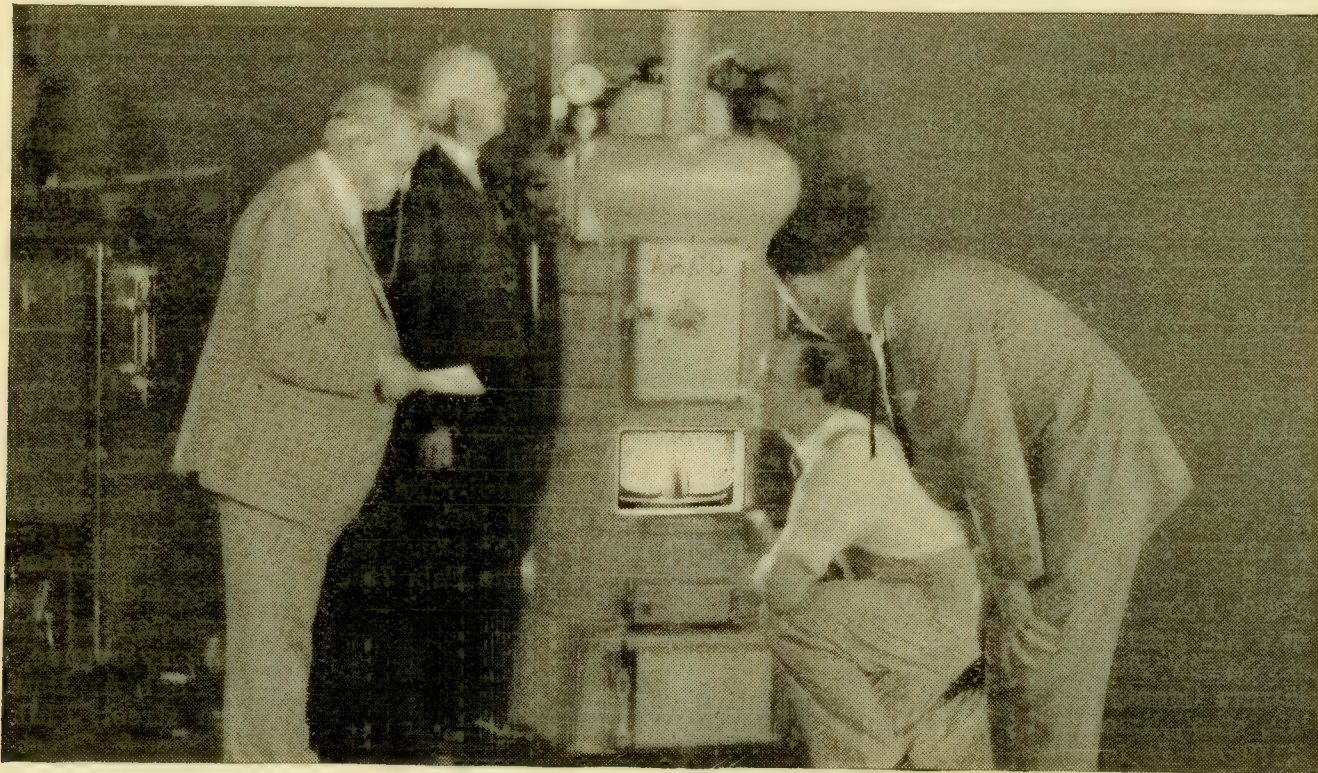
**Store Building,** Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Watt & Shand, 2 East King

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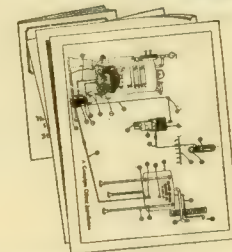
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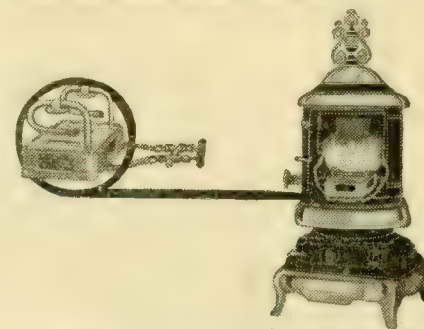
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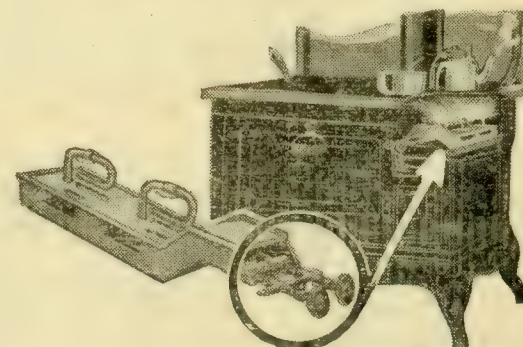
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street, Lancaster, Pa. Brick, steel, 4 stories, 59x102 feet, slag roof, concrete and maple floors, hollow tile, steam heat, electric light, tile and marble work, iron stairs, ornamental iron work. Architect will take bids in one week.

**Factory (alts. and add.),** Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, Lancaster Vinegar Co., Water and Hazel streets, Lancaster. Brick, mill construction, 2 stories, 50x75 feet, asbestos roof, pine floors, heating extension, electric work. Owners ready for bids.

**Stores and Apartments,** Beverly Hills, Upper Darby, Delaware County, Pa. Architect, Charles J. Mitchell, 15 South Twenty-first street, Philadelphia. Owner, James F. Brown, on premises. Brick, 3 stories, 83x40 feet, slag roof, oak and pine floors, steam heat, electric light, metal lath, tile work, copper skylights. Owner taking bids due February 9th.

**Office Building,** Chester, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Delaware County Electric Co., Chester, Pa. Brick, steel, limestone, 2 stories and basement, 172x40 feet, slag roof, cement floors, elevators, roof ventilators, hollow metal sash, metal lath. Architect taking bids due February 7th.

**Residence,** Villanova, Pa. Architect, Arthur Brockie, 254 South Fifteenth street, Philadelphia. Owner, George Farnam Brown, care of architect. Cinder concrete block, cut stone, stucco, 2½ stories, 45x25 feet, hot water heat, electric light, tile work, shingle roof, oak and pine floors. Architect taking bids due February 14th.

**School,** Morrisville, Bucks County, Pa. Architect, T. B. Stockham, Morrisville, Pa. Owners, Borough of Morrisville, Bucks County, W. R. Taylor, secretary, Morrisville, Pa. Heating and ventilating. Owners taking bids due February 14th at 8.30 P. M.

**Home,** Shiremanstown, Pa. Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owners, Methodist Episcopal Home for Children, Dr. E. R. Heckman, Harrisburg, Pa. Fireproof, 3 stories, 70x80 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light. Architect taking revised bids due February 11th.

**Church,** Pine street, Harrisburg, Pa. Architects, Cram & Ferguson, Pittsburgh, Pa. Associate architects, Johnson & Starr, Spooner Building, Harrisburg. Owners, Pine Street Presbyterian Church, Dr. A. Cherry, 315 North Front street, Harrisburg, Pa. Stone, 3 stories, slag roof, hardwood floors, electric light, tile work. Architects taking bids due February 9th.

**Bakery,** 528-30 Moss street, Reading, Pa. Architect, Earl Hickman, 128 South Fifth street, Reading, Pa. Owner, E. J. Faller, on premises. Brick, steel, 2 stories, 40x100 feet, composition roof, maple floors, freight elevators, roof ventilators, steam heat, electric light, metal lath, rolled steel sash, galvanized iron skylights, fire doors. Owner ready for bids due as soon as possible.

**Residence,** Merion, Pa. Architect, Carl A. Ziegler, 1309 Locust street, Philadelphia. Owner, Walter Off, care of architect. Stone, cut stone, 2½ stories, 51x33 feet, wing 23x20 feet, slate and shingle roof, oak floors, hot water heat, electric light, tile work ornamental iron work. Architect taking bids due February 11th.

**Residence,** Cynwyd, Pa. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Holcomb & Furman, care of architect. Frame and cut stone, 2 stories, 38x37 feet (heating reserved), shingle roof, oak and pine floors, electric light, tile work, bond, ornamental iron work. Architects taking bids due February 12th.

**Merion Apartments,** Merion, Pa. Architect,

Thomas B. Lippincott, 11 South Sixteenth street, Philadelphia. Owners, Merion Const. Co., 2315 Walnut street, Philadelphia. Brick, 4 stories, irregular size, steam heat, electric light, slag roof, linoleum floors, tile and marble work, skylights, tin-clad and kalamein doors, gas fittings and plumbing, hardwood, sheet metal work, grading, excavating, structural steel, plastering, painting and glazing, mill work, stair work, miscellaneous and ornamental iron work. Owners will build and are taking sub-bids.

**Residence (alts. and add.),** Lancaster Ave. and Gordon Road, Haverford, Pa. Architect, Wm. F. B. Koelle, Otis Building, Philadelphia. Owner, Mrs. C. Devenny, care of Architect. Brick, cut stone, standard steel, iron work, carpentry and millwork, hardware, repairs to roof plastering, metal lath, electric work, painting, plumbing. (Heating reserved.) Architect taking bids due Feb. 7th.

## Pennsylvania Contracts Awarded

**Apartment House,** Evergreen avenue and Crefeld avenue, Chestnut Hill, Pa. Architect, R. R. McGoodwin, 1422 Walnut street, Philadelphia. Owners, Chestnut Hill Apartments, S. F. Houston, president, Real Estate Trust Building, Philadelphia. Stone, 3 stories, 360x100 feet (30 apartments), steam heat, electric light, metal lath, tile and marble work, oak and pine floors, hollow tile, slag roof. Contract awarded Jacob Myers & Sons, Witherspoon Building, Philadelphia.

**Instruction Building,** Bryn Mawr, Pa. Architects, Allen & Collins, 75 Newberry street, Boston, Mass. Owners, Baldwin School, Bryn Mawr, Pa. Stone, brick, steel and limestone, 3 stories and basement, 147x74 feet, wing 64x49 feet (plumbing, heating, electric separate bids), slate and slag roof, cement and maple floors, metal lath, tin-clad doors, hollow metal skylights, waterproofing, steel stairs, ornamental iron work, dumb waiters. Contract awarded Roydhouse Arey Co., 112 North Broad street, Philadelphia.

**Joseph Krauskopf Memorial Library,** National Farm School, Doylestown, Pa. Architect, Andrew J. Sauer, Denckla Building, Philadelphia. Owners, National Farm School, Doylestown, Pa. Brick, hollow tile, cut stone, steel, limestone, 1 story and balcony, 36x60 feet, copper roof, concrete and pine floors, vapor vacuum heat, electric light, metal lath, tile, marble and terrazzo work, metal weather strip, ornamental iron work. Contract awarded Hughes Foulkrod Co., Commonwealth Building, Philadelphia.

**Reservoir,** Bethlehem, Pa. Architect, private plans. Owners, City of Bethlehem. Department of Water, Bethlehem, Pa. Reinforced concrete, reinforced steel, 200x150 feet, concrete roof, concrete floors, electric light, rolled steel sash waterproof, pipe lines and grading. Contract awarded F. H. Clement & Co., Stephen Girard Building, Philadelphia. Structural steel, American Steel Engr. Co., 10 South Eighteenth street, Philadelphia.

**Residence,** Latham Park, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owner, Louis Burke, Fourth and Girard avenue, Philadelphia. Brick, plastered limestone, 2½ stories, 100x30 feet, tile roof, hardwood floors, vapor heat, electric light, tile and marble work. Contract awarded, but not signed, P. Haibach Cont. Co., 1261 North Twenty-sixth street.

**Residences,** Nos. 1-2-3, Stoddart Tract, Washington Lane, near Rydal Station, Rydal, Pa. Architect, C. A. Ziegler, 1309 Locust

street, Philadelphia. Owners, Herkness & Stetson, Land Title Building, Philadelphia. Contract awarded E. Allen Reeves, Abington, Pa.

**Telephone Building,** Bethlehem, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Reinforced concrete, bond, waterproofing, steel work, brick work. Contract awarded H. G. Stoudt, Bethlehem, Pa.

## New Jersey Construction News

**School,** Bordentown, N. J. Architects, Gilbert & Betelle, Newark, N. J. Owners, State Board of Education, Bordentown, N. J. All bids rejected.

**Completion of Interior of Bank,** Eighth and Asbury avenue, Ocean City, N. J. Architects, Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owners, Ocean City Title & Trust Co., Ocean City, N. J. Plans about completed. Architect will be ready for bids in one week.

**Residence (alts. and add.),** Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, J. H. McCullough, 523 East State street, Trenton, N. J. Preliminary plans in progress.

**Residence,** Merchantville, N. J. Architect, Dale Truscott, care of Paul A. Davis, 3rd, & Dunlap, 1713 Sansom St., Phila. Owner, Dale Truscott, 1713 Sansom St., Phila. Frame, 2 stories, 27x41 feet, hot water heat, electric light, shingle roof, hardwood floors, tile work. Owner will be ready for general bids March 1st.

**Dining Hall, No. 2,** Morris Plains, N. J. Architects, Department of Institutions & Agencies, Division of Architecture & Construction, Trenton, N. J. Owners, Board of Managers, State Hospital, Morris Plains, N. J. Brick, hollow tile, structural steel, 5 stories, 30x60 feet, slate roof, composition and slate roof, composition floors, fan system heat, electric light, metal lath, rolled steel sash, fire doors, elevators, hollow tile, waterproofing and dampproofing, iron stairs, ornamental iron work. Architects ready for sub-bids.

**Store and House (add.),** Cleveland and Louis streets, Camden, N. J. Architect, Eugene S. Powers, 1520 Locust street, Philadelphia. Owner, H. Kohnstann, on premises. Frame, 3 stories, 40x65 feet, corrugated roof, plank floors. Owner will build.

**Residences (2),** Trenton, N. J., \$8,000. Architect, private plans. Owners, Thomas Day & Sons, Fitzcharles Building, Trenton, N. J. Brick and concrete block, 2 stories, 12x42 feet, slate roof, pine floors, electric lighting. Owners will build.

**Bank,** Millville, N. J. Architect, Thomas E. Ash, 1012 Walnut street, Philadelphia. Owners, Millville National Bank, Millville, N. J. Ready for bids.

**High School,** Millville, N. J. Architects, Guilbert & Betelle, Newark, N. J. Owners, Board of Education, Cumberland County, Millville, N. J. Low bidders: George W. Shaner, Palmyra, N. J., \$243,779; Bennett McLaughlin, 21 South Seventeenth street, Philadelphia, \$244,790. Heating, J. F. Craig, Jersey City, N. J., \$34,135. Plumbing, Shearman & Tompkins, Lakewood, N. J., \$13,000. Electric, J. F. Buchanan Co., 1904 Sansom street, Philadelphia, \$6,677.

The man who doesn't advertise, these days, is forgotten. The world is too busy to look up dead ones.



## New Jersey Contracts Awarded

**Central Office Building**, Bridgeton, N. J. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Delaware & Atlantic Telephone & Telegraph Co., care of Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 3 stories and basement, 63x43 feet, slag roof, composition, cement floors, steam heat, electric light, metal lath, tile and marble work, bond. Contract awarded E. H. Keefer Cont. Co., 1321 Rodman street, Philadelphia.

**Manufacturing Building**, New Brunswick, N. J. Architect, private plans. Owners, Freda Asbestos Co., on premises. Brick and steel, 1 story, 90x300 feet, slag roof, concrete floors, steam heat, electric light, rolled steel sash, ornamental iron work. Contract awarded Austin Co., Jefferson Building, Philadelphia.

**Shops**, Clinton street, Camden, N. J. Architect, W. H. Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad Co., care of Mr. McClintock, Camden, N. J. Brick, steel, 1 story, 86x150 feet, slag roof, cement and wood block, roof ventilators, rolled steel sash. Contract awarded to Armstrong & Latta, 1926 Sansom street, Philadelphia.

**Residence**, Moorestown, N. J. Architect, Emil G. Perrot, Boyertown Building, Philadelphia. Owner, C. S. Boyer, care of architect. Concrete, frame, stucco, 2½ stories, 50x34 feet, (2) wings, hot water heat, electric light, tile work, wood shingle slate (alt.) slag and composition roof, hardwood floors. Contract awarded to Conger & Son, Haddon Heights, N. J.

## Miscellaneous Construction News

**High School**, Belair, Md. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, School Board of Harford County, C. M. Wright, Belair, Md. Brick, semi-fire-proof, 2 stories, 8 rooms, composition roof, pine floors. Owners taking bids due February 20th.

**High School**, Havre de Grace, Md. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, School Board of Harford County, C. M. Wright, Belair, Md. Brick, 2 stories, 12 rooms. Owners taking bids due February 20th.

**Grade School**, Aberdeen, Md. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, School Board of Harford County, C. M. Wright, Belair, Md. Brick, semi-fire-proof, 2 stories, 8 rooms. Owners taking bids due February 20th.

## Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., January 31, 1924. Sealed Proposals will be opened in this office at 3 P. M., February 25, 1924, for the construction of a new 14x33-foot stone-faced mailing vestibule at the United States Post Office, Middletown, Ohio. Drawings and specifications may be obtained from the Custodian of the building, or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from page 84)

Southern railroads for the next four or five months handle an average of about 1100 cars of foodstuffs a day. This traffic brings into the South between \$400,000,000 and \$500,000,000 a year, added to the income of the Southern farmer.

The coal industry has an increased output over 1922 by approximately 120,000,000 tons and with no disturbances will increase this by several millions in 1924.

Highway building is under construction to the extent of some hundreds of millions of dollars in the South, and to an even larger amount in the rest of the country, hastening the time when impassable roads will give place to hard surface roads, and in doing this hastening the development of business in territories that have been practically idle owing to their inability to market their products in a satisfactory way, commensurate with time and effort of producing.

For the first time in many years the last Congress voted a fairly good sum for river and harbor work, and this session of Congress will probably do equally as well. With President Coolidge's hearty commendation of the St. Lawrence project, we may soon see the beginning of a work commensurate in importance to this country to the Panama Canal itself; and with the construction work now under way and that suggested by President Coolidge, the time should not be far distant when from Chicago to New Orleans there will be a great movement of traffic by reason of permanently deepened and maintained water transportation opportunities.

The railroads are handling the largest volume of freight in the history of the country, and one of the largest systems in the country plans on truck service for package short hauls in 1924, to enable a freer movement on heavy freight. Passenger traffic is far in excess of their facilities for handling it expeditiously and to the best advantage. The railroads of the country spent about \$1,500,000 on expansion during the year, and moved a little less than 1,000,000 carloads of freight every week. To meet the growing and increasing activities of the nation's business for the coming year the railroads will have to be prepared to haul at least 250,000 carloads of freight more each week than they did in 1923, and will have to increase their expenditures for expansion by several hundred millions.

We have 14,000,000 of the 17,000,000 automobiles and motor trucks in the world. We are spending on the purchase and maintenance of automobiles about \$9,000,000,000 a year, or an amount equal to one-half of the total capitalization of all the railroads in the United States. This amount is largely in excess of the

total taxation paid for national, state, city and county affairs.

In owning 14,000,000 out of 17,000,000 automobiles and motor trucks in the world we hold a dominant position in this industry which is almost matched by our other resources and business development as compared with the rest of the world.

Now, just for a moment let us look to the Far East from where come reports of decided improvements. China in places is still in the throes of semi-anarchy, but so vast is that empire in extent and population that while one province may suffer, another may prosper, and China will soon be counted among the advancing nations of the earth.

Conditions in India have improved wonderfully with a larger market for outside goods, while producing at home increased supplies as compared with former years.

Japan has weathered heroically the great disaster of the earthquake and fire, and as San Francisco, rebuilt on a larger and greater scale than ever before, following its earthquake, so will Japan do.

In Europe we learn conditions are steadily improving. Unemployment is steadily lessening in Great Britain and on the Continent.

Just as soon as the Ruhr dispute between France and Germany is settled the industrial leaders promise to put back to work the hundreds of thousands of men who were maintained by the German Government in passive resistance.

Even in Russia economic conditions are bettering, and the Bolshevistic rule, which well-nigh ruined that country, is losing its hold upon the people, and even the Bolsheviks and the Communists are realizing that they have made a fearful failure and are now struggling to get Russia back on solid economic ground, with a better financial system and a revival of industrial and agricultural work.

We, as a nation, should close the Old Year with thankfulness for all the good things which it brought in material activities and betterment, and we should enter the New Year looking straight ahead, for a steadily enlarging volume of world foreign trade, and our own foreign trade, showing that every nation on earth, with rare exceptions, is able to buy from us in ever increasing quantity, and that we are buying from all other nations more than we ever bought before.

Then are we looking ahead to expansion for the future, and lack of vision and imagination the man must have, who cannot see in present conditions a promise of increasing prosperity for the years to follow.—*National Builders' Bulletin*.

We'll write your advertising without charge. All we ask is that you pay for the space and provide our ad. man with the necessary selling pointers.



## HAS THE GENERAL CONTRACTOR A PLACE IN THE BUILDING CONSTRUCTION INDUSTRY

Architects in planning homes, factories, cathedrals and skyscrapers act much in the same capacity as does a judge. Interpretation of the owner's requirements in the way of design and plan depends much upon the architect's knowledge of building laws and customs. Building design is pre-determined by the properties of sections and by the accepted beauty of ancient structures. What Blackstone is to a lawyer and judge the Greek and Roman orders of architecture are to the architect.

Carrying our analogy a bit further we may compare the general contractor to our governmental executive. If the building law is interpreted by our judge, the architect, it is enforced by our executive, the general contractor and by the same token it is the sub-contractor and the building craftsman who acts as our legislative bodies in things architectural. When the accumulated knowledge and experience of these men leads them to assert that the "judge's" interpretation of architectural law is impossible of fulfillment a new architectural law is written.

The legislative, executive and industrial department of government are essential for different control of social action. The architect, general-contractor and craftsman are essential in modern construction.

Lately we have heard much about the policy of awarding separate contracts for mechanical installations on government construction, which is being urged upon the International Board of Contracts and Adjustments by representatives of the mechanical trades.

In a brief prepared by Ward P. Christie, Research Engineer, we are told that by elimination of the general contractor the owner's responsibility is increased and that he is liable to lose due to such causes as the following:

- Increased cost of construction.
- Delay in completion.
- Injury to workmen and the public.
- Patent infringement.
- Injury to adjacent property.
- Damage from the elements and acts of God.
- Imperfect material and workmanship.
- Liens and the abuse of lien laws.
- Default on subordinate contracts.
- Unknown underground conditions.
- Demands for extortionate wages.
- Fire and theft.
- Labor material and transportation shortages.

The general-contractor has won his case. General contracting in construction today is a combination of management, service, financing and the assump-

tion of certain risks which are not common to manufacturing and other industries.

The general contractor is here to stay. He is the man who takes the greatest risks in the contractual industry and is also the man who assumes the burden of responsibility.—*National Builders' Bulletin*.

Mayor Kendrick, of Philadelphia, has announced the appointment of John Molitor, 404 W. Cheltenham Avenue, as City Architect, and Council unanimously confirmed the action.

Mr. Molitor was chief of the division of Housing and Sanitation for six months when it was established under the late Mayor Blankenburg.

Mr. Molitor succeeds John P. B. Sinkler, who was appointed by Mayor Moore.

The offices of the City Architect are in the 11th floor of 1211 Chestnut st.

"I am going to give out the designing work among private architects," the new City Architect said. "I don't believe one man can act as architect in all buildings and for that reason I will seek specialists in various lines of building."

"We will get the best we can with the purpose of providing utilitarian buildings and at the same time structures that will add to the beauty of the city."

Mr. Molitor was born in this city and attended public schools, graduating from Central High. He went to work in the architect's office of James H. Windrim, father of the designer of the "Palace of Justice," and studied in the Pennsylvania Academy of the Fine Arts.

Later he went into the office of Cope and Stewartson, where he was chief draughtsman until 1907, when he opened his own office.

In 1902 he entered the University of Pennsylvania traveling scholarship, which he won. He traveled through France, England and Italy, making a special study of municipal architecture.

Mr. Molitor has had charge of many large construction operations. He had a part in the construction of the District Building, in Washington. He had charge of the designing and construction of the Market Street National Bank, 1107 Market Street, Philadelphia.

Mr. Molitor for two years has been president of the T-Square Club, an organization of architects. He is also a member of the American Institute of Architects.

The man who doesn't advertise because he can't afford to "do it right" will never reach a position of affluence because everything worth while in the world had to have a beginning, and there can be no "get there" for the fellow who fails to make a start.

## BUILDINGS AND BUILDING CODES

"Buildings and Building Codes" is the title of the next bulletin in the series, Lumber and its Utilization, issued by the National Lumber Manufacturers' Association. It establishes two definite purposes for building codes:

1. Control over the structural safety of buildings.
2. Control of the fire hazards created by buildings and their occupancy to produce:
  - (a) reasonable safety to life,
  - (b) reasonable safety to the city from exposure to fires.

A number of cities were visited and many city officials consulted in the preparation of this bulletin, so that many points of view are presented. The material given provides an understanding of certain broad principles which are universally applicable, and which need only to be modified by local conditions to form the basis of special building code legislation.

Safety to life, involving the stability of a building, as well as means of egress, is emphasized as the most important consideration in the preparation of a building code. Attention is also given to a discussion of exposure and conflagration hazards, division of responsibility for safety, the nature of occupancy, competition between cities and direct connection between building codes and the commercial needs of the community. The activities of the Building Code Bureau of the National Lumber Manufacturers' Association are also outlined.

The bulletin will be distributed to building inspectors, city officials, architects, and engineers.

All live men are advertisers, and the only man who should not advertise is the man who has nothing to offer to the world in the way of human service, and such a man is a dead one, whether he knows it or not. Advertising is a legitimate and ethical proposition. Life is too short for you to hide yourself away, mantled in your modesty, and let the world hunt you out. Even the dead are advertisers, for on visiting a beautiful cemetery the other day, I noticed that on nearly every marble slab was given a list of the virtues, talents and beautiful qualities which the dead man was supposed to have carried in stock. This is what you call non-productive advertising or advertising from an emotional standpoint.—Elbert Hubbard.

That plan of the king in olden times who killed the messenger who brought him bad news has my approval. Blessed are those who bring glad tidings! If you cannot write a good letter—don't!—Elbert Hubbard.



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## BUILDING NEWS.

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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 7  
February 13, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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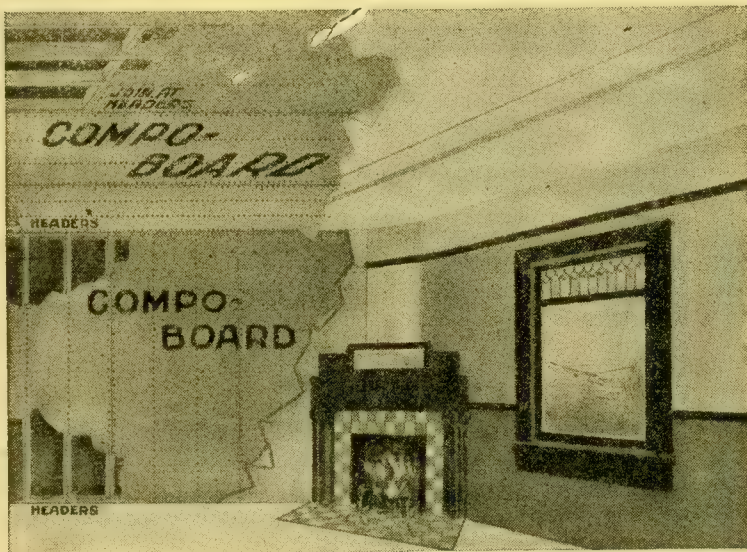
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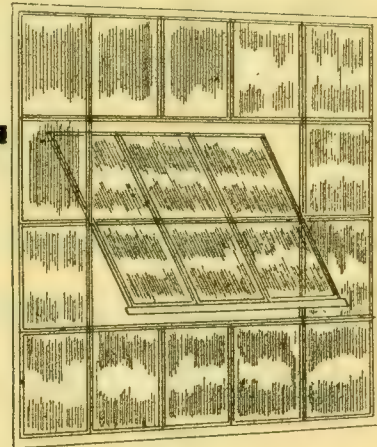
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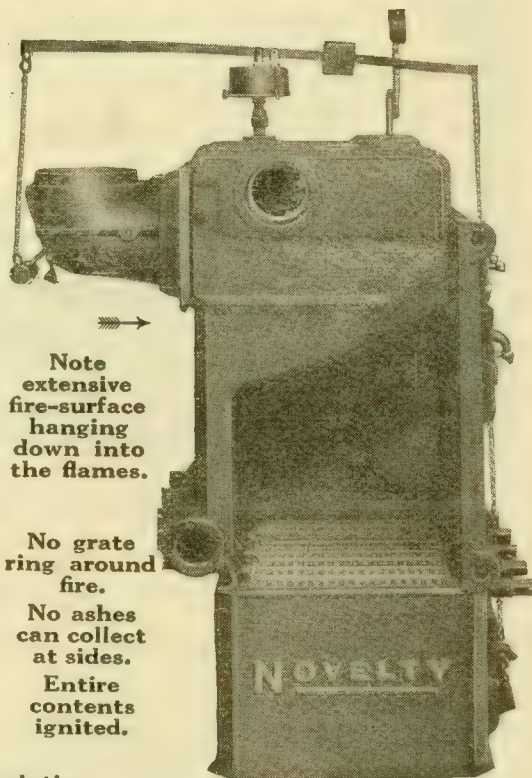
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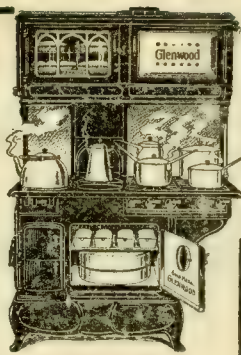


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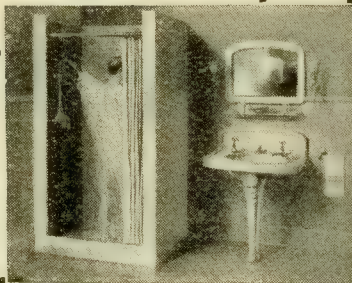
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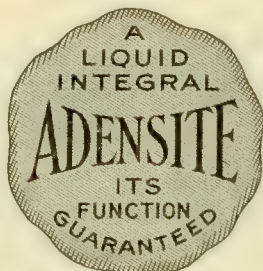
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 7

PHILADELPHIA  
February 13, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## As The Editor Sees It



### UNIFORM CONTRACTS A PUBLIC SERVICE

*Address delivered by Gen. R. C. Marshall, Jr., at joint meeting of Associated General Contractors of America and  
American Road Builders' Association, Chicago, Ill., January 17.*

#### EDITOR'S NOTE

Unnecessary costs of public work now being carried by taxpayers are in line to be eliminated by adoption of more business-like methods of government administration, according to statements made by General R. C. Marshall, Jr., General Manager of the Associated General Contractors of America.

Speaking before a joint meeting held by the contractors' national association and the American Road Builders' Association, General Marshall called attention to the fact that the public has long been shouldering a needless tax burden because fifty or sixty individual bureaus of the government have been following widely divergent policies in contracting for work.

A new form of government contract, unifying provisions in the documents used by the various bureaus, has been drafted by the Interdepartmental Board of Contracts and Adjustments, a special agency created under the Bureau of the Budget.

When the new government contract has been placed in use, General Marshall declared, "commercial organizations dealing with a federal agency will find, if the board's intentions are carried out, a re-

vised code of practice compatible with the established principles of business."

The attention of Congress was called about two years ago, to the fact that some fifty or sixty Governmental Bureaus handling construction work were using about fifty-seven different varieties of contracts in executing their projects, and were doing so, much to the disadvantage of the Government. At first this great variety of legal instruments was regarded as merely a harmless display of individualism among officials, or even perhaps a commendable effort to promote the welfare of each bureau, but upon closer investigation, it was found to have created a serious problem in the conduct of Federal Construction.

Had the different contracting practices established throughout these many bureaus been due entirely to the contract forms in use, correction of the situation might have been comparatively simple, but it was found that many laws governing construction in one or another department had found their way into the Federal Statutes, until the governing regulations were a conglomeration of special conditions.

Consequently construction companies

could not know the administrative practices of every bureau or conduct their business to serve economically the special requirements of so many agencies. Many contingencies, not common to commercial work were introduced into Government construction and the inevitable result was higher construction cost. The Construction company possibly could not lay its finger on the exact items of additional expense, but it knew from costly experience that a federal job, bid at commercial prices for the same sort of work, was likely to prove a losing proposition.

When the regulations and administration governing construction vary among different agencies, it is inevitable that some of these agencies hold forth greater inducements to commercial organizations than those offered by some others. Under such circumstances it was to be expected, therefore, that certain bureaus and departments of the Government received keener competition for their projects than others, and that prices for similar types of construction were also inclined to vary.

Incident to this condition, Government officials found that certain bureaus dealt with a number of construction companies who submitted proposals for practically

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any project to be constructed, but that these companies apparently would not bid on work under another bureau where they did not know the practice.

When it was found that many well known construction companies had withdrawn from Government work and did not desire to submit proposals, it dawned upon the Federal authorities that something might be wrong with the system. Therefore, an inquiry was sent to a great number of construction companies and needless to say these companies advised the authorities then that their suspicions were correct.

The business principles governing the conduct of construction work were found to have created a situation analogous to that which would exist if each division in an army were governed by a separate set of army regulations. Some two or three hundred laws and departmental rulings made it practically impossible for a construction company to anticipate, when dealing with the Government, just what it might expect in administration of the work and the contingencies thus created were incompatible with the business policies of many concerns.

As a result of the conditions here mentioned, a special agency was created under the Bureau of the Budget, known as the Interdepartmental Board of Contracts and Adjustments, which is now working on the standardization of Government contracts, and seeking to eliminate unnecessary special regulations. This Board has stated its intention to bring Governmental contracting practice as closely in line with commercial practice as existing law will permit and then to recommend revisions and codification of federal contract statutes. Through such procedure which is regarded as essentially in the interest of the Government, it is proposed to adopt uniform regulations that will enable the Government to compete favorably with private and quasi public institutions.

For two years the Interdepartmental Board has worked steadily toward its stated objectives. After receiving comment from practically the entire commercial world it has developed a standard construction contract, which is to replace the many forms now in use. This document, which is practically completed, represents a great stride in commercial equity and will undoubtedly bring back into Government work many companies who have left this field, because of its entangling alliances.

While the standard contract represents a noteworthy accomplishment, a more gigantic task is being carried out by the Board in its formulation of a body of contract laws. For a year and a half it has been studying existing statutes and drafting substitutions for many that have

long ago served their useful purpose. The work is nearing completion and possibly during the present year may be in shape for transmittal to Congress.

Whether the Interdepartmental Board can induce some of the lawmakers on Capitol Hill to center their attention on the value of this work to the exclusion of individual interest remains yet to be seen, but the opportunity will probably come for every citizen, interested in the construction industry and in the welfare of federal public work to stand behind this Board and help guide its recommendations through much political fog.

When the new Government contract has been placed in use, those commercial organizations dealing with a federal agency will doubtless find that many practices long-branded as ethically and economically unsound, have gone to the scrap heap. In their place will be found, if the intention of the Interdepartmental Board is carried out, a revised code of practice compatible with the established principles of business.

Many public officials as well as contractors have begun to realize that the interest of the buyer as the interest of the seller is best served when their mutual obligations are in line with sound economics, and unencumbered by queer stipulations impossible of fulfillment. Probably in no other field has there been such utter disregard or possibly ignorance of economic laws as in the field of contracting and yet no other industry is so completely dominated by these laws or as sensitive to their action. Such a condition is inevitable in any industry that coordinates the products from numerous others.

It is therefore especially desirable that contracts governing construction should be made compatible with the great body of recognized business principles, commonly designated as accepted commercial practice. When this has been accomplished the country will then have a code of contracting, much less beset with lawsuits than at present and much more formidable to the party acting in bad faith who seek a recovery through some legal technicality.

Unless it is desired to deny the established order of business and take issue with the best business code that human minds have been able to devise, construction contracts like those of other industries should be an expression of this code. Failure to recognize this fact on the part of one or another element constituting the industry is undoubtedly the basic cause of much public criticism.

In one spot or another, the hundreds of individually drawn construction contracts have been out of line with sound commercial practice and the result has been to place a premium on gambling

(Continued on page 111)

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**Home Building**, Fifty-eighth and Baltimore avenue, Philadelphia. Architects, Bailey & Bassett, 1520 Locust street, Philadelphia. Owners, Church Home for Children, on premises. Brick, stone, steel. Plans about completed. Architect will be ready for bids in a few days.

**Residence (alts.)**, Lincoln Drive, Philadelphia, \$40,000. Architect, S. G. Dobbin, Segal Building, Atlantic City, N. J. Owner, M. M. Tamerino, 1018 Arch street, Philadelphia. General interior alterations, hot water heat, hardwood floors, plate glass, partitions, paneling. Owner will take sub-bids.

**Apartment House (6 apartments)**, Broad and Sparks, Phila. Architect, E. L. Rothschild, 1420 Chestnut street, Philadelphia. Owner, Alfred Lieberman, care of architect. Brick, 3 stories, 19x70 feet, slag roof, hardwood and pine floors, steam heat, electric light, tile work. Plans about completed. Architect ready for bids.

**Apartment House (4 apartments)**, 6300 North Park avenue, Philadelphia. Architect, Sol Kaplan, 10 South Eighteenth street, Philadelphia. Owner, name withheld. Brick, stone, steel, 2 stories, 32x72 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress. Architect ready for bids.

**Wheelwright and Auto Body Building Shop**, 104 North Felton street, Philadelphia. Architect, Charles Schweiker, 29 Garfield avenue, Manoa Heights, Delaware County, Pa. Owner, Ralph Taraborrelli, 104 North Felton street, Philadelphia. Brick, 2 stories, 20x25 feet, slag roof, cement and pine floors, electric. Owner taking bids.

**Residence**, Bellmill Road, Philadelphia. Architects, H. Child Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owner, S. E. Swope, care of Cheltenham Electric Co., Stenton and Rockland avenues. Stone, 2½ stories, 39x26 feet. Owner will sub-let.

**Garage**, Chew and Cheltenham avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Lewis Folsheid, 815 East Cheltenham avenue, Philadelphia. Brick, 1 story, 50x150 feet (alternate wood and steel trusses), steam heat, electric light, metal lath, hollow metal skylights, flush bulks, roof ventilators, cement floors,

composition roof. Owner is taking sub-bids.

**Residences (32)**, North side Champlost avenue, Ogontz to Nineteenth street, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owner, George H. McCracken, 2518 West Lehigh avenue, Philadelphia. Brick, 2 stories, 16x41 feet, slag and tin roof, hardwood floors, cast stone, garages in basement, cement work, metal lath, tile work, electric light, hot water heat. Owner taking sub-bids.

**Bank Building**, 243 South Sixth street, Philadelphia. Architect, Abraham Levy, Real Estate Trust Building, Philadelphia. Owners, Federal Loan Society, care of architect. Limestone and brick, 1 story, 19x72 feet, hot water heat, electric light, tile and marble work, hollow metal skylights, ornamental iron work, slag roof, rubber tile floors, wire and leaded glass. Architect ready for sub-bids due at once.

**Apartment House**, Broad below Cheltenham avenue, Philadelphia. Architect, E. W. Roth, Drexel Building, Philadelphia. Owners, Fox Brothers, 6224 North Broad, and Serudi, 133 South Twelfth street, Philadelphia. Brick, steel, stone, 3 stories and basement, 110x150 feet. Plans to be started in the near future. Will be ready for bids in about 2 months.

**Residence**, Westview street, Germantown, Pa. Architects, Mellor, Meigs & Howe, 205 South Juniper street, Philadelphia. Owner, Edward Baines, care of architect. Stone, cut stone, 2½ stories, 45x43 feet, wing 55x22 feet (heating and electric reserved), copper roof, oa and pine, composition floors, plumbing, tile and marble work, metal lath, bond, ornamental iron work. Architect taking bids due February 19th at noon.

**Paint House**, Delaware and Swanson streets, Philadelphia. Architect, private plans. Owners, Publicker Commercial Alcohol Co., Swanson and Snyder avenue. Brick, 4 stories, 35x50 feet, slag roof, cement floors. Owners taking bids due February 14th.

**Restaurant (alts. and add.)**, Roosevelt Boulevard and Welsh Road, Philadelphia. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, Evergreen Farms Restaurant, on premises. Brick, hollow tile, stucco, 1 story, 53x39 feet, slag roof, oak floors, hollow tile, carpentry and mill work,

plastering, hardware, painting and glazing, ornamental iron work, metal lath. Architect taking bids due February 14th at noon.

**Building (alts. and add.)**, 259-263 North Clarion street and 254 North Thirteenth street, Philadelphia. Architect, private plans. Owners, Philadelphia Enamel Works, 1311 Vine street, Philadelphia. (Steam or vapor heat and electric work separate bids.) Owner taking bids due February 14th.

**Synagogue**, Forty-first and Viola streets, Philadelphia. Architect, Abraham Levy, Real Estate Trust Building, Philadelphia. Owners, Tikvas Israel Congregation, on premises. Brick and steel, artificial stone and granite, 2 stories, 57x112 feet, slag roof, maple floors, mill work, leaded glass, art cement, sheet metal work, oil burning equipment, tile and marble work, electric light, steam heat. Architects taking bids.

**Apartment House**, 1413 Erie avenue, Philadelphia. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, Dr. M. F. Herman, care of architect. Brick and steel, 3 stories, 18x50 feet (plumbing, heating, electric reserved), canvas roof, composition floors, metal lath, tile work. Architect taking bids due February 20th at noon.

**Church Building**, Northeast Corner Fiftieth and Aspen streets, Philadelphia. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, Reeves Memorial Presbyterian Church, Fiftieth and Aspen streets, Philadelphia. Stone and brick, 1 story, gallery and basement, 57x51 feet, steam heat, electric light, slag roof, pine floors, plumbing, metal lath, tile work, ornamental iron work (leaded glass reserved). Architect taking bids due February 19th.

**Store (alts. and add.)**, 5136 Germantown avenue, Philadelphia. Architect, I. W. Levin, Victory Building, Philadelphia. Owner, I. Spritzler, 4306 Germantown avenue, Philadelphia. Brick, 3 stories, 25x40 feet, general alterations. Owner taking bids.

**Power Plant**, Thirtieth and South streets, Philadelphia. Architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia. Engineers, McClellan & Junkerfeld, Otis Building, Philadelphia. Owners, University of Pennsylvania, Thirty-fourth and Spruce streets, Philadelphia. Brick and concrete. Engineers taking bids due Feb. 20.

**East Germantown Playground**, East Cheltenham and Anderson avenues, Philadelphia. Architect (city), John Molitor, 1211 Chestnut street, Philadelphia. Owners, Department of Public Works, Bureau of Recreation, 595 City Hall. Grading, surfacing, sodding, railing. Owners taking bids due February 19th at noon.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Works, Bureau of City Property, 216 City Hall. Removal of old sewer and construction of new sewer, Courtland street, between Ninth and Twelfth streets, Philadelphia. Completion of bridge on line of Fortieth street over Pennsylvania

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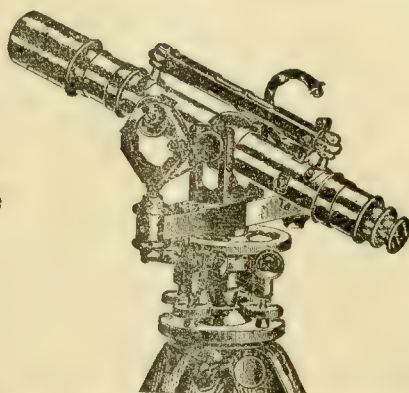
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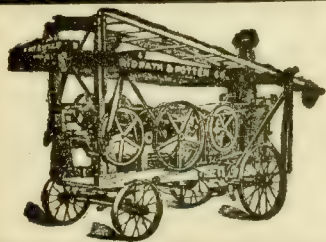
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Railroad Main Line. Work to include floor and approaches. Owners taking bids due February 19th at noon. Inquire Room 416.

**Purchasing Agent, N. J. Lafferty, 312 City Hall, Philadelphia.** Taking bids on cross arms and copper wire, grass seed, fuel oil, torpedo gravel, slag chips and crushed slag and crushed stone. Bids due February 15th at noon.

**Nurses' Home, Fifth and Reed streets, Philadelphia.** Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owners, Mt. Sinai Hospital, on premises. Architects taking revised bids due February 15th.

**Art Museum, Fairmount Park, Philadelphia.** Architects, Borie, Trumbauer & Zantzinger, Land Title Building and Otis Building. Owners, Fairmount Park Commissioners, T. C. Martin, 127 City Hall. Owners taking bids due February 27th at noon.

**Miscellaneous Work and Supplies, Philadelphia.** Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Owners taking bids due February 18th at noon. Asphalt paving and repaving, redress granite block repaving, asphalt paving mixture, furnishing and applying road oil, electric hoists, lumber, tire iron, canvas wagon covers, fire brick and thermolith.

**Schools (3), Philadelphia.** Architect, Irwin T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. School, B and Wyoming streets, Philadelphia. Low bidders: Sinclair & Griggs, Medical Arts Building, Philadelphia, \$437,800; Michael Melody, 1322 Race street, Philadelphia, \$444,900; plumbing, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$28,780; heating, McClintock Brothers, 5608 Race street, Philadelphia, \$49,995; ventilating, S. Faith & Son, 2724 Pennsylvania avenue, Philadelphia, \$2,983; electric, Ross Electric Co., Beach and Brown streets, Philadelphia, \$15,570. Elkins School, D and Clearfield streets, Philadelphia. Low bidders: William Langhorne, 304 South Fiftieth street, Philadelphia, \$84,900; Bowden Const. Co., 1935 Chestnut street, Philadelphia, \$87,600; electric, Walker Kapler, 531 Chestnut street, Philadelphia, \$3,995; plumbing, Daniel J. Keating, 2042 Rittenhouse street, Philadelphia, \$18,777; heating, McClintock Brothers, 5608 Race street, Philadelphia, \$7,960; ventilating, Gerbrich & Kauffman, 44 North Second street, Philadelphia, \$390. Lawnton School, Benner and Ditman streets, Philadelphia. Low bidders: Nelson Pedley Co., 1615 Spruce street, Philadelphia, \$215,000; William Langhorne, 304 South Fiftieth street, Philadelphia, \$239,914; plumbing, N. Connelly, 1404 North Eighteenth street, Philadelphia, \$18,559; heating, McClintock Brothers, 5608 Race street, Philadelphia, \$36,000; ventilating, Gerbrich & Kauffman, 44 North Second street, Philadelphia, \$1,868; electric, Walker & Kepler, 531 Chestnut street, Philadelphia, \$10,116.

**Residences (24), Stores (2), Fifty-fifth and Springfield avenue and Fifty-fifth and Belmar Terrace, \$125,000.** Architect, private plans. Owners, Babis & Bender, 1817 South Fourth street, Philadelphia. Brick, 3 stories, 16x44 feet and 16x37 feet, (10) 2 stories, 16x33 feet, 12x10 feet, and (10) 2 stories, 16x27 feet, 12x9 feet, hot water heat, electric light, hardwood and pine floors. Owners will build.

**Residences (35), 200-68 Widener street, Philadelphia, \$126,400.** Architect, private plans. Owner, Charles G. Erny, Broad and Rockland streets, Philadelphia. Brick, 2 stories, 15x35 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (3), West side Seventh street, South of Schiller street, \$4,500 each.** Architect, private plans. Owner, Wilbur F. Chapman, Eighth street below Clearfield street. Brick, 2 stories, 16x31 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence, Southeast Corner Tyson and Gillespie streets, Philadelphia, \$14,500.** Architect, private plans. Owners, Nicolette & Stumpe, State Road and Princeton avenue. Brick, 2 stories, 36x74 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2), West side Torresdale avenue, North of Emerson, \$6,000 each.** Architect, private plans. Owner, A. Citeroni, 8226 Craig street, Philadelphia. Brick, 2 stories, 16x41 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence, 5603 North Fairhill street, Philadelphia, \$5,000.** Architect, private plans. Owner, John G. Hofstetter, 5241 North American street, Philadelphia. Brick, 2 stories, 16x34 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Manufacturing Building, 810-14 North Front street, Philadelphia, \$25,000.** Architect, private plans. Owners, Philadelphia Copper Smithing Co., 222 North Front street, Philadelphia. Brick, 1 story, 56x200 feet, slag roof, electric lighting, steel sash. Owners will build.

**Garages (2), Southwest Corner Fifth and Hunting Park avenue, \$20,000 each.** Architect, private plans. Owner, B. W. Glover, 5300 Chestnut street, Philadelphia. Brick, 1 story, 50x220 feet, and 1 story, 18x202 feet, slag roof, cement floors, electric lighting. Owner will build.

**Service Station, Philadelphia.** Location withheld. Architect, private plans. Owners, Gulf Refining Co., 516 Widener Building, Philadelphia. Brick, 1 story, 14x14 feet, cement floors, electric work. Owners will build.

**Shop (add.), Northeast Corner Twelfth and Noble streets, Philadelphia, \$5,000.** Architect, private plans. Owners, Richard De Cou Company, Eleventh and Hamilton streets, Philadelphia. Iron, 1 story, 38x75 feet, corrugated iron roof. Owners will build.

**Residences (2), West side Craig street, North of Arthur street, \$5,000 each.** Architect, private plans. Owners, A. Mignone & Sons, 7146 Ditman street, Philadelphia. Brick, 2 stories, 16 feet, 4 inches x 44 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Service Stations, (1) Greene and Rittenhouse and (1) Fifth and Montgomery and Germantown avenues, Philadelphia.** Architect, private plans. Owners, Sun Oil Co., Finance Building, Philadelphia. Owners will build.

**Garage and Shop, 300 West Mt. Pleasant avenue, Philadelphia, \$3,000.** Architect, private plans. Owner, C. Borietatilus, on premises. Stone, 2 stories, 20x65 feet, cement and



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pine floors, electric lighting. Owner will build.

**Residence (alts. and add.)**, 225 South Forty-fifth street, Philadelphia, \$3,000. Architect, private plans. Owner, M. Steinberg, 1220 North Forty-second street, Philadelphia. Brick, 2 stories add., 16x13 feet, general alterations. Owner will build.

**Residence and Store (add.)**, 1322 South Broad street, \$2,800. Owners, Vincent De Carlo & Son, 759 South Eighth street, Philadelphia. Brick, 1 story add., 15½x10 feet. Owners will build.

**Warehouse (alts.)**, 738 South Swanson street, Philadelphia, \$3,000. Architect, private plans. Owner, James Gallagher, on premises. New roof. Owner will build.

**Residences (20)**, St. Bernard street, Locust and Spruce streets, Philadelphia. Architect, E. A. Wilson, 1208 Chestnut street, Philadelphia. Owner, Charles Biddle, Real Estate Trust Building, Philadelphia. Brick, 2 stories, 16x44 feet, tin, slag, slate roofs, hard-

wood floors, hot water heat, electric light, tile work. Owner ready for sub-bids.

**Residences (86)**, Sixteenth street and Sixty-seventh avenue, Philadelphia. Architect, private plans. Owner, W. Fischer, 4900 North Eighth street, Philadelphia. Brick, 2 stories, 19x35 feet, slag roof, oak and pine floors, hot water heat, electric light, tile work. Ready for bids in about a month.

**Residences (19)**, South side Thelma street, D to Whitaker, \$92,600. Architect, private plans. Owner, William J. Collins, 5445 Berks street, Philadelphia. Brick, 2 stories, 15x38 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (250)**, Garages and Stores, Corinthian avenue, Poplar and Parrish streets, Philadelphia. Architect, private plans. Owner, George Nohm, 2736 West Girard avenue, Philadelphia. Brick, 2 stories, 16x40 feet, garage, 8x10 feet, slag roof, oak and pine floors, hot water heat, electric light, tile work. Work to start on 53 residences and garages and 1 store this month.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Bank Building (alts.)**, Fifty-second and Ludlow streets, Philadelphia. Architect, H. Child Hodgins, 130 South Fifteenth street, Philadelphia. Owners, Bank & Trust Co. of West Philadelphia, on premises. Brick, steel, concrete, cut stone, 1 story and mezzanine, 66x50 feet, steam heat, metal lath, hollow metal sash, kalamein doors, bond, ornamental iron work, shoring, ornamental plaster, painting and glazing, elevators, hollow tile, cement and maple floors (banking fixtures, including glass, glazing, steel phone booths, steel coat closets, steel elevator enclosures, steel shelving, steel wainscoting, steel partitions, wire cages, radiator grills, all marble work, including terra cotta backing, counters and fronts, tile floors and electric work separate bids). Contract awarded Ketcham & McQuade, 1029 Brown street, Philadelphia.

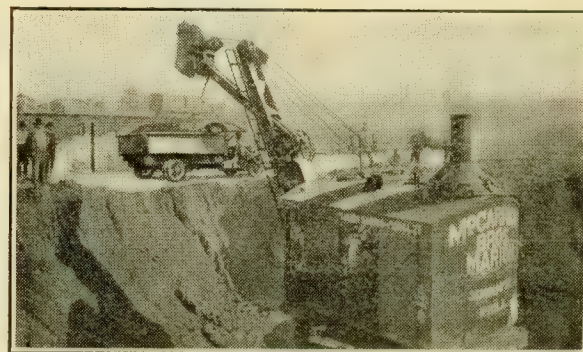
**Mill Building**, Northwest Corner Allegheny and Boudinot street, Philadelphia, \$100,000. Architect, E. A. Stopper, Fuller Building, Philadelphia. Owners, Concordia Silk Mills, W. Ewald, on premises. Brick, concrete, reinforced, steam heat, 2 stories and basement, 164x65 feet, slag roof, concrete and maple floors, hollow tile, elevators, safety treads, roof ventilators, ornamental iron work, hard-type floor hardener, bond, fire and kalamein doors, rolled steel skylight and sash, metal lath, electric light, sprinkler system. Contract awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Store and Residence (alts.)**, 623 West Gir-

ard avenue, Philadelphia, \$4,200. Architect, private plans. Owner, Jules J. Neiditch, care of Irwin E. Spicer, on premises. Composition floors, electric light, ventilating skylights, leaded glass, metal ceilings, plate glass, wood bulks, steel and copper work. Contract awarded J. Maurer & Co., 1302 North Second street, who is taking sub-bids.

**Federal Sub-Station (alts. and add.)**, Sixth and Federal streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., W. C. L. Eglon, Tenth and Chestnut streets. Brick, cut stone, steel, 2 stories and basement, 57x59 feet (electric work reserved), steam heat, slag roof, cement floors, plumbing, rolled steel sash and skylights, bond, floor hardener, ornamental iron work and waterproofing. Contract awarded John N. Gill Const. Co., City Center Building, Philadelphia.

**Printing House**, 520-26 Locust street, Philadelphia, \$16,500. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owner, Edward T. Biddle, care of architect. Brick, 1 story, 116x65 feet, slag roof, cement floors, plumbing, ornamental iron work, rolled steel skylights (heating and electric reserved).



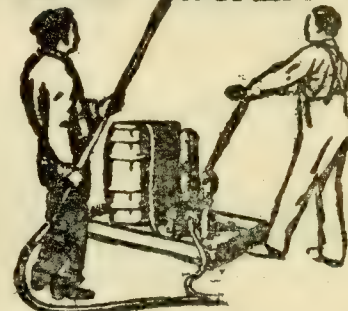
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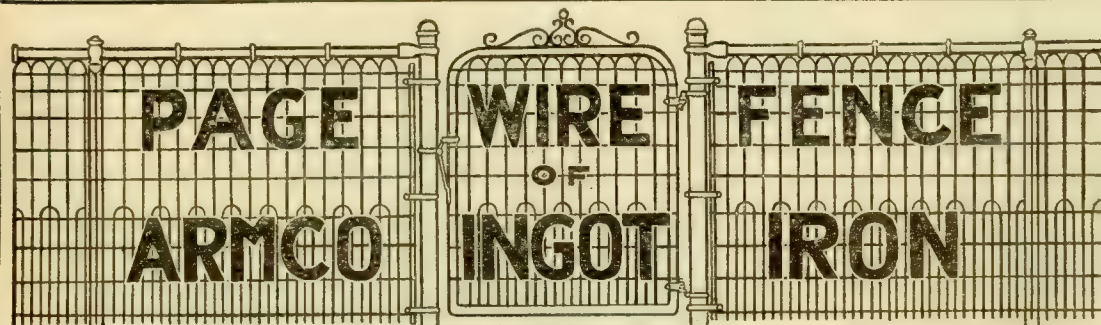
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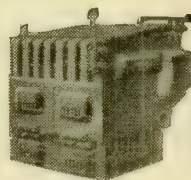
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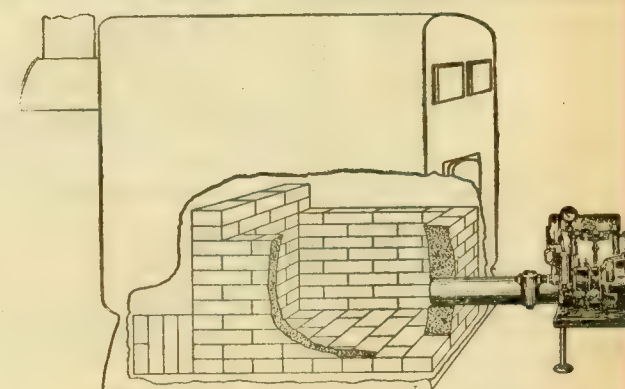
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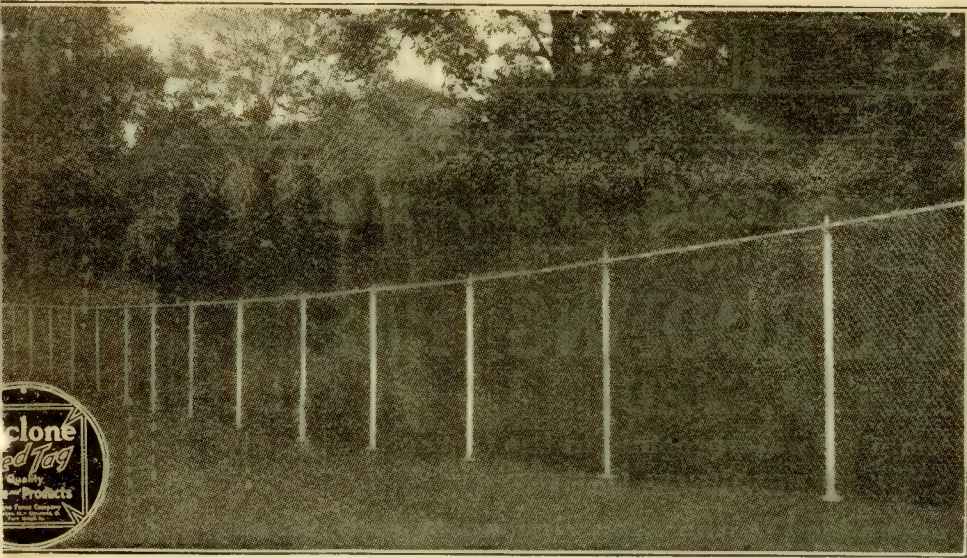
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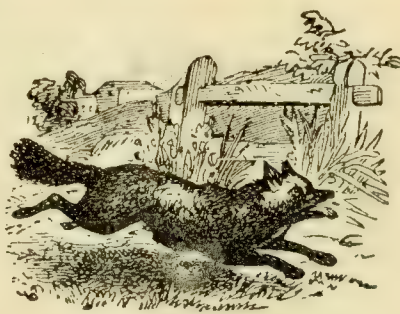
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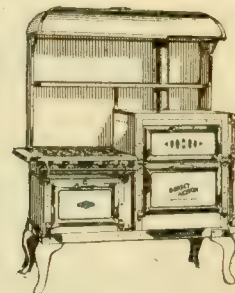
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Contract awarded Smith Hardican Co., 1809 Callowhill street, Philadelphia.

**Residence**, Queen Lane Manor, Germantown, Pa. Architect, E. B. Gilchrist, 1618 Latimer street, Philadelphia. Owner, Maurice A. Webster, care of architect. Brick, 2½ stories, 50x34 feet, wing 23x20 feet, shingle roof, oak and pine floors, plumbing, tile work, electric light (heating reserved). Contract awarded J. Sims Wilson, 1125 Brown street, Philadelphia.

**Buildings Nos. 5-6 (Children's Department)**, Byberry, Pa. Architect, Philip S. Johnson, 1713 Sansom street, Philadelphia. Owners, City of Philadelphia, Department of Public Health, 484 City Hall. Contract awarded George H. Evans, Inc., 105 North Thirteenth street, Philadelphia, \$94,264. Heating, McClintock Brothers, 5608 Race street, Philadelphia, \$9,995. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$19,333. Electric, J. F. Buchanan Co., 1904 Sansom street, Philadelphia, \$2,751.

**Store and Residence (alts. and add.)**, 3931 Germantown avenue, Philadelphia. Architect, private plans. Owner, Leon Morris, on premises. Brick, stone work, 1 story, 32x28 feet, slag roof, cement floors, electric light, galvanized iron work. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Apartment House (alts. and add.)**, 422-26 South Broad street, \$57,000. Architects, Morris & Erskine, 1716 Cherry street, Philadelphia. Owner, Samuel T. Hall, Seventeenth and Sansom streets, Philadelphia. Iron, fourth story add., 14x8½ feet, plastering, painting and glazing, slag roof, composition and oak floors, iron work. Contract awarded William

L. Bushnell, 2146 East Morris street, Philadelphia.

**Concrete Trestle**, Port Richmond, Pier 18, foot of Huntingdon street, Philadelphia. Architect, Samuel T. Wagner, Reading Terminal Building, Philadelphia. Owners, Philadelphia & Reading Railway, Reading Terminal, Philadelphia. Reinforced concrete, asphalt, mastic paving, 354 feet long, 23 feet wide. Contract awarded Frederick Snare Corporation, 1524 Chestnut street, Philadelphia.

**Store and Apartment (alts.)**, 4367 Germantown avenue, Philadelphia. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, George Resnick, 4371 Germantown avenue, Philadelphia. Contract awarded L. Lamkin, 108 South Ruby street, Philadelphia.

**Store (alts.)**, 818 North Second street, Philadelphia. Architect, private plans. Owner, Meyer Weiner, on premises. Interior alteration, hardwood and pine floors, cabinet work, plate glass, metal ceilings, flush bulks. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Garage**, Southwest Corner Ontario and Uber streets, Philadelphia, \$16,000. Architect, private plans. Owner, E. S. Cohen, 5139 Columbia avenue, Philadelphia. Brick, 1 story, 95x103 feet, slag roof, cement floors. Contract awarded to D. Goldstein, 1538 South Sixth street, Philadelphia.

**Manufacturing Building (add.)**, 225 West Wyoming avenue, \$12,300. Architect, private plans. Owners, Endurance Knitting Co., on premises. Brick, second story add., 42x122 feet. Contract awarded to A. E. Barnes Co., 2044 East Clementine street.

**Warehouse**, Northeast Corner Ontario and

Casper streets, Philadelphia, \$10,000. Architect, private plans. Owners, Bradsky Brothers, Richmond and Ontario streets, Philadelphia. Brick, 1 story, 52x155 feet, slag roof. Contract awarded to Sarson & Kouser, 5228 Race street, Philadelphia.

**Building (alts.)**, 1527-29 North Broad street, Philadelphia, \$7,000. Architect, private plans. Owner, Norman S. Sherwood, on premises. Carpentry, mill work, plate glass, metal bulks, slag roof, plumbing, heating repairs, electric work. Contract awarded to Turnbull & Cornell, 15 South Twenty-first street, Philadelphia.

**Store and Office (alts. and add.)**, Northwest Corner Eighteenth and Bainbridge, \$6,000. Architect, private plans. Owner, Lewis Cohen, 1700 Bainbridge street, Philadelphia. Brick, third story add., 16x34 feet, general alterations. Contract awarded to Lewis Boirs, 1700 Bainbridge street, Philadelphia.

**Garage**, 1824-26 North Gratz street, Philadelphia, \$5,000. Architect, private plans. Owner, Elwood E. Keiser, 1325 Girard avenue, Philadelphia. Brick, 1 story, 36x120 feet, slag roof, cement floors. Contract awarded to J. Walters, 1536 Stiles street, Philadelphia.

**Store and Storage**, 1105 South Second street, Philadelphia, \$12,000. Owner, William H. Devitt, 1101 South Second street, Philadelphia. Brick, 3 stories, 16x86 feet, slag roof, hot water heating, electric lighting. Contract awarded to Charles L. Hill, 229 Locust street, Philadelphia.

**Store and Residence (add.)**, 3530 North Twenty-fourth street, Philadelphia, \$5,200. Architect, private plans. Owner, Isaac Goodman, 4634 North Camac street, Philadelphia. Brick, 1 story add., 29x45 feet, general alterations. Contract awarded to W. McCullen, 1306 Rush street, Philadelphia.

**Open Storage Shed**, Northeast Corner Tacony and Ruan streets, \$9,000. Architect, private plans. Owners, F. P. Woll & Co., on premises. Brick and frame, 1 story, 188x36 feet. Contract awarded to Wintz Brothers, 1618 Sellers street, Philadelphia.

**Store and Residence (add. and alts.)**, 6434 Woodland avenue, \$3,500. Architect, private plans. Owners, D. & M. Holmstock, 6123 Woodland avenue, Philadelphia. Brick, 1 story add., 16x12 feet, general alterations.

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Contract awarded to M. B. Stackhouse, 6717 Yocum street, Philadelphia.

**Garage**, Northeast Corner Seventeenth and St. Luke streets, Philadelphia, \$5,000. Architect, private plans. Owner, Bernard A. Gallagher, 4104 North Broad street, Philadelphia. Brick, 1 story, 33x62 feet, slag roof, cement floors, electric work. Contract awarded to Raymond L. J. Riling, 1425 West Venango street.

**Store and Residence (add.)**, 1500 South Forty-ninth street, Philadelphia, \$4,000. Architect, private plans. Owner, Jennie Ostroff, 2447 North Thirty-second street, Philadelphia. Brick, 2 stories, 15x9 feet, and 1 story, 15x8 feet. Contract awarded to S. Ostroff, 2652 South Seventh street, Philadelphia.

**Garage**, West side Morris street, North of Queen Lane, \$4,000. Architect, private plans. Owner, A. Ruhland, 5232 Laurens street, Philadelphia. Brick, 1 story, 48x65 feet, slag roof, cement floors. Contract awarded to Ruhland Building Co., 5232 Laurens street.

**Garage**, 6357 Lancaster avenue, Philadelphia, \$2,600. Architect, private plans. Owner, George Clark, on premises. Brick, 1 story, 21x24 feet, slag roof, cement floors. Contract awarded to M. W. Young, 2039 North Sixty-third street, Philadelphia.

**Garage**, 3864 Terrace street, Philadelphia, \$3,000. Architect, private plans. Owner, Adolph Rzopineki, 3864 Terrace street, Philadelphia. Brick, 1 story, slag roof, cement

floors. Contract awarded to Daniel H. Wetzel, 590 East Jamestown street.

**Residence (alts. and add.)**, 419 West Stafford street, \$2,500. Architect private plans. Owner, Bessie Carter, on premises. Brick, 1 story add., 14x10½ feet, tin roof, general alterations. Contract awarded to J. W. Dunkelberger, 71 Herman street, Philadelphia.

**Residence (alts. and add.)**, 4708 North Broad Street, Philadelphia. Owner, Geo. T. Downs, 4807 Broad St. Brick, 2 stories add., 16x16 feet, general alterations. Contract awarded to Letton & Rudolph, 1602 Bridge street, Philadelphia.

**Building (alts.)**, East side Delaware avenue, South of Tasker street, \$2,000. Architect, private plans. Owners, David Berg Industrial Alcohol Co., on premises. General alterations. Contract awarded to Wedow & Myers, 528 Perry Building, Philadelphia.

**Building (alts. and add.)**, 1212 North Fifth street, Philadelphia, \$3,200. Architect, private plans. Owner, Adolph Buchler, 435 West Girard avenue, Philadelphia. Brick, 1 story, 11x11 feet, general alterations. Contract awarded to Frank A. Stoll, 170 Master street, Philadelphia.

**Warehouse**, 2010 Reed street, Philadelphia, \$3,000. Architect, private plans. Owner, George M. Makin, on premises. Brick, 1 story, 16x34½ feet and 32x26 feet, slag roof. Contract awarded to Ercolani Brothers, 1735 South Twenty-first street, Philadelphia.

**Alterations**, 5342 Germantown avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dominic Figherra, care of architect. Contract awarded to George Sherm & Son, 709 South Fifty-ninth street, Philadelphia.

**Factory (alts.)**, 1750 North Front street, Philadelphia, \$2,500. Architect, private plans. Owners, Henry Tremon & Sons, on premises. General alterations. Contract awarded to Frank L. Martindale, 2216 Chestnut street.

**Residence (add.)**, 7920 Germantown avenue, Philadelphia, \$2,200. Architect, private plans. Owner, John D'Lauro, 55 Mermaid Lane, Chestnut Hill, Pa. Brick, 2 stories add., 14x14 feet. Contract awarded to Harry Moore, Erdenheim, Pa.

## Pennsylvania Construction News

**Twin Houses**, Kirklyn, Delaware County, Pa. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoe Heights, Delaware County, Pa. Owner, D. F. Ryan, 5916 Market street, Philadelphia. Stone, cement block and frame, stucco, 2½ stories, 21 feet, 6 inches x 28 feet, hot water heat, electric light, tile bath, shingle roof, oak floors. Owner taking bids.

**Store**, Lackawanna avenue, Scranton, Pa. Architect, L. Reisman, Miller Building, Scranton, Pa. Owners, Krotosky Brothers, care of architect. Steel and brick, 4 stories and basement, 50x150 feet, slag roof, maple floors, hollow tile, elevators, roof ventilators, metal ceilings, waterproofing and dampproofing, terra cotta front, steam heat, electric light, metal lath, tile work, rolled steel sash and skylights, fire doors, iron stairs, ornamental iron work. Plans in progress.

**Store (alts. and add.)**, Scranton, Pa. Architects, George M. D. Lewis & E. H. Davis,

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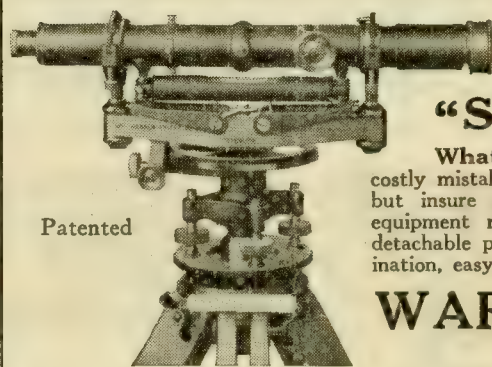
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Union Bank Building, Scranton, Pa. Owners, Samter Brothers, 229 Lackawanna avenue, Scranton, Pa. Steel, brick, wood, 5 stories and basement, 35x50 feet, 1 story add., 50x90 feet, slag roof, hardwood floors, hollow tile, elevators, safety treads, metal ceilings, steam heat, electric light, rolled steel sash, hollow metal doors, limestone, iron stairs. Plans in progress. Architects will take bids in two weeks.

**School**, Springville, Pa. Architects, Morris & McHale, Mear Building, Scranton, Pa. Owners, Springville School District, H. B. Terrell, secretary, Springville, Pa. Brick, hollow tile, 2 stories, 6 rooms, slate roof, pine floors, electric light. Plans in progress. Will be ready for bids in one week.

**Residence**, Souderton, Pa. Architect, Jerome S. Landis, Souderton, Pa. Owner, Abraham Moyer, Souderton, Pa. Brick, 2½ stories, 24x28 feet, hot water heat, electric light, slate roof, pine floors, plumbing. Plans in progress.

**Residence**, Harleysville, Pa. Architect, Jerome S. Landis, Souderton, Pa. Owner, Wilmot S. Nice, Harleysville, Pa. Brick, 2½ stories, 28x28 feet, warm air heat, electric light, slate roof, pine floors, pneumatic water system. Plans in progress.

**Bungalow and Garage**, Collegeville, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, A. R. Saylor, Royersford, Pa. Cement block, 1½ stories,

33x45 feet, asbestos roof, oa and tile floors, plumbing, wood sash, Morgan doors, floor hardener (heating, plumbing and electric lighting reserved). Plans in progress.

**Fire House**, Bally, Pa. Architect, A. J. Bibighaus, 530 Hamilton Street, Allentown, Pa. Owners, Goodwill Fire Co., Bally, Pa. Concrete, brick and steel, 2 stories and basement, 100x70 feet. Preliminary plans in progress.

**Hall**, Nazareth, Pa. Architect, E. R. Bitting, Odd Fellows Building, Bethlehem, Pa. Owners, Independent Order of Odd Fellows, Nazareth, Pa. Brick, steel, 3 or 4 stories, 40x110 feet, slag roof, tile and hardwood floors, roof ventilators, steam heat, electric light, metal lath, tile, marble and terrazzo work, cut stone, ornamental iron work. Plans in progress.

**Lodge Building**, Shamokin, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Red Men's Home Association, Lodge No. 528, Shamokin, Pa. Brick, structural steel, stone, 2 stories and basement, 28½x95 feet, 2 inches, hot water heat, electric light, metal lath, marble work, prest metal joists, metal bulks, iron work, flag pole, dumb waiters, concrete work, plumbing, concrete, pine and maple floors, slag roof. Plans in progress.

**Church, Sunday School and Parsonage**, Hazleton, Pa., \$300,000. Architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia. Owners, The Christ Evang. Lutheran Church, Rev. F. T. Esterly, 30 North Church street, Hazleton, Pa. Architect selected. Plans will be started soon.

**High School**, Twelfth street, Easton, Pa. Architect, William Michler, Drake Building, Easton, Pa. Owners, School Board of Easton, R. E. Peifer, secretary, Easton, Pa. Reinforced concrete, brick, steel, 3 stories and basement, 250x200 feet, composition roof, maple floors (heating, electric work and plumbing reserved), metal lath, tile and marble work, rolled steel sash, safety treads, roof ventilators, ornamental iron work. Ready for bids.

**Store and Apartment**, Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, A. Locci, Bethlehem, Pa. Brick, steel, 3 stories, 130x30 feet, slag roof, pine floors, steam heat, electric light, tile work. Plans in progress. Owner ready for bids.

**Apartment and Store**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, Joseph Muff, Lehigh street, Allentown, Pa. Brick, 3 stories, 30x70 feet, slag roof, pine floors, hot water heat,

electric light, plate glass. Owner ready for bids.

**Factory**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, J. Feinberg, 443 North Second street, Allentown, Pa. Brick, steel, concrete, 3 stories, 90x30 feet, slag roof, concrete and wood floors, steam heat, electric light, rolled steel sash, roof ventilators, floor hardener, iron stairs. Architect ready for bids.

**Warehouse**, Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, name withheld. Structural steel, 4 stories, 50x115 feet, Barrett Specification roof, wood floors, hollow tile, freight elevator, waterproofing and damp-proofing, metal lath, rolled steel sash and skylights, fire doors, iron stairs. Plans in progress.

**Store and Office (alts. and add.)**, South Washington street, Wilkes-Barre, Pa. Architects, Knapp & Bosworth, 15 South Franklin st., Wilkes-Barre, Pa. Owners, Weitzenkorn & Hurwitz, 4 South Main street, Wilkes-Barre, Pa. Brick, stone, 2 stories and basement, 59x152 feet, slag roof, maple floors. Plans in progress.

**Residence**, Forty Fort, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owner, Dr. F. J. Krysh, Kingston, Pa. Brick, 2 stories, 41x56 feet, tile roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Church and Residence**, Washington avenue, Scranton, Pa. Architects, Morris & McHale, Mears Building, Scranton, Pa. Owners, Hellenic Orthodox Church, care of architects. Brick, hollow tile and stucco, 1 story and basement and 2 stories, 32x90 feet, slate roof, hardwood floors, hollow tile, vapor vacuum heat, electric light, tile and marble work, art glass, ornamental iron work. Architects ready for bids.

**Residence**, Scranton, Pa. Architect, Lewis Hancock, Mears Building, Scranton, Pa. Owner, Dr. J. J. Lonsdorf, Jr., Pittston and Beech avenues, Scranton. Brick, 2 stories, 32x61 feet, slate roof, yellow pine and white oak floors, steam heat, electric light, tile work. Architect ready for bids.

**Garage**, Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, E. R. Lilly, Northampton, Pa. Cement block and stucco, 2 stories, 105x60 feet, slag roof, concrete, wood floors, steel lumber, steam heat, electric light, rolled steel sash, floor hardener, roof ventilators. Owner will take bids.

**Hall**, Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem,

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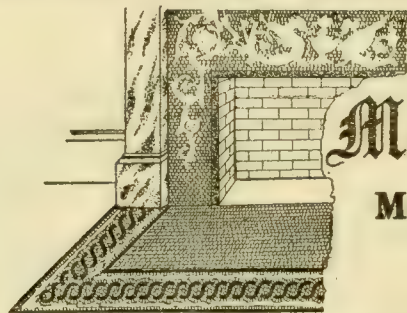
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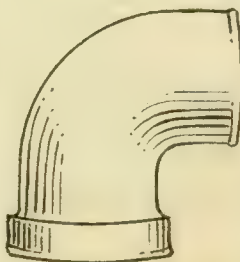
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Pa. Owners, St. Joseph's Sick & Benefit Society, care of architect. Brick, concrete, steel, 3 stories, 115x45 feet, slag roof, maple floors, steam heat, electric light, roof ventilators, bowling alley. Owners, care of architect, taking bids.

**Bank**, Clark's Summit, Pa. Architects, Morris & McHale, Mears Building, Scranton, Pa. Owners, Abington National Bank, E. D. Morse, Clark's Summit, Pa. General alterations, hardwood floors, plate glass. Plans in progress. Owners will sub-let.

**Residence**, Pottsville, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owner, G. H. Kaercher, Pottsville, Pa. Hollow tile and brick, 2½ stories, 31 feet, 6 inches x 37¾ feet, slate roof, hardwood floors, vapor heat, electric light, plumbing, concrete and quarry tile work, ornamental iron work. Owner ready for general bids.

**Warehouse**, Wilkes-Barre, Pa. Architects, McCormick & French, Wilkes-Barre, Pa. Owners, Haines, Jones & Cadbury, 1136 Ridge avenue, Philadelphia, Pa. Brick and concrete, 4 stories, 65x90 feet, slag roof, electric light, rolled steel sash. Architect ready for bids.

**Sunday School Building**, Wissoming, Pa. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Wissoming Baptist Church, Wissoming, Pa. Plans completed. Architects ready for bids.

**Apartment**, Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Emily Glanckopf, South River street, Wilkes-Barre, Pa. Brick, 3 stories and basement, 50x78 feet, slag roof, hardwood floors, vapor heat, electric light, tile and marble work. Plans in progress. Architect ready for bids.

**Office (alts.)**, Union and Franklin streets, Wilkes-Barre, Pa. Architect, Austin Reilly, Bennett Building, Wilkes-Barre, Pa. Owners, Central Poor District, on premises. Plumbing, tile and concrete floors, electric light, marble work, kalamein doors. Architect ready for bids.

**School**, Forty Fort, Pa., \$300,000. Architect, R. M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, Forty Fort School Board, P. Crosby, secretary, Kingston, Pa. Brick, steel, 2 stories, 200x125 feet, slag roof, hardwood floors (heating, plumbing, electric reserved), metal lath, cut stone, iron stairs. Will be ready for bids in two weeks.

**Church and Sunday School**, Telford, Pa. Architect, Jerome S. Landis, Souderton, Pa. Owners, Grace Evangelical Church, Frank Fenstermacher, chairman of Building Committee, Souderton, Pa. Stone, 1 story, 36x52 feet, 35x40 feet, vapor heat, electric light, tile work, slate roof, pine floors, tile work, plumbing, art glass, structural steel. Owners taking sub-bids due as soon as possible.

**Bungalow and Garage**, Lansdale, Pa. Architect, Jerome S. Landis, Souderton, Pa. Owner, A. G. Souder, Perkins Blue Co., Lans-

dale, Pa. Concrete block and stucco, 1½ stories, 50x50 feet, 1 story, 12x20 feet, slate roof, pine, mineral, hardwood and cement floors, plumbing, brick and cobble stone fireplaces, steel and wood sash, hot water heat, electric light. Owner ready for sub-bids.

**Junior High School**, Lancaster, Pa. Architect, C. Emlen Urban, Woolworth Building, Lancaster, Pa. Owners, Lancaster City School District, Lancaster, Pa. Brick, granite, east stone, limestone, 3 stories and basement, 210x39 feet, wing 70x42 feet, wing 48x93 feet (plumbing, electric work and heating reserved), slag roof, cement and pine floors, hollow tile, metal lath, tile and marble work, galvanized iron skylights, bond. Low bidders: D. S. Warfel, 39 East Grant street, Lancaster, \$199,717; Sinclair & Grigg, Medical Arts Building, Philadelphia, \$236,000. Heating and ventilating, Mechanical Equip. Co., 214 South Twelfth street, Philadelphia, \$53,580. Plumbing, F. P. Simpson, 429 Manor street, Lancaster, Pa., \$21,346. Electric work, C. B. Eshelman, 307 North Queen street, Lancaster, Pa., \$7,925.

**House**, Drexel and State Road, Drexel Hill, Pa. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoa Heights, Delaware County. Owner, Ruth S. Cunningham, 6102 Christian street, Philadelphia. Stone, 3 stories, 33x43 feet, asbestos shingle roof, pine, hardwood and mineral composition floors, hot water heat, electric light, tile work (2 baths). Owner taking bids.

**School**, Collingdale, Pa. Architects, Folsom & Stanton, 10 South Eighteenth street, Philadelphia. Owners, Board of Education, School District of Collingdale, Pa. Reinforced concrete, brick, stone, 2 stories and basement, 124x70 feet, slate roof, maple floors, metal lath, roof ventilators, waterproofing, ornamental iron work, bond, metal lath (heating, ventilating and electric reserved). Owners taking bids due February 19th.

**Stores (2) and Apartment**, 115 Fayette street, Conshohocken, Pa. Architects, Mackenzie & Wiley, Liberty Building, Philadelphia. Owner, Willis H. Baldwin, on premises. Brick, 2 stories, 40x78 feet, heating undecided, electric light, metal bulks, slag roof, pine and mineral floors, cement work, metal ceilings. Owner taking bids due February 21st.

**Passenger Station**, Fern Rock, Pa. Architect, Samuel T. Wagner, Reading Terminal Building, Philadelphia. Owners, Philadelphia & Reading R. R. Co., Reading Terminal Building, Philadelphia. Stone, cut stone, reinforced concrete, 1 story, 26x74 feet, slate roof, pine floors, hot water heat, electric light, bond, marble work, ornamental iron work. Architect taking bids due February 19th.

**Residence and Garage (alts. and add.)**,

Wallingford, Pa. Architects, Willing, Sims & Talbutt, 128 South Eighteenth street, Philadelphia. Owner, Philip G. Platt, care of architect. Stucco, cut stone, brick, 2½ stories, 22x30 feet, canvas and tin roof, cement and pine floors, carpentry and mill work, bond, ornamental iron work, waterproofing. Architects taking bids on revised plans.

**Residence**, Forty Fort, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Harry Shaffer, Forty Fort, Pa. Stucco and frame, 2½ stories, 25x30 feet, asphalt shingle roof, hardwood floors, vapor heat, electric light, tile work. Architect taking bids due as soon as possible.

**Residence**, Villanova, Pa. Architects, Bailey & Bassett, 1520 Locust street, Philadelphia. Owner, Clinton Gage, care of architect. Architects taking bids due February 16th.

**Bank Building (alts. and add.)**, Tamaqua, Pa. Architect, Benjamin R. Stevens, 1827 Arch street, Philadelphia. Owners, People's Trust Co., Tamaqua, Pa. Reinforced concrete, brick, limestone, granite and steel, third floor add., 59x66x51 feet (heating, electric fixtures, plumbing reserved), electric light, metal lath, tile, marble and terrazzo work, rolled steel sash and skylights, bond, ornamental iron work and stairs, waterproofing, roof ventilators, hollow tile and terra cotta, cement and composition and pine floors, slag roof. Architect taking bids due February 18th.

**Residence and Garage**, Oak Lane, Philadelphia. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owner, R. A. O'Donnell, Broad and Cheltenham avenue, Philadelphia. Stone, 2½ stories, 60½x25 feet, slate roof, hardwood floors, hot water heat, electric light, tile work, metal lath, cement work. Owner taking sub-bids.

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## Pennsylvania Contracts Awarded

**Bank Building**, Pottsville, Pa. Architects, Mowbray & Uffinger, 221 West Fifty-seventh street, New York City. Owners, Schuylkill Trust Co., Pottsville, Pa. Brick, concrete, steel, cut stone, limestone, granite, 7 stories and mezzanine and basement, 120x50 feet, steam heat, electric light, metal lath, tile and cement floors, marble and terrazzo work, rolled steel sash and skylights, bond, ornamental iron work and stairs, terra cotta, waterproofing and dampproofing, roof ventilators, shoring and sheathing (elevators, bronze work, bank screens, reflectors, lighting fixtures, furniture and lockers, cork floors and linoleum reserved). Contract awarded Clough-Bourne Corporation, 101 Park avenue, New York.

**Summer Home for Children**, Westtown, Pa. Architects, Gleason, Mulronney & Burke, 404 South Broad street, Philadelphia. Owners, Society of St. Vincent De Paul, 1608 North Second street, Philadelphia. Brick, cut stone, steel, 2 stories and basement, 207x43 feet (plumbing and electric reserved), slag and canvas deck roof, cement floors, hollow tile, roof ventilators, shoring, waterproofing, ornamental iron work and stairs, bond, rolled steel sash. Contract awarded Heavner & Guthridge, Norristown, Pa., \$66,000. Plumbing, H. F. Mellon, Wilmington, Del., \$13,000. Electric, E. F. Higgins, Wilmington, Del., \$2,700.

**Garage**, Glen Lyon, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, Nathan Gottlieb, Glen Lyon, Pa. Brick, steel, 1 story, 40x100 feet, slag roof, concrete floors, steam heat, electric light, rolled steel sash. Contract awarded to Mr. Coulsey, Glen Lyon, Pa.

**Hotel (alts.)**, Sixth and Main streets, Carbondale, Pa. Architect, A. J. Ward, County Bank Building, Scranton, Pa. Owners, S. and Benjamin Letzie, River Street, Carbondale, Pa. Brick, 4 stories, steam heat, tile work, hollow tile, roof ventilators, kitchen equipment, plumbing, general alterations. Contract awarded to Holt Lumber Co., 61 North Main street, Carbondale, Pa.

**Work Shop and Sheds**, Yeadon, Delaware County, Pa. Architect, Paul A. Monaghan, 1713 Sansom street, Philadelphia. Owners, Holy Cross Cemetery, Archdiocese of Philadelphia, Eighteenth and Race streets, Philadelphia. Brick, 1 story, 62x21 feet, 66x14 feet, 134x21 feet, composition and tile roof, cement floors, plumbing, tile work, ornamental iron. Contract awarded James Johnson, 1606 Swain street, Philadelphia.

**Residence and Garage (alts. and add.)**, Rydal, Pa. Architects, Thomas, Martin & Kirkpatrick. Otis Building, Philadelphia. Owner, H. Norris Harrison, Rydal, Pa. Frame, 1 story, 15x20 feet, shingle roof, cement floors, hot water heat, electric light. Contract awarded E. Allen Reeves, Abington, Pa.

**Residence and Garage**, Elkins Park, Pa. Architect, S. Abramson, 2313 Walnut street, Philadelphia. Owner, B. Springthope, Wakefield and Seymou streets, Philadelphia. Stone, stucco, 2½ stories, 37x39 feet, stone and frame, 1 story, 20x20 feet, slate and wood shingle roof, hardwood, pine and cement floors, hot water heat, electric light, tile work. Contract awarded Merion Const. Co., 2315 Walnut street, Philadelphia.

**Residence (alts.)**, Villanova, Pa. Architect, Edward S. Hoffman, 315 South Fifteenth street, Philadelphia. Owner, S. C. Perry, care of architect. Cement and concrete, carpentry, iron work, mill work, linotile floors, hardware, sheet metal work, painting and glazing, electric wiring. Contract awarded C. C. Edleman, 1627 Sansom street, Philadelphia.

**Store (fire repairs)**, 406 Penn street, Reading, Pa. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owner, name withheld. General restoration, plastering, pine floors, electric lighting, rolled steel sash, metal ceilings. Contract awarded Charles Mearner, 2409 North Fifteenth street, Philadelphia.

**Residence and Garage**, Ardmore, Pa. Architects, Bissell & Sinkler, 1520 Locust street, Philadelphia. Owner, Dr. Thomas Furness, care of architect. Stone, 2½ stories, 82x47 feet, shingle roof, oak, pine and cement floors, hot water heat, electric light, tile work. Contract awarded H. H. Burrell, 206 South Quince street, Philadelphia, Pa.

**Synagogue**, Wilkes-Barre, Pa. Architect, R. M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, care of A. Hurwitz, chairman Building Committee, Wilkes-Barre. Stone and brick, 1 story and basement, 70x110 feet, slate and slag roof, hardwood floors (heating, plumbing, electric reserved), metal lath, tile work, rolled steel sash, iron work, ornamental plaster. Contract awarded to John Curtis & Co., 1 Hickory street, Wilkes-Barre.

**Apartment (alts. and add.)**, Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, J. D. Delahunty, care of architect. Brick and cinder block, 2 stories, 16x30 feet, slag roof, pine floors, electric lighting, general alterations. Contract awarded to Miles Fry, Wilkes-Barre, Pa.

**Dormitory Building**, Sheaton, near Nanticoke, Pa. Architect, A. I. Prawdzik, 821 Moosie street, Scranton, Pa. Owners, St. Stanislaus' Orphanage, Rev. V. L. Riezysko, Nanticoke, Pa. Brick, limestone, hollow tile, stucco, 2½ stories, 119x73 feet, canvas and slag roof, cement, maple and pine floors, metal lath, rolled steel sash, copper skylights, bond, kalamein doors. Contract awarded to Constructive Service Corp., Wilkes-Barre, Pa.

**Bakery**, Seventeenth and Brookwood streets, Harrisburg, Pa. Architect, A. B. Kister, 424 North Nineteenth street, Philadelphia. Owners, American Store Co., 424 North Nineteenth street, Philadelphia. Brick, reinforced concrete and steel, 1 and 2 stories, 75x150 feet (electric, heating, plumbing, elevators, refrigerator and ice machines separate), slag roof, cement, tile and mineral floors, hollow tile, waterproofing, ornamental iron work, bond, fire doors, rolled steel sash. Contract awarded Gettys Brothers, 210 Mulberry street, Harrisburg, Pa.

## New Jersey Construction News

**Industrial School**, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. Young, secretary, Atlantic City, N. J. Brick, reinforced concrete, 3 stories, 43x125 feet, reinforced concrete roof, hardwood floors (heating, plumbing and electric work reserved), roof ventilators, rolled steel sash and skylights. Revised plans in progress.

**Bank and Apartment**, Pleasantville, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Pleasantville National Bank, B. Whitman, president, care of architect. Steel, brick, concrete, fireproof, 3 stories, 42x106 feet, slate roof, hardwood and tile floors, hot water heat, electric light, metal lath, tile and marble work, rolled steel sash and skylights, roof ventilators, fire doors, bank fixtures, vault and vault doors, terra cotta work, ornamental bronze work. Plans in progress. Architect will be ready for bids in one week.

**Masonic Building**, Pennsgrove, N. J. Architect, C. R. Peddle, 136 South Fourth street,

Philadelphia. Owners, Masonic Lodge, Pennsgrove, N. J. Brick, stone, 2 stories, 40x75 feet, slag roof, electric light. Plans in progress.

**Store Building**, 807 South Broad street, Trenton, N. J. Architect, R. G. Consolloy, Commonwealth Building, Trenton, N. J. Owners, D. & S. Abrams, on premises. Brick, 2 stories, 28x54 feet, pine floors, electric lighting. Plans in progress.

**Residence**, Somerville, N. J. Architects, W. W. Slack & Sons, St. Regis Building, Trenton, N. J. Owner, J. Rieger, Somerville, N. J. Frame, stucco, 2½ stories, 30x70 feet, shingle roof, hardwood floors, electric light, tile work. Owners ready for bids.

**High School**, Lambertville, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, Lambertville School Board, care of architect. Fireproof, reinforced concrete, steel, brick, 3 stories, 150x56 feet, slag roof, hardwood and concrete floors, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing (heating, electric work and plumbing reserved), hollow metal skylights, fire doors, bond, floor hardener, iron stairs, ornamental iron work. Will be ready for bids in ten days.

**Residence**, Atlantic City, N. J. Architect, George Dobbins, Segal Building, Atlantic City, N. J. Owner, Mrs. Mary Vetter, New York, care of architect. Concrete block and stucco, 2½ stories, 148x28 feet, tile roof, hardwood floors, hot water heat, electric light, tile and marble work. Architect ready for bids.

**Apartment (add.)**, Atlantic City, N. J. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owner, A. De Simonae, 1733 Atlantic avenue, Atlantic City. Brick, 3 stories, 19½x45 feet, slag roof, hardwood floors, metal ceilings, tile and marble work, store fixtures. Owner taking sub-bids.

**Eagles Home (add.)**, Atlantic City, N. J. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owners, F. O. E. 64, A. F. Nichols, City Hall, Atlantic City. Steel, stone, brick, 4 stories, 42x150 feet, Barrett Specification roof, hardwood floors, hollow tile, heating extension, electric light, metal lath, tile and marble work, terra cotta, ornamental iron work. Plans in progress. Owner will be ready for bids in one week.

**Church**, Vineland, N. J. Architects, Mills & Van Kirk, Harrison Bldg., Phila. Owners, Church of the Pilgrims, Rev. J. J. McMillon, Vineland, N. J. Brick, 2 stories and basement, 50x86 feet, boiler room in rear of building, vapor heat, electric light, tile work, slate roof, hardwood floors, iron work. Architect ready for bids.

**12-Family Apartment**, Roosevelt avenue, Atlantic City, N. J. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owner, Somers Stillman, Cambridge avenue, Atlantic City, N. J. Cast stone, 3 stories, 34x85 feet, slag roof, hardwood floors, hollow tile, hot water heat, electric light, metal lath, tile work. Owner will build.

**Residence (alts. and add.)**, Riverton, N. J. Architect, J. Fletcher Street, 1120 Locust street, Philadelphia. Owners, Mrs. Robert Biddle, 3rd, 607 Bank street, Riverton, N. J. Stone and frame, 3 stories, 18x20 feet (hot water heat, electric work, plumbing separate bids), tile and marble work, slate roof, hardwood floors, painting, glazing and hardware. Architect taking bids due as soon as possible.

**City Hall**, Northfield, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, City of Northfield, City Council, care of architect. Brick, hollow tile, stucco, 2 stories, 35x50 feet, slate roof, hardwood floors, steam heat, electric light, tile work, rolled steel sash, roof ventilators. Architect taking bids due February 18th.

**Bank**, Millville, N. J. Architect, Thomas E. Ash, 1012 Walnut street, Philadelphia.



Owners, Millville National Bank, Millville, N. J. Architect taking bids due February 14th.

**School (add.),** Florence, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Florence School District, E. Robbins, Florence, N. J. Brick, 2 stories, 12 rooms and auditorium, slate roof, maple floors, hollow tile, safety treads (heating, plumbing and electric work reserved), tile work, metal lath, bond, iron stairs. Lowest bidders: Thomas Day & Sons, Fitzcharles Building, Trenton, N. J., \$124,500; William C. Ehret, 13 West State street, Trenton, N. J., \$127,606. Plumbing, Trenton Plumbing & Heating Co., 366 South Broad street, Trenton, \$5,648. Heating, Mechanical Equip. Co., 214 South Twelfth street, Philadelphia, \$22,944. Electric work, Jackson Electric Co., Forst Richey Building, Trenton, \$3,924.

**School,** Robbinsville, N. J. Architects, W. W. Slack & Son, St. Regis Theatre Building, Trenton. Owners, Washington Township School Board, Miss Hepburn, Windsor, N. J. Brick, steel, 1 story and basement, 140x32 feet, slate roof, pine floors (heating, electric work and plumbing reserved). Lowest bidder: Thomas Day & Son, Fitzcharles Building, Trenton, N. J., \$29,541.

**Memorial Building for Colored Veterans,** Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Board of Commissioners, N. R. Steinbricker, City Hall, Atlantic City, N. J. Building construction (plumbing, heating, electric reserved). Low bidder: Lam Building Co., 1001 Wood street, Philadelphia, \$149,200.

## New Jersey Contracts Awarded

**Residences (alts.) to Stores and Office,** 101 South Indiana avenue, Atlantic City, N. J. Architect, Lloyd Titus, Brighton Hotel, Atlantic City, N. J. Owners, Plum Brothers, 1115 Boardwalk, Atlantic City, N. J. Steel, brick, concrete, limestone, 4 stories, 50x150 feet, composition roof, composition maple and cement floors, hollow tile, electric elevators, waterproofing, hot water heat, electric light, metal lath, tile and marble work, copper sash, skylights, alterations. Contract awarded to Philip G. Hannum, Georgia Avenue and Thorofare, Atlantic City.

## Delaware Construction News

**Lodge,** Wilmington, Del. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owners, Sons of Italy, Dr. A. P. Revitto, Wilmington, Del. Brick, stone, 3 stories, 100x150 feet, slag roof, hardwood floors, steam heat, electric light, tile, marble and terrazzo work, ornamental iron work. Preliminary plans in progress.

**Dormitory Buildings (2), Boiler House,** Dover, Del. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, Murphy Homes, Harry Mayer, King's Highway, Dover, Del. Brick, fireproof, 2 and 1 stories, 30x30x67 feet, 48x80 feet. Bids due at architect's office February 27th at noon.

## Miscellaneous Construction News

**Auto Show Room and Apartment,** Baltimore, Md. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owner, W.

Rinseh, Mt. Royal and Maryland avenues, Baltimore, Md. Steel, brick and concrete, 8 stories, 55x80 feet, slag and Barrett Specification roof, tile and hardwood floors, hollow tile, passenger and freight elevators, roof ventilators, waterproofing and dampproofing, vacuum heat, electric light, metal lath, tile and marble work, rolled steel sash and skylights, fire doors, vault lights, ornamental iron work. Plans in progress. Architect will take bids in one week.

(Continued from page 100)

rather than upon efficient construction service. Such a condition was found by the Interdepartmental Board to prevail with respect to Government contracts and a like situation appears to exist in the forty-eight states engaged in highway construction.

This condition is by no means the fault of state highway engineers, but is rather a heritage left them by more or less well meaning politicians, aided and abetted by the legal mind. Neither of these has been accused of long range vision in matters of sound economics, but they have blindly sought to gain the utmost for an individual interest without actually reckoning the cost. Therefore, the State Highway Departments are faced with the same problem that faced the Interdepartmental Board; namely to find a means whereby they can protect the interest of the state without smashing the accepted rules of business and losing the benefit of intelligent competition. Competition of one sort, they have had in abundance, but ignorant competition by inexperienced concerns has about demonstrated its uselessness to those who buy as well as to those who sell; and it is probable that no one will bear more ready testimony to this fact than the highway engineer.

As one reads through the various contract forms used for highways and other public works construction, it is almost possible to trace certain provisions back to certain legal decisions against the state which prompted the inclusion of these provisions. Often some special condition has arisen which was not contemplated by the contract and probably could not have been foreseen and which therefore, resulted in a claim for compensation. As public agencies naturally do not desire to pay such extras they have frequently tried to spike all claims through the use of some special provision. In this manner public contracts have been cluttered up with innumerable provisions ordinarily unnecessary, but which inevitably add to the cost of construction as well as to the hazard involved.

Stern protective clauses in the public contracts are undoubtedly necessary, but before such clauses are incorporated cognizance should be taken of one very important point, namely, that once these clauses are included there, action generally becomes not optional with the pub-

lic official, but mandatory. Under such circumstances, he finds himself often obliged to carry out the letter of the contract in a manner that he knows to be inequitable, but which he is duty bound to follow.

Drastic protective clauses of this nature are frequently found in railroad construction contracts, but the freedom exercised by the railroad engineer in making adjustments and administering the work in accordance with his judgment has rendered them inactive. However, in a public contract where such clauses are usually mandatory they are bound to increase the cost of doing business.

Within recent years, some cognizance has been taken of the fact that construction costs are inseparately linked with the form of contract governing execution of the work; this is due in great part to the two distinctive functions rendered by construction companies, namely, that actually executing the projects and that of insuring the owner against many contingencies which no construction company can control. It may be that this dual function of the contractor is an advisable combination, but viewing it merely from the angle of construction costs, it constitutes an expensive procedure. If some pioneer engineer were to separate these contingencies in his mind from the actual cost, let the state assume those most remote as a possible occurrence, then call for bids for the actual construction work and another bid for assuming the contingencies, he would probably find that the cost of constructing highways as well as the prices bid, had materially declined.

This phase of the contract proposition, however, is somewhat aside from the matter of uniform documents. The intention of this discussion is not to touch upon those points wherein practically all highway contracts could well be modified but rather to treat of the irregularities and differences that constitute a derogatory influence. By this is meant the use of a particular stipulation in one state and not in another which makes construction work in one of them less attractive to a responsible company.

An illustration of this point is afforded by a certain contract provision now used in a number of states, but which has been discarded in others. It states that the quantities upon which the contractor is to bid are only approximate and for the purpose of comparing proposals, and that the state reserves the right to increase or decrease the quantities as it sees fit or to omit any of them altogether.

As each unit of work must carry its proportional share of overhead, the omission of any of these items means that whatever overhead was distributed to such items in the estimate will stand as direct loss to the construction company.



In other words, the bidder is required not only to guarantee the accuracy of the department's estimate, but is also required to gamble on whether the department will change its mind and eliminate a portion of the work.

In some states it has been recognized that this sort of a stipulation necessitates a contingency allowance or that protection must be sought otherwise in the so-called unbalanced bid. Consequently they have limited the amount that the work can be changed without a correction of unit price.

Assuming for the sake of illustration that the state of Illinois has the unqualified provision mentioned and that the state of Indiana guarantees the accuracy of estimates and guarantees that it will perform the work shown in the proposal. The Indiana contract will then eliminate the contingent charge and the construction company has to contend merely with the physical problems of the work so far as this particular provision is concerned. The obvious tendency would be for contractors to seek work in those states where they were obliged to do the least amount of gambling.

There are probably twenty other common highway provisions which react in the manner here cited, against the deflation of construction costs. Some states separate maintenance from construction and accept the work by sections when completed. This practice, like reduction of retained percentage to a safe minimum, cuts down interest charges and also reduces the actual working force required. Some states make adjustments for delays which their own actions occasion wiping out another intangible expense. Materials delivered are paid for in a considerable number of states, thus encouraging accumulation of stocks and continuous operations. To these points may be added numerous others which have been under discussion by engineers and contractors for the past three years.

An important step toward unifying practice in these matters was taken at Kansas City about a year ago when a committee of the American Association of State Highway Officials and one of the Associated General Contractors after investigating the economics involved made joint recommendations upon some twenty-five or thirty points relating to contracting practices. From the engineer's point of view adoption of these principles would benefit the state, not only by solving certain difficulties of administration, but also by effecting a reduction of cost. In the report issued by the Joint Committee, every principle is accompanied by a statement of the reason for its approval which in every case is one of economics. Though this declaration of principles represents but a step toward standardization so far, it could through universal applica-

tion produce considerable uniformity in highway contracts.

If state highway contracts could be formulated in every state from provisions that have been subject to the test of sound economics as well as the test of law, it would undoubtedly encourage efficiency and increase the longevity of those companies engaged in construction. The death rates of these companies is in no small measure due to the different governing principles encountered when they attempt to carry on work in a state with which they are unfamiliar, and a new flock of road builders every season does not reduce the cost of roads.

At the present time construction companies building highways are, in effect, engaged in interstate commerce. Numerous variations in the rules of business which they encounter in the different states create a doubt as to the actual requirements of the different localities and retards the progress of accurate estimating and accounting. Many engineering contracts and possibly highway contracts contain provisions contrary to the common law and which will not stand before a court. These clauses encourage irresponsible companies to create dissension and attempt a legal battle that may be won on a technicality. It would seem in the interest of a state for highway engineers to cast out any uneconomic requirements of specification and to establish uniform contractual relations. Contractors could then operate freely in new territory, without running amuck with unusual local requirements as now commonly occurs.

To accomplish this, might necessitate changes of contract provisions which in certain states appear necessary for adequate protection. If this be the case, the problem is then to find a means whereby responsible companies can deal with the departments as they deal with other industries, so long as their obligations are executed in good faith.

It will necessitate providing a means whereby the department may protect itself against bad faith in a manner swift and sure. In other words an effort should be made through the administration and through the contract forms to make this highway industry an attractive field for the right sort of operators and to eliminate swiftly and surely the man who attempts to dodge his obligations. This can be brought about to a great extent by uniform contracting principles, which most certainly will constitute a public service.

There is another side to this question, however, which is probably as important as the factor of economics. Uniform contracts would tend to establish customs and precedents in contractual relations that would serve in much the same capacity as a body of common law. They

would constitute a practical code which would become generally known to contractors professional men and to some extent by the public and would enable all parties to more clearly understand the obligations they must perform and a performance that they have a right to expect.

In so far as highways construction is concerned, there appears no sound reason for continuing a multitude of different obligations covering the same type of work except of course where existing statutes interfere. In fact, there is no useful purpose served by the multiplicity of state construction laws. Many of these statutes, like regulations in the Government bureaus, have long ago served their usefulness, could profitably be revised or repealed.

It is unfortunate that the construction world has not long ago formulated its code of contracting practices, but at the same time it is fortunate that nine large national associations of engineers, architects and contractors, operating through the Joint Conference on Standard Construction Contracts at Washington has practically reached an agreement on such a code. For over two years this body has been working on the subject and within the present year is expected to give the results of its labors to the public.

Even before the Joint Conference had reached agreement on all major points involved it furnished valuable assistance to the Government in enunciating sound principles. The mature thought of this conference, could also with active support from highway departments, formulate sound contracting practice for highways and other public construction. The American Association of State Highway Officials has been participating in the conference and throughout the sessions its representatives have given the benefit of their judgment from the view point of highway officials.

No attempt has yet been made to formulate a contract for public works, but if highway officials will undertake this task either through the joint conference at Washington or their own association, they will pave the way for an important public service.

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Charles G. Schweiker, R. A., (Architect), has removed from 33 N. Felton St., Philadelphia, to 29 Garfield Ave., Manoa Heights, Delaware Co., Pa.

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In the 1924 edition of the *Directory of the Architectural and Building Trades*, the address of Anti-Hydro Waterproofing Company, under "Waterproofing," should be P. O. Box 2043, Middle City, Philadelphia, instead of Land Title Bldg.

Address all inquiries to P. O. Box 2043 Middle City, Phila.



# Reference Directory for Architects, Builders and Owners

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Ketcham, O. W. ....121 N. 18th St., Phila.  
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## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

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The Van Sciver Corporation,  
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Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

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Duntile Concrete Mfg. Co. ....Darby, Pa.  
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## DAILY BUILDING NEWS.

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## LINOTILE.

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Oliver Oil-Gas Burner Co.Oliver Bldg., St. Louis, Mo.  
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## REFRIGERATORS.

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Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REINFORCING BARS.

Lukens, Lewis N. ..19th and Washington Ave., Phila.

## ROOFING SLATE.

Chapman Slate Co. ....Bethlehem, Pa.

## ROOFING TILE.

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## SHEETROCK (Wall Board).

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McDevitt, John F. ....1403 N. 20th St., Phila.  
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John D'Lauro.....55 E. Mermaid Lane, Phila.

## STUCCO.

Daniel C. Sinclair.....East Lansdowne, Pa.

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Baird, A. S. ....Otis Bldg., Phila.  
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Denckla Bldg., Phila.

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Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

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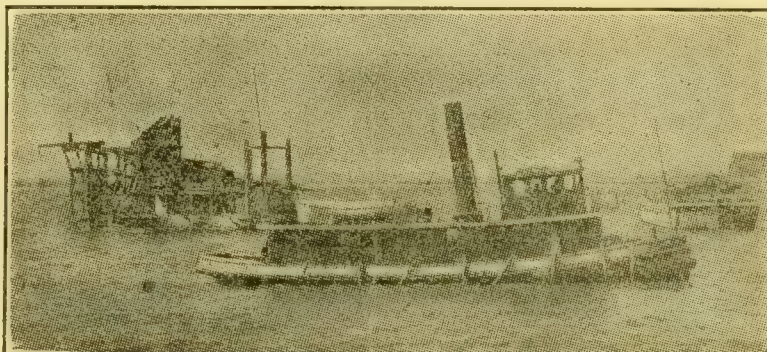
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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 8  
February 20, 1924

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and the Material and Equipment Trades

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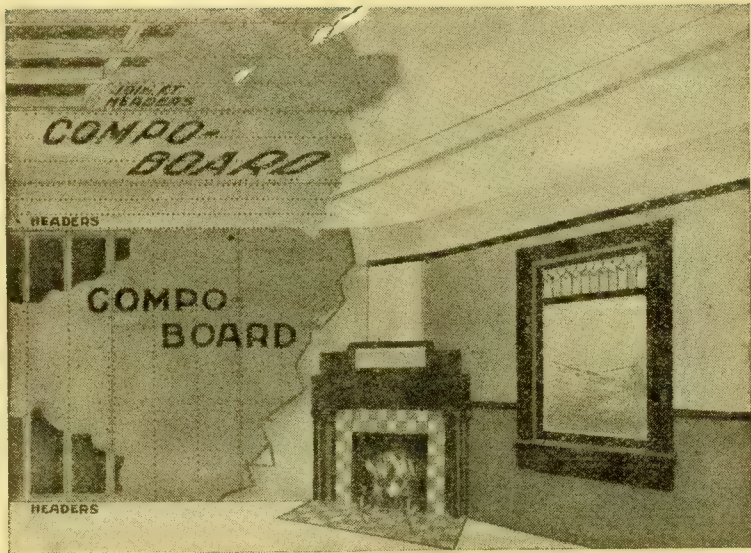
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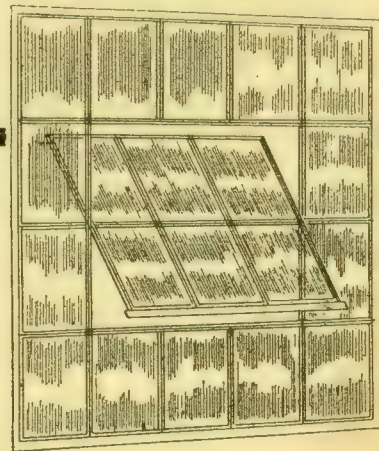
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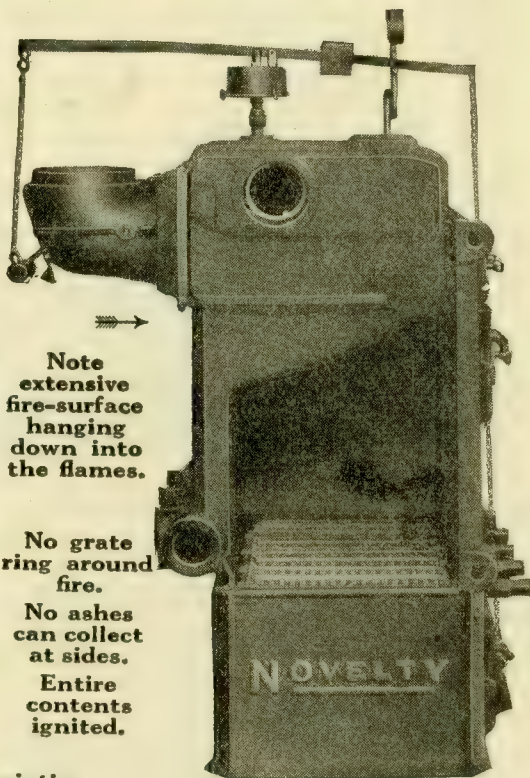
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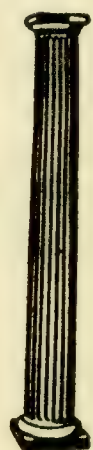
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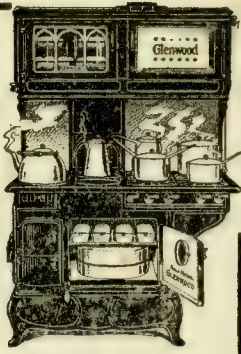


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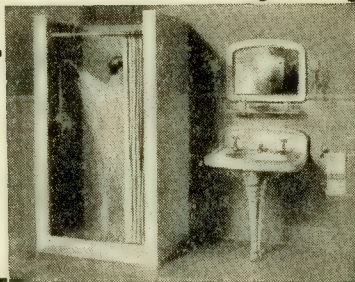


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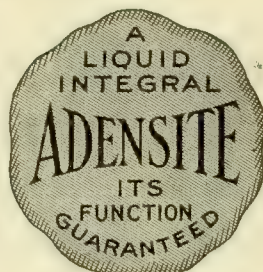
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 8

PHILADELPHIA  
February 20, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

PUBLISHED WEEKLY  
BY

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## As The Editor Sees It



### FIRE RESISTIVE HOUSES A PRESENT REALITY

*Address at the First National Fire Prevention Congress, New York, N. Y.,  
by Wharton Clay, Architectural Engineer,  
Member of the Building Construction Committee,  
National Fire Protection Association.*

If an architect and engineer and a criminal incendiary should get their heads together, they could hardly devise a better construction for rapid destruction by fire than the present residence or apartment building with lumber joists, studs and ordinary lath. Even the plaster, which is incombustible itself, and would be considered a fire protection of high order, aids in making a series of chimneys to aid in the draft, and when this plaster is installed, as is customary, the entire interior of the chimney is lined with small pieces of rough wood easily ignited, and which communicate a fire with incredible speed throughout the structure. This does not mean that lumber must be eliminated to make houses fire-safe, but to make them fire-safe, the lumber must be protected in a manner different from the present custom and the myriad of small pieces of wood must be eliminated.

It seems strange that the design of fire-resistive construction should have started at the top and worked downward to the residence. It is strange that city

ordinances give more consideration to the protection of the lives of transients within their boundaries living in hotels than is given to their own citizens whose lives are in constant peril in houses that strictly conform to all the laws. It is strange that a man will demand a fire-proof vault to store a few bonds and stocks, some of which prove to be worthless sheets of paper, and at the same time will leave home light-heartedly with his dearest possessions soundly asleep in a tinder box, which, on the slightest spark will in a few moments be hopelessly involved in a rapidly enveloping fire. In fact, the modern house, if constructed scientifically at all is constructed to permit the most rapid spread of flames that possibly could be arranged.

Lumber construction, because of its great strength, ease of cutting and fitting and the familiarity of the workmen with it is the most economical material on the market today with which houses can be constructed. Attempts have been made to produce fire-resistive houses with other materials, but they have always ended in financial disappointment because of the extra burden it places upon the home owner. There is another reason, too, why incombustible materials have not appealed to the home owner. We are creatures of habit, and are familiar with wood and appreciate its beauty. We do not like to see the cold floors and do not readily respond to a different form

of construction. Fortunately, there is no need for this, for within our grasp and within our pocketbook lie materials which will make the fire-resistive home a present reality. In fact, there are many that have been built throughout the length and breadth of this land, and their safety has frequently been tested by actual fires, which, obtaining a start, are stopped before they gain headway.

Metal lath as a protection for lumber solves the problem as no other material does. It does not change our habits of constructing the building, it does not hamper the speed of erection and it does not add greatly to the cost. It even lessens the burden on the pocketbook of the householder, because it reduces the depreciation and upkeep expense cost to a greater extent than it increases the original investment.

For over thirty years, expanded metal lath has been known to the general building public as a fire-resistive material. Notable examples of its fire-stopping qualities have appeared from time to time. On the other hand, hundreds and even thousands of houses constructed in the ordinary manner burn down yearly, and we thoughtlessly let them pass without inquiring into the basic reasons why houses should be so rapidly consumed and take with them so many precious lives.

The true measure of the fire-resistive value of expanded metal lath as a pro-

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tection for wood was not known until a short time ago; but on the anniversary of Fire Prevention Day, 1922, the Underwriters' Laboratories announced that a wood-studded partition plastered on both sides by metal lath and plaster, and an ordinary wood-stud floor as commonly constructed, but protected on the under side with metal lath and plaster would resist the intense heat of their Standard Fire Test for over one hour and remain intact and carry its load beyond that period. Shortly thereafter, they announced that ordinarily lath and plaster would expose the wood behind it, under the same conditions, in about four minutes. Here, then, lies the secret of the immense life and fire loss in residence construction in America.

Fire preventionists have pointed out the comparison between the fire losses in Europe and America and have attributed it to greater use of incombustible exterior walls in Europe and the common use of frame construction in America. Even the statistics of fires in this country are disregarded when such a conclusion is reached, for we find in the report of the Committee on Statistics on Origin of Fires, dated May 22, 1919, and issued by the National Board of Fire Underwriters, that in the column headed, "Percent of Fires Confined to Building or Place of Origin" that the percentage runs in the following manner: 99, 91, 98, 98, 97, 94, 100, 96, etc., giving a grand average for every report city in the United States, a figure about 96 per cent.

In other words, the fire hazard in America is not due to the spread of fire such as the exterior walls might have some control over, but is due almost entirely to the fires which start in certain buildings and involve that building alone. That is, the interior construction represents 96 per cent. of all the fire loss, and the control of this 96 per cent. of the fire loss in this country must be the object of the thought placed on improved construction. External construction concerns only 4 per cent. of the fires, therefore, it is strange that we have given so much consideration to the 4 per cent. and so little consideration to the 96 per cent.

Insurance bodies and Fire Preventionists have given more consideration to the wood shingle than they have given to the wood lath. In many places they have legislated against wood shingles which are a most economical and beautiful roof treatment, when not more than 2 per cent. of all the fires in the country can possibly be attributed to conflagrations involving more than two buildings at a time and they have neglected to provide safety from internal fires which form 96 per cent. of the hazard. They have given large credits for incombustible exterior walls and they have allowed ordinary window glass to be put in windows, vitiating

entirely the undoubted safety of the wall itself, and from an engineering standpoint, have neglected the adage that a "chain is only as strong as its weakest link." It is true that a stucco-covered frame structure would be more fire-resistant than the same structure covered with siding, but a conflagration will enter the brick building as quickly as the frame building.

My purpose is not to object to giving credits where credits are due. It is to bring before this Fire Prevention Congress a plea to properly weigh and measure the fire-resistive advantage that better interior construction will provide over a period of years.

Not only does expanded metal lath and plaster resist the fire which is endeavoring to break through the plaster coating and get to the interior of partitions, but any fire which originates inside of a partition has little to feed on with expanded metal lath and plaster on two sides and a flat piece of wood studding whose edges are embedded in plaster as the other two boundaries. True, this wood can ignite, but the horizontal bridging almost universally placed midway between floor and ceiling of these partitions and walls confines such a fire within a very small bulkhead, and fire stops can also be placed at the floor levels to further reduce the chances of spread of fire. The condition inside of a partition, lined with ordinary rough lath of ideal size for starting a fire, is apparent.

It is therefore, not necessary to depart from the time-honored wood stud and wood joist construction, whether surrounded by a masonry wall or a wood-studded wall covered by either wood siding or stucco, in order to obtain a fire-resistive interior that will give ample protection for the large majority of fires which statistics show are likely to involve the interiors.

There is a type of partially protected fire-resistive construction which will give the greatest protection for the least extra cost. These are houses which are "built like a battleship," in which the expanded metal lath is used to protect the most vulnerable points, as the battleship designer puts the heaviest armour around the turrets and around the boilers. These vulnerable parts are:

1. On all stud bearing partitions and walls and fire stops between studs. (Fire stops to be metal lath basket-shaped to fit between studs, coated with plaster or cement and filled with incombustible materials.)
2. On ceilings under inhabited floors, especially over heating plants and coal bins.
3. At chimney breasts, around flues and back of kitchen ranges.

(Continued on Page 128)

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**Residences (10)**, Buist avenue and Eightieth street, Philadelphia. Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, A. Middleton, 2425 Pine street, Philadelphia. Brick, 2 stories, 15x40 feet, slag roof, composition and pine floors, hot water heat, electric light. Owner ready for sub-bids.

**Church and Sunday School**, Fischers avenue and First street, Olney, Philadelphia. Architects, Ritcher & Eiler, Reading, Pa. Owners, Zion Lutheran Church, Rev. B. Shetlock, 117 East Tabor road. Brick, cast stone, stone, steel, 1 story, basement and balcony, 118x71 feet, slate, built-up roof, cement, maple, linoleum floors, steam heat, electric light, metal lath, hollow metal doors, bond, floor hardener, ornamental iron work, shoring, waterproofing, metal ceilings. (Alterations on terra cotta, wood ceiling, cork tile.) Owners taking bids due March 1st.

**Chapel and School Building**, Germantown, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Benedict's Roman Catholic Church, Rev. W. C. Farrell, Cheltenham avenue, Germantown. Plans in progress. Too early for details.

**Store and Apartment**, Girard avenue near Sixty-second street, Philadelphia. Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, name withheld. Brick, 2 stories, hot water heat, electric light, plate glass, painting, carpentry and mill work, metal bulks. Architects will be ready for bids in a few days.

**Church**, Cobb's Creek Boulevard and Cedar avenue, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owners, St. Carthage Roman Catholic Church, Rev. P. F. O'Neill, on premises. Stone, steam heat, electric light, slate roof, tile and marble. Ready for bids (general) in one week.

**Residence (alts. and add.)**, 212 East Gowan avenue, Mt. Airy, Pa. Architect, William C. Prickett, 225 South Sixth street, Philadelphia.

Owner, Joseph A. Short, care of architect. (Plumbing, oak floors, heating separate bids.) Slate roof repairs, carpentry and mill work, stone work, cut stone, cement and concrete, plastering, carpentry and mill work, electric light, metal lath, tile work. Architect taking bids due February 23rd.

**Residence**, Oak Road, between Midvale and School Lane, Philadelphia. Architect, Carl A. Ziegler, 1309 Locust street, Philadelphia. Owner, Richard T. Brown, Wayne and Roberts avenue, Philadelphia. Architect taking bids.

**Bank Building, Stores (2)**, Southwest Corner Eighteenth and Fairmount avenue, Philadelphia. Architect, W. Macy Stanton; Engineer, S. H. Pennell, 1524 Chestnut street, Philadelphia. Owners, Mortgage Security Trust Co., care of architect. Brick, granite, Indiana limestone, 1 story and mezzanine, 40x80 feet, steam heat, electric light, tile and marble work, rolled steel sash, bank screens, metal bulks, ornamental iron work, vault, oil-burning equipment, pine floors, slag roof. Plans in progress.

**Apartment House**, Germantown, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Brick, 3 stories (6 apartments), 50x200 feet, slag roof, hardwood, composition, mineral floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Factory**, location withheld, Philadelphia. Architect, F. V. Nickels, 15 South Twenty-first street, Philadelphia. Owner, name withheld. Brick, concrete and steel, 4 stories, 70x200 feet, slag roof, steam heat, electric light, cement floors, elevators. Preliminary plans in progress.

**Factory Building**, location withheld, Philadelphia. Architect, Frank V. Nickels, 15 South Twenty-first street, Philadelphia. Owner, name withheld. Brick, concrete and steel, 4 stories and basement, 60x188 feet, slag roof, cement floors, steam heat, electric light, elevators. Preliminary plans in progress.

**Manufacturing Building**, location withheld, Philadelphia. Architect, Frank V. Nickels, 15 South Twenty-first street, Philadelphia. Owner, name withheld. Brick, stone, steel, concrete, 8 stories, 150x102 feet. Preliminary plans in progress.

**Church**, Greene and Logan streets, Germantown, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Francis of Assisi, Rev. J. D. Nevun, on premises. Plans in progress. Too early for details.

**Administration Building**, Oxford Pike and Saul street, Frankford. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owners, Y. W. C. A., Miss Dorothy Morgan, Morris Building, Philadelphia. Work contemplated. Preliminary plans drawn.

**Office Building**, Broad and Arch streets, Philadelphia. Architect, not yet selected. Owners, Liberty Title & Trust Co., J. N. Fort, Jr., president, on premises. Eighteen stories. Details undecided. Contemplated.

**Bath Houses (2)**, C and Westmoreland streets, 2601-13 South street. City architect, John Molitor, 1211 Chestnut street, Philadelphia. Owners, Department of Public Welfare, City Hall, Philadelphia. Plans in progress.

**Alterations**, 1229 Ellsworth street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Michael Barallo, on premises. Carpentry and mill work, brick work, stone work, painting and glazing, electric light, plastering, plumbing. Owner will build.

**Apartment House**, Southeast Corner Nineteenth and Spruce streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, The Nineteenth and Spruce Realty Corporation, care of Saul, Ewing, Remie & Saul, Land Title Building, Philadelphia. Stone, steel, brick, concrete, 15 stories, 44x133 feet, 105 apartments, hardwood, pine, composition floors, elevators, roof ventilators, steam heat, electric light, metal lath, tile and marble work, kitchen equipment, Murphy beds, ornamental iron work, plumbing. Architects will be ready for bids in a few days.

**Residences (30 or 40)**, Germantown avenue, Bells Mill Road and Hampton Road, Philadelphia. Architect, private plans. Owner, Judson M. Zane, Land Title Building, Philadelphia. Stone, hollow tile and stucco, 2½ stories, various sizes, hot water heat or vapor heat, electric light, tile and marble work, cement work, slate and shingle roof. Owner will take sub-bids in spring, 1924.

**Residences (70)**, Pratt Valley, Walker and Howarth streets, Philadelphia. Architect, private plans. Owners, Fuld, Moore & Cook, 3215 H street, Philadelphia. Brick, 2 stories, 16x40 feet, hot water heat, electric light, slag roof, pine and mineralite floors. Work contemplated. Owners will take sub-bids for first twelve in two weeks, unless ground is sold at a profit.

**Residences (26)**, Warnock and Olney avenue, Philadelphia. Owner, Charles Mahon, 5640 North Fifth street, Philadelphia. Brick, 2 stories, 16x40 feet, hot water heat, electric light, tile work, slag roof, oak and pine

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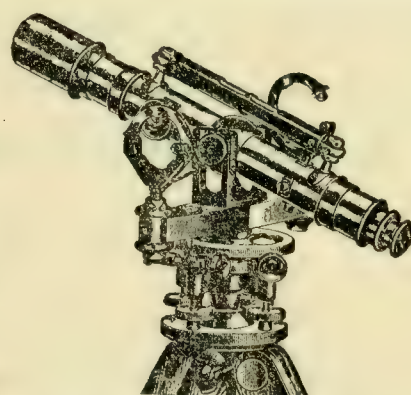
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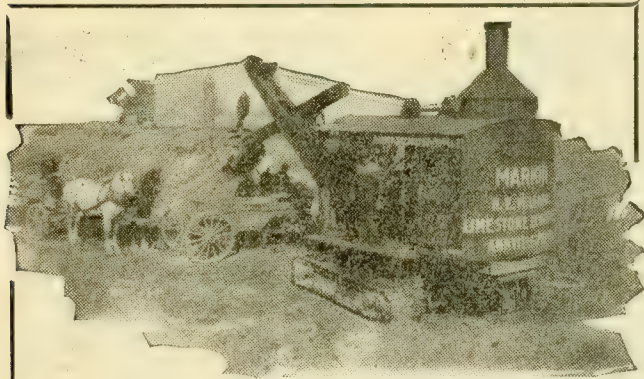
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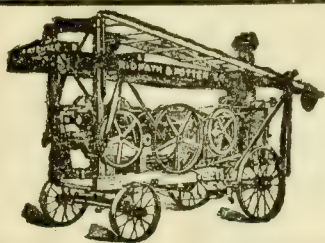
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floors. Owner will build. Will take sub-bids in a few days.

**Office Building**, Locust and Sydenham avenue, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Charles Kahn, Morris Building, Philadelphia. Reinforced concrete and steel, 10 stories. Ready for bids in a few days.

**Alterations and Addition**, Allegheny avenue and Tulip street, Philadelphia. Architect, Edwin Yeo, 225 Sydenham street, Philadelphia. Owners, Northeastern Hospital, on premises. Brick, reinforced concrete, cut stone, steel, slag roof, cement floors, safety treads, metal lath, terrazzo and marble work, rolled steel sash and skylights, tin covered doors, iron work. Architect will be ready for revised bids in one week.

**Residences (24)**, McCallum and Wellesley Road, Germantown, Philadelphia. Architect, private plans. Owners, Carson Brothers, 5601 Germantown avenue, Philadelphia. Stone, 2½ stories, size undecided, hot water heat, electric light, tile work, slate roof, oak and pine floors. Owners will build in the spring.

**Residences (30)**, Carlisle street, East of Fifteenth street, South of Pollock street, Philadelphia. Architect, private plans. Owner, John W. Shisler, Northeast Boulevard and D street, Philadelphia. Brick, 2 stories, 16x32 feet, slag roof, oak and pine floors, hot water heat, electric light, tile work. Owner taking sub-bids ready to build in a month.

**Apartment House (alts.)**, Nineteenth and Fairmount avenue, Philadelphia. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owner, W. A. Dunlap, Nineteenth and Fairmount avenue, Philadelphia. Brick, 1 story, 40x60 feet, slag roof, pine floors, heating and lighting extensions, limestone, metal ceilings, marble. Owner taking sub-bids.

**Store Building (add.)**, 50-52 North Ninth street, Philadelphia. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, J. Goldstein, on site. Brick, 1 story, 18x40 feet, slag roof, plastering, painting, metal ceilings, plate glass, metal bulks, tile and marble work, hot air heat, electric light. Owner will build.

**Residences (9)**, 2030-2046 Latimer street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, J. M. Lycett, care of architect. General renovation. Architect will be ready for bids in a few days.

**Home (alts. and add.)**, Fifty-eighth and Baltimore avenue, Philadelphia. Architects, Bailey & Bassett, 1520 Locust street, Philadelphia. Owners, Church Home for Children, on premises. Stone, 2 stories, 30x18 feet, slate and tin roof, cork and pine floors, hot water heat, electric light, metal lath, bond, plumbing, painting and glazing, plastering,

carpentry and mill work. Architects taking bids due February 23rd, at 10 A. M.

**Factory**, 1024-26-28 Buttonwood street, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Brick, reinforced concrete, 7 stories add., 24x70 feet, slag roof, maple floors, freight elevators, metal ceilings, oil burning equipment, fire tower, kalamein doors, rolled steel sash, electric work, steam heat. Architect taking bids due February 21st, at 1 P. M.

**Store (alts. and add.)**, 234 South street, Philadelphia. Architect, E. A. Roth, Drexel Building, Philadelphia. Owner, D. Rosenfeld, on premises. Brick, 2 stories rear addition, 15x20 feet, new front, hot water heat, electric light, tile and marble work, plate glass, slag roof, hardwood floors. Architect taking bids due February 21st.

**Sunday School**, Walker and Benner streets, Philadelphia. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Wissinoming Baptist Church, Wissinoming, Pa. Stone, cut stone, steel, brick, 2 stories and basement, 85x40 feet, slate and slag roof, composition and pine floors, electric light, iron work (heating reserved). Architects taking bids due February 25th.

**Residences (5)**, Frankford, Philadelphia. Owner, William Schuck, 2441 North Eighth street, Philadelphia. Architect, private plans. Tapestry brick, 2 stories, 29x18 feet, hot water or pipeless heat, electric light, castone, plumbing, oak and cement floors, slag and tin roof. Owner taking bids due as soon as possible.

**Store and Storage (alts.)**, Southeast Corner Second and Race streets, Philadelphia. Engineer, M. M. Boonin, Northeast Corner Eighth and Porter streets, Philadelphia. Owner, F. Carlin, 67 North Sixty-first street, Philadelphia. Brick work, 2 stories, 17x40 feet, cornice work, steel work, shoring, new bulks. Owner taking bids.

**Supplies**, Philadelphia. Purchasing agent, E. J. Lafferty, 312 City Hall, Philadelphia. Owners taking bids due February 25th at noon. Cement, fuel oil, electric supplies, sulphate of alumina, chemical hose, sand discharge hose.

**New Water Piping**, United States Appraisers' Stores, Philadelphia. Architect, James A. Wetmore, Washington, D. C. Owners, United States Treasury Department, Washington, D. C. Water piping. Owners taking bids due February 26th at 3 P. M.

**Sheds (2)**, Delaware and Snyder avenues, Philadelphia. Architect, private plans. Owners, United States Marine Corps, 1100 South Broad street, Philadelphia. Wood and metal. Owners taking bids due February 25th at 11 A. M.

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**Miscellaneous Work, Philadelphia.** Owners, Department of Public Works, Bureau of Water, City Hall. Furnish and laying 48x36-inch pipe lines, Girard avenue and Fortieth street, Philadelphia. Owners taking bids due February 21st at noon.

**Church,** Fifty-sixth and Cedar avenue, Philadelphia. Architect, Henry D. Dagit & Son, 344 South Seventeenth street, Philadelphia. Owners, Church of the Transfiguration of Our Lord, Rev. Daniel McGettigan, on premises. Stone, granite, limestone, cut stone, steel, 1 story and basement, 174x116 feet (plastering, upper floors, electric, steam heat, marble and tile work reserved), slate roof, cement and pine floors, hollow tile, terra cotta, bond, ornamental iron work, rolled steel sash. Architects taking bids due March 1st.

**Delaware River Bridge Approaches,** Contracts Nos. 11-12. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Low bidder, Contract No. 11, Philadelphia approaches: Frederick Snare & Co., 1524 Chestnut street, Philadelphia, \$231,000. Low bidder on Contract No. 12, Camden approaches: H. G. Ley & Co., 716 Raymond street, Philadelphia, \$271,862.50.

**Reconstruction of Fairmount Dam,** Fairmount Park, Philadelphia. Owners, Department of Public Works, Bureau of Water, 216 City Hall. Low bidders: Seeds & Durham, 6314 Wissahickon avenue, \$606,800, \$622,400; Arundel Corp., Baltimore, Md., \$639,309.

**Residences (15),** Algard street, South Devreux street, \$75,400. Architect, private plans. Owner, Frank Storch, 426 East Roosevelt Boulevard, Philadelphia. Brick, 2 stories, 15x37 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage,** 6717 Woodland avenue, Philadelphia, \$7,000. Architect, private plans. Owners, W. P. Roche Post, No. 21, American Legion, 6717 Woodland avenue. Brick, 1 story, 56x84 feet, slag roof, cement floor. Owner will build.

**Residences (15),** North side Lindley avenue, West of Sixth street, \$4,500 each. Architect, private plans. Owner, Harry C. Miller, 1428 Ruscomb street, Philadelphia. Brick, 2 stories, 14x26 feet, 11x10 feet, hot water heat, electric light. Owner will build.

**Residences (4),** Hermitage street, East of Lawnton avenue, \$21,000. Architect, private plans. Owner, Max Meitner, Green Lane and Manayunk avenue, Philadelphia. Brick, 2 stories, (2) 15x30 feet, 12x10 feet, (2) 15x40 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence,** 3119 Midvale avenue, Philadelphia, \$16,000. Owners, Johnson & Tally, Room 11, Post Office Building, Germantown, Philadelphia. Stone, 3 stories, 27x40 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Factory (alts. and add.),** 448 North Marshall street, Philadelphia, \$9,500. Architect, private plans. Owner, H. Sherman, on premises. Brick, 4 stories add., 20x38 feet, 6 inches, general alterations. Owner will build.

**Rooming House (alts.),** 330-32 South Juniper street, \$5,000. Architect, private plans. Owner, Harry Mayer, Witherspoon Building, Philadelphia. General alterations. Owner will build.

**Residence,** North side Bleigh street, West of Montour street, Philadelphia, \$5,000. Architect, private plans. Owner, Peter Heidt, Jr., 7402 Montour street, Philadelphia. Frame, 2 stories, 16x12 feet, 19x14 feet, pipeless heating, electric lighting, hardwood and pine floors. Owner will build.

**Residence,** North side Rhawn street, East of Loretta street, \$4,000. Architect, private plans. Owner, A. Sabalis, 8106 Harley street, Philadelphia. Brick, 2 stories, 16x37 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Residence,** East side Williams avenue, South of Sharpnack, \$4,000. Architect, private plans. Owner, W. S. Sibel, Glenside, Pa. Brick, 2 stories, 16x43 feet, slag roof, hot air heat, electric light. Owner will build.

**Apartment (alts.),** 161 West Penn street, Philadelphia, \$3,500. Architect, private plans. Owner, Ethel D. Stephenson, 5125 Wayne avenue, Philadelphia. Steam heating. Owner will sub-let.

**Residence (alts.),** 5424 Rising Sun avenue, Philadelphia, \$3,000. Architect, private plans. Owners, P. & G. J. Hermann, 430 Duncannon avenue, Philadelphia. General alterations. Owners will build.

**Residences (4),** 4733-35-37-39 North Second street, Philadelphia, \$3,000 each. Architect, private plans. Owner, Chris. Dear, 4801 North Third street, Philadelphia. Brick, 2 stories, 15x30 feet. Owner will build.

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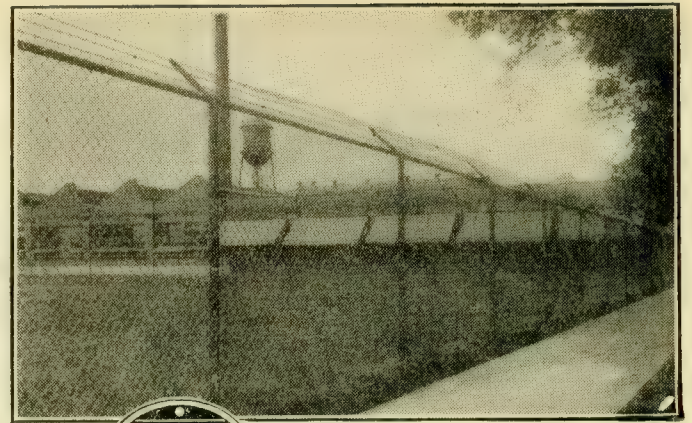
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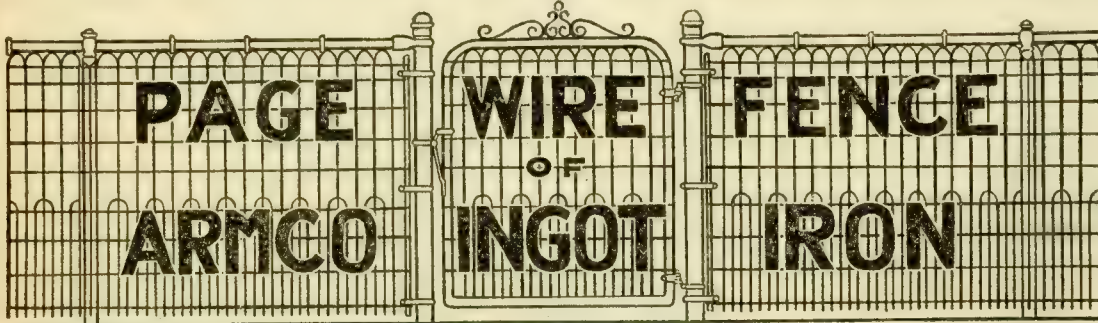
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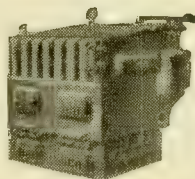
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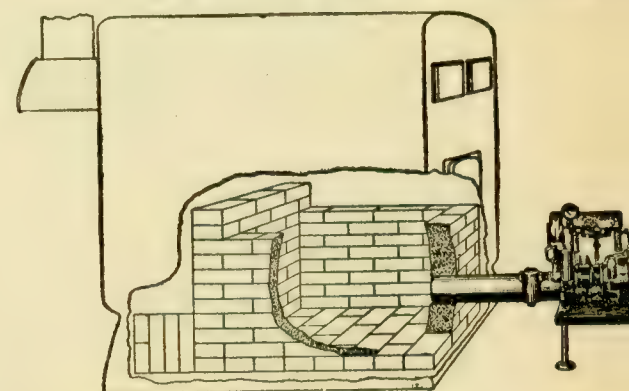
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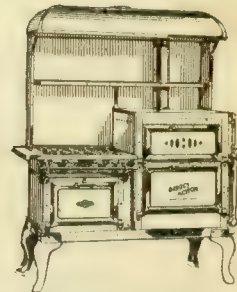
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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Garage**, West side Seventy-first street, South of Grayson avenue, Philadelphia, \$15,000. Architect, private plans. Owner, Dora Sacks, 1145 South Sixtieth street, Philadelphia. Brick, 1 story, 75x150 feet, slag roof, cement floors. Contract awarded to Morris Sacks, 1145 South Sixtieth street, Philadelphia.

**Stores (2) (alts.)**, South and North side Filbert, West of Seventh street, \$10,000 each. Architect, private plans. Owners, Lit Brothers, Eighth and Market streets, Philadelphia. General alterations and foot bridge. Contract awarded to Keystone State Const. Co., 216 South Thirteenth street.

**Residence**, 4541 Edgemont street, Philadelphia, \$4,000. Architect, private plans. Owner, S. Dumbroski, 4547 Livingston street, Philadelphia. Brick, 2 stories, 16x30 feet, and 1 story, 16x12 feet, slag roof. Contract awarded to Felix Tatko, 2119 Pratt street, Philadelphia.

**Abattoir**, Front and Venango streets, Philadelphia. Architect engineer, T. A. Stoutenberg, 452 North American street, Philadelphia. Owners, Duffy & Brothers, Inc., 3255 North Front street, Philadelphia. Brick, cut stone, steel, 2 and 1 story, 80x63 feet, 33x119 feet, electric light, metal lath, rolled steel sash,

waterproofing, plumbing, hollow tile, concrete and maple floors, cork insulation, composition roof. Contract awarded T. A. Stoutenberg, 452 North American street.

**Building (alts.)**, 922 Chestnut street, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Mansfield & Son, on premises. Contract awarded Philadelphia Woodworking Co., 312 Columbia avenue, Philadelphia.

**Schools (3)**, Philadelphia. Architect, Irwin T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia.

**School**, B and Wyoming avenue, Philadelphia. Contracts awarded: Sinclair & Griggs, Medical Arts Building, Philadelphia, \$437,800. Plumbing, Thompson Brothers, 520 Buttonwood street, \$28,780. Heating, McClintock Brothers, 5608 Race street, Philadelphia, \$49,995. Electric, Ross Electric Co., Beach and Brown streets, Philadelphia, \$15,570. Ventilating, S. Faith & Son, 2724 Pennsylvania avenue, Philadelphia, \$2,983.

**Elkins School**, D and Clearfield streets. Contracts awarded: William Langhorne, 304 South Fiftieth street, Philadelphia, \$84,900. Electric, Walker & Kepler, 531 Chestnut

street, Philadelphia, \$3,995. Plumbing, Daniel J. Keating, 2042 Rittenhouse street, \$18,777. Heating, McClintock Brothers, 5608 Race street, Philadelphia, \$7,960. Ventilating, Gerbrich & Kauffman, 44 North Second street, Philadelphia, \$390.

**Lawnton School**, Benner and Ditman streets. Contracts awarded: Nelson Pedley Co., 1615 Spruce street, Philadelphia, \$215,000. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$18,559. Heating, McClintock Brothers, 5608 Race street, Philadelphia, \$36,000. Ventilating, Gerbrich & Kauffman, 44 North Second street, Philadelphia, \$1,868. Electric, Walker & Kepler, 531 Chestnut street, Philadelphia, \$10,116.

**Women's Ward (add.)**, Frankford, Philadelphia. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Friends' Hospital, Frankford, Philadelphia. Stone, brick, cut stone, steel, concrete, stucco, new second story and 1 story add., 36x113 feet, 62x36 feet, slate roof, cement floors, roof ventilators, rolled steel sash, metal lath, electric light, steam heat. Contract awarded A. Raymond Raff, 1635 Thompson street, Philadelphia.

**Building**, 43-45 North Seventeenth street, Philadelphia. Architects, Newbauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, S. Hopkins, care of architect. Brick, cut stone, steel, 3 stories, 54x30 feet, slag roof, pine floors, steam heat, electric light, metal lath, galvanized iron skylights, hollow metal doors, bond, shoring, ornamental iron work. Contract awarded H. John Homan, 1703 Chestnut street, Philadelphia.

**Residences and Garages (2)**, South side Wakeling street, East of Horrocks street, Philadelphia, \$13,500 each. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owner, William Newton, Frankford, Philadelphia. Brick, 3 stories, 16x44 feet, 1

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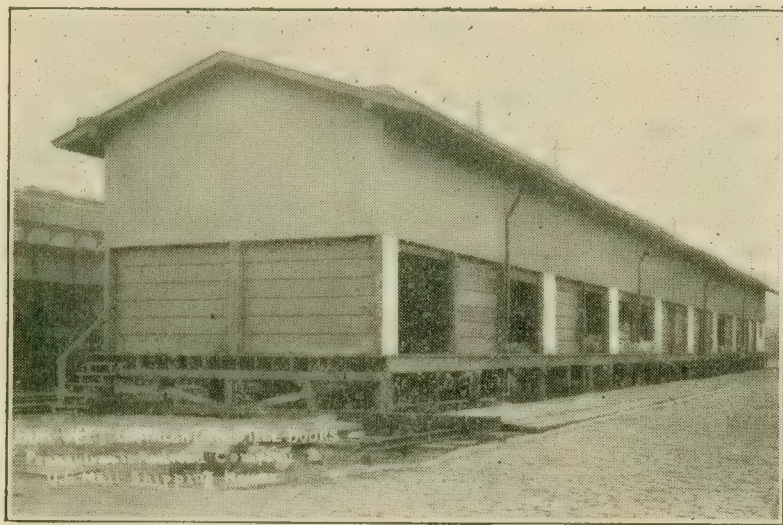


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story, 13x9 feet, tile and tin roof, hardwood, pine and cement floors, hot water heat, electric light. Contract awarded to Wintz Brothers, 1618 Sellers street, Philadelphia.

**Residence**, West Coulter street, Queen Lane Manor, Germantown. Architect, Edwin A. Yeo, 225 South Sydenham street, Philadelphia. Owner, Mr. E. Burk Estabrook, care of architect. Cut stone, brick, steel, stucco, stone, 2½ stories, 40x28 feet, hot air heat, allowance for lighting, tile work, shingle roof, oak and pine floors. Contract awarded J. S. Cornell & Son, Morris Building, Philadelphia.

**Church**, Thirteenth and Ruscomb streets, Philadelphia. Architects, Ritcher & Eiler, Allentown, Pa. Owners, Muhlenberg Memorial Angelical Church, Logan, Philadelphia. Stone, 1½ stories, 90x53 feet (heating, electric and plumbing reserved), slate roof, oak floors, tile work, ornamental iron work. Contract awarded Bowden Cont. Co., 1935 Chestnut street, Philadelphia.

**Residences (32)**, Sixteenth and Nedro streets, Philadelphia. Architect, private plans. Owner, Edward T. Flood, Broad and Venango streets, Philadelphia. Brick, 2 stories, 16x35 feet, slag roof, oak and pine floors, hot water heat, electric light, tile work. Contract awarded George Schweim, Camac and Lindley streets, who will take sub-bids in about a month.

**Garage**, Cheltenham avenue, Oak Lane, Philadelphia. Architect, W. Ellis Groben, Oak Lane, Philadelphia. Owner, Ida M. Rubincam, 8325 Shawnee street, Chestnut Hill, Pa. Stone, 1 story, 25x25 feet, gas steam heat, electric light, slate roof, cement floors. Contract awarded Gilbert Smith, Sixty-ninth avenue, Oak Lane, Philadelphia.

**Store Building (alts.)**, Southeast Corner Third and Poplar streets, Philadelphia. Architect, private plans. Owner, J. Weissberg, care of builder. Brick pointing, heating ex-

tension, electric light, cabinet work, plate glass, metal ceilings, structural steel, flush bulks. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Store (alts.)**, 2328 East Norris street, Philadelphia. Architect, private plans. Owners, Weiss Drug Co., on premises. Brick work, electric light, tile work, steel cellar doors, cabinet work, flush bulks, plate glass. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Store (alts.)**, Northeast Corner Sixth and Market streets, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Steam heat, electric light, tile work, metal lath, stone work, elevators, metal ceiling, plate glass, metal bulks, ornamental iron work, fire tower. Contract awarded to S. Kaplan, 243 South Sixty-second street, Philadelphia, who is taking sub-bids.

**Residences and Stores (5)**, West side Fifth street, South of Wyoming, \$10,000 each. Architect, private plans. Owner, John J. Foley, 1138 Arrott street, Philadelphia. Brick, 2 stories, 15x31 feet, 12x17 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to William A. Young, Franklin Trust Building, Philadelphia.

**Storage Building (repairs)**, 3402-04 North Sixth street, Philadelphia, \$8,000. Architect, private plans. Owner, Mrs. F. Goetz, 605 Erie avenue, Philadelphia. General fire repairs. Contract awarded to A. Raymond Raff Co., 1635 Thompson street, Philadelphia.

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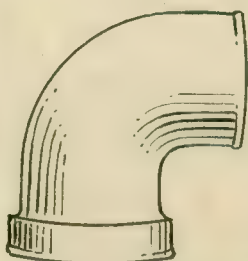
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**Shop**, East side Edmund street, South of Benner street, Philadelphia, \$5,000. Architect, private plans. Owner, Samuel Oldham, 6008 Tulip street, Philadelphia. Iron, 1 story, 56x148 feet. Contract awarded to Truscon Steel Co., 1505 Race street, Philadelphia.

**Bank (alts.)**, Southeast Corner Twenty-first and Wharton streets, Philadelphia, \$4,000. Architect, private plans. Owners, Roosevelt Bank, on premises. General alterations. Contract awarded to Joseph Cunningham, 2621 South street, Philadelphia.

**Residences (4)**, East side Eightieth street, South of Suffolk, \$4,000 each. Architect, private plans. Owner, James O. Kinsky, 8108 Harley avenue, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, pipeless heating, electric lighting. Contract awarded to John F. Anderson, 8544 Eastwick avenue.

**Residence (add.)**, 2006 East Cheltenham avenue, Philadelphia, \$3,500. Architect, private plans. Owner, George Edmund, on premises. Brick, 1 story add., 16x25 feet. Contract awarded to A. M. Lance, 2048 East Haines street, Philadelphia.

**Hospital (alts.)**, Southwest Corner Broad and Mifflin streets, \$4,000. Architect, private plans. Owners, St. Agnes' Hospital, on premises. New elevator. Contract awarded to France & Missar, 6725 Yocum street, Philadelphia.

**Garage**, Northeast Corner Twenty-eighth and Gordon streets, Philadelphia, \$3,800. Architect, private plans. Owner, Bernard McGurk, on premises. Brick, 1 story, 70x18 feet, slag roof, cement floors. Contract awarded to E. V. Phillips, 7202 Oxford avenue, Philadelphia.

**Residence and Store**, 2819 Kensington avenue, Philadelphia, \$14,000. Architect, private plans. Owner, I. Rosenstein, 2823 Kensington avenue, Philadelphia. Brick, 2 stories, 18x26 feet, 15x48 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to H. Brocklehurst, 512 West Norris street, Philadelphia.

**Store and Office (alts. and add.)**, Southwest Corner Fourth and Girard avenue, \$12,000.

Architect, private plans. Owners, Mort Supply Co., Fourth and Girard avenue, Philadelphia. General alterations and addition. Contract awarded to Negin & Klyman, 1809 South Fourth street, Philadelphia.

**Laundry (alts.)**, East side Forty-first street, North of Market, \$5,000. Architect, William Lowenthal, 1208 Chestnut street, Philadelphia. Owners, Modern Laundry Co., Forty-first and Market streets, Philadelphia. Brick work, cut stone, steel, general alterations. Contract awarded to F. A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Store and Residence (alts.)**, 3001 Diamond street, \$4,000. Architect, private plans. Owner, M. S. Ogden, 935 Spruce street, Philadelphia. General alterations. Contract awarded to John T. Kennedy, 1832 North Mascher street.

**Residence (add.)**, 1003 Cottman street, Philadelphia, \$3,500. Architect, private plans. Owner, Nathan Hirshberg, on premises. Brick, 2 stories add., 16x12 feet, slag roof. Contract awarded to Harold Stout, Cheltenham, Pa.

**Building (alts.)**, 1347-49 South street, Philadelphia, \$3,500. Architect, private plans. Owner, R. Lipsky, 1614 South Fourth street, Philadelphia. General alterations. Contract awarded to J. Goldfarb, 2442 South Fairhill street, Philadelphia.

**Building (alts.)**, 258 South Fifty-second street, Philadelphia, \$3,500. Architect, private plans. Owner, S. J. Shutz, 5022 North Sixteenth street, Philadelphia. General alterations. Contract awarded to Clarence Ramos, 5233 Rodman street, Philadelphia.

**Stores (5) (alts.)**, East side Thirty-fourth street, North of Hamilton, \$3,500 total. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, M. M. Marymore, 3943 Lancaster avenue, Philadelphia. General alterations. Contract awarded to Charlick & Chapman, 3109 Dauphin street.

**Residence (add.)**, Southwest Corner Allen Lane and Lincoln Drive, \$2,400. Architect, private plans. Owner, Dr. Nevergole, on premises. Hollow tile, 1 story add., 7 feet, 8 inches x 19 feet, 4 inches; also add. to garage, 5x22 feet, \$600. Contract awarded to George H. Evans, Inc., 105 North Thirteenth street.

**Residence and Store (add.)**, 2121 Columbia avenue, Philadelphia, \$2,000. Architect, private plans. Owner, Joseph Eisenberg, 2216 Columbia avenue, Philadelphia. Brick, second and third stories add., 222x11 feet. Contract awarded to M. Cherry, 137 North Tenth street, Philadelphia.

**Manufacturing Building (alts.)**, 44 North Fourth street, \$2,000. Architect, private plans. Owners, Bender Estate, on premises. New skylights. Contract awarded to R. J. White-side & Sons, 2115 Wallace street.

**Store and Residence (alts.)**, 234 South Tenth street, \$3,000. Architect, private plans. Owner, M. B. Kroskey, 222 South Tenth street, Philadelphia. General alterations, hot water heating. Contract awarded to S. Yellin & Son, 3125 Montgomery avenue.

**Store and Residence (add. and alts.)**, 337 South Fifth street, \$2,490. Architect, private plans. Owner, I. Forman, on premises. Brick, 1 story add., 7x11 feet, general alterations. Contract awarded to H. Feldman, 1011 Chestnut street, Philadelphia.

**Residences (19)**, Theodore street, Loyd and Elmwood avenue, \$76,500. Architect, private plans. Owners, Fisher & Miller, 6019 Market street, Philadelphia. Brick, 2 stories, 15x36

feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to J. D. Fisher, 5426 Thompson street, Philadelphia.

**Apartment (alts.)**, 4220 Germantown avenue, Philadelphia, \$3,000. Architect, private plans. Owners, Chobrow Brothers, Southeast Corner Third and Locust streets, Philadelphia. General alterations. Contract awarded to Edward Holland, 124 South Twentieth street, Philadelphia.

**Factory (repairs)**, Southeast Corner Twenty-second and Spring Garden streets, \$2,500. Architect, private plans. Owner, William Wood, on premises. General interior alterations. Contract awarded to R. J. Whiteside & Son, 2115 Wallace street.

**Bakery (alts.)**, Northeast Corner B and Rockland streets, Philadelphia, \$2,500. Architect, private plans. Owner, Leopold Spoenlein, 1308 West Somerset street, Philadelphia. New bake oven. Contract awarded to Otto Malz & Son, 2002 North Fourth street, Philadelphia.

**Store (alts.)**, 1015-17 Market street, Philadelphia, \$4,000. Architect, private plans. Owners, Hill Company, on premises. General alterations. Contract awarded to W. Edward Pierco, Juniper and Pine streets, Philadelphia.

**Residence (add.) and Garage**, East side State Road, North of Madison, \$3,000. Owner, A. Miglianese, on premises. Brick, 2 stories add., 19x29 feet, garage, 1 story, 28x30 feet, slag roof, hardwood, pine and cement floors, electric lighting. Contract awarded to M. Fornaro, Cottman and Hegerman streets, Philadelphia.

## Pennsylvania Construction News

**Garage (alts.)**, Bryn Mawr, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owner, George W. Norris, care of architect. Stone, cut stone, shingle roof, cement and oak floors, hollow tile, carpentry and mill work, plastering, metal lath, damp-proofing. Architect taking bids due February 23rd.

**Home Buildings (6 or 8)**, Reilly street, Harrisburg, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Harrisburg Children's Home, Henderson Gilbert, Harrisburg, Pa. Architects selected.

**Residence**, Harrisburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, H. R. Beaver, 2053 Swatara street, Harrisburg, Pa. Too early for details.

**Apartment**, State street, Harrisburg, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owner, Mrs. Maud Exley, 112 State street, Harrisburg, Pa. Too early for details.

**Residence**, Front street, Harrisburg, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owner, S. G. McNess, 315 Walnut street, Philadelphia. Frame, 2 stories, 40x75 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Plans in progress.

**Residences (2)**, Springmont, Berks County, Pa. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owner, William H. Leiby, 530 South Franklin street, Reading, Pa. Brick, concrete foundations, 2½ sto-

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ries, 30x52 feet, asbestos shingle roof, pine floors, electric light. Plans in progress.

**Sunday School**, Red Lion, Pa. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owners, Reformed Lutheran Church, care of architects. Brick, 1 story and basement. Architects selected.

**Store and Apartment**, Hanover, Pa., \$150,000. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owner, Mr. Jordan, Hanover, Pa. Brick, structural steel, 4 stories, 180x28 feet, slag roof, hardwood floors, steam heat, electric light, tile work, terra cotta. Preliminary plans in progress.

**Church**, New Freedom, Pa. Architects, Hamme & Whitman, City Bank Building, York, Pa. Owners, St. John's Lutheran Church, care of architects. Brick, Indiana limestone, 1 story and basement, 112x75 feet, slag roof, hardwood floors, steam heat, electric light. Revised plans in progress.

**Stadium and Athletic Field**, Gettysburg, Pa. Architect, private plans. Owners, Gettysburg College, Dr. Henry A. Harrison, president, Gettysburg, Pa. Brick and concrete. Work contemplated.

**Apartment and Store**, Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owner, Walter Groff, care of architect. Brick, 3 stories, 40x75 feet, composition roof, hardwood floors, tile work, electric light. Preliminary plans in progress.

**Residences (2)**, Pottsville, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, M. E. Lillienthal, 14 South Centre street, Pottsville, Pa. Brick, 2½ stories, 30x40 feet, slate roof, hardwood floors, tile work, electric light. Plans in progress.

**Factory (add.)**, Adamstown, Berks County, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owner, George W. Bollman, Adamstown, Pa. Brick, mill construction, 3 stories, 26x80 feet, built-up roof, electric lighting. Plans in progress.

**Hotel**, Hanover, Pa. Architect, H. L. Stevens, Chicago, Ill., and New York. Owners, Hanover Chamber of Commerce, Hanover, Pa. Fireproof, 4 stories, 52x214 feet, hardwood and tile floors, hollow tile, elevators, electric light, metal lath, tile and marble work. Plans in progress.

**Residence**, Elkins Park, Pa. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, Mr. Bernhard Stern, care of architect. Stone, 2½ stories, 38x48 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Residence**, Locust avenue, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Andrew Calhoun, Ardmore, Pa. Penn Building and stucco, 2½ stories, 22x36 feet, asphalt slate roof, hot water heat, electric light, tile work, hardwood floors, built-in plumbing. Plans in progress.

**Residence**, Drexel avenue, Drexel Hill, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Thomas Patteron, Drexel Hill, Pa. Frame plastered, 2½ stories, 24x36 feet, slate roof, hardwood floors, hot water heat, electric light, built-in plumbing. Owner is ready for sub-bids.

**Residence**, Statton avenue, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, James Haberstadt, Gladwyne, Pa. Frame plastered, 2½ stories, 24x38 feet, hot water heat, electric light, tile work, slate roof, hardwood floors, tile work, stone fireplace, hard wall plastered. Owner ready for bids.

**Residences (40-50) and Garages**, Drexel Hill, Pa. Architect, private plans. Owners, Thrift Const. Co., R. A. Van Cleave, Drexel Hill, Pa. Rockbond stucco, 2½ stories, various sizes, 16x40 feet, 20x40 feet, garages, 15x20 feet, 18x20 feet, slate roof, hardwood

and cement floors, tile work, hot water heat, electric light, tile work. Owner will be ready for sub-bids in a month. Work contemplated.

**Swimming Pool**, Tenth and Mifflin streets, Philadelphia. City architect, John Molitor, 1211 Chestnut street, Philadelphia. Owners, Department of Public Welfare City Hall, Philadelphia. Owner ready for bids in a few days.

**Bank and Office Building (add.)**, Williamsport, Pa. Architects, Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owners, First National Bank of Williamsport, W. Beeber, Williamsport, Pa. All bids rejected. Architects will take new bids in a few months.

**School (add.)**, Pennsburg, Pa. Architect, Jerome S. Landis, Souderton, Pa. Owners, School District of Pennsburg, Pennsburg, Pa. All bids rejected. Plans will be revised and new bids will be taken.

**Store (alts.)**, Edgemont street, Chester, Pa. Architect, Clarence Brazier, Crozer Building, Chester, Pa. Owners, William Galey & Son, on premises. Brick, 3 stories, 20x60 feet, slag roof, pine floors, metal ceilings (plumbing and electric work reserved). Owner taking bids.

**Home (alts. and add.)**, Wagontown, Chester County, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, Hatfield Estate, C. F. Heitsch, Lancaster, Pa. Cinder block and stucco, 3½ stories, 40x120 feet, slate roof, maple floors, vapor heat, electric light, tile and marble work. Owners ready for bids.

**Office and Apartment**, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, W. O. Miller, 224 North Ninth street, Reading, Pa. Steel, brick, 4 stories, 20x110 feet, slag roof, hardwood floors, city heating, electric lighting, metal lath, tile work, rolled steel sash, roof ventilators, iron stairs, ornamental iron work. Owner will sub-let.

**Hotel (add.)**, Wernersville, Pa. Architect, Calvin Young, 226 North Sixth street, Reading, Pa. Owners, Highland Hotel Co., J. H. Fries, Wernersville, Pa. Stone, stucco, 2 stories, 35x76 feet, built-up roof, pine floors, electric light. Plans in progress. Owner will build.

**House**, Eagle Road, Merwood, Upper Darby, Delaware County, Pa. Architect, C. G. Schweiker, 29 Garfield avenue, Manoa Heights, Delaware County, Pa. Owner, J. H. Smith, Oakmont, Delaware County, Pa. Frame and stucco, 3 stories, 25x37 feet, shingle roof, oak floors, hot water heat, electric light, tile bath. Owner taking bids.

**Residences (9)**, Sunshine Road, North of West Chester Road, Delaware County, Pa. Architect, C. G. Schweiker, 29 Garfield avenue, Manoa Heights, Delaware County, Pa. Owner, Adolph Andrien, 123 North Sixty-third street, Philadelphia. Stone, cement block and frame stucco, 2 stories, 15x35 feet, slag roof, pine and oak floors, hot water heat, electric light. Owner taking bids.

**Apartment House**, Lansdowne avenue, Lansdowne, Pa. Architect, William Macy Stanton, 1524 Chestnut street, Philadelphia. Owner, H. E. Patton, Lansdowne, Pa. Brick and frame, 2 stories, 42x80 feet, slag roof, pine floors, hot water heat, electric light. Owner will be ready for bids March 1st.

**School**, Steelton, Pa. Architects, Starr & Johnson, Spooner Building, Harrisburg, Pa. Owners, St. Peter's Parochial School, Rev. L. Gladek, Steelton. Brick, 2 stories, 36x74 feet, slag roof, pine floors, roof ventilators (heating, plumbing and electric work reserved), metal lath. Architects taking bids due February 25th.

**Residence**, Seventeenth and Foster streets, Harrisburg, Pa. Architect, C. J. Lapple, Cotterel-Ebner Building, Harrisburg, Pa. Owner,

Charles Appleby, 99 North Eighteenth street, Harrisburg, Pa. Stone and stucco, 2½ stories, 30x42 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Architect taking bids due February 22nd.

**Residence (alt. and add.)**, Gray's Lane, Haverford, Pa. Architects, Savery & Scheetz, Stephen Girard Building, Philadelphia. Owner, William H. Swain, care of architect. Stone, cut stone, hollow tile, stucco, 2 stories, 28x22 feet, slate roof, cement and oak floors, reinforced concrete, carpentry and mill work, sheet metal work, hardware, painting and glazing, plastering, ornamental iron work, bond, metal lath, tile work (plumbing, heating, electric reserved). Architect taking bids due February 23rd.

**Elementary School**, Coatesville, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Board of Education, Coatesville, Pa. Brick, reinforced concrete, 2 stories, 8 rooms, composition roof, hardwood floors, hollow tile, electric light, tile work, iron stairs, ornamental iron work. Owners taking bids due February 25th.

**Cold Storage Building**, York, Pa. Architect, Edward Leber, Hay Building, York, Pa. Owner, P. Tassia, 156 North George street, York, Pa. Fireproof, steel, brick, 3 stories, 36x125 feet, slag roof, concrete floors, freight elevators, roof ventilators, steam heat, electric light, rolled steel sash and skylights, steel fire doors, cork insulation, refrigeration system, floor hardener. Architect taking bids due February 28th.

**School**, Spring Grove, York, Pa. Architect, Edward Leber, Hay Building, York, Pa. Owners, Spring Grove Township School Board, care of architect. Brick, 2 stories, 4 rooms, slag roof, pine floors (heating, plumbing and electric work reserved). Architect taking bids due February 29th.

**Stores (3) and Apartment**, North Wales, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Irving King, care of architect. Brick, 2 stories, 45x45 feet, slag roof, hardwood floors, hot water heat, electric light. Owner taking bids.

**Residences (20)**, Highland Farms, Rydal, Pa. Architect, Carl Ziegler, 1309 Locust street, Philadelphia. Owners, Herkness & Stetson, Land Title Building, Philadelphia. Frame and stucco, 2½ stories, 24x35 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath, tile work, ornamental iron work. Architect taking bids due February 23rd.

**High School**, St. Mary's, Pa. Architects, Jawrie & Green, Commonwealth Building, Harrisburg, Pa. Owners, St. Mary's Borough School Board, St. Mary's, Pa. Low bidder: Hydo-Murphy Co., Ridgway, Pa., \$126,200.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa. Owners taking bids due March 6th at 10 A. M. Forms and specifications free. Plans, \$2.50 per set.

Adams County, Route 231, Mt. Pleasant Township, 29,877 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Allegheny County, R-181, A-1058, Forward Township, 9,731 feet. One course reinforced concrete. Certified check, \$1,500.

Cambria County, R-62, East Carroll and Cambria Township, 19,303 feet. One course reinforced concrete. Certified check, \$3,000.

Centre County, R-307, A-2712, State College Borough, 3,384 feet. One course reinforced concrete. Certified check, \$1,000.

Clearfield County, R-59, Sandy Township, 9,510 feet. One course reinforced concrete. Certified check, \$1,500.

Clearfield County, R-234, A-2043, Bigler and Woodward Townships, 9,609 feet. One course reinforced concrete. Certified check, \$1,500.



Elk County, R-59, Ridgway Borough, 4,708 feet. One course reinforced concrete. Certified check, \$1,000.

Fayette County, R-116, Georges Township and Smithfield Borough, 5,396 feet. One course reinforced concrete. Certified check, \$1,000.

Greene County, R-268, Jefferson Township, 17,079 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$2,500.

Indiana County, R-223, Blairsville Borough, 2,328 feet. One course reinforced concrete. Certified check, \$1,000.

Indiana County, R-223, Burrell and West Wheatfield Townships, 31,237 feet. One course reinforced concrete. Certified check, \$4,000.

Mercer County, A-2779, Greene Township, 22,416 feet. Either bituminous surface course on concrete foundations or one course reinforced concrete. Certified check, \$4,000.

Somerset County, R-50, A-2639, Lower Turkeyfoot Township and Confluence Borough, 10,756 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Potter and Tioga Counties, R-102, Pike and Gainse Townships, 29,461 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Tioga County, R-212, Richmond and Sullivan Townships and Mansfield Borough, 28,212 feet. One course reinforced concrete. Certified check, \$4,000.

Venango County, A-2092, Cornplanter Township, 17,164 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,500.

Westmoreland County, R-120, Irwin Borough, 3,304 feet. One course reinforced concrete. Certified check, \$1,000.

**Road Work, Pennsylvania.** Owners, Department of Highways, Harrisburg, Pa. Owners taking bids due March 7th, at 10 A. M.

Adams County, R-231, A-2707, McSherrystown Borough, 5,781 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,000.

Beaver County, R-76, Centre and Hopewell Townships, 32,391 feet. One course reinforced concrete. Certified check, \$4,000.

Blair County, R-47, Greenfield Township, 10,772 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Cambria County, R-62, Susquehanna Township, 19,202 feet. One course reinforced concrete. Certified check, \$3,000.

Carbon County, R-163, Palmerton Borough, 12,925 feet. One course reinforced concrete. Certified check, \$2,500.

Clearfield County, A-1775, Sandy Township, 1,525 feet. One course reinforced concrete. Certified check, \$1,000.

Columbia County, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. Certified check, \$2,000.

Erie County, R-271, Le Boeuf and Union Townships and Union City Borough, 13,885 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Fayette County, R-113, North and South Union and Menallen Townships, 16,770 feet. One course reinforced concrete. Certified check, \$2,500.

Indiana County, R-314 and R-223, East Wheatfield Township, Armagh Borough, 27,751 feet. One course reinforced concrete. Certified check, \$4,000.

Lawrence County, R-1623, North Beaver Township, 12,375 feet. One course reinforced concrete. Certified check, \$2,000.

Lycoming County, R-355, A-1036, Muncy

Township, 5,885 feet. One course reinforced concrete. Certified check, \$4,000.

Monroe County, A-2734, Hamilton and Ross Townships, 14,731 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,500.

Somerset County, R-50, Spur A, Appli. 2731-2-3, North Centerville Borough, Milford Township and Rockwood Borough, 14,062 feet. Either one course reinforced concrete and hillside vitrified brick or bituminous surface course on concrete foundation and hillside vitrified brick. Certified check, \$3,000.

Susquehanna County, R-174, Clifford Township, 11,161 feet. Grading and drainage. Certified check, \$2,000.

Tioga County, R-102, Delmar and Shippen Townships, 38,903 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Washington County, R-268, East Bethlehem Township, 4,178 feet. One course reinforced concrete. Certified check, \$1,000.

**Residence and Hatchery, Wayne County, Pa.** Architect, C. J. Lapple, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Department of Fisheries, N. Briller, State Capitol, Harrisburg. Brick, hollow tile and stucco, 1 and 2 stories, 28x135 feet and 24x38 feet, asbestos shingle roof, pine and cement floors, steam heat (electric work reserved). Owners ready for bids due March 11th.

**Church, Sunday School and Parsonage, Lancaster, Pa.** Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Covenant United Brethren Church, Lancaster, Pa. Brick, hollow tile, 1 story and basement, 86x106 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light, metal lath, plumbing. Owners taking bids due March 1st.

**Building, Harrisburg, Pa.** Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, St. Stephen's Protestant Episcopal Church, Dr. R. Sawyer, Harrisburg, Pa. Reinforced concrete, 2 stories, 50x75 feet, slag roof, concrete floors, city heat, electric light, rolled steel sash. Architect taking bids due February 25th.

**Residence, Morton and Creswell avenues, Ridley Park, Pa.** Architect, E. L. Shoemaker, 4633 Harley street, Philadelphia. Owner, William H. Windolph, 123 South Fiftieth street, Philadelphia. Stone and stucco, 2½ stories, 35x34 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath, tile work. Owner taking bids.

**High School, Bradford, Pa.** Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, School Board of Bradford, C. W. Charlton, Bradford, Pa. Brick, steel, semi-fireproof. 2 stories and basement, 250x300 feet, slag and slate roof, pine floors, hollow tile (heating, plumbing and electric work reserved). Owners taking bids due March 15th.

**Residences (6), Paoli, Pa.** Architect, J. L. Coneys, Drexel Building, Philadelphia. Owner, C. C. Pace, Cynwyd, Pa. Frame and stucco, 2½ stories, 30x40 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work. Owner taking sub-bids due as soon as possible.

**Home, Lebanon, Pa.** Architects, Bissell & Sinkler, 1520 Locust street, Philadelphia. Owners, Home for Widows and Single Women, Lebanon, Pa. Architects taking bids due February 23rd.

**Bank, Phoenixville, Pa.** Architect, John H. Mowere, Phoenixville, Pa. Owners, National Bank of Phoenixville, Pa. Low bidders: F. H. Keiser, Pottstown, Pa., \$88,620; Roberts & Roller, 1904 Sansom street, Philadelphia, \$93,400.

## Pennsylvania Contracts Awarded

**Residence, Merion, Pa.** Architect, Carl A. Ziegler, 1309 Locust street, Philadelphia. Owner, Walter B. Off, care of architect. Stone, cut stone, 2½ stories, 51x33 feet, wing 23x20 feet, slate and shingle roof, oak floors, hot water heat, electric light, tile work, ornamental iron work. Contract awarded J. Sims Wilson, 1125 Brown street, Philadelphia.

**Junior High School, Lancaster, Pa., \$199,717.** Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Lancaster City School District, Lancaster, Pa. Brick, granite, cast stone, limestone, 3 stories and basement, 210x39 feet, wing 70x42 feet, wing 48x93 feet (plumbing, electric work and heating reserved), slag roof, cement and pine floors, hollow tile, metal lath, tile and marble work, galvanized iron skylights, bond. Contract awarded to D. S. Warfel, 39 East Grant street, Lancaster. Plumbing to F. P. Simpson, 429 Manor street, Lancaster, \$21,346. Electric to P. B. Eshelman, 307 North Queen street, Lancaster, \$7,925.

**Wayne Central Office Building, Lancaster avenue, West Loudon, Wayne, Pa., \$100,000.** Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, limestone, 3 stories, 49x40 feet, slag roof, composition and cement floors, kitchen equipment, metal weather strip, shoring, dampproofing, bond, hollow metal sash and doors, tile work, metal lath, electric work, steam heat, cork, composition floors. Contract awarded F. W. Van Loon, Perry Building, Philadelphia.

**Bank (alts.), Marcus Hook, Pa.** Architect, George W. Ewing, 34 South Seventeenth street, Philadelphia. Owners, Marcus Hook National Bank, Marcus Hook, Pa. Stone, cut stone, brick, steel, concrete, 1 story, 24x16 feet, slag roof, cement floors, steam heat, electric light, metal lath, tile work, hollow metal sash, fire doors, terra cotta, shoring. Contract awarded Boyce Brothers, Wilmington, Del.

**Church and Sunday School, Frackville, Pa.** Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Zion Lutheran Church, Rev. W. L. Gallenkamp, Frackville. Stone, 1 story and basement, 59x139 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light, hollow metal skylights. Contract awarded to Titzel Const. Co., Harrisburg, Pa.

**Home for Children, Shiremanstown, Pa.** Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Methodist Episcopal Home for Children, Dr. E. R. Heckham, 2116 North Third street, Harrisburg, Pa. Fireproof, 3 stories, 70x80 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light, tile work, metal lath. Contract awarded to C. W. Strayer, Market Square, Harrisburg, Pa.

**Bungalow, Willow Grove, Montgomery County, Pa.** Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Anthony Schiabo, 1311 McKean street, Philadelphia. Stone, 1½ stories, 26x42 feet, composition shingle roof, pine floors, hot water heat, electric light. Contract awarded A. Nardy & Sons, 761 South Thirteenth street, Philadelphia.

**Store Building, Lancaster, Pa.** Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Watt & Shand, 2 East King street, Lancaster, Pa. Brick, steel, 4 stories, 59x102 feet, slag roof, concrete and maple floors, hollow tile, steam heat, electric light, tile and marble. Contract awarded to Herman Wohlsen, Woolworth Building, Lancaster.



**Factory (alts. and add.),** Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, Lancaster Vinegar Co., Ransings Sons, Lancaster, Pa. Brick, mill construction, 2 stories, 50x75 feet, asbestos roof, pine floors, heating extension, electric lighting. Contract awarded to Mr. Bohman, care of owner.

**Manse (alts.),** Edge Hill, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owners, Carmel Presbyterian Church, Edge Hill, Pa. Interior and exterior alterations, hot water heat, hardwood floors. Contract awarded A. Zellfelder, 1324 Walnut street, Philadelphia.

**Hotel,** Market and Aberdeen streets, Harrisburg, Pa. Architect, private plans. Owners, Plaza Hotel, Harrisburg, Pa. Brick, steel, 4 stories, 44x39 feet, slag roof, hollow tile, tile and marble work. Contract awarded to J. F. Saussaman, Paxtang, Harrisburg, Pa.

## New Jersey Construction News

**Hospital,** Somerville, N. J. Architects, Crow, Lewis & Wick, 200 Sixth avenue, New York City. Owners, Somerset Hospital, Somerville, N. J. Brick, concrete, cut stone, steel, 2 stories, basement and pent house, 153x43 feet, cement floors, terra cotta, safety treads, shoring, waterproofing, ornamental iron work and iron stairs, kalamein doors, rolled copper skylights, rolled steel sash, tile, marble and terrazzo work, metal lath, electric light, steam heat. Architects taking bids due February 27th.

**Office and Storehouse,** 6 and 8 South Fourth street, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, Max Reichmann, Jr., care of architects. Brick, cinder block, 2 stories, 30x30 feet, slag roof, plank floors, electric light, rolled steel sash. Plans in progress.

**Store and Warehouse (alts. and add.),** Salem, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Brick, 3 stories, 50x80 feet, general alterations. Plans in progress.

**School (add.),** Lindenwold, Camden, N. J. Architect, Thomas Stephens, Temple Building, Camden, N. J. Owner, George W. Marbery, Lindenwold, N. J. Brick, 1 story, 4 rooms, slag roof, pine and concrete floors (heating, electric work and plumbing reserved), metal ceilings. Revised plans in progress.

**Residence,** Haddonfield, N. J. Architect, Thomas Stephens, Temple Building, Camden, N. J. Owner, Samuel Davies, Haddonfield, N. J. Frame, 3 stories, 45x36 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress. Architect will be ready for bids next week.

**High School,** Pensauken, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Pensauken School Board, care of architect. Reinforced concrete, steel, 2 stories and basement, 260x200 feet, composition roof, maple and concrete floors, hollow tile, safety treads, waterproofing and damp-proofing (heating, electric work and plumbing reserved), metal lath, tile and marble work, terrazzo work, rolled steel sash, kalamein doors, bond, floor hardener, iron stairs, ornamental iron work. Architect will be ready for bids next week.

**Residence,** West Collingswood, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, Russell Orre, Collingswood, N. J. Cinder block, stucco, 2½ stories, 40x25 feet, asbestos shingle roof, tile and hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Hotel (Beacon-by-the-Sea),** Point Pleasant, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, care of architect. Brick, frame, 3 stories, 45x170 feet, tile roof, hardwood floors, hollow tile, elevators, electric light, tile and marble work, fire doors, ornamental terra cotta. Architect ready for bids.

**Alterations to Hotel (Beacon-by-the-Sea),** Point Pleasant, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, care of architect. General alterations to 3-story building, tile roof, hardwood floors, metal lath, partitions. Architect ready for bids.

**Bank (The Millville National Bank),** Millville, N. J., \$75,000. Architects, Morgan, French & Co., Inc., 19 West Forty-fourth street, New York City. Owners, Millville National Bank, Millville, N. J. Limestone, 1 story and mezzanine, 60x70 feet, composition roof, cement floors, hollow tile, roof ventilators, metal window guards, wire work, ornamental iron work, bank marble fixtures, kalamein doors, hollow metal sash and skylights, tile, marble, terrazzo work, metal lath, steam heat, electric light. Architects taking bids due March 3rd at noon.

**Church Building,** Haddon Heights, N. J. Architect, Bernard A. Muller, 527 Fifth avenue, New York City. Owners, First Church of Christ Scientist, on premises. Stone, brick, steel stucco, 1 and 2 stories, 83x56 feet, slate roof, pine and cement floors, terra cotta and hollow tile, waterproofing, bond, kalamein doors, ornamental iron work, rolled steel sash, tile work, metal lath. Architect taking bids due February 21st.

**Church and Sunday School,** Palmyra, N. J. Architects, Arnold H. Moses & C. A. Mohrheld, Temple Building, Camden, N. J. Owners, First Lutheran Church, Palmyra, N. J. Stone, steel, 1 story and basement, 73x46 feet, slate roof, oak and pine floors, steam heat, electric light, metal lath, ornamental iron work. Architects taking bids due February 25th.

**Store and Apartment,** 717 Broadway, Camden, N. J. Architect, A. B. Gill, 328 Broadway, Camden, N. J. Owner, Carl Swartz, care of architect. Brick, cement block, 2 stories, 21x96 feet, slag roof, hardwood and pine floors, hot water heat, electric light, plate glass, copper work, limestone trim. Architect taking bids.

**Theatre, Arcade and Store Building,** Kentucky avenue and Boardwalk, Atlantic City, N. J. Architects, Hoffman Henon, Finance Building, Philadelphia. Owners, Stanley Company of America, 1218 Market street, and Guilfords, Inc., 1038 Market street, Philadelphia. Brick, steel, concrete, stone and terra cotta, 170x190 feet. Revised plans in progress.

**School (add.),** Roebling, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, School District of Florence, E. Robbins, Florence, N. J. Brick, 3 stories add., 38x145 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators (heating, plumbing and electric work reserved), metal lath, tile work, bond, iron stairs. Owners taking bids due February 25th.

## New Jersey Contracts Awarded

**School,** Robbinsville, N. J. Architects, W. W. Black & Son, St. Regis Building, Trenton, N. J. Owners, Washington Township School Board, Miss Hepburn, Windsor, N. J. Brick, steel, 1 story and basement, 140x32 feet, slate roof, pine floors (heating, electric work and plumbing reserved). Contract awarded to Thomas Day & Son, Fitzcharles Building, Trenton, \$29,541. Heating awarded

to E. F. Dancer, 137 Cooper street, Trenton, \$4,382. Electric awarded to Randolph-Andrews Elec. Co., 1140 East State street, Trenton, N. J., \$569.

**Store (add.),** Kentucky and Atlantic avenues, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owner, care of architect. Brick, steel, 3 stories, 30x100 feet, slag roof, hardwood floors, hollow tile, elevators, metal ceilings, electric light, metal lath, tile and marble work, rolled steel sash, fire doors. Contract awarded to S. Dolinsky, 2 North Vermont avenue, Atlantic City.

**Store Building (alts. and add.),** 450 Kaighn avenue, Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Benjamin Weinberg, on premises. Brick, second story add., 20x35 feet, slag roof, hardwood floors, electric light, general interior alterations. Contract awarded to Bezahler & Schulke, 338 Kaighn avenue, Camden.

**Apartment House,** Moorestown, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, W. E. Jackson, Moorestown, N. J. Brick, 3 stories, 90x60 feet. Sketches in progress.

**Residences (15),** Fairview, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, L. H. Young, Fairview, N. J. Cement block, 20x28 feet. Ready for bids in one week.

**Community Building,** Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owners, Polish National Catholic Church, Camden, N. J. Brick and block, 2 stories and basement, 40x100 feet. Owners will build.

## Delaware Construction News

**Garage and Apartment,** Wilmington, Del. Architect, John McKibbin, Industrial Trust Building, Wilmington. Owner, name withheld. Stucco, brick, 2 stories, 30x90 feet, slag roof, concrete and pine floors, hollow tile, hot water heat, electric light, tile work, skylights. Plans in progress.

**Public School,** Claymont, Del. Architects, Coffin & Coffin, 522 Fifth avenue, New York City. Owners, Board of Education, Claymont, Del. Low bidder: Bennet McLaughlin, 17 South Seventeenth street, Philadelphia, \$203,857; J. E. Healy, Wilmington, Del., \$207,017.

**Road Work,** Delaware. Owners, State Highway Department, Dover, Delaware. Owners taking bids due March 12th at 2 P. M.

Contract No. 37-A, R. C. Bridge at Drawyers. Excavation, concrete reinforcement, piling, sheet piling.

Contract No. CN-14, Walker-Deakyneville, 1,775 miles. Excavation, borrow, broken stone, base course, concrete, reinforcement, pipe, concrete gutter, guard rail, curb.

Contract No. CN-15, Mt. Pleasant-Summit Bridge, 2.27 miles. Excavation, borrow, broken stone base course, cement concrete pavement, slag, pipe, shoulder curb.

Contract No. CK-17, through Frederica, 0.507 miles. Excavation, cement concrete pavement, slag cement concrete, Class A concrete, reinforcement, R. C. pipe.

Contract No. CK-20, Walnut street, Milford, 1.01 miles. Excavation, sub-base, cement concrete pavement, slag cement pavement, Class A concrete, R. C. pipe.

Contract No. CS-30, Wescoats Corner-Rehoboth, 75.75 miles. Clearing, grubbing, excavation, borrow, broken stone base course, cement concrete pavement, Class A concrete, reinforcement, R. C. pipe, wire cable guard rail, wood shoulder curb.

Contract No. CS-31, Bethel-Broad Creek, 2.43 miles. Excavation, borrow, broken stone



base course, cement concrete pavement, slag cement pavement, Class A concrete, reinforcement, R. C. pipe, wood shoulder curb.

Bond required. Deposit of \$10.00 required, which will be refunded upon receipt of plans in good condition.

## Delaware Contracts Awarded

**Industrial School**, Marshalton, near Wilmington, Del. Architects, Price & Walton, 149 South Fourth street, Philadelphia. Owners, Colored Girls' Institute, Wilmington, Del. Brick and stone, cement work, plastering, asbestos shingle roof, carpentry and mill work, pine floors, hardware, painting and glazing, electric work, canvass floors, 2½ stories, 35x50 feet. Contract awarded W. D. Haddock & Co., Wilmington, Del.

## Miscellaneous Construction News

**Sunday School and Chapel**, Winchester, Va. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Grace Lutheran Church, Rev. A. A. Kelly, Winchester, Va. Brick, 1 story and basement, 50x98 feet, slag roof, hardwood floors, vapor heat, electric light. Owners taking bids due March 1st.

**Lyon Hall Dormitory**, Utica, N. Y. Architects, Day & Klauder, Franklin Bank Building, Philadelphia. Owners, Cornell University, Utica, N. Y. All bids rejected. New bids will be taken later.

## Proposals

Sealed Proposals will be received by the School District of the City of Easton, Pa., at the office of the Secretary, 30 North Second Street, until Monday, March 24th, 1924, 8 P. M., for the construction of a Senior High School Building at Northampton, Twelfth and Spring Garden Streets, City of Easton, Pa., in accordance with plans and specifications prepared by Messrs. Michler and Shnyder, Easton, Pa., and on file at their office, 610 Drake Building.

Separate bids will be received for the following:

- (A) General Contract.
- (B) Heating and Ventilating.
- (C) Plumbing.
- (D) Electrical.

Plans and specifications for the above can be obtained at the office of William M. Michler, 610 Drake Building, Easton, Pa. A deposit of fifty dollars (\$50) will be required for the use of plans, specifications, and etc. Plans and specifications to be returned in good condition with bid when deposit will be refunded. All bids to be accompanied by a certified check payable to the order of the Easton School District for an amount equal to 2% of the amount of the bid submitted. Certified checks to be returned to all excepting the two lowest bidders immediately after the award of the contract. Checks of the lowest bidders to be retained until contract is signed and satisfactory bond furnished.

Proposals to be made on form provided by the architects for that purpose and addressed to the Easton School District, Attention R. E. Peifer, Secretary, 2nd and Church Streets,

Easton, Pa. All bids to be sealed and marked on outside,

### "PROPOSALS FOR CONSTRUCTION OF SENIOR HIGH SCHOOL."

The Easton School District reserves the right to reject any or all bids or part of any bid submitted.

Easton School District,  
F. T. Clark, President.

Attest:  
R. E. Peifer, Secretary.

(Continued from Page 116)

- 4. For stair-wells and understairs.
- 5. Exterior walls.

These are the position in which the greatest probability of fire exists or the positions in which fire, if it does start, will do the greatest and quickest damage. While this is not an ideal or ultimate solution, its encouragement is a step in the right direction, and on account of the slight additional expense and the crack-resisting advantages can be more quickly advanced than complete protection.

Fire resistive houses are a present reality. They simply have not been recognized.

A house is being built in one of the suburbs of Chicago as a model of this type of construction. It is being built with the purpose of calling to the attention of the fire prevention world that a fire-resistive house can be built at little extra cost, along the most artistic lines, without deviating in the least from the requirements of the modern housewife as to exterior appearance or internal beauty. In fact, this house will be free from upkeep expense of repairing plaster cracks redecorating wall surfaces because of stains or dust marks following the contour of ordinary lath, and will be absolutely safe for the lives of the children who are to live in it. The extra cost will be not more than 2 per cent. of the cost of the building.

Fire resistive houses of this general type exist in many communities, but they are not recognized for their intrinsic value, and they are not encouraged by the insurance fraternity whose powerful influence could do so much to bring a realization of the lessened risk by adequate compensation through reduced rates.

The house I mentioned here has expanded metal lath covering the underside of all floors and both sides of all partitions and walls. The built-in garage is separated completely from the house by this one-hour rated construction and there is only the smallest possible chance that any fire, however started, could gain headway fast enough to get out of control.

The insurance world has given great thought to the question of conflagration, but they have considered conflagration only in the terms of a multiplicity of buildings. There is no reason why they

should not take the page from the experience of the Naval engineers and encourage a form of design which will make it impossible for any fire to get out of its room of origin for one hour. The Naval architects analyzing their problem found that when a leak occurred in the hull of a vessel, that the whole vessel was doomed. They, therefore, developed a system of bulkheads which makes each compartment so water-tight that the vessel will float even if an entire compartment is filled with water. Fire prevention engineers have recognized this same principle in large buildings where they have built fire walls, equipping each opening with automatic self-closing doors, and the same engineering principles can be adopted in the modest dwelling. Conflagration of the entire structure can be reduced to the burning out of a single room or compartment. The fires would hereafter be reduced in total damage to the damage in the room of origin only.

We have great hope of the efficiency of fire prevention as taught in the public schools by the elimination of carelessness in the mind of the American youth, but any of you who have children agree with me that the American youth is very careless and will continue to be so, but probably not nearly as careless as the American adult. Much can be gained by this propaganda, but it is a long process that may and may not bring the desired reduction in fire losses. One thing is certain—built-in fire protection is a constant protection, and fires which originate, outside of all human carelessness, can only be stopped by built-in protection.

Therefore, I say that fire-resistive houses are at present a reality. Their recognition is but a matter of right thinking along the engineering principles, weighing the relative duration of metal lath protected wood construction against the duration of construction as ordinarily built with rapidly inflammable lath, and properly considering the relatively great importance of interior fire protection against the small amount of external hazard.

Fifty years ago the grocer set out a keg of mackerel and a box of kindling wood, and sat down to wait for customers. Today he carries street-car and newspaper advertising and dresses his windows as smartly as the department store. If it didn't pay he'd still be sitting behind the stove waiting for customers with a mackerel keg out front doing service for a sign.

You know what propaganda is, don't you? You know, too, how effective a weapon it is, if used properly, don't you? Well, advertising—honest, fair advertising—is the best propaganda we know of. Join the propagandists now! Advertise in the "Builders' Guide."



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.  
McHugh, J. J. ....1617 Race St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Selver Corporation,  
The Parkway at 24th St., Phila.  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

## CEMENT.

The Van Selver Corporation,  
The Parkway at 24th St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Duntile Concrete Mfg. Co. ....Darby, Pa.  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 9  
February 27, 1924

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and the Material and Equipment Trades

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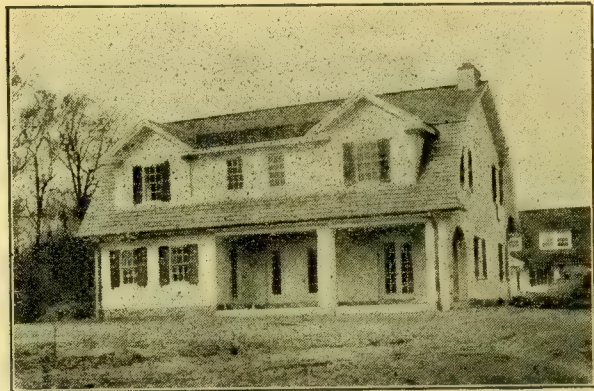
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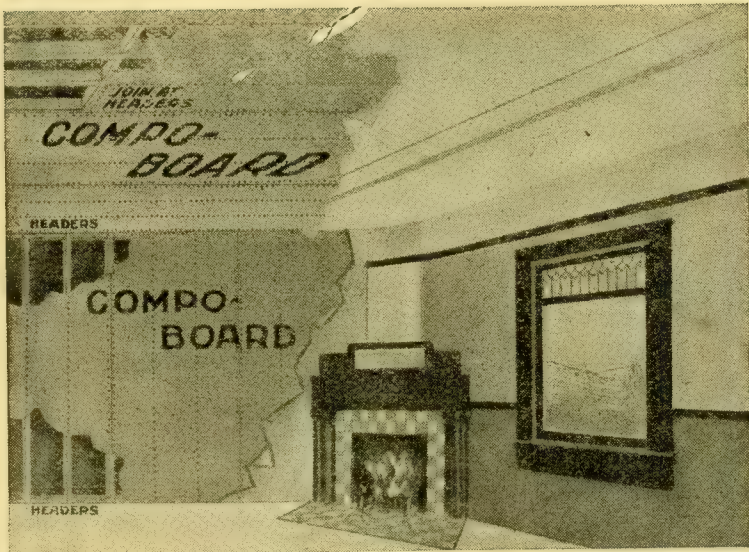
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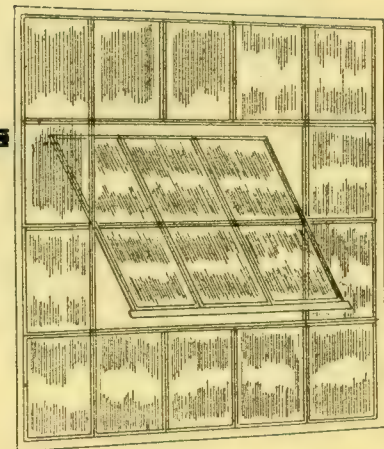
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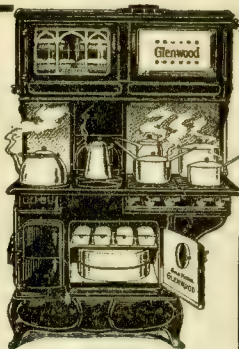


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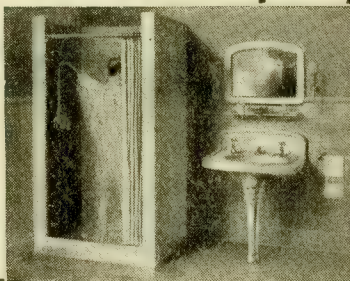


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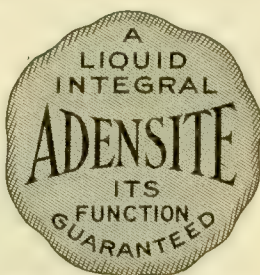
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# BUILDERS' GUIDE

VOLUME XXXIX  
Number 9

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

PHILADELPHIA  
February 27, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### 1924 CONSTRUCTION PROSPECTS *U. S. Department of Labor Report In- dicates Period of High Activity is Soon to be Entered by Con- struction Industry*

The construction industry generally may rest well assured that predictions of a large volume of activity in 1924 will soon be proved as having been correctly made. This is the indication drawn from the results of a special survey of local conditions in 44 states made by the U. S. Department of Labor, based on information received from federal state directors of the Employment Service and Commissioners of Labor. The survey shows present employment conditions throughout the country and outlines the prospects which may be expected to materialize during the months occupying the immediate future.

A summary showing conditions as reported in each state follows:

ALABAMA—No extraordinary demand for skilled labor, although indications point to as good a year as 1923, if not better, in 1924.

ARIZONA—Considerable road building planned by various counties when weather permits and funds become available. ARKANSAS—Road construction now started all over the state, following installation of new highway law. Large home building program under way. CALIFORNIA—Building construction continues on tremendous scale. Estimate

\$15,000,000 to be spent on road construction in 1924. CONNECTICUT—Building and road work slackened by seasonal curtailment. Builders well employed, however. COLORADO—Municipal and highway construction continues steadily, with much new work contemplated. DISTRICT OF COLUMBIA—Large building program shows signs of curtailment. Optimistic outlook for 1924. FLORIDA—Common labor in demand for large highway construction projects, with greater demand for skilled mechanics than in 1923. GEORGIA—Large number of skilled and unskilled labor in demand for road construction. Building program not as large as last year.

IDAHO—Building and other construction projects to continue, with increase seen in larger cities. The supply of common labor available will take care of highway work contemplated. ILLINOIS—Building continues, and program for roads calls for large labor demand. IOWA—Seasonal curtailment has cut municipal, state road and building construction. Industrial outlook excellent for 1924. Highway construction, which has been delayed for several years, will show a marked increase. KANSAS—Let up expected in building program, although unemployment is not expected. KENTUCKY—Large building operations planned, with more road construction than ever before; unemployment very apparent throughout state now.

LOUISIANA—Various cities will continue building projects, with continuance of good roads program giving work to large number of common labor. MAINE—Heavy building construction will continue, with full time employment of bridge and road workers. MARYLAND—Indications point to continued upward trend of industrial employment.

MASSACHUSETTS—Building and highway construction to continue actively, with exception of winter interruption. Demand for building and road construction mechanics expected to exceed 1923. MISSISSIPPI—State projects, consisting of road and other construction, are expected to continue on a huge scale, providing unlimited employment of skilled and unskilled labor. MISSOURI—Large building program and state road work will continue on a great scale. MONTANA—Expansion of building construction projects predicted for 1924. NEBRASKA—Plans big building program with more than 400 miles state highway grading, providing present plans are carried out. NEVADA—Building program on same scale as 1923. About 223 miles of road construction to be started. Employment situation satisfactory. NEW HAMPSHIRE—Prospects good for continued building activity. No present problem of unemployment. NEW JERSEY—State will continue huge road construction and building projects make outlook for 1924

**DRAWING  
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PRINTS**



bright. NEW YORK—Contemplated building projects already exceed those planned in 1923. Road work and municipal improvement plans will employ a large number of various classes of labor.

NORTH CAROLINA—New construction will exceed 1923, with larger building programs in various centers. Road construction will be an important item for 1924, following completion in 1923 of hundreds of miles of highway. NORTH DAKOTA—Less activity in construction than in 1923, due to completion of program. OHIO—Road construction will continue, and contemplated work will employ a large volume of skilled and unskilled labor. OKLAHOMA—Considerable work predicted in furtherance of the good roads program. OREGON—Building construction was good in 1923 and indications point equally active year in 1924. Road making will come close to that of last year. PENNSYLVANIA—Continuation and expansion of good roads program will take care of tremendous amount of skilled and unskilled labor. RHODE ISLAND—Very little unemployment apparent in any section. SOUTH CAROLINA—Building projects of considerable size have started, adding to the large program now under way. Road construction will give employment to a large number of skilled and unskilled labor. TENNESSEE—Considerable building is already under way and many new projects are contemplated. These, when started, will take care of practically all labor. SOUTH DAKOTA—Large building and road construction projects will continue, and work will commence as soon as weather permits.

TEXAS—Building activity continues unabated, particularly with stone, brick and cement projects. Craftsmen in these trades are virtually absorbed. UTAH—Contemplated building work will employ a large number of tradesmen, while road construction will continue to give employment to many common laborers. VERMONT—Construction of buildings, which has been curtailed by winter, will pick up soon. Indication points to a better year than 1923. VIRGINIA—Tradesmen and mechanics in building construction in the larger cities are very well employed. WASHINGTON—Good prospects for building construction, with indications pointing to as good a year as 1923. WEST VIRGINIA—More labor employed in 1923 in road work than any previous year in history of state. Building tradesmen will be well employed. WISCONSIN—Building construction not expected to be as extensive as 1923. Highway work will call for more labor, it is predicted, than in 1923. WYOMING—Housing shortage will keep this form of construction brisk. Work on road construction is to continue

and will afford a large amount of employment.

#### A NEW HOTEL IN YOUR TOWN V. Cost and Financing Considerations

*An important installment in this interesting series which is showing the pitfalls into which the new hotel may slip and how to guard against them.*

By W. L. STODDART, Architect.

*Reprinted through the courtesy of "Hotel Management"*

My previous articles in this series have discussed the preliminary motions through which the business men in a city should go in launching a new hotel project; the determination of the hotel's size; the selection of its site and the question of building it in such a way that it will best meet the city's requirements.

Concurrent with all of these problems are the cost and financing considerations. It is, of course, impossible to proceed very far in a new undertaking of this character without some idea as to how much it will cost. But at the same time it is impossible to tell the prospective stockholders and bankers how much it will cost until its location, size and type have been determined. Furthermore, it is obviously futile to proceed with the plans until the above points have been definitely determined, and until the hotel's board of directors are convinced that it will be possible to raise the necessary funds.

But by first determining a site for the new hotel, and by fixing for it a size and type that is the ideal toward which the city should strive, the board of directors can be far better assured of raising the the sum required—because they will then have a definite proposal to present to the local business men and bankers—than they would were they to take the attitude "Blanktown needs a new hotel. Let's see how much we can raise, and build it accordingly."

Of course, it has often been found impossible to raise the sum that would be required to build the ideal hotel above referred to, but, nevertheless, it has been my experience that when the board has a definite proposition to offer before they attempt to raise the money, their success has been far better assured than when they have proceeded without such plans to help them.

Let us first take up the problem of costs, bearing in mind the fact that the following statements (and also those that I will touch on later in connection with financing methods) are applicable only to the typical, first class, fireproof hotel of from 100 to 300 rooms that is primarily commercial in character and that is located in the medium size city.

*The Site's Relation to the Cost Problem*  
The first cost is naturally that of the

(Continued on page 142)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residence (alts. and add.),** 5214 Germantown avenue, Philadelphia. Architect, Roberson Lea Perot, 137 Harvey street, Germantown, Philadelphia. Owner, care of architect. Plumbing, stair work, plastering, carpentry work, plastering, painting. Plans in progress. Too early for details.

**Schools,** various locations, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Roosevelt Junior High School, Washington and Musgrave streets, Philadelphia, gymnasium equipment. Campbell School, Eighth and Fitzwater streets, Philadelphia, slag roof. Various schools, plumbing, fixtures, domestic science rooms, galvanized iron hand rails, entrance steps, metal weather strips, electric lighting, etc. Owners taking bids due March 6th at noon.

**Residences (30),** Summerale avenue at Wakeling street, Philadelphia. Architect, private plans. Owner, Thomas Duff, 4666 Wyoming avenue, Philadelphia. Stone, 2½ stories, 40x45 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Residences (40 twin),** South side Wakeling, East of Rising Sun avenue, Philadelphia. Architect, private plans. Owner, Thomas Duff, 4666 Wyoming avenue, Philadelphia. Stone, 2½ stories, 40x45 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Residence and Garage,** Oak Road, Germantown, Philadelphia. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Richard Brown, Wayne and Roberts streets, Philadelphia. Stone, cut stone, 2½ stories, 79x48 feet, garage 20x20 feet, hot water heat, electric light, tile work, shingle roof, oak and cement floors, ornamental iron work. Architect taking bids due March 1st.

**Supplies,** Philadelphia. Purchasing agent, E. J. Lafferty, 312 City Hall, Philadelphia. Acetylene and oxygen, asphalt sand. Owners taking bids due March 3rd at noon.

**Bank (add.),** Ridge and Green Lane, Philadelphia. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Roxborough Trust Co., G. C. Littlewood, on premises. Brick, cut stone and steel, 1 story and

mezzanine, 45x110 feet, slag roof (plumbing, heating, clock, vault lining and vault doors reserved), cement floors, hollow tile, safety treads, metal weather strips, electric light, metal lath, tile and marble work, rolled steel sash, copper skylights, fire doors, ornamental iron work and stairs. Contract awarded Fred A. Havens, 845 North Nineteenth street, Philadelphia.

**Office Building,** Broad and Arch streets, Philadelphia. Architects, Dennison & Hiron, 288 Lexington avenue, New York City. Owners, Liberty Title & Trust Co., J. N. Fort, Jr., president, on premises. Marble, limestone, brick, reinforced concrete and steel, 18 stories, 60x97 feet. Details undecided.

**Store Building (alts. and add.),** 104-106 South Fifty-second street, Philadelphia. Architects, Hoffman-Henon, Inc., Finance Building, Philadelphia. Owners, E. E. Cullen & William Peace, 1524 Chestnut street, Philadelphia. Plans in progress.

**Store and Apartment,** 45 West Cheltenham avenue, Philadelphia. Architect, J. Molitor, Heed Building, Philadelphia. Owner, Sammel Emlen, Jr., 5600 Germantown avenue, Philadelphia. Brick, 85 feet x irregular. Plans in progress.

**Alterations and Additions to Apartment (6),** 430 Spruce street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, Peter Goldenburg, care of architect. Brick, 3 stories, 17 feet 6 inches x 102 feet, slag roof, pine floors, metal lath, roof ventilators, bond, hollow metal skylights, tile work, electric, hot water heat, demolition. Plans in progress.

**Store and Apartment,** 4274-76 Frankford avenue, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, William Kohen, 4278 Frankford avenue, Philadelphia. Brick, limestone, 3 stories, 31x103 feet, wing 30x37 feet, hot water heat, electric light, slag roof, pine floors, metal bulks. Plans in progress.

**Library Building,** Baltimore avenue, between Fifty-eighth and Fifty-ninth streets, Philadelphia. Architect, Edmund B. Gilchrist, 1618 Latimer street, Philadelphia. Owners, Free Library of Philadelphia, Thirteenth and Locust streets, Philadelphia. Concrete and steel. Plans in progress.

**Building,** 1020 Walnut street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, S. Jacob & Son, 820 West Columbia avenue, Philadelphia. Plans in progress.

**Smith Memorial Cottage Building for Boys,** Elizabethtown, Pa. Architect, E. A. Wightman, Heed Building, Philadelphia. Owners, Masonic Home, Elizabethtown, Pa. Plans about completed. Architect will be ready for bids in two weeks.

**Store and Apartment (alts. and add.),** 8434-36 Germantown avenue, Chestnut Hill. Architect, W. Frisby Smith, Broad and Arch streets, Philadelphia. Owner, P. A. Rinck, 3617 North Broad street, Philadelphia. Brick, 2 stories, 42x75 feet, Spanish tile and slag roof, maple floors, painting and glazing, plastering, plaster board, hardware, metal ceilings, copper bars, plate glass, plumbing, electric light, tile work, hot water heat, sound deadener for halls. Plans about completed. Owner taking sub-bids at architect's office.

**Residence,** Overbrook, Pa. Architect, I. Demschick, 1701 Chestnut street, Philadelphia. Owner, Louis Halprin, Commonwealth Building, Philadelphia. Ready for bids in one week.

**Apartment (alts. and add.),** 228 West Cheltenham avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Architect will be ready for new bids in a few days.

**Hospital Building,** Broad and Ontario streets, Philadelphia. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Samaritan Hospital, on premises. Brick, cut stone, steel, 7 stories, 50x181 feet, slag roof, hollow tile, monolithic and linoleum floors, waterproofing, terra cotta, iron work, bond, tile work, metal lath. Architect will be ready for new bids in a week.

**Residence,** Wakeling and Large streets, Philadelphia. Architect, Joseph Lowery, Land Title Building, Philadelphia. Owner, John W. Connor, Frankford, Philadelphia. Stone, 2½ stories, 43x43 feet, slate roof, oak and pine floors, tile work, hot water heat, electric light. Architect taking bids due March 3rd.

**Apartment House,** Nineteenth and Spruce streets, Philadelphia. Architects, The Balingier Co., Twelfth and Chestnut streets, Philadelphia. Owners, Nineteenth and Spruce Streets Realty Corporation, care of Abraham Felt, Land Title Building, Philadelphia. Brick, cut stone, granite, limestone, bluestone, steel, 16 stories, basement and pent house, 130x44 feet (heating, plumbing, electric elevators and dumb waiters reserved), slag and tile roof, concrete, oak, composition floors, hollow tile, safety treads, metal weather strips, shoring, waterproofing, terra cotta, ornamental iron work, iron stairs, floor hardener, bond, kalamein and hollow metal doors, tile, marble and terrazzo work, metal lath, steel pilings, cold water painting, leaded glass, caulking, kitchen and cab-

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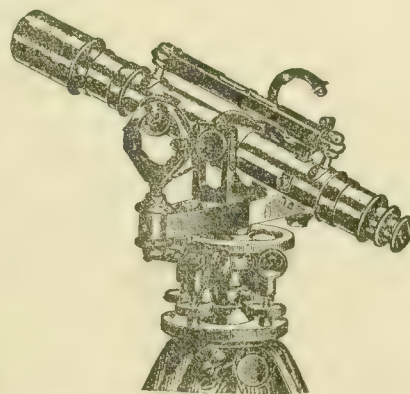
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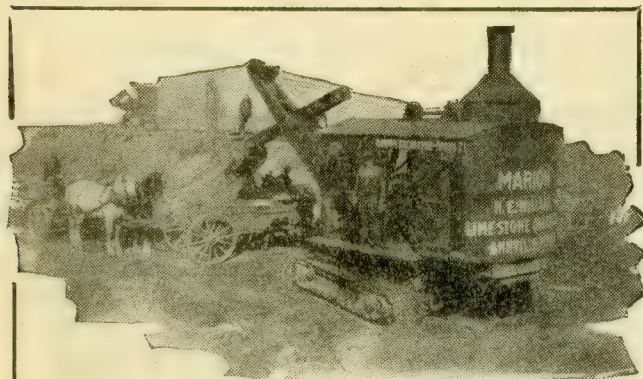
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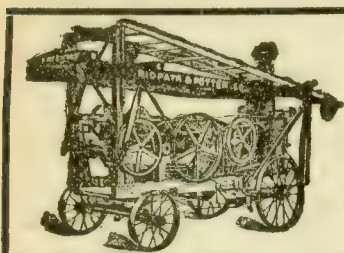
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inet equipment, hardware, sheet metal windows, medicine cabinets (white steel), door beds, china closets, "Murphy" imitation travertine, cast stone, painting. Architects taking bids due March 1st.

**Hospital (alts. and add.)**, Allegheny avenue and Tulip street, Philadelphia. Architect, Edwin Yeo, 225 South Sydenham street, Philadelphia. Owners, Northeastern Hospital, on premises. Brick, reinforced concrete, cut stone, steel, slag roof, cement floors, safety treads, metal lath, terrazzo and marble work, rolled steel sash and skylights, tin covered doors, iron work. Architect taking revised bids due February 29th.

**Apartment House**, Nineteenth and Rittenhouse streets, Philadelphia. Architects, Sugarman, Hess & Berger, 16 East Forty-third street, New York. Owner, 1900 Rittenhouse Square, Philadelphia, Inc., care of architect. Brick, steel, limestone, 15 stories, 95x42 feet (plumbing, heating and electric separate), Barrett Specification roof, cement floors, terra cotta tile, shoring, waterproofing, terra cotta, ornamental iron work, mail chute, iron stairs, kalamein and hollow metal doors, rolled steel skylights, hollow metal sash, tile and marble work, metal lath. Architects taking bids due March 1st.

**Residences (30)**, East side C street, North of Courtland, \$152,000. Architect, private plans. Owner, Joseph S. Silver, Penfield Building, Philadelphia. Brick, 2 stories, (28) 15x30 feet, 12x10 feet, and (2) 15x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (48)**, Twentieth and Scattergood streets and Fifty-second and Ditman streets, Philadelphia, \$154,400. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 2 stories, (32) 14x32 feet, 7x10 feet, (14) 18x36 feet, and

(2) 18x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Wakeling street, West of Horrocks, \$14,000. Owner, Henry Wiegand, Jr., 1821 East Tioga street, Philadelphia. Stone, 3 stories, 30x42 feet, slate roof, hardwood and pine floors, hot water heating, electric lighting, tile work. Owner will build.

**Warehouse**, 3955-57 Elser street, Philadelphia, \$12,000. Architect, private plans. Owners, Kane Brothers, 3959 Elser street, Philadelphia. Brick, 2 stories, 40x97 feet, slag roof, steam heating, electric lighting. Owners will build.

**Residences (30)**, East side Sydenham street, North of Fisher's avenue, \$6,000 each. Architect, private plans. Owner, Louis Mark, 4501 North Ninth street, Philadelphia. Brick, 2 stories, 16x34 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, East side Winston Road, South of Abington avenue, \$6,000 each. Architect, private plans. Owners, Brown Brothers, 115 East Moreland avenue, Philadelphia. Brick, 3 stories, 17 feet, 10 inches x 36 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (4)**, South side Solly avenue, West of Craig, \$4,800 each. Architect, private plans. Owners, Holmesburg Concrete Co., Holmesburg, Philadelphia. Brick, 2 stories, 17x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Garage**, Broad and Seventy-first avenue, Philadelphia. Owner, L. L. Miller, Real Estate Trust Building, Philadelphia. Brick, cut stone, steel, concrete. Owner taking bids.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Garage**, East side Warren street, North of Master street, \$4,500. Architect, private plans. Owner, Guiseppi Lucci, 5021 Master street, Philadelphia. Brick, 1 story, irregular shape, slag roof, cement floors. Contract awarded to A. Gioia, 711 Walnut street, Philadelphia.

**Factory**, Unity and Elizabeth streets, Philadelphia. Architect, private plans. Owners, Ederer Thread Co., on premises. Reinforced concrete and brick, 3 stories, 75x200 feet, steam heat, electric light, slag roof, cement floors, waterproofing, rolled steel sash. Contract awarded William Steele & Sons, 210 North Broad street, Philadelphia. Plans in progress.

**Plant (add.)**, Wissahickon avenue, between Abbotsford Road and Deacon avenue, \$1,000,000. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Atwater Kent Mfg. Co., 4937 Stenton avenue, Philadelphia. Brick, cut stone, reinforced concrete, 1 story, 594x396x594 feet, steam heat, electric light, metal lath, tile and marble work, rolled steel sash and skylights, bond, floor hardener, ornamental iron work, terra cotta, waterproofing, roof ventilators, safety treads, hollow tile, cement

and Steadman floors, gypsum saw-tooth, slag roof. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia.

**Manufacturing Building**, Front and Olney avenue, Philadelphia. Architect, private plans. Owners, Heintz Manufacturing Co., on premises. Reinforced concrete and brick, 1 story, 70x200 feet, steam heat, electric light, slag roof, concrete floors, rolled steel sash, fire doors, ornamental iron work. Contract awarded William F. Newberry Co., Otis Building, Philadelphia.

**Factory Building**, Twenty-fifth and Westmoreland streets, Philadelphia, \$175,000. Engineer, William H. Gravel, 112 South Sixteenth street, Philadelphia. Owners, Charles H. Elliott Co., Seventeenth and Lehigh avenue, Philadelphia. Reinforced concrete, brick, 2 stories and basement, 205x170 feet, slag roof, cement floors, elevators, safety treads, roof ventilators, bond, waterproofing, ornamental iron work, rolled steel skylights and sash, metal lath, steam heat, electric light, flag pole. Contract awarded to Wark Co., 1600 Walnut street, Philadelphia.

**Synagogue**, East side Thirty-third, between Diamond and Susquehanna avenue, Philadel-

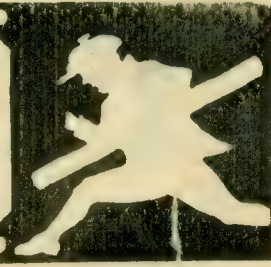


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phia. Architects, Sugarman, Hess & Berger, 16 East Forty-third street, New York. Owners, Bnai Jeshurun Congregation, care of M. Hefer, Victory Building, Philadelphia. Brick, stone, precast stone, 2 and 1 stories, 150x140 feet, slag roof, pine and cement floors, terra cotta tile, roof ventilators, shoring, waterproofing, ornamental iron work, tin clad and kalamein doors, copper skylights, hollow metal sash, tile and marble work, metal lath, dumb waiters. Contract awarded B. Bornstein, 1319 Wingohocking avenue, Philadelphia.

**Cherry Sub-Station (alts. and add.)**, Eleventh street, between Arch and Cherry streets. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, concrete, 3 stories and basement, 98x64 feet, slag roof, cement floors (electric work reserved), metal lath, tile and marble work, rolled steel sash and skylights, floor hardener, waterproofing. Contract awarded John N. Gill Const. Co., City Center Building, Philadelphia.

**Residence**, South side Midvale avenue, East of Henny street, \$16,500. Architect, private plans. Owner, Frederick D. Suenthee, 800 West Tioga street, Philadelphia. Brick, 3 stories, 26x39 feet, 1 story, 20x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light, garage, brick, 1 story, 18x18 feet, cement floors. Contract awarded to Francis J. Blotz, 333 Brookline Boulevard, Upper Darby, Pa.

**Residences (31)**, East side Baily street, Buist avenue to Dicks avenue, \$124,000. Architect, private plans. Owners, Elmwood Const. Co., 6019 Market street, Philadelphia. Brick, 2 stories, 16x27 feet, 12x8 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Herbert Fisher, 6019 Market street, Philadelphia.

**Store and Office (alts. and add.)**, 5600 North Fifth street, \$16,000. Architects, Northern Const. Co., Fifth and Fishers avenue, Philadelphia. Owner, Thomas J. O'Donnell, 605 Tabor Road, Philadelphia. Brick, 2 stories add., 16x45 feet, general alterations. Contract awarded to Pitt & Forster, 5753 North Fifth street, Philadelphia.

**Residence (barracks)**, Northeast Corner Twenty-second and Fairmount avenue, \$9,000. Architect, private plans. Owners, State of Pennsylvania, care of Eastern Penitentiary, on premises. Brick, 2 stories, 80x20 feet, slag roof, electric work. Contract awarded to H. H. Burrell, 206 South Quince street, Philadelphia.

**Residences (3)**, South side Allengrove street, East of Frankford avenue, \$6,500 each. Architect, private plans. Owner, William H. Yelland, 1350 Harrison street, Philadelphia. Brick, 2 stories, 15x34 feet, 12x12 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to C. C. Carn, 1654 Dyre street, Philadelphia.

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**School (add.)**, 5509 Greene street, Philadelphia, \$25,000. Architect, Mantlo Fielding, 520 Walnut street, Philadelphia. Owners, Meeting of Friends, Philadelphia, on premises. Stone, 2 stories add., 45½x31 feet, electric work, heating extension. Contract awarded to Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Residence**, Northwest Corner C and Borbeck streets, Philadelphia, \$11,000. Architect, private plans. Owner, Paul B. Cameron, Fox Chase, Philadelphia. Stone and frame, 3 stories, 25x37 feet, 6 inches, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to A. E. Heckman, Glenside, Pa.

**Trestles (2), Silos (8)**, Southwest Corner Forty-ninth and Merion streets, \$43,000. Architect, private plans. Owners, Chalfonte & Scott, on premises. Concrete and steel trestles, reinforced concrete silos. Contract awarded to William Steele & Sons Co., 219 North Broad street.

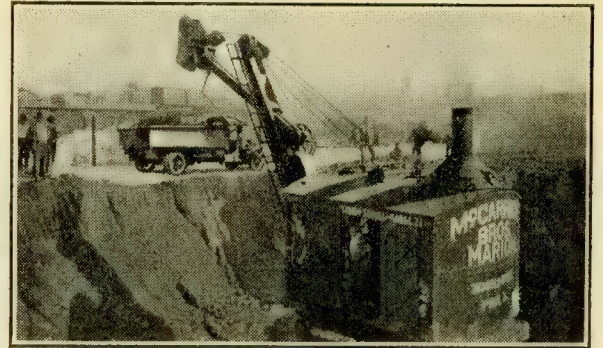
**Residence and Office (alts.)**, 2230 Spruce street, Philadelphia, \$6,000. Architect, private plans. Owner, John M. Kennedy, Jr., 406 South Van Pelt street, Philadelphia. Carpentry, mill work, hot water heat, electric work, plastering, painting, glazing. Contract awarded to Long & White, 44 Armat street, Philadelphia.

**Residence (alts. and add.)**, Northeast Corner Thirty-seventh and Fairmount avenue. Architect, private plans. Owner, I. Gillinberg, 402 South Fifty-seventh street, Philadelphia. Brick, 1 story, 19x16 feet, 1 story, 5x40 feet, and 1 story, 19x23 feet, general alterations. Contract awarded to J. Yudofsky, 2023 South Eighth street, Philadelphia.

**Store Building (alts.)**, 2826 Germantown avenue, Philadelphia. Architect, private plans. Owner, M. J. Cohen, on premises. Copper bars, plate glass and prismatic glass, mill work, hardwood floors, electric light, tile and marble work. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Residence and Store**, 6079 Stenton avenue, Germantown, Philadelphia, \$8,000. Architect, private plans. Owner, William Jaffe, on premises. Brick work, plastering, painting and glazing, tile work, slag roof, plumbing, hot water heat, electric work, excavation and stone work. Contract awarded M. C. Manchey, 802 East Washington Lane, Germantown, Philadelphia.

**Alterations and Additions**, 5651 Chew street, Germantown, Philadelphia. Architect, private plans. Owner, Harry Bloom, on premises. Brick, 1 story, 7x14 feet, hardwood floors, plate glass, metal work, electric work. Contract awarded M. C. Manchey, 802 East Washington Lane, Germantown, Philadelphia.



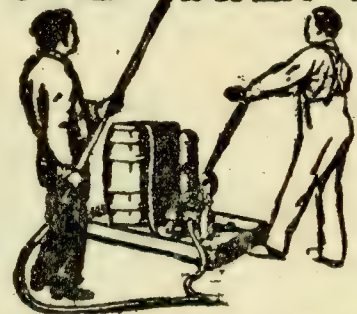
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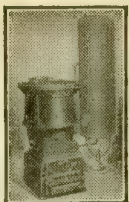
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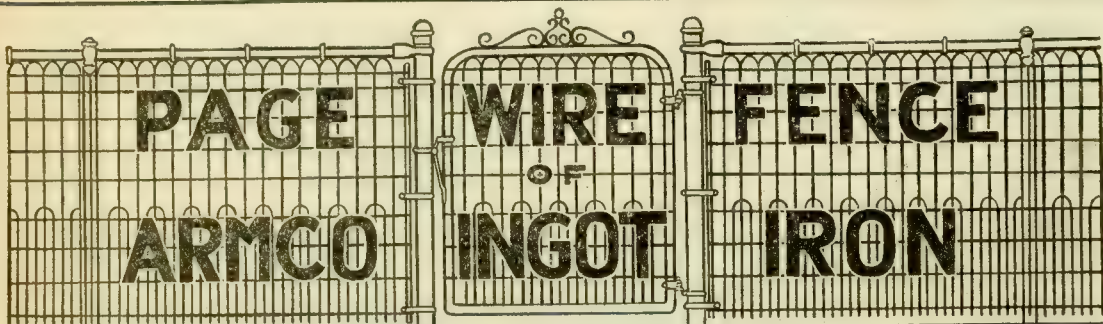
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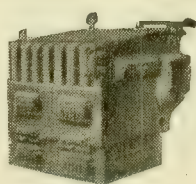
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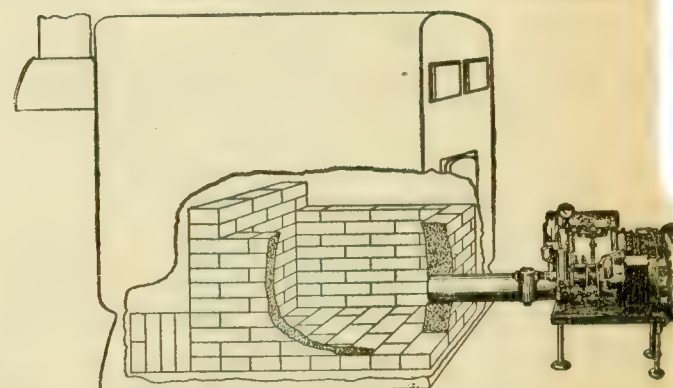
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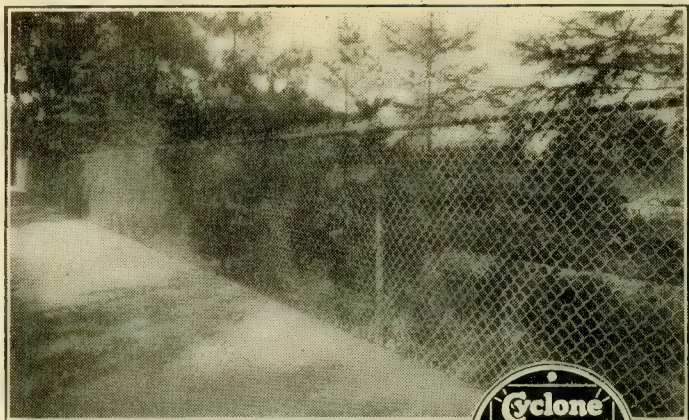
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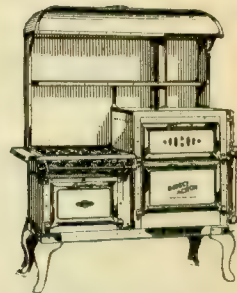
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**Building (alts.)**, 4817 Woodland avenue, Philadelphia, \$3,000. Architect, private plans. Owners, Kaplan Brothers, on premises. General alterations. Contract awarded to A. Gorelick, 3876 Wyalusing avenue, Philadelphia.

**Residence (add.)**, Northeast Corner Twelfth and Wagner avenue, Philadelphia, \$3,000. Architect, private plans. Owner, C. H. Duffield, on premises. Brick, 2 stories add., 14x7 feet. Contract awarded to A. Dunlap, 2223 Oak Lane, Philadelphia.

**Residence (add.)**, 1210 South Sixtieth street, Philadelphia, \$2,000. Architect, private plans. Owner, Frank P. Marnott, on

premises. Brick, 2 stories add., 13x7 feet, and 1 story, 13x5 feet. Contract awarded to Albert Schleyer, 907 East Church Lane.

**Bakery Building**, 3059 Salmon street, Philadelphia, \$5,000. Architect, private plans. Owner, Martin Sypula, 3251 Catham street, Philadelphia. Brick, 1 story, 30x58 feet, electric work. Contract awarded to M. Baranowsky, 1614 Juniata street, Philadelphia.

**Dye House (add.)**, Southeast Corner Coral and Walm streets, Philadelphia, \$5,000. Architect, private plans. Owner, James Hulton, Sr., 3819 Frankford avenue, Philadelphia. Brick, third story add., 48x10x48 feet. Contract awarded to F. Crompton & Bro., 4614 Oakland street.

Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Thomas S. Parker, Walnut street and Lewis Road, Royersford. Hollow tile and stucco, 2½ stories, 34x40 feet, asbestos roof, oak and tile floors, plumbing, hot water heat, electric light, brick work, bond, hollow tile. Plans in progress. Owner will take bids.

**Public Garage and Sales Rooms**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owners, Frank Bauer & Son, Royersford, Pa. Brick and stone, 2 stories, 40x60 feet, composition roof, concrete floors, plumbing, plate glass, steam heat, electric light, metal and steel sash, bond, show bulks. Plans completed. Owners will take bids.

**Bungalow**, Collegeville, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Dr. A. R. Saylor, Royersford, Pa. Owner taking bids.

**Residence and Garage**, Pine Ridge, Pa. Architects, MacKenzie & Wiley, Liberty Building, Philadelphia. Owner, name withheld. Stone, 2½ stories, 33x71 feet. Plans in progress.

**Residence**, College Heights, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Dr. E. H. Stuckert, Allentown, Pa. Hollow tile and stucco, 2 stories, 35x45 feet, tile roof, hardwood floors, steam heat, electric light, tile work. Plans in progress.

**Club House**, Tenth and Cedar streets, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Athletic Association Club, Charles Adams, president, care of architects. Brick, hollow tile, 2 stories and basement, 85x135 feet, tile and built-up roof, hardwood floors, steam heat, electric light, metal lath, tile work, ornamental iron work. Plans in progress.

**Residence**, Woodcrest, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, C. W. Nuss, care of architects. Brick, 2 stories, 28x30 feet, slate roof, hardwood floors, hot water heat, electric light. Plans in progress.

**Bungalow**, Yeadon, Pa. Architect, Charles M. Wells, Ruthledge, Pa. Owner, H. J. Reynolds, Yeadon, Pa. Ideal brick, 1½ stories, 35x50 feet, Richardson shingle roof, maple

## PENNSYLVANIA

## Construction News

**Residence (alts. and add.)**, near New Hope, Pa. Architect, Robeson Lea Perot, 137 Harvey street, Germantown, Philadelphia. Owner, name withheld, care of architect. Plans in progress. Too early for details.

**Theatre**, Mahoney City, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Chamberlain Amusement Enterprise, Inc., Mahoney City, Pa. Brick, stone, cast stone, 1 story, 70x160 feet, steam heat, electric light, metal lath, tile and marble work, fire doors, slag roof, cement and pine floors, hollow tile, flag pole. Ready for bids in one week.

**School and Convent**, Mt. Carmel, Pa. Ar-

chitect, Paul A. Monaghan, 1713 Sansom street, Philadelphia. Owners, Our Mother of Consolation, Rev. Tomaszewski, Mt. Carmel, Pa. Convent, brick, 2½ stories, school, brick and stone, 2½ stories, 62x150 feet. Plans in progress.

**Residence**, Phoenixville, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owners, Dr. R. R. Funk, Gay and Washington avenue, Phoenixville. Brick, 1½ stories, 32x48 feet, tile and asbestos roof, oak and tile floors, plumbing, hot water heat, electric light, tile work, bond. Plans in progress. Owner will take bids.

**Residence**, Royersford, Pa. Architect, J.

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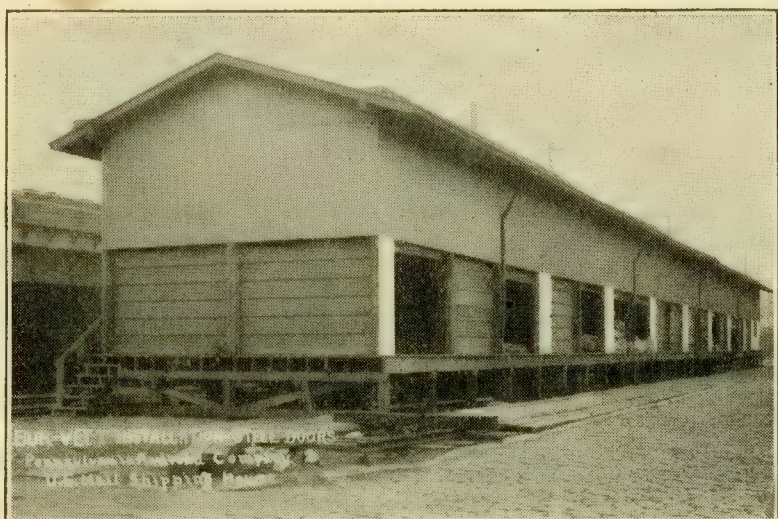


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and oak floors, electric light, hot air heat, tile and marble work. Plans in progress.

**Dutch Colonial Residence**, Morten avenue, Rutledge, Pa. Architect, C. M. Wells, Ruthledge, Pa. Owner, E. Dougherty, Jr., Ruthledge, Pa. Frame and stucco, 2½ stories, 25x38 feet, hot water heat, electric light, tile and marble work, shingle roof, maple floors. Plans in progress.

**Distribution Station**, Southeast Corner Ninth and Somerset, Darby, Pa. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Supplee-Wills-Jones Milk Co., Twenty-sixth and Jefferson streets, Philadelphia. Brick, cut stone, steel, 2 stories, metal lath, tile work, bond, floor hardener, ornamental iron work, cork insulation, terra cotta, waterproofing, cement, granite block, pine floors, slag roof. Architect ready for revised bids.

**Bungalow**, Swarthmore, Pa. Architect, Charles M. Wells, Ruthledge, Pa. Owner, E. P. Paterson, Ruthledge, Pa. Frame and stucco, 1½ stories, 29x43 feet, hot water heat, electric light, oak floors, Richardson shingle roof. Plans completed. Owner will take bids.

**Garage, Show Room and Accessory Shop**, Quarry and Chester Pike, Darby. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. Foster, on premises. Brick, steel, concrete, 2 stories, 70x100 feet, slag roof, maple floors, steam heat, electric light, metal lath, plate glass, fire doors, hollow metal skylights, metal bulks. Owner will be ready for general bids in a few days.

**Bank Building (alts. and add.)**, 804 Center

street, Ashland, Pa. Architect, Benjamin R. Stevens, 1827 Arch street, Philadelphia. Owners, Ashland National Bank, J. P. McConnel, president, Ashland, Pa. Brick, cast stone, 1 story, 40x40 feet, slag roof, composition floors, electric light. Ready for bids in a week.

**Store and Apartment**, Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, J. W. Bornstein, 97 West Broad street, Bethlehem, Pa. Brick, 2 stories, 40x190 feet, slag roof, hardwood floors, steam heat, electric light, tile work. Owner ready for bids.

**Store and Apartment**, Allentown, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Peterson & Company, 388 Linden street, Allentown, Pa. Brick, cinder block, reinforced concrete, cast stone, 3 stories, 35x70 feet, slag roof, hardwood floors, steam heat, electric light. Owners ready for bids.

**Senior High School**, Northampton, Twelfth and Spring Garden streets, Easton, Pa. Architects, Messrs. Michler & Snyder, Drake Building, Easton, Pa. Owners, School District, City of Easton, R. E. Peifer, secretary, 30 North Second street, Easton, Pa. Reinforced concrete, brick, steel, 3 stories and basement, 250x200 feet, composition roof, maple floors (heating, electric work and plumbing reserved), metal lath, tile and marble work, rolled steel sash, safety treads, roof ventilators, iron work (ornamental). Owners taking bids due March 24th at 8 P. M.

**High School**, Bradford, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, School Board of Bradford, C. W. Charlton, Bradford, Pa. Brick, steel, semi-fireproof, 2 stories and basement,

250x300 feet, slag roof, slate roof, pine floors, hollow tile (heating, plumbing and electric work reserved). Owners taking bids due March 15th.

**Residence and Garage**, Haverford, Pa. Architect, Frank Seeburger, 1524 Chestnut street, Philadelphia. Owner, Hon. William I. Schaffer, care of architect. Stone, brick, cut stone, 2½ stories, 31x90 feet, 1½ stories, 22x26 feet, slate roof, cement, oak, pine floors, tile and marble work, bond (heating, plumbing and electric reserved). Architect taking bids due March 3rd.

**Store**, Altoona, Pa. Architects, H. C. Hodgins & D. A. Hill, 130 South Fifteenth street, Philadelphia. Owners, Jacob & Isaac Silverman, Strand Theatre, 1322 Twelfth avenue, Altoona, Pa. Granite, terra cotta and steel. C. M. Singiser, Commerce Building, Altoona, Pa., taking preliminary bids.

**Residence**, Chambersburg, Pa. Architect, Horace G. Kilmer, Chambersburg, Pa. Owner, Eugene C. Clark, Chambersburg, Pa. Hollow tile and stucco, 2 stories, 41x30 feet, slate roof, hardwood floors, metal lath, metal weather strips, hot water heat, electric light. Architect taking bids due March 1st.

**Freight House and Office Building**, Marcus Hook, Pa. Architect, Samuel T. Wagner, Reading Terminal Building, Philadelphia. Owners, Philadelphia & Reading R. R. Co., Reading Terminal, Philadelphia. Brick and steel, 1 story, 30x73 feet, office building, 23x30 feet, built-up roof, cement and pine floors, hot water heat, electric light, rolled steel sash, bond, ornamental iron work. Owners taking bids due March 4th.

**Residence (alts.)**, Ardmore, Pa. Architect, Woodburn Potter, Real Estate Trust Building, Philadelphia. Owner, J. H. Pew, Ard-

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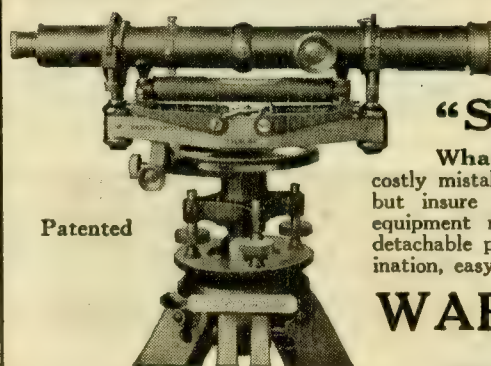
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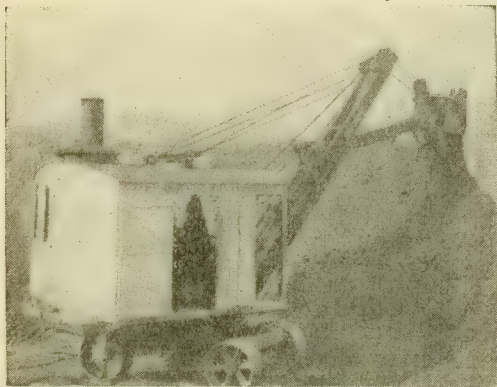
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more, Pa. Interior alterations, carpentry and mill work, plastering, brick work, painting and glazing. Architect taking bids due March 5th.

**Round House, Oil House and Boiler House,** Tamaqua, Pa. Architect, private plans. Owners, Lehigh & New England R. R. Co., Bethlehem, Pa. Brick and concrete, 1 story, round house, 90x75 feet, oil house, 15x20 feet, slag roof, concrete floors, asbestos ventilators, rolled steel sash, ornamental iron work. Owners taking bids due March 3rd.

**Hall,** Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, St. Joseph's Sick & Benefit Society, care of architect. Brick, concrete, steel, 3 stories, 115x45 feet, slag roof, maple floors, steam heat, electric light, roof ventilators, bowling alley. Owners, care of architect, taking bids due as soon as possible.

## Pennsylvania

### Contracts Awarded

**Factory,** Crescentville, Pa. Architect, private plans. Owners, Electric Storage Battery Co., Nineteenth and Allegheny avenue, Philadelphia. Brick and steel, 1 and 2 stories, 80x120 feet, slag roof, cement floors, steam heat, electric light, rolled steel sash. Plans in progress. Contract awarded William Steel & Sons, 219 North Broad street, Philadelphia.

**Bank Building,** Phoenixville, Pa. Architect, John H. Mowere, Phoenixville, Pa. Owners, National Bank of Phoenixville, I. E. Miller, Phoenixville. Indiana limestone, granite and brick, Caen stone, plastering, reinforced concrete, 1 story and basement, 50x88 feet, tin roof, marble, cork and ceramic tile floors, metal window frames and sash, plate glass, corrugated wire and pressed lens glass, bronze and marble fixtures, vault doors and construction, electric work. Contract awarded Roberts & Roller, 1924 Sansom street Philadelphia.

**Residence (alts. and add.),** "Bynden Wood," near Wernersville, Pa. Architect, Robeson Lea Perot, 137 Harvey street, Germantown, Philadelphia. Owner, name withheld, care of architect. Stone and brick, iron beams, carpentry work, mill work, plumbing, roofing, tile work, mineraloid floors, rubber tile floors, celetex sheathing, bostwick loop metal lathing (electric work painting hardware, weatherstripping and fly screens reserved). Contract awarded Adam P. Spatz, ernersville, Pa.

**Bank Building (alts. and add.),** Tamaqua, Pa. Architect, Benjamin R. Stevens, 1827 Arch street, Philadelphia. Owners, Peoples Trust Co., Tamaqua, Pa. Reinforced concrete, brick, limestone, granite and steel, third floor add., 59x66x51 feet (heating, electric fix-

tures, plumbing reserved), electric light, metal lath, marble, tile and terrazzo work, rolled steel sash and skylights, bond, ornamental iron work and stairs, waterproofing, roof ventilators, hollow tile and terra cotta, cement and composition and pine floors, slag roof. Contract awarded A. L. Graff, Tamaqua, Pa., \$46,041.

**School (add.),** Chambersburg, Pa. Architect, Horace G. Kilmer, Chambersburg, Pa. Owners, Chambersburg School District, Chambersburg, Pa. Brick, hollow tile, 1 story, 59x808 feet, slate and built-up roof, maple and composition floors, hollow tile, metal lath, roof ventilators, vapor heat, electric light, ornamental iron work. Contract awarded to Charles E. Cump, Chambersburg, Pa. Plumbing and heating to Chambersburg Const. Co., Chambersburg. Electric work to Chambersburg Electric Service Co., Chambersburg.

**Residence,** Penn Road, Lower Merion Township, Montgomery County, Pa. Architect, Spencer Roberts, 10 South Eighteenth street, Philadelphia. Owner, Tycho Bueke, Jr., care of architect. Hollow tile and stucco, cut stone, 2½ stories, 50x35 feet (heating and electric reserved), shingle roof, oak, pine and composition floors, tile work, bond, plumbing. Contract awarded H. N. Croll, Radnor, Pa.

**Residence (alts.),** Villa Nova, Pa. Architect, Arthur Brockie, 254 South Fifteenth street, Philadelphia. Owner, George Farnam Brown, 254 S. 15th St. Cinder concrete block, steel, cut stone, 2½ stories, 45x25 feet, shingle roof, oak and pine floors, hot water heat, tile work. Contract awarded Gray Brothers, Rosemont, Pa.

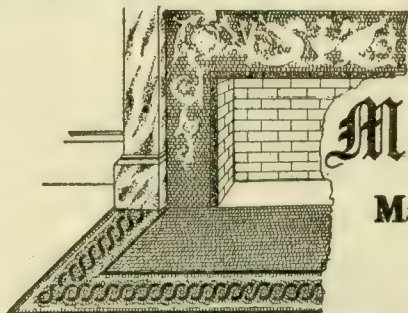
**Residence and Garages (3),** Drexel Hill, Pa. Architect, private plans. Owner, J. J. Minahan, care of Franklin Realty Co., Drexel Hill, Pa. Stucco, 3 stories, 27x36 feet, shingle roof, hardwood, pine and cement floors, hot water heat, electric light, tile work. Contract awarded Friel McLeister, Inc., 1615 Spruce street, Philadelphia.

## New Jersey

### Construction News

**Bath House,** Atlantic City, N. J. Architect, H. E. Stout, Atlantic City, and LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Bershads Bath, Inc., on premises. Brick, stucco, terra cotta, steam heat, electric light, metal lath, tile and cement floors, slag roof, marble work, hollow metal sash, galvanized iron skylights, tin clad doors, waterproofing, iron work. Ready for revised bids in a few days.

**Apartment,** Atlantic City, N. J. Architect, Bertman Ireland, Guarantee Trust Building,



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Atlantic City. Owner, Dr. P. Marvell, 1616 Pacific avenue, Atlantic City, N. J. Brick, 5 stories. Too early for details.

**Hotel**, site not selected, Camden, N. J., \$1,250,000. Architect, not yet selected. Owners, Community Hotel Corporation, William Kennedy, secretary, 533 Market street, Camden, N. J. Funds raised.

**Hotel Edgewater**, 123 South South Carolina avenue, Atlantic City. Architect, J. R. Ogden, 143 South South Carolina avenue, Atlantic City. Owner, care of architect. Brick, 2 stories add., general alterations. Plans in progress.

**Residence (alts.)**, Newton avenue and Beach, Atlantic City. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City. Owner, care of architect. Frame, brick and stucco, 2 stories, 60x20 feet, slate roof, hardwood floors, general alterations. Plans in progress.

**Hotel (alts. and add.)**, 17 St. Charles Place, Atlantic City. Architect, J. R. Ogden, 143 South South Carolina avenue, Atlantic City. Owner, Mrs. Yetta Davis, care of architect. Brick, hollow tile, 6 stories, 75x20 feet, slag roof, pine and hardwood floors, heating extension, electric light, metal lath, tile, marble work, new baths. Architect will take sub-bids.

**New Hotel (Beacon-by-the-Sea)**, Point Pleasant, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, care of architect. Brick, frame, 3 stories, 45x170 feet, tile roof, hardwood floors, hollow tile, elevators, electric light, tile and marble work, fire doors, ornamental terra cotta. Architect taking bids due March 6th.

**Alterations to Hotel (Beacon-by-the-Sea)**, Point Pleasant, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, care of architect. General alterations to three-story building, tile roof, hardwood floors, metal lath, partitions. Architect taking bids due March 6th.

## New Jersey Contracts Awarded

**Church and Sunday School**, Ocean and Simpson avenues, Island Heights, N. J. Architect, H. L. Ruhring, 1309 Locust street, Philadelphia. Owners, Island Heights Methodist Episcopal Church, Island Heights, N. J. Contract awarded C. H. McKaig, Island Heights, N. J.

**Residence (alts. and add.)**, Riverton, N. J. Architect, J. Fletcher Street, 1120 Locust street, Philadelphia. Owner, Mrs. Robert Bidle, 3rd, 607 Bank street, Riverton, N. J. Stone and frame, 3 stories, 18x20 feet, slate roof, hardwood floors (heating, electric, plumbing reserved), painting and glazing, hardware. Contract awarded H. B. Miller, Edgewater Park, N. J. Plumbing and heating. B. C. Worrell, Moorestown, N. J.

**High School**, Millville, N. J. Architects, Guilbert & Betelle, Newark, N. J. Owners, Board of Education, Cumberland County, Millville, N. J. Contract awarded George W. Shaner, Palmyra, N. J., \$243,779. Heating, J. H. Hutchinson, 1020 Callowhill street, Philadelphia, \$42,069. Plumbing, Shearman & Tompkins, Lakewood, N. J., \$13,000. Electric, J. F. Buchanan Co., 1904 Sansom street, Philadelphia, \$6,677.

**Cottage**, Clarendon avenue, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owner, Mrs. Berman, Atlantic City, N. J. Frame, 1½ stories, 26x40 feet, shingle roof, pine floors, hot water heat, electric light, tile work. Contract awarded to A. P. Wilson, Atlantic City, N. J.

**Office Building (add.)**, Burlington, N. J. Architect, private plans. Owners, United

States Cast Iron Pipe & Foundry Co., Burlington. Brick, east stone and steel, 3 stories, 30x40 feet, slag roof, pine floors, steam heat, electric light, fire doors. Contract awarded H. B. Miller, Edgewater Park, N. J.

## Delaware Construction News

**Store Building**, Fourth and Shipley streets, Wilmington, Del. Architect, W. E. Hance, 2301 Spruce street, Philadelphia. Owners, Hance Hardware Co., on premises. Brick, 4 stories, 22x60 feet, slag roof, maple and pine floors, electric light, hot water heat, metal lath, metal bulks. Architect taking bids.

**Store and Apartment (alts.)**, Fourth and Orange streets, Wilmington, Del. Architect, W. E. Hance, 2301 Spruce street, Philadelphia. Owner, M. Chaikin, on premises. Brick, 2 stories, 32x40 feet, hot water heat, electric light, repairs to slag roof, pine floors, plumbing. Architect ready for bids in a few days.

**Sunday School**, Division and Bancroft streets, Dover, Del. Architect, W. E. Hance, 2301 Spruce street, Philadelphia. Owners, First Baptist Church, Rev. C. A. Walker, Dover, Del. Brick, 1 story and basement, 42x60 feet, slag roof, pine floors, plumbing, steam heat, electric light. Plans about completed. Architect will take bids in a few days.

**Garage and Apartment**, 607 French street, Wilmington, Del. Architect, John McKibbin, Industrial Trust Building, Wilmington. Owner, J. C. Schwind, 102 West Fifth street, Wilmington, Del. Stucco, brick, 2 stories, 30x90 feet, slag roof, concrete and pine floors, hollow tile, hot water heat, electric light, tile work, skylights. Architect taking bids.

## Delaware Contracts Awarded

**Public School**, Claymont, Del. Architects, Coffin & Coffin, 522 Fifth avenue, New York City. Owners, Board of Education, Claymont, Del. Contract awarded to J. E. Healy, Wilmington, Del., \$190,000.

## Miscellaneous Construction News

**Church**, Clarksburg, West Virginia, approximately \$300,000. Architect, Edward L. Weber, Knights of Columbus Building, Pittsburgh, Pa. Owners, Church of the Immaculate Conception, Rev. P. H. McDermott. Brick, Indiana limestone, steel, 1 story, 70x150 feet, tower 45 feet high, Spanish tile roof, maple floors, steam heat, electric light, metal lath, tile and marble work, plumbing, ornamental iron work and stairs, bond, stained glass, copper domes, church pews, altar rails. Architect taking bids due March 1st.

**Observatory**, Frederick, Md. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, Hood College, Dr. J. H. Apple, Frederick, Md. Too early for details.

**School**, Elkton, Md. Architect, C. R. Hope, DuPont Building, Wilmington, Del. Owners, Board of Education, Elkton, Cecil County, Md. Brick, concrete, steel, 2 stories, 90x59 feet, composition roof, pine floors, steam heat, electric light, tile work, metal lath, tin clad doors, kalamein doors, bond, ornamental iron work and iron stairs, terra cotta. Owners taking bids due March 11th at 10 A. M.

## Proposals

Sealed Proposals will be received by the School District of the City of Easton, Pa., at the office of the Secretary, 30 North Second Street, until Monday, March 24th, 1924, 8 P. M., for the construction of a Senior High School Building at Northampton, Twelfth and Spring Garden Streets, City of Easton, Pa., in accordance with plans and specifications prepared by Messrs. Michler and Shnyder, Easton, Pa., and on file at their office, 610 Drake Building.

Separate bids will be received for the following:

- (A) General Contract.
- (B) Heating and Ventilating.
- (C) Plumbing.
- (D) Electrical.

Plans and specifications for the above can be obtained at the office of William M. Michler, 610 Drake Building, Easton, Pa. A deposit of fifty dollars (\$50) will be required for the use of plans, specifications, and etc. Plans and specifications to be returned in good condition with bid when deposit will be refunded. All bids to be accompanied by a certified check payable to the order of the Easton School District for an amount equal to 2% of the amount of the bid submitted. Certified checks to be returned to all excepting the two lowest bidders immediately after the award of the contract. Checks of the lowest bidders to be retained until contract is signed and satisfactory bond furnished.

Proposals to be made on form provided by the architects for that purpose and addressed to the Easton School District, Attention R. E. Peifer, Secretary, 2nd and Church Streets, Easton, Pa. All bids to be sealed and marked on outside,

### "PROPOSALS FOR CONSTRUCTION OF SENIOR HIGH SCHOOL."

The Easton School District reserves the right to reject any or all bids or part of any bid submitted.

Easton School District,  
F. T. Clark, President.

Attest:

R. E. Peifer, Secretary.

Want to hear from owner having farm for sale; give particulars and lowest price. John J. Black, Chippewa Falls, Wisconsin.

## Conkling-Armstrong Terra Cotta Co.

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(Continued from page 132)

new hotel's site and although it is impossible to present any definite formula or set of figures that will show what the site of any given hotel of any given size in any given section of a city will cost, it is really not necessary to do so. This cost item should be regarded as an investment that appreciates in value, rather than as an expense. I mean by this that the income from the new hotel's ground floor rentals should more than make up for the carrying charges on the property, and that for this reason its cost is of minor consideration. As a matter of fact, it is in most cases safe to count on a 10% return on this investment, whereas the carrying charges seldom amount to more than 6% or 7%. Remember, too, that no matter how badly the new hotel's room and restaurant revenues fluctuate, this 10% income from ground rents is practically always assured—a point which is not only of definite value to the proprietor and manager, but also one that is essential if it is the owner's intention to arrange for a first mortgage loan. Reliable loaning companies will never advance funds unless they are convinced that the new hotel's site is a desirable one from the standpoint of leasing a generous amount of the first floor space to stores and other concessions. The above means, in other words, that the best site should be selected from the standpoint of ground rentals, the only limiting factor being to see to it that the cost of the property is not out of line with surrounding property values.

#### *Cubic Foot Cost the Only Sound Basis*

There has been a great deal of inexperienced discussion as to what a new hotel will cost on a per room basis. Strictly speaking, the phrase, "cost per room" means nothing. The cost is different in every hotel because in no two hotels do identically the same proportions exist between the amount of space devoted to bed rooms, public rooms and service quarters, and because the costs of building these three groups are different. For example, a 150-room hotel (every room with bath), and with the necessary public and service space to permit of future expansion; will cost considerably more per room because of these conditions than will a 250-room hotel. This is due to the fact that in the larger establishment the number of bed rooms are better proportioned to the public and service rooms and that therefore the cost per room will be much less than in the smaller hotel.

The only scientific basis on which to discuss hotel construction costs is that of the cubic foot contents of the building. The cost per cubic foot will, of course, vary somewhat with the architectural treatment and with the design and materials used in construction and finish, but in any one year of building construction

the same type of hotel will seldom fluctuate more than from one to three cents per cubic foot.

Building costs are in all cases considered not to include architects' fees or carrying charges.

Since the year 1914 (which is usually taken as standard in comparisons of building costs) the cost of hotel construction has very nearly doubled. That year, for example, witnessed the completion of the Savannah Hotel, Savannah, Ga., and the Hotel Dempsey at Macon, Ga. Both of these establishments are fireproof and modern in every particular. The former—a hotel of 200 rooms—cost \$400,000, and the latter, with 220 rooms, cost \$450,000. In both of these buildings the cost per cubic foot was from 28 to 30 cents. Today it would cost from 50 to 55 cents per cubic foot to build them.

#### *What Items Constitute Building Costs?*

There has also been a great deal of misunderstanding as to what items enter into hotel construction costs. When we speak of a hotel as costing so much, it should be understood that this cost means the completed structure ready for furnishings and equipment. The furnishings and equipment are in most cases supplied by the lessee and consist of the following items:

- Kitchen equipment
- Linens
- Silverware
- Carpets
- Draperies
- All movable furniture.

The building cost should cover the actual structure itself, exclusive of the property on which it stands—all painting, papering and decorating work, electric fixtures, vacuum cleaning system, mail chutes, bath accessories and mirrors, ice and refrigerating machinery and all refrigerators, time and watchman's clock systems; telephone and tautograph systems, screens and weather stripping. It is not as easy as it might seem to draw the exact dividing line between the items ordinarily furnished by the lessee and those included with the building, but inasmuch as this latter group costs from \$80,000 to \$100,000 for a typical 200 room hotel, it is readily apparent how important it is to have a definite understanding and written list of these items, both from the standpoint of correctly stating the new hotel's cost and also from that of entering into a clear understanding with the prospective lessee.

There are two more or less obvious dominating factors which govern the construction cost of any hotel. These are the status of the labor and material markets at the time the hotel is to be built. A contributing, but much less important, factor is the hotel's location with reference to the main lines of travel. If it

is to be built in a city which is off the beaten path, building material prices will in most cases be somewhat higher, due to the higher freight rates, and skilled labor will also cost more. Unskilled labor is frequently lower in out-of-the-way cities than it is nearer the main arteries of travel.

In outlying districts it is usually possible to substitute materials made by local manufacturers for the more commonly used materials, and in this way the costs can usually be kept down to approximately the same level as they would be in a hotel located more accessibly.

As an example of this point, I might state that in 10 hotels ranging from 200 to 300 rooms) I recently designed, in convenient and out-of-the-way locations, and extending over the east coast between New York and Florida, the cost did not vary over two cents per cubic foot.

#### *How the Type of Construction Affects Cost*

Practically all of the modern fireproof hotels of the type with which we are here concerned are of either reinforced concrete or steel construction. As a general rule the former type is from 3% to 5% lower than the latter on the total cost of the building. But this, of course, varies somewhat with the locality—that is to say, where steel is readily available, and where the elements entering into concrete are hard to secure, the steel building may cost less than under other conditions; whereas the saving might be as high as 10% in a location where steel is particularly difficult to get. This condition is very apparent along the Pacific Coast.

So much for the cost factors that enter into the promotion, planning and execution of the typical commercial hotel in the medium sized city. It is, of course, obvious that the foregoing statistics do not apply to "freak" cases with which readers may have come in contact, and I would also like to add that they are not necessarily applicable in very large or very small centers. An extended experience, covering the past 15 years and in practically every section of the country, has convinced me, however, that they will hold good in 9 out of 10 localities.

#### *Financing Through Public Subscription*

When it comes to determining a sound basis on which to finance the typical new hotel in the typical city, I am firmly convinced that by far the best plan is to raise at least 50% of the entire investment which includes the land, building, architect's fee and carrying charges)—and preferably from 60 to 65%—locally. This, of course, means the sale of an issue of common stock, and usually it also means a public campaign for the sale of this stock to as many of the local business men as it is possible to interest. It is practically impossible to borrow first



mortgage money unless at least half of the new hotel's cost has been first raised by public subscription. A hotel that has been largely financed by local citizens will enjoy a far greater amount of local patronage than will one that has been built without the townspeople's support. The reputable loaning companies realize this point and frequently insist on the raising of the first money in this way.

One serious danger to guard against in connection with the sale of stock to the town's citizens is that of the selfish interest of the influential man who agrees, for instance, to subscribe to a large block provided the hotel is erected where it will best serve his purposes rather than the city's. Several cases of this kind have come to my attention, and in every one of them the hotel has suffered in the end. Another danger is that of permitting the stock to get into the hands of interests who will later be in a position to dictate to the hotel management to its detriment.

#### *Two Ways to Sell Stock Locally*

The two principal methods of selling stock by public subscription are, first, that of employing a financial expert who specializes in conducting drives of this kind and, second, by handling the sale through the board of directors or a committee appointed by the board. Rather than generalize on the advantages and disadvantages of each of these plans, I will give below some specific and typical examples of each and attempt to point out their strong and weak points.

In 1916, several of the influential men in Greensboro, N. C., decided that the city (which then had a population of about 20,000) needed a new hotel. A directorate was formed, preliminary surveys made and a local stock-selling campaign undertaken. In this way \$100,000 worth of common stock was sold and this amount was increased through the sale of \$270,000 first mortgage 6% bonds to local insurance companies. It was then found that an additional \$140,000 would be required to erect the size and type of hotel the city needed, and this sum was raised through the sale of \$85,000 second mortgage 6% bonds and \$55,000 third mortgage 6% bonds to the city's inhabitants, all being sold without any expenses, fees or commissions. The O. Henry hotel was the result.

In this example, note that the board of directors were not obliged to pay any fees for the sale either of the common stock or any of the bond issues.

#### *The Case of Washington, Pa.*

Two years back, the people of Washington, Pa., (then of about 37,000 population) campaigned through the Chamber of Commerce and sold \$612,500 worth of common stock to 953 city residents.

Five of the local banks were then persuaded to underwrite a first mortgage bond issue of \$750,000. It was found, however, that an additional \$200,000 would be needed to complete the kind of hotel desired. So some of the local business men took it upon their shoulders to dispose of an additional \$200,000 worth of 7% preferred stock which they succeeded in raising.

For a while it was nip and tuck as to whether this hotel (the George Washington) would ever become a reality, and it was only through the strenuous efforts of these few public-spirited men that it was possible to go ahead with the structure. In my opinion, it is extremely dangerous to entrust the important and difficult work of raising funds particularly when they run to five figures—to one or even to several men. It is better to have a strong, well-organized committee of the board of directors, and one that is a representation of all the town's social and business groups, to carry out this work.

#### *How the George Vanderbilt Hotel Was Financed*

In 1922, the Citizen's Hotel Corporation of Asheville, N. C., was formed for the purpose of financing and building the George Vanderbilt Hotel. Asheville had a population of 45,000 at the time. In this case, the common stock (\$460,000) was all subscribed to by the directors and their friends, the campaign among the city's residents being confined to a quiet personal canvass. The real estate department of a bank and trust company that specializes in hotel loans assumed an additional \$400,000 worth of first mortgage bonds, all the funds necessary being raised in this way, except \$100,000 of 7% preferred stock which is to be issued upon completion of the building, and allotted pro rata to the common stockholders.

Here is a case where, because of Asheville's solidarity, it was found unnecessary to go to the time, trouble, and expense of raising funds through a strenuous campaign for public subscriptions. The need for the hotel was such that the city's residents have always believed in it, and it was easily possible to convince the mortgaging company that their investment would be well protected. Of course, a larger commission would have had to be paid the mortgaging company had not more than 50% of the funds been subscribed to by stockholders. The selling expense of raising, say, an additional \$100,000 on mortgage through an unwillingness to sell over 50% of the stock, would have made a great difference.

#### *Selling Stock With Outside Help*

I have selected the Johnson City Hotel, Johnson City, Tenn., as a good example

of a hotel successfully financed through the efforts of a professional fund raiser. The campaign was started in 1921, when the city had about 13,000 inhabitants. Within one week's time \$513,000 worth of stock had been pledged by 1,290 stockholders on notes bearing interest at 6%. These notes ran for from 3 to 4 years (10% being paid every four months) and the interest which the subscribers agreed to pay more than made up for the uncollectible subscriptions.

Where community spirit must be stimulated in order to make itself manifest it takes an outside expert to stir up the necessary interest in a new hotel. He is also in a better position than any of the residents to urge conflicting business interests to subscribe. It is, however, seldom necessary to let the payments extend over as long a period as 4 years. Usually from 12 to 15 months is sufficient.

The hotel's directors had realized about \$450,000 net cash at the end of 4 years, but \$250,000 of this amount was collected within a period of 2 years, and at that time an additional \$250,000 was borrowed from a loaning institution, the money being advanced through the local banks on the stockholders' notes as security.

Although in this particular case it was 2 years before the hotel could be started, the situation to be met was a particularly difficult one. As soon as the stock was pledged, however—and because there was such an unusually large number of stockholders—the hotel's board of directors were in a very strong position. In the first place, they had, through the work of the financial expert, succeeded in stirring up a wide and worthwhile interest in the undertaking; and in the second place, they were able to proceed without incurring a mortgage. There was no uncertainty as to whether or not the hotel could be completed because, with the stockholder's notes as collateral, they could always have floated a first mortgage bond issue had it become necessary to do so.

There are, of course, other methods of financing hotel properties. Frequently, for example, one wealthy resident in a city will carry the burden alone, and there are also a number of financial institutions that have become interested in hotels to the point where they will bear the brunt without demanding a preliminary stock selling campaign.

The weakness in both of these plans, however, is that the people of the city will not bring the same community spirit and support to the undertaking that they would if they themselves were financially interested in it, and a further weakness with the latter method is that in most cases the new hotel's proprietors are obliged to pay too high a premium for their money.

For the typical hotel in the typical



city, I would like to emphasize the point, already stated, that by far the safest, surest and most satisfactory financing method, in my opinion, is that of raising not less than 50% of the funds to cover the entire investment—and the first 50%—through selling stock to the people of the city.

The next installment in this series will discuss the architect's, engineer's and builder's relations to the new hotel enterprise.

### DAY LABOR IS HIT

Evidence of the ground being gained by advocates of the general contract system in their attack upon the practice of doing public work by day labor is found in a resolution unanimously passed by the Western Division of the Chamber of Commerce of the United States.

This resolution denounced expenditure of public funds in day labor construction and recommended the use of firm contracts with the lowest responsible bidder. Thus a large group of business men go on record as supporting sound business logic.

At the annual meeting of the directors of the Abram Cox Stove Company, held in the Company's Philadelphia Offices February 15th, Mr. Abram C. Mott, Sr., was re-elected chairman of the Board; Abram C. Mott, Jr., President; E. F. Glore, Treasurer; and Merle E. Mott, Secretary.

### THE GRASPING SHORT-SIGHTED CONTRACTOR

#### *A Modern Fable*

Once upon a time there was a near-sighted contractor, who was asked by an architect to figure a school house in a nearby village.

And he took the plans and he went over them carefully, and he gathered around him all the sub-bidders he could. And he examined all the figures of those sub-bidders and partook largely of their advice and counsel as to their particular part of the work.

And when all was said and done, he took those sub-bids which seemed best and put them on his estimating sheet and made his bid. And lo and behold, the next day he had a contract!

Then those sub-bidders who knew their figures were best, went to the near-sighted contractor to secure their share of his good fortune. But he refused, saying, "There was a man from Squashtown here who promises me a better price. Of course, I know he did not figure the job before it was let, but I took this work on a close margin and if I can save a dollar any place I must do so."

And the sub-bidders went away with wrath in their hearts, for they knew that

it was not only their price, but the information they had given, which had enabled the near-sighted contractor to land the job.

And, after many days, this same near-sighted contractor was very desirous of securing another job, and he besought the sub-bidders for bids, but they would have none of him, and he was sore distressed, and went away mournful, for in his heart he knew he had need of their knowledge and figures if he was to land the job.

And great was his sorrow when he learned that the contract had been awarded to a contractor who played square with his sub-bidders.

Moral: Even a sub-bidder gets tired of being a free information bureau and will bite the hand that fails to feed him, after a while.—*The Associated Contractor*.

### NEW BOOKS

"The Appraiser's and Adjuster's Hand Book," by William Arthur, author of "Estimating Building Costs," "Home Builder's Guide" and "Building Estimator's Hand Book," has just been issued by the U. P. C. Book Company, 239 W. 39th St., New York.

"The Appraiser's and Adjuster's Hand Book" contains many short cuts of invaluable assistance to engineers, architects, appraisers, adjusters, accountants, lawyers, realtors, assessors, builders, building and loan associations, insurance companies, investment companies, trust companies, banks, manufacturing establishments.

The price is \$1.50 and the book is well worth the cost to contractors, builders and building trades in general.

"Modern Plumbing Illustrated," 4th revised and enlarged edition, by R. M. Starbuck, author of "Questions and Answers on the Practice and Theory of Sanitary Plumbing," "Standard Practical Plumbing," etc., published by the Norman W. Henley Publishing Co., 2 W. 45th St., New York, is fully illustrated by seventy detailed engravings, which have been made specially for this book. It is an up-to-date and thoroughly practical book on modern plumbing practice, illustrating and describing the drainage and ventilation of dwellings, apartments and public buildings, etc. The standard work for plumbers, architects, builders, property owners and for boards of health and plumbing engineers.

"House Painting, Glazing, Paper Hanging and Whitewashing," Third Edition, Revised and Enlarged, by Alvah Horton Sabin, M. S., D. Sc., Consulting Chemist, Member American Chemical Society, has just been published by John Wiley & Sons, Inc., 440 Fourth Ave., New York.

A readable and extremely useful book, containing what the amateur painter really needs, and not confusing him with a lot of technical stuff which would be intelligible only to the experienced journeyman painter.

"House Painting" was written by an expert of one of the largest manufacturers and gives in an elementary way the most recent knowledge that the amateur and householder need to know. The author enters quite fully into the details of painting and varnishing and the proper materials to use to accomplish the best results.

The Appendix includes formulas for an ample number of colored paints, the tinting

materials being one or two, and never more than three, in a formula.

The book will save many times its cost, \$1.50, to the man who is building a new house or repainting and decorating an old one.

"Departmental and Standard Costs," by William S. Kemp, Treasurer, Holtzer-Cabot Electric Co., and Vice-President of the National Association of Cost Accountants, has been published by The National Association of Cost Accountants, 130 W. 42nd St., New York.

Here is a book which deals with facts. It is a simple explanation of the actual operation of a practical cost system of the most modern type by a man who has been closely associated with its installation and its operation over a term of years.

There is no theory in this book. It tells you in simple language how it is done, not how it ought to be done. On almost every page you will find ideas and suggestions which you can immediately put to work in your business. It is not a big book—about a hundred pages, eight by ten and a half inches—but every page contains real information on cost control that can be applied to any type of industry. There are thirty-six charts and forms with the actual entries illustrating the entire system from the erection of the plant to the completion of the finished product.

The National Association of Cost Accountants is offering this book to non-members of the Association at a price of four dollars per volume. It is now ready for distribution.

All live men are advertisers, and the only man who should not advertise is the man who has nothing to offer to the world in the way of human service, and such a man is a dead one, whether he knows it or not. Advertising is a legitimate and ethical proposition. Life is too short for you to hide yourself away, mantled in your modesty, and let the world hunt you out. Even the dead are advertisers, for on visiting a beautiful cemetery the other day, I noticed that on nearly every marble slab was given a list of the virtues, talents and beautiful qualities which the dead man was supposed to have carried in stock. This is what you call non-productive advertising, or advertising from an emotional standpoint.—Elbert Hubbard.

The other day a prominent local architect called up to inquire regarding a concern that has not advertised with us for two years. "I saw their ad. some years ago in the Guide," said the architect, "and am unable to recall just where they are located." We gave him the address and learned subsequently that as a result the firm bagged a big order. How many similar orders, from architects who wouldn't take the trouble to look them up, that same concern has missed in the course of the past two years it would interest us to know.

You can't expect to do your "bit" of this busy world's business unless you enlist in the advertising ranks.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Seiver Corporation,  
The Parkway at 24th St., Phila.  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

## CEMENT.

The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

## CEMENT WORK.

Massiah, Frederick..Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick..Juniper and Cypress Sts., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F.....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Berko Bros. ....Randolph and Wood Sts., Phila.  
Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.  
Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc..1844 N. Front St., Phila.  
Concrete Waterproof Paint Co..829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

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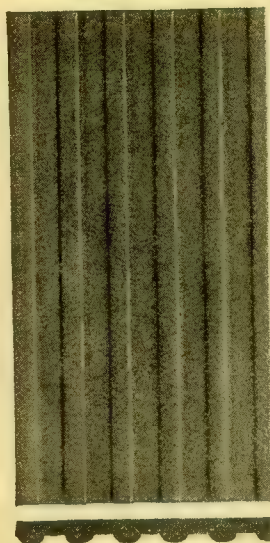
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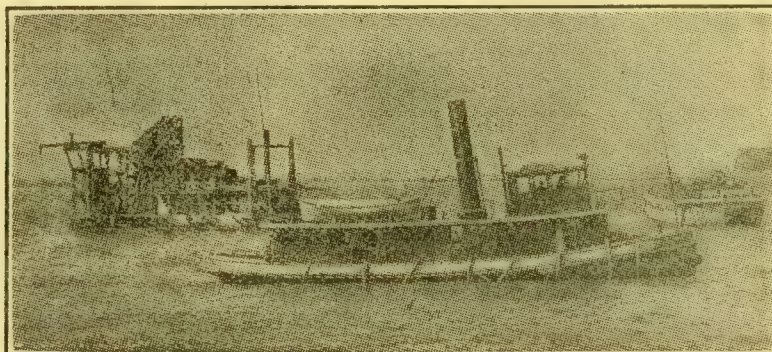
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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 10  
March 5, 1924

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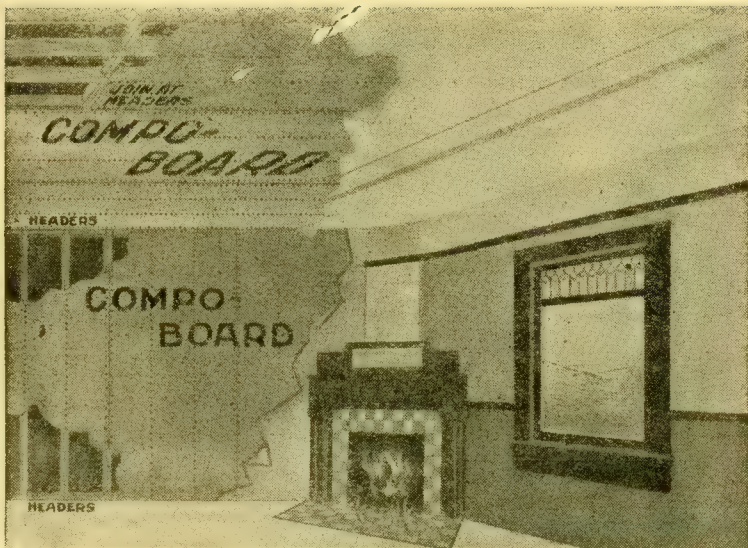
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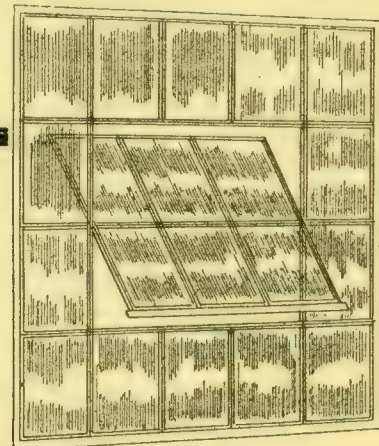
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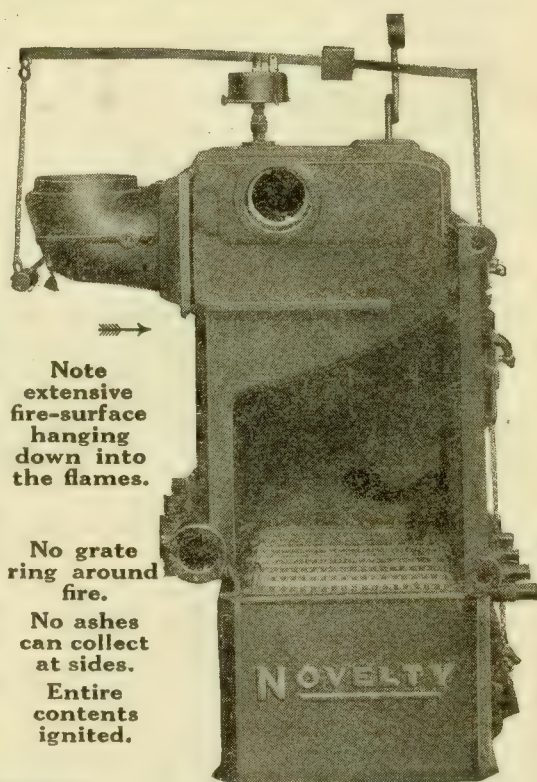
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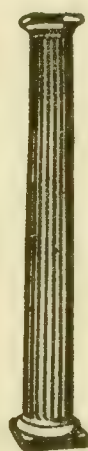
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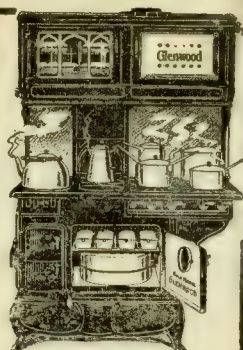


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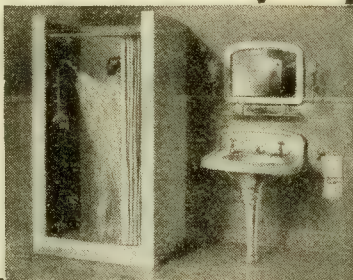
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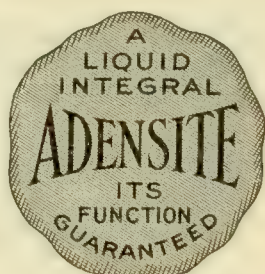
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# BUILDERS' GUIDE

VOLUME XXXIX  
Number 10

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

PHILADELPHIA  
March 5, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

PUBLISHED WEEKLY  
BY

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## As The Editor Sees It



### BUILD YE BETTER

BY ERNEST MC CULLOUGH

A few weeks ago the newspapers featured a report made by a professor in a school of architecture, saying that conditions today are not favorable for the development of good architecture. According to him workmen on buildings today are merely assemblers. In ancient and mediaeval times all buildings in process of erection were the center of a throng of busy workmen planning, designing and fashioning their contributions to the structure and later putting them in place. Today all the creative work is done in offices far from the building site and the various parts are made in factories from whence they are shipped for crews of erecting workmen to place them.

The principal complaint of this professor seemed to be that in these degenerate days the item of cost is permitted to assume too great importance.

It is fitting to look into the facts mentioned by the professor and examine into the question as to how great a factor cost has been in building. To begin it is right and proper to state that today things are being done in a far better way than they were done at any period in the past and architecture is advancing at a pace that surpasses anything dreamed of in the times when existing architectural gems were erected.

The writer feels that he must take

issue with the professor and in the present series of articles will show how architecture has developed through improvements in methods for cutting down cost.

The architect is the "Master Workman." Such is the accepted definition of the Greek word from which Architect is derived. The architect originally was a superintendent of construction and probably had something to do with the preparation of the plans of the building he supervised.

The older architects on ordinary buildings were boss masons if masonry was used, boss carpenters if the buildings were of wood, or boss plasterers if the buildings were wood frame covered with stucco. Architects of this type are with us today. They are to be found in every small town and in many larger towns.

Twenty-five years ago the writer lived in a far western city in which there was a first class carpenter who gradually worked into a general contracting business. The people there thought so highly of him that they never employed an architect to prepare plans for buildings Harry was to erect. The writer one day overheard the following conversation between a leading citizen and Harry that went about as follows:

"Say, Harry, come on over to that corner of mine. I want to get some idea of what you will put me a building up for on it."

"No use going over there, Gus. I've been passing that lot for fifteen years and know as much about it as I need to. If you want a figure on the job, shoot."

"Well, it's this way, Harry. I want to put a five-story brick building on that lot. It wants to be good looking. I think we can get three or four decent sized stores on the ground floor, some offices on the 2nd floor and fix the three top floors for a rooming house. Think that will go all right?"

"Sure it will go. Depends on how much money you want to spend."

"Think you can do it for \$25,000?"

"Sure. That will put you up a dog gone nice shebang."

"All right, Harry. I just sold some sheep and I put twenty-five thousand dollars in the bank yesterday. I won't spend a single cent more. You go ahead and put me up that house and if it costs more than twenty-five thousand dollars the extra cost will be on you."

"All right, Gus. Just so the thing will be reg'lar I will get Judge Henry to fix up some sort of contract and specifications and I will fix up some drawings at home tonight. Think you can sign it tomorrow?"

"Surest thing you know, old scout," and then we were all invited to say what ours was, and we said it. The new building was duly christened and the reporter for the local paper had an item at last, for

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the town had been dull for a long time.

Harry had the writer put the drawings in good shape and the building went up with nothing more than these small sixteenth inch scale drawings made in a hurry for the contract and specifications. The specifications were in the form of a letter and covered one sheet.

The job was done while Gus was away for the summer with his sheep, and it cost just thirty dollars less than the twenty-five thousand Harry had a right to spend, so Gus made Mrs. Harry a present of a thirty dollar plush coat "just to make it come out even, you know."

A couple of years ago a gentleman in New York had some plans prepared for a home he wished to build in a suburb. The plans were prepared in first-class style and bids were called for. The lowest bid was twenty-five per cent. higher than he felt he could afford to pay. Then his wife saw a picture of a house that looked good enough for her in a woman's journal with floor plans alongside it.

Being a woman and knowing nothing about how these things should be done she went to a local builder who was putting up a house in the suburb and asked him if he could give her an idea of how much it would cost. He told her he would give her a bid if she liked; and she liked. The bid was satisfactory and her husband was pleased, for the arrangement of the rooms was almost identical with the arrangement in the plans he had paid for. He asked the contractor if he wished him to have large scale drawings prepared, and the contractor said he did not as he could give them a house to suit them from the clipping from the journal.

Luckily the contractor was a decent, honest man and the building went up in a way that suited the owner exactly. The contractor got a good idea of what the client wanted, was able to put himself in his place and planned and executed the building satisfactorily.

Harry and the second contractor are good examples of the original *architek-ton* master—or chief—builders. Both Gus and the New Yorker might easily have fallen into the hands of men who would not have given them such satisfactory service, but as it happened, they were lucky.

The method is not to be recommended, for it was too irregular for these days and works only when both parties are honest and the contractor gets a good price for his work and makes a profit. Two better examples, however, would be hard to find to illustrate just what original *architekton* did.

The architect, until within quite recent times, was a man put in charge of the construction of important buildings. If a fortress was to be built the architect

was a military man, a man who was well schooled in the arts of war, especially the operations of a siege from the point of view of offense and defense.

The word engineer comes from the Latin word meaning "an ingenious man," and the original engineers, were the military engineers, so the architects, that is to say the chief of the workmen, on fortresses were military engineers. They worked from sketchy plans and the details developed as the building went up.

Architects of temples in ancient times and of cathedrals in mediaeval times, were men trained in the church, members of the priesthood. In fact we have reason to believe that during the Middle Ages there was a religious guild of church builders.

Architects of the palace of kings and great men were as often as not painters or sculptors, or even poets or musicians. They were favorites of the men who employed them and were placed in charge of these great works in order to give an excuse for paying them a pension from the public treasury.

In such cases the title of architect was not always well deserved, being much like modern politicians who are placed at the head of great works for which their previous training has not fitted them, and who turn it over to trained men while they themselves work to keep their hold on the job.

We may imagine quite easily that many of the great architects of the past had their reputation made by their humble, and unknown to fame, assistants. As it was in the beginning, is now and ever shall be, world without end, the fame of many men is due to the effective work of their press agents and biographers.

Until within quite recent times all plans of buildings were sketchy at the time the buildings were started. The plans were altered from time to time and the building when it was completed was exactly like the client and his architect imagined it would be the day the corner stone was laid.

There was a good reason for this and this reason exists today, namely, the will of the client. Clients in the olden days, the days when the wonderful cathedrals and castles were built, were autocratic. Like all autocratic people they were childlike in their insistence upon having their own way. Hardly more so perhaps than many modern clients but there was a difference between the buildings of yesterday and today that is not always grasped. The big buildings of today must produce a cash dividend on the investment.

Most of the buildings of olden times were built to reduce trouble with the unemployed to a minimum. We erect

(Continued on Page 160)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residences (4)**, Hegerman, Edmund and Comly streets, \$4,000 each. Architect, private plans. Owner, M. Kasparites, 5907 Hegerman street, Philadelphia. Brick, 2 stories, 16x38 feet, slag roof, hot water heating, electric lighting. Owner will build.

**Residences (6)**, South side Church Lane, West of Twentieth, \$26,600. Architect, private plans. Owners, Voss Brothers, 264 West Diamond street, Philadelphia. Brick, 2 stories, 15x36 feet, slag roof, hardwood and pine floors, electric lighting. Owner will build.

**Residences (2) and Workshop**, South side Margaret street, West of Edmund street, total \$13,500. Owners, Magnesite Mineral Flooring Co., 1521 South Taylor street, Philadelphia. Brick, 2 stories, 16x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light, workshop, 1 story, 67x22 feet. Owners will build.

**Bank**, Southwest Corner Fifth and Wyoming avenue, Philadelphia. Architects, McLanahan & Bencker, Bellvue Court Building, Philadelphia. Owners, Wyoming Bank & Trust Co., on premises. Stone, cut stone, steel, brick, one-story, basement and balcony, 80x70 feet, Barrett Specification roof, cement floors, roof ventilators, shoring, painting and glazing, iron work, bond, galvanized iron skylights, marble and terrazzo work, metal lath, steam heat, electric light. Architects taking bids due March 11th.

**Garage**, Thirteenth, Race and Spring streets, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, S. Hopkins, care of architect. Brick and steel, 2 stories, 60x100 feet (heating and elevators), electric light, metal lath, rolled steel sash and doors, plumbing, slag roof, cement and pine floors, plumbing, painting and glazing. Architect taking bids due March 10th.

**Residence**, Montgomery avenue, Chestnut Hill, Pa. Architects, Tilden & Register, 1620 Locust street, Philadelphia. Owner, Charles Brinley, Mermaid Lane, Chestnut Hill. Plans in progress. Architects will take bids in 2 weeks.

**Apartment House**, 106 West Highland avenue, Chestnut Hill, Pa. Architect, W. H. Henkels, 106 West Highland avenue, Chestnut Hill, Pa. Owner, J. T. Phister Reg, 106

West Highland avenue, Chestnut Hill, Pa. Brick and stucco, 3 stories, 38x71 feet (6 apartments), hot water heat, electric light, tile work, plumbing, hardwood and composition floors, slag and slate roof. Owner taking sub-bids.

**Bank Building and Stores (2)**, Southwest Corner Eighteenth and Fairmount avenue, Philadelphia. Architect, W. Macy Staton. Engineer, S. H. Pennell, 1524 Chestnut street, Philadelphia. Owners, Mortgage Security Trust Co., care of architect. Brick, granite, Indiana limestone, 1 story and mezzanine, 40x80 feet, slag roof, oil burning equipment, steam heat, electric lighting, tile, marble work, rolled steel sash, bank screens, metal bulks, ornamental iron work, vault. Architect taking bids due March 14th.

**Residences (20), Stores (2)**, Linmore avenue, between Sixty-fifth and Sixty-sixth streets. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owners, Levin Brothers, 710 Commonwealth Building, Philadelphia. Brick, 2 stories, 20x32 feet, slag roof, pine and hardwood floors, metal lath, metal ceiling, flush bulks, bond, store fixtures, hollow metal skylights, tile work, electric work, hot water heat. Plans in progress.

**Residences (2) (alt. into Nurses' Home)**, 1808-10 Lombard street, Philadelphia. Architect, private plans. Owners, University of Pennsylvania, Thirty-fourth and Spruce streets, Philadelphia. General alterations. Plans about completed. Owners will be ready for bids in ten days.

**Residence (alts. and add.)**, 6910 Rising Sun avenue, Philadelphia. Architect, George S. Idell, 1703 Chestnut street, Philadelphia. Owner, C. L. Wagner, on premises. Frame, 2½ stories, hot water heat, electric light, cedar shingle roof, plumbing, plastering, painting, brick work. Plans in progress.

**Residences (15)**, Sixth and Roosevelt Boulevard, Philadelphia, \$60,000. Architect, private plans. Owners, Schwab, Esmond & Schwab, 1901 North Mascher street, Philadelphia. Brick and stucco, 2 stories, 23x38 feet, hot water heat, electric light, slag roof, oak and pine floors. Plans in progress.

**Residences (15)**, Sixth and Annsbury streets, Philadelphia. Architect, private plans.

Owners, Schwab, Esmond & Schwab, 1901 North Mascher street, Philadelphia. Brick and stucco, 2 stories, 16x45 feet, hot water heat, electric light, slag roof, oak and pine floors. Plans in progress.

**Apartment (alts. and addition)**, 3609 North Sixteenth street, Philadelphia. Architect, private plans. Owner, T. J. O'Malley, on premises. Brick, 3 stories, 18x30 feet, hot water heat, electric light, slag roof, oak floors. Plans in progress.

**Convent Building**, Richmond, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. M. A. Hand, Lehigh and Memphis streets. Too early for details.

**Residence (alts.)**, 5102 Newhall street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. Deyoe, care of architect. General alterations. Plans in progress.

**Moving Picture Theatre**, 2004-08 Columbia avenue, 1630-36 North Twentieth street, 2001-07 Nicholas street, Philadelphia. Architect, H. Child Hodgins, 130 South Fifteenth street, Philadelphia. Owner, William Freihof, Land Title Building, Philadelphia. Work contemplated.

**Church and Sunday School**, Southwest Corner Twelfth and City Line, Philadelphia. Architect, W. L. Blithe, 608 Chestnut street, Philadelphia. Owners, Methodist Episcopal Church, Oak Lane, Philadelphia. Stone, 2 stories and basement, 150x115 feet (basement consists of gym and social rooms), vapor vacuum heat, electric light, tile work, rolling partitions, slate roof, hardwood floors, plumbing. Plans about completed. Architect be ready for bids in one month.

**Chapel and School**, Northeast Corner Cottman and Torresdale avenue, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Hubert, Rev. John Ludwig, on premises. Stone, reinforced concrete, 2 stories and basement, 67x120 feet, slate roof, pine floors, vapor heat, electric light, tile work, metal ceilings, iron stairs. Architect will be ready for general bids in 10 days.

**Store and Dwelling (alts. and add.)**, 1309 North Fifty-second street, Philadelphia. Architect, Guy B. Thompson, 5413 Media street, Philadelphia. Owner, Joseph Sheffin, on premises. Brick, 2 stories, 18x26 feet, slag roof, pine floors, plate glass, hot water heat, electric light. Owner taking sub-bids.

**Factory (add.)**, Sixteenth and Hamilton streets, Philadelphia. Architect, private plans. Owners, William Sellers, Inc., on premises. Brick, cut stone, steel, 5 stories and basement, 35x60 feet (plumbing, heating, electric work reserved), slag roof, cement floors. Owner has received bids.

**Apartment House**, Nineteenth and Panama streets, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadel-

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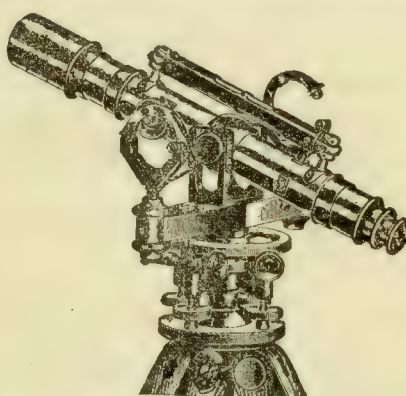
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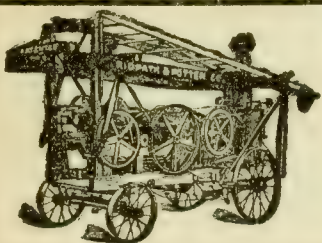
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phia. Owner, name withheld. Brick, concrete, stone and steel, 8 stories, 50x60 feet. Architect will sub-let.

**Five Two-Family Dwellings**, Germantown, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, name withheld. Brick, cut stone work, 2 stories, 16x70 feet, slag roof, hardwood and composition floors, sheet metal work, interior decorating, tile and marble work, ornamental iron work, structural steel, gas ranges. Plans completed. Architect ready for sub-bids due at once.

**Bell Telephone Building**, Oak Lane, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co. of America, Seventeenth and Parkway, Philadelphia. Plans in progress. Ready for bids in a few days.

**Apartment House (alts. and add.)**, 3516 North Seventeenth street, Philadelphia. Architect, Salvator J. Gritti, 817 North Sixteenth street, Philadelphia. Owner, W. J. Mooney, on premises. Brick, 3 stories, 13x30 feet, hot water heat, electric light, tile work, slag roof, oak floors, plumbing. Architect will be ready for general bids in 2 weeks.

**Hotel**, Thirteenth and Spruce streets, Philadelphia. Architect, Clyde S. Adams, 2038 Spruce street, Philadelphia. Agents, Fried & Fishman, 262 South Seventeenth street, Philadelphia. Owners, Lincoln Hotel, care of agents. Brick, cut stone, steel, 12 stories and basement, 55x88 feet, vapor heat, electric light, metal lath, tile, marble work, galvanized iron skylights, kalamein doors, bond, ornamental iron work and iron stairs, mail chute, refrigerator equipment, elevators, hollow tile, cement floors, slag roof. Architect taking bids due March 7th.

**Basement of Parish House**, Front and Roosevelt Boulevard, Philadelphia. Architect, Horace Wells Sellers, Stephen Girard Building, Philadelphia. Owners, St. Gabriel's Protestant Episcopal Church, William T. Metz, 137 East Wyoming avenue, Philadelphia. Stone, 1 story, 83x61 feet, slag roof, pine floors, steam heat, electric light. Architect taking bids due as soon as possible.

**Delaware River Bridge**, Contracts No. 13-No. 14. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Owners taking bids due March 19th at 2.30 P. M. Contract No. 13, cable bands, suspenders, hand rope to be erected upon main cables of bridge between two anchorages, furnishing material, erection and ready for attachment to suspended structure. Bond (50 per cent.) and certified check for \$15,000 required. Deposit, \$15.00. Refund, \$15.00. Contract No. 14, stiffening trusses, laterals and floor system of main bridge between two anchorages, carbon steel, two grades of high tensile steel to

be used. Bond (50 per cent.) and certified check for \$100,000 required. Deposit, \$25.00. Refund, \$25.00.

**Apartment House**, Northwest Corner Nineteenth and Walnut streets, Philadelphia. Architect, Leroy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Heymann Brothers, 213 South Broad street, Philadelphia. Brick, cut stone, granite, limestone, 20 stories and basement, 49x136 feet, slag roof, cement and oak floors, elevators, shoring, waterproofing and dampproofing, caulking, ornamental iron work and stairs, bond, hollow metal doors, rolled steel skylights, hollow metal sash, tile work, metal lath, electric light, vacuum heat. Architect taking bids due March 10th at 4 P. M.

**Garage**, Stafford street, Germantown, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Alphonso Cassella, on premises. Brick, 1 story, 15x20 feet, slag roof, cement floors, electric light. Owner taking bids.

**Sunday School**, Sixty-third and Elmwood avenue, Philadelphia. Architect, Edward F. Janke, care of owner. Owners, Memorial Evangelical Lutheran Church, J. W. H. Heintz, 6335 Elmwood avenue. Stone and brick, basement, 1 and 2 stories, 36x76 feet (plumbing, heating, electric reserved), slag roof, pine floors, metal lath, tile work, metal ceilings, ornamental iron work. Owners taking bids due as soon as possible.

**Warehouse**, Northeast Corner Germantown Avenue and Roy street, Philadelphia. Architects, Thompson & Yocum, 703 South Sixtieth street, Philadelphia. Owners, North Philadelphia Supply Co., 3233 Germantown avenue, Philadelphia. Brick and steel, 4 stories, 100x50 feet (plumbing, heating and electric light reserved), slag roof, pine floors, rolled steel sash. Owners taking bids due March 10th.

**Residence (alts. and add.)**, 1928 Panama street, Philadelphia. Architect, Spencer Roberts, 10 South Eighteenth street, Philadelphia. Owner, Mrs. George J. Bergen, on premises. Brick, cut stone, steel, 3 stories and basement, 8x17 feet, slag roof, oak floors, plumbing (heating, electric, finished hardware, leaded glass reserved), metal lath, tile work, galvanized iron skylights, ornamental iron work. Architect taking bids due March 10th.

**Residence (alts. and add.)**, 228 West Cheltenham avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Charles H. Collins, 219 North Broad street, Philadelphia. Brick, cut stone, steel, iron work, carpentry and mill work, hardware, sheet metal work, plastering, plumbing, painting (heating reserved), electric light, bond. Architect taking bids due as soon as possible.

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**Residence (alts.)**, 2031 Delancey street, Philadelphia. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owner, Mr. J. Y. Brinton, on premises. Plastering, iron work, marble work, carpentry and mill work, painting and glazing. Architect taking bids due as soon as possible.

**Sheds (2)**, Delaware and Snyder avenues, Philadelphia. Architect, private plans. Owners, United States Marine Q. M., 1100 South Broad street, Philadelphia. Low bidders: A. & G. Bohem, Fifteenth and Federal streets, Philadelphia: Item No. 1, \$5,800; Item No. 2, \$2,400. Kaufman Const. Co., North American Building: Item No. 1, \$6,648. Charles McCaul Co., 1713 Sansom street, Philadelphia: Item No. 2, \$2,400.

**Art Museum**, Fairmount Park, Philadelphia. Architects, Borie, Trumbauer & Zantinger, Land Title and Otis Buildings. Owners, Fairmount Park Commissioners, 127 City Hall, Philadelphia. Low bidders: F. W. Mark Const. Co., Commercial Trust Building, Philadelphia: No. 1, \$2,049,000; No. 2, \$2,415,600; No. 3, \$120,200; No. 4, \$1,859,200. George A. Fuller, Morris Building, Philadelphia: No. 1, \$2,206,000; No. 2, \$2,430,000; No. 3, \$2,094,000; No. 4, \$1,848,000.

**Alterations**, Second below Jefferson street, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Michael's Roman Catholic Church, on premises. Concrete and brick work, plastering, iron fence. Architect will sub-let.

**Residences (16)**, Forty-eighth and Osage avenue, Philadelphia, \$121,000. Architect, private plans. Owner, Joseph K. Seidle, 5213 Chestnut street, Philadelphia. Brick, 2 stories, (14) 16x33 feet, 12x10 feet, (2) 16x44 feet, hot water heat, electric light. Owner will build.

**Residence and Store (2)**, Northeast Corner Fifty-sixth and Upland Way, \$10,00, and Fifty-fourth and Montgomery avenue, \$10,000. **Residences (42)**, Fifty-fourth and Montgomery avenue, Philadelphia, \$6,500 each. Owners, Magen, Gussman & Midway, 6107 Pine street, Philadelphia. Brick, 2 stories, (1) irregular shape, (1) 16x48 feet and (42) 16x30 feet, 13x11 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2)**, North side Disston street, West of Frontenac, \$5,000 each. Architect, private plans. Owner, E. R. Gus Roesler, 2026 North Park avenue, Philadelphia. Frame, 3 stories, 16x40 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, East side Montour street, North of Shelmire, \$5,000 each. Architect, private plans. Owner, J. H. Kull, 2465 North Gratz street, Philadelphia. Frame, 2 stories, 16x34 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, North side Rawle street, West of Hegerman street, Philadelphia, \$3,500. Architect, private plans. Owner, Walter A. Judd, 6704 Torresdale avenue, Philadelphia. Brick, 1 story, 18x104 feet, slag roof, cement floors. Owner will build.

**Garage**, 1928-30 North Uber street, Philadelphia, \$3,000. Architect, private plans. Owner, Samuel Thomas, 1931 North Twentieth street, Philadelphia. Brick, 1 story, 18x104 feet, slag roof, cement floors. Owner will build.

**Residences (64)**, -Wheeler street, Seventieth to Seventy-first, \$320,800. Architect, private plans. Owners, Shapiro & Reed, 1530 South Fifty-seventh street, Philadelphia. Brick, 2 stories, 16x31 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Workshop**, 3519-23 Lancaster avenue, Philadelphia, \$18,000. Architect, private plans. Owner, D. Henwood, 717 South Sixty-third street, Philadelphia. Brick, 1 story, 50 feet, 10 inches x 67 feet, slag roof, cement floors, electric lighting. Owner will build.

**Garage**, South side Dicks avenue, West of Sixty-second street, Philadelphia, \$20,000. Architect, private plans. Owner, B. W. Glover, 5300 Chestnut street, Philadelphia. Brick, 1 story, 80x114x100 feet, slag roof, cement floors. Owner will build.

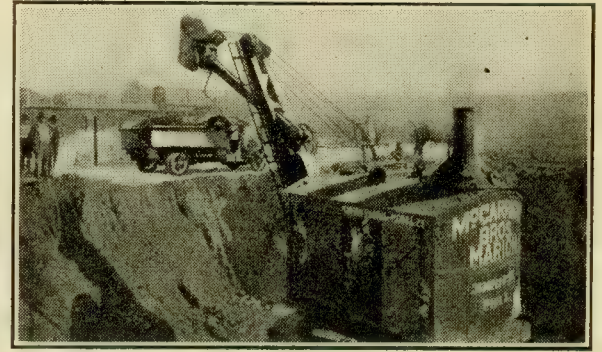
**Building (alts.)**, 1706-20 Washington avenue, Philadelphia, \$10,000. Architect, private plans. Owner, Daniel W. Simkins, 834 Land Title Building, Philadelphia. General alterations. Owner will build.

**Theatres (2) (alts.)**, (1) Broad and Loudon streets, \$6,900, and (1) Eleventh and Market streets, Philadelphia, \$6,500. Architects, Hoffman-Henon Co., Finance Building, Philadelphia. Owners, Stanley Co. of America, 1916 Race street, Philadelphia. Alterations to marquee. Architects will build.

**Apartments (2) (alts. and add.)**, 3728-30 Mt. Vernon street, \$5,000 each. Architect, I. W. Levin, 1001 Chestnut street, Philadelphia. Owner, S. Fisher, et al., 3803 Poplar street, Philadelphia. Brick, third story add., 12x50 feet, general alterations. Owner will build.

**Stores (2)**, Montgomery avenue and Watts street, Philadelphia, \$29,000. Architect, private plans. Owner, H. Liebovitz, 4045 Baltimore avenue, Philadelphia. Brick, 1 story, 16x50 feet and 14x29 feet. Owner will build.

**Residences (6) and Garage (1)**, Torresdale avenue, Hegerman and Van Dyke streets, Philadelphia, \$60,000. Architect, private plans. Owners, Terminal Const. Co., 6019 Market street, Philadelphia. Brick, 2 stories, 16x29 feet, 13x10 feet, hardwood and pine floors, slag roof, hot water heat, electric



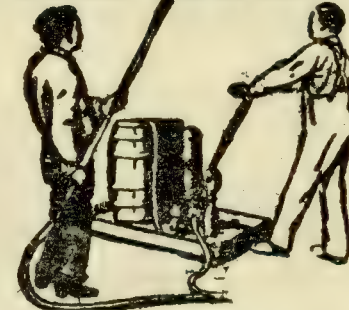
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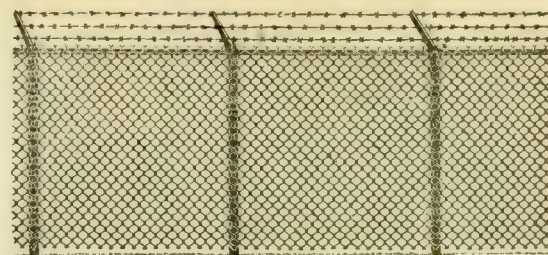
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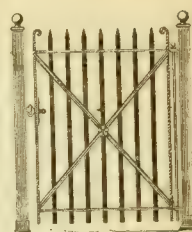
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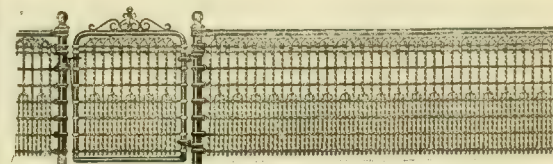
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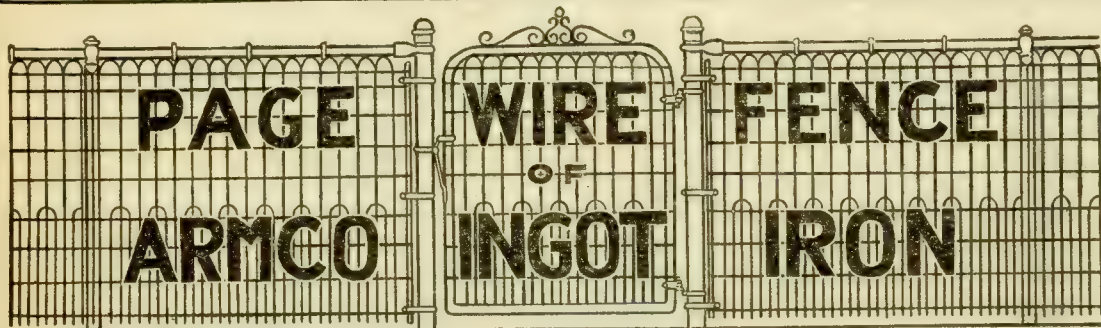
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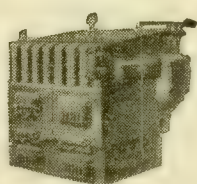


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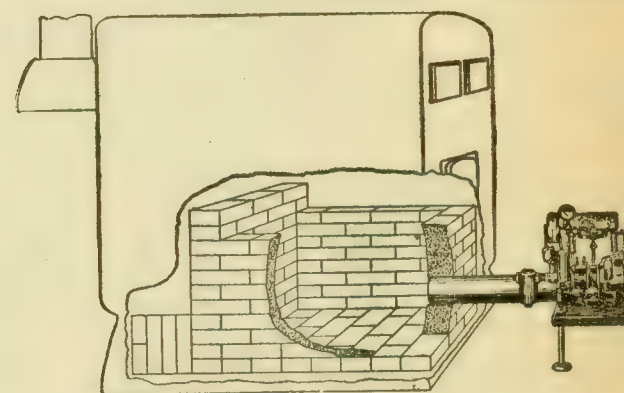
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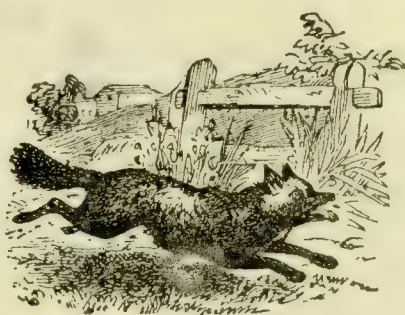
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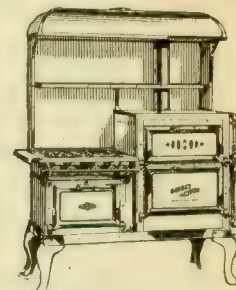
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light, garage, 1 story, 147x87 feet, 54x75 feet, cement floors, slag roof. Owners will build.

**Store and Residence (alts. and add.),** 1309 North Fifty-second street, \$6,000. Architect, private plans. Owner, Joseph Sheffin, on premises. Brick, 2 stories add., 17x15 feet, 15x10 feet adn 21x13 feet, general alterations. Owner will build.

**Residences (4),** South side Johnson street, West of Morton, \$12,000 each. Architect, private plans. Owner, William Cooper, 90 East Johnson street, Philadelphia. Stone, 3 stories, 17x10 feet, 20x25 feet, slate and slag roof, hot water heat, electric light, tile work. Owner will build.

**Residences (27), Stores (4),** Pratt, Oakland, Sylvester and Horrocks streets, Philadelphia, \$139,000. Architect, private plans. Owners, George Osborne & Son, 5014 Saul street, Philadelphia. Brick, 3 stories, (4) 16x39 feet, (23) 12x9 feet, 16x29 feet, hot water heat, electric light. Owner will build.

**Garage,** South side City Line, East of Fiftieth street, Philadelphia, \$67,000. Architect, Frank Seeburger, 1524 Chestnut street, Philadelphia. Owner, Thomas F. Reilly, Fiftieth and Overbrook avenue, Philadelphia. Brick, 4 stories, 65x200 feet, slag roof, cement and yellow pine floors, electric light. Owner will build.

**Garages (2),** Northeast Corner Forty-seventh and Chestnut streets, Philadelphia, \$30,000 each. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, B. Bornstein, 1319 Wingohocking street, Philadelphia. Brick, 1 story, 141x210 feet, slag roof, cement floors, steam heat, electric light, rolled steel sash, rolling steel doors. Owner will build.

**Residences (2),** North side Laycock street, West of Seventy-seventh street, \$5,000 each. Architect, private plans. Owner, John Roe, 7748 Laycock street, Philadelphia. Brick, 2 stories, 15x38 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (21),** East side O street, North of Lycoming street, \$5,000 each. Architect, private plans. Owner, Harry F. Dinkelacker, 1612 McKean street, Philadelphia. Brick, 2 stories, 15x30 feet, 11x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Office Building (alts.),** 720 Sansom street, \$3,500. Architect, Arnold Mueller, 901 Wal-

nut street, Philadelphia. Owner, Joseph J. Matz, 735 Sansom street, Philadelphia. General alterations and vapor heating. Architect sub-letting.

**Residences (2),** West side Loretta avenue, South of Griffith street, \$4,000 each. Architect, private plans. Owner, Joseph A. Merz, 5712 North American street, Philadelphia. Brick and frame, 2 stories, 16x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage and Shop,** Northwest Corner Chew and Pleasant streets, Philadelphia, \$2,500. Architect, private plans. Owner, Alexander Guerrina, on premises. Stone, 2 stories, 20x37 feet, cement floors, electric light, pine floors. Owners will build.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Delaware River Bridge Approaches,** Contracts No. 11-No. 12. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract awarded on Contract No. 11 Philadelphia approaches, Frederick Snare & Co., 1524 Chestnut street, Philadelphia, \$231,000. Contract awarded on Contract No. 12 Camden approaches, H. G. Ley & Co., 716 Raymond street, Philadelphia, \$271,862.50.

**Sunday School Building,** Fifty-sixth and Warrington avenue, Philadelphia. Architects,

Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Angora Baptist Church, on premises. Stone, cut stone, steel, brick, 1 story, 53x60 feet, slag roof, pine and composition floors, plumbing, electric light (heating reserved). Contract awarded Thomas C. Trafford, 1613 Sansom street, Philadelphia.

**Residence (alts.),** 6305 Lancaster avenue, Philadelphia. Architects, Hoffman-Henon, 6305 Lancaster avenue, Philadelphia. Carpentry and mill work, plastering, painting and glazing, partitions and electric work. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

**Store (alts.),** 1528 Chestnut street, Philadelphia. Architects, Seeburger & Rabenold,

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1524 Chestnut street, Philadelphia. Owner, William H. Steigerwalt, 1420 Chestnut street, Philadelphia. Plastering, marble and tile work, structural steel, iron work, brick, cut stone, painting and glazing (electric elevators, plumbing, heating, marble floors reserved), bond. Contract awarded Fred A. Havens, 845 North Nineteenth street, Philadelphia.

**House**, Stenton and Meadowbrook avenues, Philadelphia. Architect, J. Graham, Jr., 10 South Eighteenth street, Philadelphia. Owner, Charles Gibbons Davis, care of architect. Contract awarded to R. C. Borthwick, 6511 Woodstock street, Philadelphia.

**Apartment House**, 1413 Erie avenue, Philadelphia. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, Dr. M. F. Herman, care of architect. Brick, steel, 3 stories, 18x50 feet (plumbing, heating and electric reserved), canvas roof, composition floors, metal lath, tile work. Contract awarded F. & S. Const. Co., 1554 North Sixteenth street, Philadelphia.

**Residence (alts. and add.)**, 8316 Seminole avenue, Philadelphia. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owner, R. B. Thayer, on premises. Brick work, electric light, shingle roof, floor patching, plastering, painting and glazing. Contract awarded E. R. Hall, 34 South Seventeenth street, Philadelphia.

**Alterations**, 1428 Walnut street, Philadelphia. Architect, Arthur Brockie, 254 South Fifteenth street, Philadelphia. Owner, C. D. Barney, on premises. Electric light, marble work, painting and glazing. Carpentry and mill work. Contract awarded Ketcham & McQuade, 1029 Brown street, Philadelphia.

**Stores and Apartment (alts. and add.)**, 4915 Wayne avenue, Philadelphia. Architect, W. J. Henkles, 106 West Highland avenue, Chestnut Hill, Pa. Owner, W. Altman, on premises.

ises. Brick, 2 stories, 12x35 feet, electric light, slag roof, hardwood floors, copper bars, plate glass, plumbing. Contract awarded J. T. Phister, Reg., 106 West Highland avenue, Chestnut Hill.

**Residences (26)**, Princeton, Erdrick, Tuson, Comly, Walker and Montague streets, \$137,200. Owner, Hugh McHenry, 6937 Torresdale avenue, Philadelphia. Brick, 2 stories, 16x42 feet, (6) 18x34 feet, 20x13 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to John G. Stevenson, 7014 Hegerman street, Philadelphia.

**Factory**, Hunting Park avenue, East of Fox street, \$71,000. Architect, private plans. Owners, Metalweld Service Corporation, 1435 North Thirty-first street, Philadelphia. Steel, brick, 2 stories, 83x26 feet, 1 story, 82x120 feet, slag roof, rolled steel sash, tin-clad doors (heating reserved). Contract awarded to A. Raymond Raff Co., 1635 West Thompson street.

**Residences and Stores (3) (add.)**, East side Oxford avenue, North of Loney street, Philadelphia, \$7,950. Owner, George Orvington, Jr., Fox Chase, Philadelphia. Brick, second story adds., 16x18 feet, 28x18 feet and 12x18 feet. Contract awarded to Joseph Ashby, Fox Chase, Philadelphia.

**Residences (3)**, Fanshaw street, West of Oakley avenue, Philadelphia, \$21,000. Architect, private plans. Owner, Joseph Weber, 5512 North Fifth street, Philadelphia. Brick, (1) 3 stories, 26x36 feet, (2) 2 stories, 16x38

feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to S. F. Zimmerman, 6137 Bingham street, Philadelphia.

**Garage and Show Room**, East side Fifteenth street, South of Wyoming avenue, \$10,000. Architect, private plans. Owner, Max Hexter, 1425 Olney avenue, Philadelphia. Brick, 1 story, 30x50 feet, 50x30 feet, slag roof, cement floors. Contract awarded to Harry H. Helms, 103 Johnson street, Oaklyn, N. J.

**Residence and Store**, 4700 James street, Philadelphia, \$8,500. Architect, private plans. Owner, Joseph Dombroski, 4653 Stiles street, Philadelphia. Brick, 2 stories, 20x66 feet, 1 story, 13x13 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Alex. Jastrzembski, 4539 Bermuda street.

**Residence**, 818 Cheltenham avenue, Philadelphia, \$7,700. Architect, A. Wiggs, 740 Sentner street, Philadelphia. Owner, Charles T. Fox, 721 Cheltenham avenue, Philadelphia. Brick, 3 stories, 16x28 feet, 2 stories, 16x28 feet, hot water heat, electric light, tile work, hardwood and pine floors. Contract awarded to F. Wiggs & Son, 740 Sentner street, Philadelphia.

**Residence (add.)**, 7922 Germantown avenue, Philadelphia, \$2,200. Architect, private plans. Owner, John De Lonso, Mermaid Lane, Chestnut Hill, Philadelphia. Brick, 2 stories add., 14x14 feet, slag roof. Contract awarded to Harry Moore, Erdenheim, Pa.

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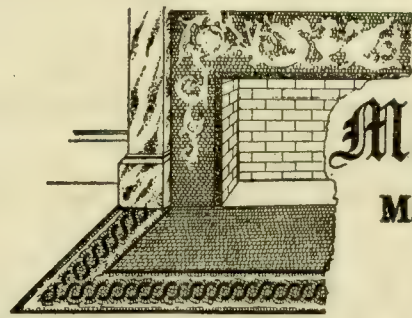
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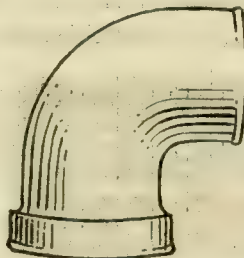
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**Store and Residence (alts.),** Northeast Corner Twenty-sixth and Girard avenue, \$2,000. Owner, Samuel Bennan, on premises. General alterations. Contract awarded to P. Hainbach Cont. Co., 1261 North Twenty-sixth street, Philadelphia.

**Residence and Store (alts. and add.),** 2609 Germantown avenue, \$5,500. Architect, private plans. Owner, Morris Lubick, on premises. Brick, 2 stories, 16x18 feet, 1 story, 3x12 feet, general alterations. Contract awarded to Louis Feldhser, 3147 Fontain street, Philadelphia.

**Store and Residence (alts. and add.),** Marvine and Loudon streets, \$5,200. Architect, private plans. Owner, J. Goldfine, 4753 North Eleventh street, Philadelphia. Brick, 1 story, 16x8 feet, 9 inches and 12x16 feet, general alterations. Contract awarded to Samuel Shecter, 4643 North Tenth street, Philadelphia.

**Residences and Stores (alts. and add.),** Southeast Corner Fifth and Erie avenue, \$5,000. Architect, private plans. Owner, Max Bott, 3532 North Fifth street, Philadelphia. Brick, 1 story, 4x42 feet, general alterations. Contract awarded to R. K. Hutter, 3599 North Fifth street, Philadelphia.

**Manufacturing Building (add.),** South side Adams avenue, West of Factory street, \$5,000. Architect, private plans. Owner, Mogowan Mills Co., on premises. Brick, 4 stories add., 15 feet, 4 inches x 13 feet. Contract awarded to Harry Hetzel & Son, 1542 Womrath street, Philadelphia.

**Factory (repairs),** 1750 North Front street, Philadelphia, \$7,100. Architect, private plans. Owners, H. Siemon & Sons, on premises. Carpentry, mill work, slag roof, steel sash, structural steel, general fire repairs. Contract awarded to Frank L. Martindale, 2216 Chestnut street, Philadelphia.

**Warehouse (alts.),** 30 North Front street, Philadelphia, \$5,600. Architect, private plans. Owners, Girard Estate, Lafayette Building, Philadelphia. Elevator shaft. Contract awarded to Girard Elevator Co., 325 Cherry street, Philadelphia.

**Workshop,** 2018 South Juniper street, Philadelphia, \$5,000. Architect, private plans. Owner, Frank A. Balls, 1422 Snyder avenue, Philadelphia. Brick, 3 stories, 20x45 feet, slag roof, pine floors, electric work. Contract awarded to William G. Uhler & Sons, Twenty-fifth and Snyder avenue, Philadelphia.

**Store and Residence (alts.),** 623 West Girard avenue, \$4,000. Architect, private plans. Owner, J. K. Neideta, on premises. General alterations. Contract awarded to J. Maurer & Co., 1304 North Second street, Philadelphia.

**Store and Residence (alts.),** 21 East Cheltenham avenue, Philadelphia, \$2,400. Architect, private plans. Owner, M. Cohen, on premises. General alterations. Contract awarded to Max Cutler, 1220 North Forty-second street, Philadelphia.

**Apartment House (alts. and add.),** 736 North Twentieth street, \$7,000. Architect, private plans. Owner, A. Stark, 740 North Twentieth street, Philadelphia. Brick, 2 stories add., 12x15 feet, general alterations. Contract awarded to Charles Schnitzer, 4502 York Road, Philadelphia.

**Residence and Store (alts.),** 1011 Girard avenue, Philadelphia, \$2,800. Architect, private plans. Owner, Michael Romm, on premises. General alterations. Contract awarded to Carl Jacobs, 1313 North Twelfth street, Philadelphia.

**Residence (add.),** 6388 Overbrook avenue, Philadelphia, \$3,300. Architect, private plans. Owner, George W. Magee, on premises. Brick, 1 story add., 18 feet, 9 inches x 21 feet, 6 inches, heating extension, electric lighting. Contract awarded to M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Garage,** 1530 North Lambert street, Philadelphia, \$2,500. Architect, private plans. Owner, James F. Perrin, 2069 Ridge avenue, Philadelphia. Brick, 1 story, 16x90 feet, slag roof, cement floors. Contract awarded to M. Oliver, 1703 North Twenty-first street, Philadelphia.

**Residences (2),** North side Rhawn street, West of Castor Road, total \$11,500. Architect, private plans. Owner, L. H. James, 2633 North Thirty-third street, Philadelphia. Frame, 2 stories, 18x38 feet, hardwood and pine floors, hot water heat, electric light. Contract awarded to William T. Garrison, 1338 North Tenth street, Philadelphia.

**Garage,** 5121-23 North Warnock street, Philadelphia, \$6,500. Architect, private plans. Owner, B. Blumberg, on premises. Brick, 1 story, 50x52 feet, slag roof, cement floors. Contract awarded to Morris Yackowitz, 4544 North Warnock street.

**Distillery (alts. and add.),** Northwest Corner Swanson and Snyder avenue, \$7,500. Architect, J. S. Fuller, 5434 Locust street, Philadelphia. Owners, Publicker Commercial Alcohol, on premises. Steel and brick, 2 stories, 35x50 feet, general alterations, slag roof. Contract awarded to Samuel Levine, 1631 South Fifth street, Philadelphia.

**Apartment (alts.),** 259 Green Lane, Philadelphia, \$2,000. Architect, private plans. Owner, L. Phillips, 4461 Silverwood street, Philadelphia. General alterations. Contract awarded to W. A. Greiner, care of owner.

**Garage,** 736 North Twentieth street, Philadelphia, \$3,000. Architect, private plans. Owner, A. Stark, 740 North Twentieth street, Philadelphia. Brick, 2 stories, 17x34 feet, slag roof, cement floors. Contract awarded to A. Schnitzer, 4502 York Road, Philadelphia.

**Garage (add.),** Northeast Corner Hancock and Jackson streets, \$2,000. Architect, private plans. Owner, Ida Keller, 620 Mifflin street, Philadelphia. Brick, 1 story add., 15x10 feet, slag roof, cement floors. Contract awarded to Benj. Kauffman, 5227 Jefferson street.

**Building (repairs),** 735 Callowhill street, Philadelphia, \$15,000. Owners, Kingan Provision Co., on premises. General fire repairs. Contract awarded to A. Raymond Raff Co., 1635 Thompson street, Philadelphia.

**Store and Residence (alts. and add.),** 4050 Girard avenue, \$3,800. Architect, private plans. Owner, Philip Green, 4018 Girard avenue, Philadelphia. Brick, 1 story, 8x12 feet, 4x21 feet, general alterations. Contract awarded to Saidel Const. Co., 5149 Walnut street, Philadelphia.

**Manufacturing Building (alts.),** Northwest Corner Twenty-third and Manning streets, \$3,000. Architect, private plans. Owners, Crane's Ice Cream Co., on premises. Cement work, general alterations. Contract awarded to Drehmann Paving Co., 508 Glenwood avenue.

**Store and Residence (alts. and add.),** 5478 Arlington street, \$2,600. Architect, private plans. Owner, Nathan Borenstein, 1713 North Fifty-second street, Philadelphia. Brick, 1 story, 37x15x27 feet, general alterations. Contract awarded to B. Tilzer, 2352 North Reese street, Philadelphia.

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**Workshop**, rear 725-31 Delancy street, Philadelphia, \$2,000. Architect, private plans. Owners, St. Joseph's Home, on premises. Brick, 2 stories, 14x18 feet. Contract awarded to James McCann, 909 North Nineteenth street, Philadelphia.

**Residence**, Northwest Corner Shelmire and Doreas streets, Philadelphia, \$5,300. Architect, private plans. Owner, William G. Patton, Rockledge, Pa. Frame, 2 stories, 22x26 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Frederick Scheible, 3467 Jasper street, Philadelphia.

**Garage**, Trenton avenue and Somerset street, Philadelphia. Architect, private plans. Owner, name withheld. Brick and steel, 1 story, 30x30 feet, slag roof, cement floors. Contract awarded John N. Gill Const. Co., City Center Building, Philadelphia.

**Apartment House**, Northeast Corner Union and Brown streets, Philadelphia, \$18,500. Architect, private plans. Owner, Joseph Brooks, 320 Diamond street, Philadelphia. Brick, 3 stories, 23x82 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Charles Schnitzer, 4502 York Road, Philadelphia.

**Residence**, East side Lawndale avenue, South of Cottman street, \$5,500. Architect, private plans. Owner, Russell Gratz, 3310 Mutter street, Philadelphia. Brick, 2 stories, 16x39 feet, and 1 story, 10x6 feet, hot water heat, electric light, tile work, hardwood and pine floors. Contract awarded to L. F. Supper, 5619 North Second street, Philadelphia.

**Residence (add.)**, 717-19 Jackson street, Philadelphia, \$4,700. Architect, private plans. Owners, Franklin Day Nursery, on premises. Brick, 2 stories, 11x25 feet, slag roof. Contract awarded to Albert H. Moorshead, 67 Laurel street, Philadelphia.

**Manufacturing Building (alts.)**, 1012-18 West Dakota street, \$30,000. Architect, private plans. Owners, A. C. Krumm & Son, 1010 West Dakota street, Philadelphia. Brick fire tower, elevator shaft, slag roof, skylights. Contract awarded to P. Haibach Cont. Co., 1261 North Twenty-sixth street, Philadelphia.

**Stores and Apartments (alts. and add.)**, 3639 Chestnut street, \$12,000. Architect, Charles F. Schaef, 11 South Sixteenth street, Philadelphia. Owner, Joseph Rabinowitz, Shubert Building, Philadelphia. Brick, 2 stories, 30x15 feet, 26x64 feet, general alterations. Contract awarded to A. S. Shafer, 4233 Walnut street, Philadelphia.

**Garage**, 4721 Leiper street, Philadelphia, \$7,000. Architect, private plans. Owner, Wallace Wilson, 4721 Leiper street, Philadelphia. Brick, 1 story, 36x108 feet, slag roof, cement floors, hot water heat. Contract awarded to H. E. Wrightwood, 1660 Foulkrod street, Philadelphia.

**Residence**, Southwest Corner Cottman and Oakley streets, Philadelphia, \$5,000. Architect, private plans. Owner, S. Diringer, 7249 Rising Sun avenue, Philadelphia. Brick and frame, 2 stories, 15x37 feet, 10x10 feet, hot water heat, electric light, hardwood and pine floors. Contract awarded to Joseph Diringer, 7249 Rising Sun avenue, Philadelphia.

**Residence and Shop (add.)**, 1743 North Tilghman street, \$4,000. Owner, Mary Dunlavey, on premises. Brick, 2 stories add., 12x30 feet. Contract awarded to James T.

Murphy, 1712 North Second street, Philadelphia.

**Residence**, West Upsal and Jefferson street, Philadelphia. Architect, Edwin Yeo, 225 South Sydenham street, Philadelphia. Owner, Louis G. Green, care of architect. Stone and brick, 2½ stories, irregular size (plumbing, heating, tile, electric reserved), shingle roof, oak and pine floors. Contract awarded Hesswin Co., 2047 Arch street, \$22,000.

**Road Work**, Philadelphia. Architect, private plans. Owners, Philadelphia & Reading R. R. Co., Reading Terminal, Philadelphia. Road work, Ashland avenue and Belmont ave-

nue, North of Manayunk, and lowering grade of Belmont avenue under Philadelphia & Reading Bridge (arch). Contract awarded Smith Callahan Co., care of owner.

**Residence**, Westview street, Germantown, Pa. Architects, Mellor, Meigs & Howe, 205 South Juniper street, Philadelphia. Owner, Edward Baines, 104 Harvey street, Philadelphia. Stone, cut stone, 2½ stories, 45x43 feet, wing 55x22 feet (heating, electric reserved), copper roof, oak and pine floors, composition, plumbing, metal lath, tile and marble work, bond, ornamental iron work. Contract awarded H. H. Burrell, 206 South Quince street, Philadelphia, \$45,000.

## PENNSYLVANIA

# Construction News

**Cathedral**, Altoona, Pa. Architect, George I. Lovatt, 416 Walnut street, Philadelphia. Owners, Cathedral of the Blessed Sacrament, Diocese of Altoona, Right Rev. Bishop J. J. McCort, Altoona. Working plans in progress.

**Convent**, Race street, Shamokin, Pa. Architect, Paul A. Monaghan, 1713 Sansom street, Philadelphia. Owners, St. Stanislaus' Roman Catholic Church, Rev. A. Topolonski, 106 Cherry street, Shamokin, Pa. Brick, 3 stories. Architect taking bids due March 19th.

**Hotel and (5) Stores**, Milton, Pa. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel and stone, 4 stories and basement, 44x165 feet, slag roof, cement and pine floors, hollow tile, metal lath, elevators, safety treads, roof ventilators, metal window guards, metal ceilings, waterproofing and dampproofing, ornamental iron work and stairs, floor hardener, metal bulks, bond, store fixtures, fire and kalamein doors, hollow metal skylights and sash, tile and marble work, electric light, steam heat, demolition. Preliminary plans in progress.

**Grade School**, Upper Leacock, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, Upper Leacock Township School Board, S. W. Ranek, Mechanicsburg, Pa. Brick, 2 stories. Architect selected.

**Country Club**, Carlisle, Pa. Architect, H. E. Yessler, Rupp Building, York, Pa. Owners, Carlisle Country Club, S. W. Prettyman, Carlisle, Pa. Frame, 2 stories, 100x60 feet. Preliminary plans in progress.

**Residence**, Shiremanstown, Pa., \$20,000. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Frank Eberly, Shiremanstown, Pa. Brick, 2½ stories, 30x40 feet. Plans in progress.

**Residence and Garage**, Narberth, Pa. Architect, Ellery K. Taylor, Franklin Bank Building, Philadelphia. Owner, O. V. Kruse, care of architect. Hollow tile and stucco, 2½ stories and 1½ stories, slate roof, hardwood floors, hot air heat, electric light, tile and marble work. Preliminary plans in progress.

**Bungalow**, Welsh Road and Park avenue, Willow Grove Heights, Pa. Architect, M. Capabianco, 721 Walnut street, Philadelphia. Owner, John Agobino, 1836 East Passyunk

avenue, Philadelphia. Brick, 1½ stories, 26x42 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work, plumbing. Plans completed. Owner and architect taking bids due in one week.

**Residence**, Lawndale, Pa. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, name withheld. Brick, 2½ stories, 30x35 feet, hot water heat, electric light, tile work, asbestos shingle roof, pine floors. Plans in progress. Architect will be ready for bids in one week.

**Office Building**, Center Square, Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Conestoga Traction Co., W. W. Greist, president, 15 East Orange street, Lancaster, Pa. Granite, terra cotta, steel, 14 stories, 60x66 feet, tile roof, composition and various floors, hollow tile, (3) elevators, electric light, metal lath, tile and marble work, rolled steel sash and skylights. Architect will sub-let steel and elevators. Foundation Co., 120 Liberty street, New York, will sub-let all other items.

**Parsonage**, Strasburg, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, Wesley Methodist Episcopal Church, Rev. C. M. Haddamag, Strasburg, Pa. Brick, 2½ stories, 28x32 feet, slate roof, hardwood floors, hot water heat, electric light. Owners will build.

**School (alts. and add.)**, Strasburg, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owners, School Board, Mr. Stauffer, secretary, Strasburg, Pa. Brick, 2 stories, irregular size, slag roof, hardwood floors. Architect ready for bids due March 15th.

**Residence**, Harrisburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, H. R. Beaver, 2053 Swatara street, Harrisburg, Pa. Stone, stucco, 1½ stories, 37x45 feet, slate roof, hardwood and cement floors, electric light, tile work, cut stone. Architect ready for bids.

**Apartments (3) (alts.), Residence and Garage (add.)**, Reading, Pa. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owner, Adam Makowski, 156 Buttonwood street, Reading, Pa. Plumbing, electric light, metal lath, brick, 2 story add., 19x50 feet, concrete foundations, tin roof, hot water heat. Plans in progress.

**Residence**, Phoenixville, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royers-

**Steam  
Shovel  
Excavating**

**JOHN F. MCDEVITT**  
1403 North 20th Street  
Poplar 3816  
Philadelphia, Pa.



ford, Pa. Owner, James McDade, 311 Franklin avenue, Phoenixville, Pa. Brick, stone, 2½ stories, 28x38 feet, asbestos and tin roof, yellow pine floors, steam heat, electric light. Plans in progress. Owner will take bids.

**Double Residence**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Edwin G. Graff, Main street and Seventh avenue, Royersford, Pa. Cement block, 2½ stories, 28x38 feet, asbestos roof, maple floors, pipeless heat, electric light, Morgan doors. Plans completed. Owner will take bids.

**Residences (8)**, Columbia Pike, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, A. Lewitas, 101 Pearl street (rear), Lancaster, Pa. Brick, 2½ stories, 20x45 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Garage**, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, E. R. Miller, 16 North Charlotte street, Lancaster, Pa. Brick, steel, 1 story, 75x150 feet, composition roof, concrete floors, steam heat, electric light, rolled steel sash and skylights, fire doors. Plans in progress.

**Residence**, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, A. Reith, Lancaster, Pa. Brick, 2½ stories, 20x45 feet, slate roof, hardwood floors, hot water heat, electric light. Plans in progress.

**Church**, Wilkes-Barre, Pa. Architect, Emil G. Perot, 1211 Arch street, Philadelphia. Owners, St. Mary's Roman Catholic Church, Rev. J. H. Curran, Wilkes-Barre, Pa. Brick, cut stone, reinforced concrete and stone, slate roof, linoleum, composition, pine and cement floors, electric light, metal lath, tile and marble work, bond, iron work, waterproofing, terra cotta. Architect taking bids due March 11th.

**Warehouse, Show Rooms and Storage Shed**, Wilkes-Barre, Pa. Architects, McCormick & French, Wilkes-Barre, Pa. Owners, Haines, Jones & Cadbury Co., 1136 Ridge avenue, Philadelphia. Brick, steel, 4 stories and basement, 97x56 feet (heating reserved), rubberoid roof, cement and maple floors, ornamental iron work, iron stairs, bond, rolled steel sash, tile work, metal lath, electric light. Architects taking bids due March 7th.

**Church and Parsonage**, Lebanon, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Holy Trinity Lutheran Church, Rev. C. E. Keim, Lebanon, Pa. Stone, structural steel, 1 story and basement, 145x72 feet, and 2 stories, 42x59 feet, slate and composition roof, hardwood floors, hollow tile, metal lath, steam heat, electric light, tile work, ornamental iron work. Architects and owners taking bids due March 19th.

**High School**, Reading, Pa. Architect, E. Z. Scholl, 136 Robeson street, Reading, Pa. Owners, Lower Alsace Township School Board, G. J. Geile, secretary, Stoney Creek Mills, Berks County, Pa. Brick, steel, 3 stories, 216x183 feet, built-up roof, hardwood floors (heating, electric work and plumbing reserved), tile and marble work, iron stairs, safety treads, roof ventilators. Owners taking bids due March 25th.

**School**, Hershey, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owner, M. S. Hershey, Hershey, Pa. Brick, steel, 2 and 4 stories, 222x169 feet, composition roof, hardwood and cement floors, steam heat, electric light, metal lath, tile work, hollow tile, safety treads, roof ventilators, terra cotta, ornamental iron work, Indiana limestone. Owner will build.

**Residences**, Walnut street, Lancaster, Pa., \$25,000. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, Joseph Jacobs, Lancaster, Pa. Brick, stucco, 2½

stories, 46x45 feet, tile roof, hardwood floors, hot water heat, electric light, tile work. Architect taking bids due March 8th.

**Club House and Store (alts. and add.)**, East Market street, West Chester, Pa. Architect, Harry M. Burns, 112 East Gay street, West Chester, Pa. Owners, Star Social Club, on premises. Frame, 3 story, 20x25 feet, tin roof, pine floors, general alterations to old building. Architect will be ready for bids in a week.

**High School**, Windber, Somerset County, Pa., \$140,000. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, Board of Education, Windber, Pa. Stone and brick, 2 stories, 162x47 feet, 103x68 feet, built-up asbestos roof, electric work. Plans and specification completed. Owners taking bids, due March 5th.

**Residence**, Manoa Park, Delaware County, Pa. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoa Heights, Delaware County. Owner and builder, J. H. Hutt, 5919 Spruce street, Philadelphia. Frame and stucco, 2½ stories, 26x28 feet, hot water heat, electric light, shingle roof, pine and oak floors. Owner taking sub-bids.

**Store Building (add.)**, 10-12 West Fourth street, Chester, Pa. Architect, Jesse Hoekstra, 1713 Sansom street, Philadelphia. Owner, Simon Bruner, Chester, Pa. Brick, 3 stories, 62x39 feet, slag roof, cement, pine and oak floors, steam heat, electric light, rolled steel skylights, metal ceilings. Architect taking bids due March 10th.

**Building (alts. and add.)**, Camp Hill, Pa. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Manufacturers' Country Club, Camp Hill, Pa. Stone, brick, cut stone, steel, 2 stories and basement, 108x33 feet, wing 50x47 feet, wing 41x31 feet, wing 63x32 feet, slate roof, cement and oak floors, tile and marble work, copper skylights, bond. Architects taking bids due March 7th.

**Bridges (2)**, Route 131, ½ miles above and 1½ miles below Oxford, Chester County, Pa. County Engineer, A. K. Ellis, West Chester, Pa. Owners, Chester County Commissioner, West Chester, Pa. Reinforced concrete and steel. Owners taking bids due March 17th.

## Pennsylvania Contracts Awarded

**Residence (alts. and add.)**, Gray's Lane, Haverford, Pa. Architects, Savery & Sheetz, Stephen Girard Building, Philadelphia. Owner, William H. Swain, care of architect. Stone, cut stone, hollow tile and stucco, 2 stories, 28x22 feet, plumbing, heating, electric light, slate roof, cement and oak floors, reinforced concrete work, carpentry and mill work, sheet metal work, hardware, painting and glazing, plastering, bond. Contract awarded H. E. Grau, 1707 Sansom street, Philadelphia.

**Residence (alts. and add., fire repairs)**, Radnor, Pa. Architect, H. Trumbauer, and associate architect, Burrell Hoffman, Land Title Building. Owner, James F. Sullivan, Market Street National Bank, 1107 Market street, Philadelphia. Brick, cut stone, limestone, steel, hot water heat, electric light, tile and marble work, bond, ornamental iron work, slate roof, oak and pine floors, damp-proofing, dreadnought mastic floors. Contract awarded to Milton W. Young, 2037 North Sixty-third street, Philadelphia.

**Bakery**, 528-30 Moss street, Reading, Pa. Architect, Earl Hickman, 148 South Fifth street, Reading, Pa. Owner, E. J. Faller, on premises. Brick, steel, 2 stories, 40x100 feet, composition roof, maple floors, roof ventila-

tors, freight elevators, steam heat, electric light, metal lath, rolled steel sash, galvanized iron skylights. Contract awarded to D. Mauer Sons, 232 North Eleventh street, Reading.

**Apartment House (alts.)**, Lancaster avenue and Gordon Road, Haverford. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Mrs. C. Devenny, care of architect. Brick, cut stone (heating reserved), electric light, metal lath, ornamental iron work, roof repairs, plastering, painting, carpentry, mill work, plumbing, hardware, structural steel work. Contract awarded George Sherm, 709 South Fifty-ninth street, Philadelphia.

**Club House and Store**, West Gay street, West Chester, Pa. Architect, Harry M. Burns, 112 East Gay street, West Chester, Pa. Owner, B. P. O. E., on premises. Composition and hardwood floors, plumbing, copper bars, plate glass, central steam heat, electric light. Contract awarded Eugene Groff, West Chester, Pa.

**Church and School**, Oil City, Pa. Architects, C. W. Bolton & Son, Witherspoon Building, Philadelphia. Owners, The Trinity Methodist Church, Van Peters, Oil City, Pa. Stone, 1 and 2 stories, 120x130 feet. Contract awarded Mr. Bouquoin, Oil City, Pa.

**School**, Steelton, Pa. Architects, Johnson & Starr, 9 North Second street, Harrisburg, Pa. Owners, St. Peter's Parish School, Rev. L. Gladek, Steelton, Pa. Brick, 2 stories, 36x74 feet, slag roof, pine floors, roof ventilators, metal lath (heating, electric lighting and plumbing reserved). Contract awarded to J. P. Croll, Steelton, Pa.

**High School**, St. Mary's, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, St. Mary's Borough School Board, St. Mary's, Pa. Contract awarded to Hyde Murphy Co., Ridgway, Pa., \$126,500.

**Shop (alts. and add.)**, 949 North Third street, Reading, Pa. Architect, Earl Hickman, 148 South Fifth street, Reading, Pa. Owner, P. O. Keppleman, 949 North Third street, Reading, Pa. Brick, 2 stories, 16x60 feet, tin roof, cork floors, electric lighting. Contract awarded to H. J. Raudenbush, 1324 Perkiomen avenue, Reading, Pa.

**Apartment and Store**, Eighth and Spring streets, Reading, Pa. Architect, Earl Hickman, 148 South Fifth street, Reading, Pa. Owner, James D. Hafer Estate, 1046 North Eighth street, Reading. Brick, steel, 3 stories, 60x68 feet, composition roof, yellow pine floors, vapor heat, electric light, tile work, plate glass, copper work. Contract awarded to H. J. Raudenbush, 1324 Perkiomen avenue, Reading, Pa.

**High School**, Shippensburg, Pa. Architect, J. A. Dempwolf, Centre Square, York, Pa. Owners, School Board of Shippensburg, C. E. Warren, secretary, Shippensburg, Pa. Brick, stone trim, 2 stories, 60x160 feet, slate roof, hardwood and concrete floors (heating, electric work and plumbing reserved). Contract awarded to A. R. Warner, Waynesboro, Pa.

**Residence**, Villanova, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, Clinton Gage, care of architect. Stone, 2½ stories, 20x90 feet, slate roof, oak and pine floors, tile work. Contract awarded Oscar Freas, Conshohocken, Pa.

**Passenger Station**, Fern Rock, Pa. Architect, S. T. Wagner, Reading Terminal, Philadelphia. Owners, Philadelphia & Reading Railroad Co., Reading Terminal, Philadelphia. Stone, cut stone, reinforced concrete, 1 story, slate roof, 21 feet, 10 inches x 26 feet, 4 inches, 13x20 feet, macadam drive and walk, hot water heat, electric light, metal lath, marble work, bond, iron work. Contract awarded Curtis Grindrod, 10 South Eighteenth street, Philadelphia.



## New Jersey Construction News

**Church**, Rutherford, N. J. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, St. Mary's Roman Catholic Church, Rev. James J. Smith, Rutherford, N. J. Brick and stucco, 3 stories, 36x58 feet, copper, shingle or slate roof, hardwood and composition floors, steam heat, electric light, tile and marble work. Architect taking bids due March 8th.

**Residences (4)**, Liberty street, Trenton, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, Michael Keller, 457 South Broad street, Trenton, N. J. Brick, 2½ stories, 44x14 feet, 4 inches, slag roof, pine floors, steam heat, electric light, tile work. Plans in progress.

**Residences (2)**, Trenton, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, H. Silverstein, care of architect. Brick, 2½ stories, 18x60 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Office and Apartment (alts. and add.)**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, D. J. H. McCullough, 523 East State street, Trenton, N. J. Brick, stone, 3 stories, 90x42 feet, slag roof, hardwood and rubber-tile floors, metal lath, vapor heat, electric light, tile and marble work, plumbing, ornamental iron work. Plans in progress.

**Bank**, Pennington, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, Pennington National Bank, R. W. Woolsey, cashier, Pennington, N. J. Brick, frame, 1 story, 32x65 feet, slate roof, hardwood and tile floors, vapor heat, electric light, metal lath, tile, marble and terrazzo work, rolled steel skylights, bank fixtures, metal window guards, terra cotta, ornamental iron work. Plans in progress.

**Studio and Apartment (alts. and add.)**, 216 East Hanover street, Trenton. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Jerome H. Fritz, 148 East State street, Trenton, N. J. Brick, steel, 3 stories, 22x70 feet, slag roof, hardwood floors, vapor heat, electric light, tile and marble work, metal lath, rolled steel sash and skylights, ornamental iron work. Plans in progress.

**Sunday School**, Palmyra, N. J. Architect, A. Moses, Temple Building, Camden, N. J. Owners, First Lutheran Church, Palmyra, N. J. Stone, steel, 1 story and basement, 45x70 feet, slate roof, maple floors. All bids rejected. Will take revised bids.

**Residence**, Haddon Heights, N. J. Architect, Thomas Stephen, Temple Building, Camden, N. J. Owner, Samuel Davis, Audubon, N. J. Frame, 3 stories, 45x36 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**School**, Delanco, N. J. Owners, Board of Education, W. L. Holt, Delanco, N. J. Plans completed. Owner ready for bids in 10 days.

**Residence**, River Road, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, F. B. Traver, care of architect. Frame, 2½ stories, 55x35 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress. Architect will be ready for bids in ten days.

**Garage**, Chestnut above Second street, Camden, N. J. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, William F. McCormick, on premises. Brick, 1 story, 40x100 feet, steam heat, electric light, slate roof, cement floors. Owner taking bids due as soon as possible.

**Dyke and Sluice**, Delaware River, Kellecohook Meadows, N. J., opposite Delaware City,

Del. Architect, United States Engineer, 1307 Schaff Building, Philadelphia. Owners, United States Government, Washington, D. C. Construction, pile, timber and stone dyke and sluice. Owners taking bids due March 20th. Further information upon application.

**Hotel (add.)**, Atlantic City, N. J. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Hotel Dennis, Atlantic City, N. J. Brick, cut stone, limestone, steel, 9 stories and basement, 57x185 feet, 5 stories and basement, 53x143 feet, slag, tile, slate roof, cement, oak and maple floors, elevators, metal weather strips, shoring, waterproofing, imitation Travertine work, bond, hollow metal doors and sash, rolled steel skylights, tile and marble work, metal lath, steam heat, electric lighting. Architect taking bids due March 13th at noon.

**Residence**, Scudders Falls, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Lewis H. Lawton, 428 Hamilton avenue, Trenton, N. J. Hollow tile and stucco, 2½ stories, 42x90 feet, Spanish tile roof, hardwood floors, hollow tile, vapor heat, electric light, metal lath, tile, marble and terrazzo work, leaded glass, cut stone, ornamental iron work. Plans in progress. Architect will take bids in ten days.

**Residences (12)**, Trenton, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, Jacob Lis, 18 Laurel avenue, Trenton, N. J. Stone and frame, 2½ stories, 14x44 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Architect taking sub-bids.

**Office Building**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, United Clay Mines, American Mechanics' Building, Trenton, N. J. Brick and frame, 2 stories, 30x50 feet, slag roof, hardwood floors, hot water heat, electric light, roof ventilators, metal ceilings. Architect taking bids due March 7th.

**School (add.)**, Roebling, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, School Board of Florence Township, E. Robbins, Florence, N. J. Low bidder: General Cont. & Const. Co., Trenton, N. J., \$74,000. Heating, William G. Royer, 510 Stuyvesant street, Trenton, \$15,525. Plumbing, William G. Royer, 510 Stuyvesant street, Trenton, \$3,925. Electric, Jackson Electric Co., Forst Rich Building, Trenton, \$1,500.

## New Jersey Contracts Awarded

**Bank**, Millville, N. J. Architect, Thomas E. Ash, 1012 Walnut street, Philadelphia. Owners, Mechanic National Bank, Dr. A. R. Slade, chairman, Millville, N. J. Brick, cut stone, steel, 2 stories and basement, 82x40 feet, slag roof (plumbing, heating, electric light, vault doors reserved), cement floors, bronze work, roof ventilators, metal ceilings, shoring, ornamental iron work, bond, doors kalamein, copper skylights, hollow metal sash, marble work, metal lath, cabinet work. Contract awarded Turnbull & Cornell, 15 South Twenty-first street, Philadelphia.

## Delaware Construction News

**Store Front (alts.)**, Ninth and King streets, Wilmington, Del. Architect, J. D. Thompson, Jr., Ford Building, Wilmington, Del. Owners, Miller Brothers, Ninth and King streets, Wilmington, Del. Plate glass, copper work, 60 feet long, tile and marble work. Plans in progress. Architect will take bids in ten days.

**Residence**, Holly Oak, Delaware. Architect, E. C. May, Dupont Building, Wilmington, Del. Owner, name withheld. Brick, 1½ stories, 28x36 feet, asbestos shingle roof, hardwood floors and composition floors, hot water heat, electric light. Architect taking sub-bids.

## Miscellaneous Construction News

**Theatre**, Hagerstown, Md. Architects, Hoffman-Henon Co., Finance Building, Philadelphia. Owner, G. W. Bennethum, 1307 Vine street, Philadelphia. Brick, 2 stories. Plans in progress.

**Residence**, Hagerstown, Md. Architect, H. E. Yessler, Rupp Building, York, Pa. Owner, H. Evans, Hagerstown, Md. Brick, stucco, 1½ stories, 32x28 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

## Proposals

Sealed Proposals will be received by the School District of the City of Easton, Pa., at the office of the Secretary, 30 North Second Street, until Monday, March 24th, 1924, 8 P. M., for the construction of a Senior High School Building at Northampton, Twelfth and Spring Garden Streets, City of Easton, Pa., in accordance with plans and specifications prepared by Messrs. Michler and Shnyder, Easton, Pa., and on file at their office, 610 Drake Building.

Separate bids will be received for the following:

- (A) General Contract.
- (B) Heating and Ventilating.
- (C) Plumbing.
- (D) Electrical.

Plans and specifications for the above can be obtained at the office of William M. Michler, 610 Drake Building, Easton, Pa. A deposit of fifty dollars (\$50) will be required for the use of plans, specifications, and etc. Plans and specifications to be returned in good condition with bid when deposit will be refunded. All bids to be accompanied by a certified check payable to the order of the Easton School District for an amount equal to 2% of the amount of the bid submitted. Certified checks to be returned to all excepting the two lowest bidders immediately after the award of the contract. Checks of the lowest bidders to be retained until contract is signed and satisfactory bond furnished.

Proposals to be made on form provided by the architects for that purpose and addressed to the Easton School District, Attention R. E. Peifer, Secretary, 2nd and Church Streets, Easton, Pa. All bids to be sealed and marked on outside.

### "PROPOSALS FOR CONSTRUCTION OF SENIOR HIGH SCHOOL."

The Easton School District reserves the right to reject any or all bids or part of any bid submitted.

Easton School District,  
F. T. Clark, President.

Attest:  
R. E. Peifer, Secretary.

## NOTICE

Sealed Proposals will be received by the Pennsauken Township Board of Education at 8 o'clock P. M., March 19th, 1924, for the General Construction, Heating, Plumbing and Electric Work for new Junior High and Grade School to be built by the Pennsauken Township Board of Education on Merchantville Avenue, south of Cramer Street, Penn-



sauken Township. Drawings and specifications can be seen at the office of Arnold H. Moses, Architect, Temple Building, Camden, N. J., on and after Saturday, March 1st, 1924.

ARNOLD H. MOSES,  
Architect.

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., February 27, 1924. Sealed Proposals will be opened in this office at 3 P. M., March 19, 1924, for new roof on large dwelling and alterations to farm buildings to make garage space at the U. S. Veterans' Bureau Hospital, Castle Point (Chelsea), New York. Drawings and specifications may be obtained from the superintendent of construction at Chelsea, or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

**Want to hear from owner having farm for sale; give particulars and lowest price.** John J. Black, Chippewa Falls, Wisconsin.

(Continued from Page 148)

buildings in three hundred days that surpass many that took three hundred years to erect in the good (?) old days. The builders in olden times had a surplus of labor while we are troubled with a scarcity nearly all the time.

The modern architect is a product of the last two centuries. He is really a product of the last fifty years when reproductive processes, especially the invention of blue printing, cut down the cost of preliminary study.

The period in which home architecture shines out in American history was the Georgian Period, when so far as we are able to ascertain, many of the outstanding examples of dignified homes were produced by "carpenter-architects."

Such examples of drawings as have come down to us are crude and, according to modern standards, incomplete, but they were understood by the men of the day and were all that was needed. Probably many of the old "carpenter-builders" were like Harry who built a house for Gus within a fixed limit of cost.

Except for castles, fortresses, temples, cathedrals, palaces and royal parks and gardens which were paid for from the public treasury, cost has been a most important item in building operations. We read in St. Luke XIV, 28, the following: "For which of you, intending to build a tower, sitteth not down first, and counteth the cost, whether he have enough to finish it." Next to cost comes utility and then comes beauty. These factors will not be examined.

Discussion of the word "architect" is readily disposed of by admitting that the architect is "chief of the builders," or, the "chief builder," the master builder. There are as many varieties of architect and as many types of men fit to be so styled as there are varieties of work to be executed by builders. This work covers not alone buildings but the planning and construction of public parks and

private estates and the laying out of cities. Men who became noted as landscape architects in the past were courtiers endowed with a sense of the artistic, or were artists possessed of the arts and graces of courtiers. Landscape architects today are men trained for the work.

The architect who today has to do with the construction of buildings is also one who has been trained for the work. The training is different, however, from that given in the ancient and mediaeval days, from which present-day architects draw so much of their inspiration.

It is hardly necessary to state here the manner in which the modern architect is trained, for it is well known to all who come in contact with architects and their work. It is sufficient to say that the modern architect is the builder who specializes in planning, the carpenter being a builder who specializes in woodwork, as the brickmason is the builder who specializes in the brick work, the stone mason the builder who specializes in stone masonry, etc.

After all, these builders are all members of the oldest fraternity in the world, neither one being superior to the other for none can work without the support of the other and the builder who bears the title of architect is the chief among them merely because he is the co-ordinator builder. He does know enough about the work of each to enable him to prepare plain directions, known as specifications, for the guidance of all in order that the completed structure will be harmonious in plan, convenient for the use of those who have it constructed, economical in cost and pleasing to the eye. In short the architect is the builder who knows how to build pleasingly.

In what respect does the work of the engineer differ from that of the architect? In Sturgis' "Dictionary of Architecture and Building" we find under the head "Engineering" after a long descriptive paragraph, the following:

"In a general way the division between the architect's and the engineer's work may be expressed in this way: whatever is traditional in form and in structure, whatever is admittedly safe, whatever is known to all practical builders as well as within the limits of danger, comes within the architect's province; and nearly all his most important artistical results are procured from the treatment of such buildings as this. All that is so new or so complex as to require careful scientific examination based upon mathematics is the province of the engineer. Some, but not many, modern architects are themselves competent and, up to a certain point may trust their own computations. Some, but not many, engineers have something of that traditional respect for beauty and significance of form that they may

make their own designs for the decorative effect of structures which they have to carry out. The great majority of either profession are men who are greatly in need of the aid of those of the other profession —."

The average builder in small and medium size communities is an architect of a sort, for he frequently plans the structures he erects. Many times he does not plan but he assists prospective customers in the selection of plans from books they buy from builder's magazines and offices of architects who specialize in furnishing plans without supervision. The plans selected often do not meet in all particulars with the approval of the purchasers and the local builder makes the desired alteration. He is the chief builder and therefore is an architect.

Whether he would be successful as an architect in a city like New York is the concern of nobody until he attempts to practice in the larger place. For his own home folks, however, he is competent in that he supplies a service they require, oftentimes without realizing how valuable such service actually is to a community. When the local builder is a reader and student of his business the community is to be congratulated.

Notice that Sturgis spoke of "whatever is traditional in form and in structure," whatever is admittedly safe, whatever is known to all practical builders as well within the limits of danger," being within the architect's province. This brings us at once to the question of how the art of building developed through the ages. It came about by a study of the failures encountered by innovators and the successes achieved after a study of the mistakes that led to failure.

Every country had a style that was created by the proper use of the materials most readily available and the peculiarities of the labor that fabricate the materials and the structures into which they entered. The builder developed through a constant counting of the cost and the adaptation of means to ends.

The architect as we know him today, developed only in those countries where there was a fairly decent standard of living among the masses of the people and it was felt that some money legitimately could be expended upon the decoration of surfaces, the enrichment of structural members and an arrangement of the lines to attract the eye because of the pleasure it gave to gaze upon the work.

(Continued Next Week)

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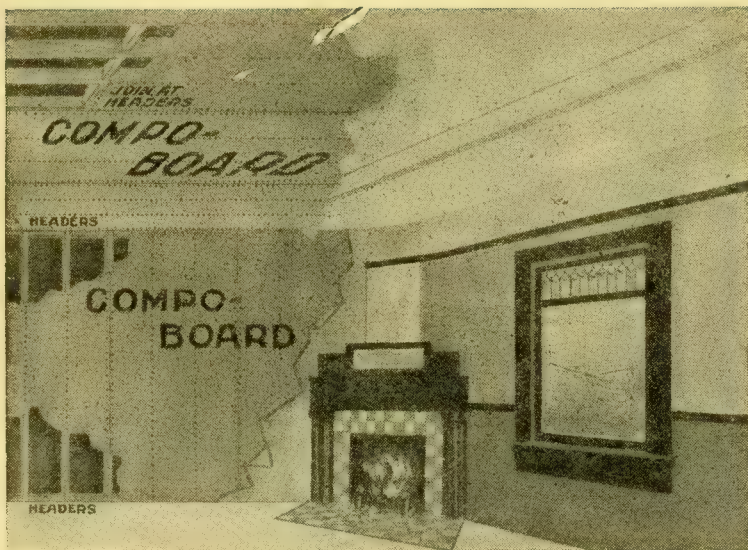
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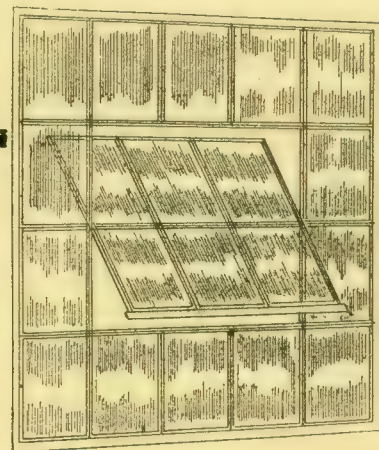
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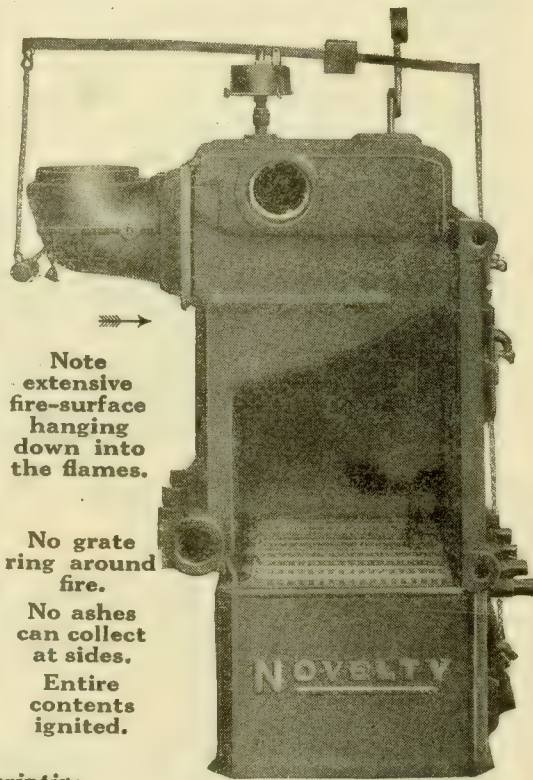
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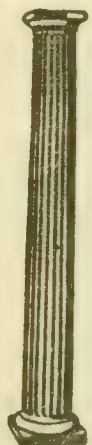
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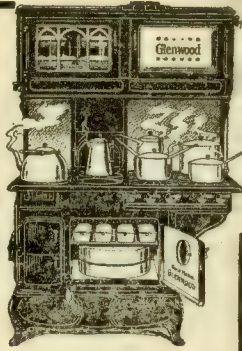


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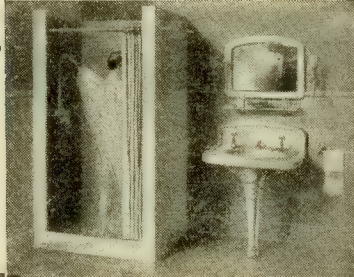


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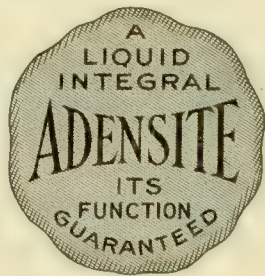
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

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PHILADELPHIA  
March 12, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### BUILD YE BETTER

BY ERNEST MC CULLOUGH

(Continued from Last Week)

The structures of ancient Egypt were massive because the earlier buildings of a poor people not well supplied with stone working tools, were principally of sun dried brick. The walls, so much wider at the bottom than at the top, were based upon properly distributing the load. It had no doubt been found early in the life of the primitive people that high walls had a tendency to crush under their own weight. By making the bottom very wide and reducing the thickness with height utility and economy were secured.

This form of structure became so identified with the country that tradition caused it to be continued even after stone supplanted adobe for large temples and palaces. The country was hot and thick walls conserved coolness by serving as insulating material, so the interiors of the more important buildings that have been preserved to us appear to be gloomy. In their time they may have been lighter than we imagine, for in the recently discovered tomb of Tut-ankh-Amen were found candles and lamps, both of which were supposed to have been invented at a much later date than that when he reigned.

The structures of the early Greeks were light in character because the climate of Greece was salubrious and the

hills were well wooded. They built of wood and then, when they learned how to use stone working tools, of marble. This marble was strong and there was plenty of it. Proportions of columns, beams and girders in time became fixed and a traditional method of building was adopted by the Greeks, a style being developed which remains today the standard of taste and beauty for architects and other lovers of form in building.

The Romans were not so fortunate as the Greeks in the possession of strong marble, so in whatever they copied of Greek architecture there was something lacking. Being world conquerors they copied from other countries and became adept in the use of brick and stone in small units. They were a people who admired strength and ruggedness, so their buildings exhibited larger expanses of wall surface than those of the Greeks and mural decoration developed. The Romans may be said to have introduced the painting of walls instead of following the Egyptians and other ancient peoples in the decoration of large wall surfaces by carving.

The Romans succeeded where the Egyptians had failed that is, in spanning large openings between walls, making free and bold use of arches. The Egyptians apparently were afraid to attempt to span wide openings because of the poor materials they had for the making of arches. The Greeks were happier

in the possession of strong marble and building stone. The Romans admired the grandeur of the Egyptian buildings and the appearance of lightness of those of the Greeks, the result being large buildings with thick walls supporting arches. Further lightness was obtained by series of cross arches, the groined arch being a common feature.

### Beginning of the Gothic

After the Roman style of architecture had become fixed the Romans conquered Gaul and proceeded to erect in that country buildings of approved Roman type. The Gauls, however, did not possess vast forests from which could be obtained at a proper cost the wood required to make centers for the immense arches, nor was the country densely enough populated to furnish the labor required to build the immense walls to support the arches. The Gauls were also temperamentally more like the Greeks and had no love for large buildings merely because they were large. They liked light and air and admired beauty. The first development, apparently, in Gothic architecture was the recessed doorway. Light centers of wood were erected to sustain a thin ring of stone to form an arch. This ring was then used as a center to carry another thin ring of greater width. The two then served as a center to carry a third thin ring that projected beyond the second. In some of the doorways it was

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not uncommon to have eight or ten rings, or layers, of stone. The projecting edges were carved and the resulting doorways were beautiful. Window openings were made in the same fashion and the broken arch supplanted the circular arch becoming a feature of Gothic architecture that stamps it with an individuality.

#### *Gothic Arches*

The grand Gothic arches were obtained by the intersection of two aisles. The diagonal arches forming the intersection were made circular in shape, thus naturally causing the arches in the intersecting aisles to be broken. Piers carrying the thrust of the arches were found to permit of large openings in the walls without weakening the latter. These piers carried to great heights became slender columns and the interiors of cathedrals so resembled alleys between high trees in forests that many artists ascribe the beginning of Gothic architecture to an attempt on the part of the early builders to imitate in their temples the groves in which their ancestors worshipped. Throughout Gaul there was found a stone that was easily quarried and which hardened in the air. This stone was not hard to carve, in fact much of it when wet with quarry water being as easy to work as modeling clay, so Gothic buildings were enriched with carvings. Carving, then, became a definite feature in Gothic architecture. The idea of imitating the tree embowered worshipping places of the ancient Druids is too significant to be disregarded and one need not fear of being far wrong in believing that when men mastered the design of Gothic arches with slender supporting columns they dreamed of imitating the beauty of wooded aisles in forests.

#### *Form in Architecture*

Form in architecture, however, has been more largely influenced by cost than by striving after beautiful effects. The true architect is he who knows how to use to best advantage the forms that through tradition have come to be accepted as being at once beautiful and economical.

The Egyptian learned through centuries of building just how thick to make his walls for all heights. The Greek learned how to proportion their slender columns so they did not give a sense of weakness, yet did convey to the beholder a feeling of beauty and just proportion. The Romans knew nicely how to balance cost and appearance and the men who developed the Gothic style of architecture knew nicely how to balance safety and cost; matchless beauty resulting when these two greatly to be desired ends were obtained.

#### *Development of Style*

The development of architecture has

been said to result from man setting up in the wilderness temples to his ideals. Rather has it been due to the fact that in the construction of buildings to satisfy his necessities man has succeeded in achieving at the lowest possible cost to the principles established by the Creator of the Universe so that unconsciously he has joined economy, strength and beauty. He has applied in the development of the science of building the great principle of the conservation of energy and in so doing has discovered the underlying laws of harmony and beauty.—*Building Age*.

Manufacturers of tanks, and manufacturers of equipment in which tanks are used, have been invited to meet in a series of conferences under the auspices of the Division of Simplified Practice, Department of Commerce, Washington, on March 11, 12, 13, and 14, looking to the elimination of seldom-used sizes and varieties of tanks. More than 150 manufacturing representatives from 24 states have been invited, as well as delegates from the National Board of Fire Underwriters, American Institute of Architects, American Society of Sanitary Engineering and other technical groups and from fire departments of a number of leading cities. Distributors and consumers will be present.

The conferences will deal with hot water storage tanks, cold water storage tanks, pneumatic tanks, gasoline underground storage tanks, distillate and fuel oil storage tanks, and air receivers.

The meeting will be a sequel to conferences held during January. At that time manufacturers of hot water storage tanks agreed on tentative recommendations reducing their products to five sizes and two working pressures. Manufacturers of pneumatic tanks, at that time also, were in favor of a reduction of their products to nine sizes and one working pressure. These developments resulted in a request to the Division of Simplified Practice for assistance in bringing about simplification of cold water storage tanks, gasoline storage tanks, fuel oil and distillate tanks, storage tanks for oil heating systems, and air receivers.

Through the co-operation of the Division, ten other companies have applied simplification measures estimated to be saving millions of dollars annually, through the reduction of cost of production, of inventories, through increased sales at lower expense. Distributors and consumers benefit, it has been found, from improved service on the part of manufacturers. Some of the industries which are now using simplified practice include paving bricks, face brick, asphalt, hollow building tile, bed blankets, range boilers, files and rasps, forged tools, woven wire fence, and metal lath.

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CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residences (18),** Fiftieth and Sansom streets, Philadelphia, \$296,200. Architect, private plans. Owners, Herrman, Bobb & Weinstein, Fiftieth and Sansom streets, Philadelphia. Brick, 2 stories, 15x52 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residence,** West side Krewston Road, South of Welsh Road, \$6,000. Architect, private plans. Owner, Fred Dollenberg, 1833 East Madison street, Philadelphia. Frame, 2 stories, 25x28 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Roadway Paving Repairs.** Owners, City of Chester, Superintendent Department of Street and Public Improvements, City Hall, Chester, Pa. Repaving and repairing with granite block, vitrified blocks, asphalt or bituminous paving. Deposit, \$2.00. Refund, \$2.00. Owners taking bids due March 18th, 2 P. M.

**Foundations,** Spec. 4949, Navy Yard Hospital, Philadelphia. Architect, private plans. Owners, Bureau of Yards and Docks, L. E. Gregory, Chief, Washington, D. C. Concrete foundations for existing wood frame buildings and replacing wood floors by concrete. Plans may be obtained from Custodian of Navy Yard, Philadelphia, or at Washington. Deposit, \$10. Refund, \$10. Owners taking bids due March 19th, 11 A. M.

**Manayunk Sub-Station,** Main and Green Lane, Manayunk, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, 1 story and basement, 114x61 feet, slag roof, cement floors, painting and glazing, waterproofing, ornamental iron work, bond, rolled steel sash, tile and marble work, steam heat. Architect taking bids due March 21st.

**Alterations and Additions,** 673-5-7 North Fifty-second street, Philadelphia. Architect, private plans. Owner, Morris Weinrach, on premises. Brick work, repairs to plumbing, heating and electric work, steel and iron work, slag roof, metal lath, plastering, granite, painting and glazing, steel sash, tile work, oak floors, metal ceilings. Owner taking bids due March 17th.

**Moving Picture Theatre,** Fifty-fourth street, Wynnefield, Pa. Architects, Hoffman-

Henon, Inc., Finance Building, Philadelphia. Owners, Stanley Co. of America, 1214 Market street, Philadelphia. Brick, stone, 3 stories, steel and concrete floors, cement floors, metal lath, roof ventilators, waterproofing, dampproofing, ornamental iron work and ornamental plastering, fire doors, fan intake and exhaust, tile and marble work, electric light, steam heat. Plans in progress.

**Sub-Station (add.),** Sixth and Federal streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., W. G. L. Eglen, 1000 Chestnut street, Philadelphia. Brick, steel, stone, 2 stories and basement, 57x59 feet, slag roof, cement floors, steam heat, electric light, rolled steel sash and skylight, bond, floor hardener, ornamental iron work. Plans in progress.

**Store, Shop and Offices (alts.),** 1905 Chestnut street, Philadelphia. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owners, Charles Meister Sons, 41 South Seventeenth street, Philadelphia. Excavation, electric light, hardwood floors, shoring, new store front, basement shop, general interior renovations. Plans in progress.

**Store (alts.),** 1923 Chestnut street, Philadelphia. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Limeburner Co., 1720 Chestnut street, Philadelphia. Plans in progress.

**Garage,** 704-06 South Second street to Phillips street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, S. Glass & Son, care of architect. Preliminary plans in progress. Too early for details.

**Store and Apartment (alts. and add.),** 4400-02 Walnut street, Philadelphia. Architects, Mills & Van Kirk, Harrison Building, Philadelphia. Owner, Robert J. Darrah, 806 North Broad street, Philadelphia. Brick, terra cotta, structural steel, 3 stories and basement, 48x96 feet, hot water heat, electric lighting extension, tile and terrazzo work, plumbing, plastering, interior alterations, metal bulks, plate glass. Plans in progress.

**Telephone Exchange,** Ridge avenue, Roxborough, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co. of Pennsylvania, Seventeenth and Arch streets, Phila-

delphia. Brick, stone, steel, 3 stories, steam heat, electric light, slag roof, cement floors. Plans in progress.

**Fire House,** Fifty-fourth and Haverford streets, Philadelphia. Architect (city), John Molitor, 1211 Chestnut street, Philadelphia. Owners, Department of Public Safety, City Hall, Philadelphia. Work contemplated.

**Oil and Service Building,** Southwest Corner Front and Palmer streets, Philadelphia. Architect, private plans. Owners, Gulf Refining Co., Widener Building, Philadelphia. Site purchased. Plans in progress. Too early for details.

**Manufacturing Plant,** 1126-32 South Ninth street, Philadelphia, \$60,000. Architect, Henry Coscia, 1611 South Fifteenth street, Philadelphia. Owner, Dominico Cini, 1507 South Broad street, Philadelphia. Brick and steel, 4 stories, 68x48x96 feet, steam heat, electric work, cement floors, waterproofing, skylights, steel sash. Architect taking sub-bids.

**Bungalow (alts. and add.),** Forty-ninth and Monument street, Philadelphia. Architect, Solomon Kaplan, 10 South Eighteenth street, Philadelphia. Owner, A. E. Jawer, 604 North Broad street, Philadelphia. Hollow tile and stucco, 2 stories and basement, tile roof, hardwood floors, hot water heat, electric light, tile work. Architect ready for bids in one week.

**Shriners' Hospital for Crippled Children,** Roosevelt Boulevard, Philadelphia. Architect, Philip Johnson, 1713 Sansom street, Philadelphia. Owners, Pennsylvania Mystic Shrine, W. F. Kendrick, 1337 Spring Garden street. Architects will take revised bids in a few days.

**Synagogue (alts. and add.),** Fortieth and Powelton streets, Philadelphia. Architect, Martin T. Glass, 806 Green street, Philadelphia, Pa. Owners, Anshe Tifereth Israel, on premises. Brick, stucco, 1 story and basement, 35x60 feet, slag roof, steam heat. Architect ready for bids in four weeks.

**Office and Apartment,** 5909 North Broad street, Philadelphia. Architects, Gleeson, Mulronney & Burke, 404 South Broad street, Philadelphia. Owner, name withheld. Brick and limestone, 3 stories, 52x20 feet, hot water heat, electric light, hollow metal sash, metal bulks, slag roof, hardwood floors. Plans in progress. Architect will be ready for bids in three weeks.

**Bachelor Hotel,** Southeast Corner Sixteenth and Pine streets, Philadelphia. Architect, Charles Oelschlager, 1615 Walnut street, Philadelphia. Owner, name withheld. Brick, steel, concrete, limestone, 10 stories, 20x130 feet, roof, concrete floors, steam heat, electric light, tile, marble and terrazzo work, fire doors and tower, plumbing, terra cotta work, (1) electric elevator, concrete floors, slag roof. Plans in progress. Architect will be ready for bids in two weeks.

**Orphans' Home,** Southeast Corner Ninth and Shunk streets, Philadelphia. Architects, J. E. Fieldstein & A. C. Bieber, Otis Build-

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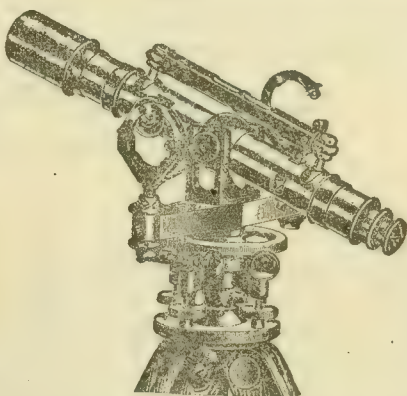
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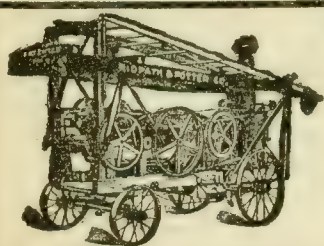
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ing, Philadelphia. Owner, name withheld. Brick, slow burning and stone, 2 stories and basement, 42x100 feet, slag roof, tile and hardwood floors, plumbing, vacuum heat, electric light, fire escape, kitchen and laundry equipment, refrigeration, steel interior bearing partitions. Plans in progress.

**Recreation Pavilion and Auditorium**, Forty-eighth and Wyalusing avenue, Philadelphia. Owners, St. John's Orphanage, on premises. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Stone, slag roof, pine and tile floors, plumbing, tile and marble work, electric light, steam heat, ornamental iron-work. Plans in progress. Architect ready for bids in ten days.

**Church and Sunday School**, Leverington and Roxboro avenue, Philadelphia. Architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia. Owners, Leverington Presbyterian Church, Rev. E. R. Burgess, on premises. Preliminary plans in progress.

**Stores (3), Residences (27)**, Carlisle, Fifteenth and Pollock streets, Philadelphia. Architect, private plans. Owner, J. W. Shisler, 400 East Roosevelt Boulevard, Philadelphia. Brick, 2 stories, 16x38 feet, 16x32 feet, slag roof, pine, hardwood and composition floors, hot water heat, electric light, cast stone. Owner taking sub-bids.

**Store (2), Residences (38)**, Hellerman and Tulip streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, J. Stewart Patton, Fifty-fourth and Columbia avenue, Philadelphia. Brick, 2 stories, 16x40 feet, tin and slag roof, pine floors, hot air heat, electric light, metal lath, metal bulks, galvanized iron bays. Owner ready for sub-bids in a few days.

**Store and Residence**, Northwest Corner Seventieth and Gibson streets, Philadelphia. Architect, Charles L. F. Schaefer, 11 South Sixteenth street, Philadelphia. Owner, A. Sakel, 1419 South Second street, Philadelphia. Brick, 2 stories, 20x42 feet, hot water heat, electric light, tile work, slag roof, pine floors, flush bulks. Architect ready for general bids.

**Residences (15)**, West side Torresdale, North Tyson street, \$74,200. Architect, private plans. Owner, Charles P. Miller, 4833 "C" street, Philadelphia. Brick, 2 stories, 15 feet, 7 inches x 33 feet, 17x30 feet, hot water heat, slag roof, electric work, oak and pine floors. Owner will build.

**Residences (14)**, East side Salem, North Herbert street, Philadelphia, \$65,000. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owners, Rush Brothers, 4682 Darrah street, Philadelphia. Brick, 2 stories, 16x32 feet, hot water heat, electric work, slag roof, oak and pine floors, tile work. Owner will build.

**Residences (2)**, North side Brewster, East Eighty-third street, Philadelphia, \$6,400. Ar-

chitect, private plans. Owner, Walter Warner, Seventy-fifth street and Avenue "F," Philadelphia. Brick, 2 stories, 14 feet, 6 inches x 26 feet, hot air heat, electric work, slag roof, oak and pine floors. Owner will build.

**Manufacturing Building (add.)**, Northwest Corner Tacony and Fraley street, \$28,000. Architect, Stanford B. Lewis, Presser Building, Philadelphia. Owners, Abrasive Company, on premises. Brick, steel, 2 stories, irregular shape, steam heat, electric light, cement and pine floors, slag roof, rolled steel sash. Owners will build.

**Apartment House**, Lincoln and Emlen streets, Philadelphia. Associate architects, T. B. Lippincott and Charles Schaefer, 11 South Sixteenth street. Owner, W. Taylor, care of architect. Concrete, steel, brick, limestone, 7 stories, 128x48 feet, vapor heat, electric light, tile and marble work, metal sash, rolled steel skylights, fire tower, tin clad fire doors, artificial stone, terra cotta, oil burning equipment, automatic elevators, slag roof, composition and hardwood floors. Plans completed. Architects will be ready for general bids March 10th.

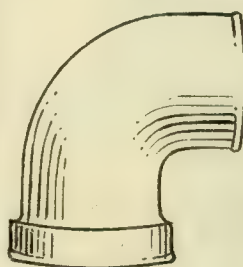
**Residences (28)**, West side Ogantz, between Sixty-sixth and Sixty-seventh streets, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owner, Frank D. Williams, on premises. Brick, 2 stories, 17 feet, 2 inches x 46 feet, slag, tile and slate roof, hardwood and pine floors, hot water heat, electric light, metal lath, tile work, garages in basement, cement work. Owner ready for sub-bids.

**Residences (20)**, East side of Ogantz, North of Sixty-sixth street, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owner, Al. Schulke, 2631 West Huntingdon street, Philadelphia. Brick, 2 stories, 16x44 feet, hot water heat, electric light, metal lath, tile work, slag, tile, slate roof, hardwood and pine floors, cement work. Owner ready for sub-bids.

**Telephone Building**, Oak Lane, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, limestone, 3 stories, 107x88 feet, slag roof, cement, cork, composition floors, steam heat, electric light, metal lath, tile work. Architect taking bids due March 17th.

**Bank Building**, Eighteenth and Fairmount avenue, Philadelphia. Architect, W. Macy Stanton. Engineer, S. H. Pennell, 1524 Chestnut street, Philadelphia. Owners, Mortgage Security Trust Co., care of architect. Brick, cut stone, limestone, steel, 1 story and basement, 86x39 feet (composition floors, heating, plumbing, drainage reserved), slag roof, cement floors, painting and glazing, roof ventilators, shoring, terra cotta, ornamental iron

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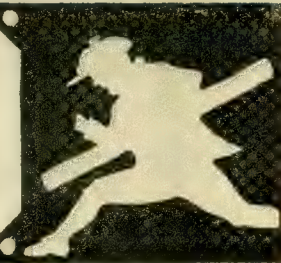
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work, floor hardener, bond, rolled steel sash, tile and marble work, metal lath. Architect taking bids due March 14th.

**Property (alts.),** 1707-09 Arch street, Philadelphia. Architect, H. L. Cain, Church architect; A. Dobbins, reg. architect, 1709 Arch street. Owners, Philadelphia Conference Tract Society of the Methodist Episcopal Church, Seventeenth and Arch streets, Philadelphia. Plaster block partition, plumbing, hardware, carpentry and mill work, painting and glazing, floor hardener, electric work. Architect taking bids due March 14th.

**Paschall Sub-Station (alts. and add.),** Sixty-fifth and Paschall avenue, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., 1001 Chestnut street, Philadelphia. Brick, cut stone, steel, 1 story and basement, 93x39 feet, slag roof, cement floors, painting and glazing, plumbing, waterproofing, marble work, steam heat, electric light. Architect taking bids due March 17th.

**Chapel and School,** Northeast Corner Cottman and Torresdale avenue, Philadelphia. Architect, Peter F. Getz, 1634 North Sixteenth street, Philadelphia. Owner, St. Hubert, Rev. John Ludwig, on premises. Stone, reinforced concrete, 2 stories and basement, 57x120 feet, slate roof, pine floors, electric light, vapor heat, tile work, metal ceilings, iron stairs. Architect taking bids due March 18th.

**Residence (alts. and add.),** Sixty-fourth and City Line, Philadelphia. Architect, Louis H. Rush, 34 South Seventeenth street, Philadelphia. Owner, E. P. Rawle, on premises. Stucco, steel, concrete, brick, 2½ stories, 35x18 feet, shingle and tile roof, oak and pine floors, carpentry and mill work, plastering, painting and glazing, brick work, stone work, bond, ornamental iron work, hot water heat, electric light, tile and marble work. Architect taking bids due March 18th.

**Garage Building,** North side Cambria, East of Twelfth street, Philadelphia. Architect, private plans. Owner, J. W. Vandegrift, 1017 Cambria street, Philadelphia. Brick, steel, concrete and reinforced concrete, cement floors, metal lath, glazed terra cotta coping, cut stone, ornamental iron work, iron stairs, rolled steel sash, slag roof, kalamein doors, oil system heating, ventilators, galvanized iron skylights, 63x225 feet, 10 inches, fuel oil burner. Owner taking bids due March 20th.

**Garage,** Twenty-fourth and Brown streets, Philadelphia. Architect, Percival M. Sax, 415 Penfield Building, Philadelphia. Owner, name withheld. Brick, cut stone, reinforced concrete, 1 story, 146x129 feet, slag roof, cement floors, painting and glazing, plumbing, shoring, ornamental iron work, kalamein doors, floor hardener, rolled steel sash, metal lath, electric light, steam heat. Architect taking bids due March 14th.

**Miscellaneous Work,** Philadelphia. Owners, Department of Public Works, Bureau of Water, 216 City Hall. Furnishing and laying

48-inch pipe line on Hunting Park avenue. Furnishing and laying 12-inch water pipe various locations. Furnishing and laying 24-inch water pipe, Twelfth street and Northeast Boulevard. Condenser shells and piping, Lardner's Point Pumping Station. Bond. Inquire Room 796. Owners taking bids due March 25th at noon.

**Swimming Pool—Shelter Building,** Tenth and Mifflin streets, Philadelphia. Architect, John Molitor, 1211 Chestnut street, Philadelphia. Owners, Director of Public Welfare, Bureau of Recreation, 595 City Hall. Plain and reinforced concrete, brick, steel, 1 story, 90x35 feet (plumbing, drainage, electric work), shelter building, 66x29 feet, slag and asbestos shingle roof, concrete floors, painting and glazing, waterproofing, terra cotta, ornamental iron work, iron fences and gates, bond. Owner taking bids due March 14th at noon.

**Store (structural alts.),** Southeast Corner Third and Market streets, Philadelphia. Owner, Walter W. Pollock, 18 South Seventh street, Philadelphia. Architect, private plans. Excavation, concrete, iron work, plastering, carpentry and mill work. Owner taking bids due March 18th.

**Alterations,** 1811 Fairmount avenue, Philadelphia. Architect, private plans. Owners, Harrison Club, on premises. Owner taking bids.

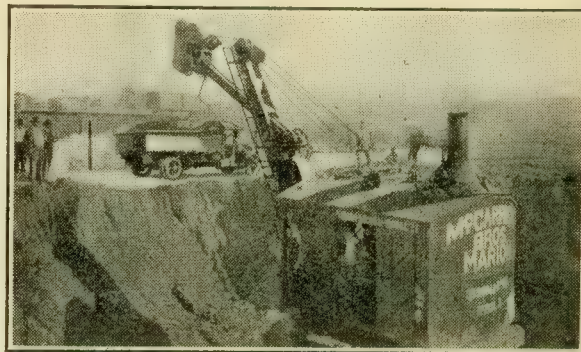
**Residences (19),** Gaul and Cambria streets, Philadelphia. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owners, Octavia Hill Association, 613 Lombard street, Philadelphia. Architects taking bids due March 21st.

**Residences (30),** Pratt, Oakland and Horrocks streets, \$184,000. Architect, private plans. Owners, T. J. & T. P. Whelan, 2409 East Allegheny avenue. Brick, 2 stories, (28) 15x28 feet, 12x12 feet, 18x27 feet, 16x33 feet and 15x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (9),** Benner, Edmund, Tulip and Disston streets, \$38,400. Architect, private plans. Owner, Daniel Gercke, 3114 Disston street, Philadelphia. Brick, 2 stories, (2) 16x42 feet, (2) 15x38 feet, (5) 15x26 feet and 12x12 feet, hot air and hot water heat, electric light. Owner will build.

**Store and Office,** Southeast Corner Twentieth and Market streets, Philadelphia, \$20,000. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, Jacob Korman, 3820 Market street, Philadelphia. Brick, steel, 2 stories, 19x110 feet, steam heat, electric light, slag roof, tile work. Owner will build.

**Store and Residence (alts. and add.),** 2201 North Woodstock street, \$3,800. Architect,



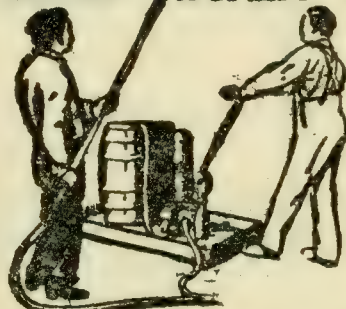
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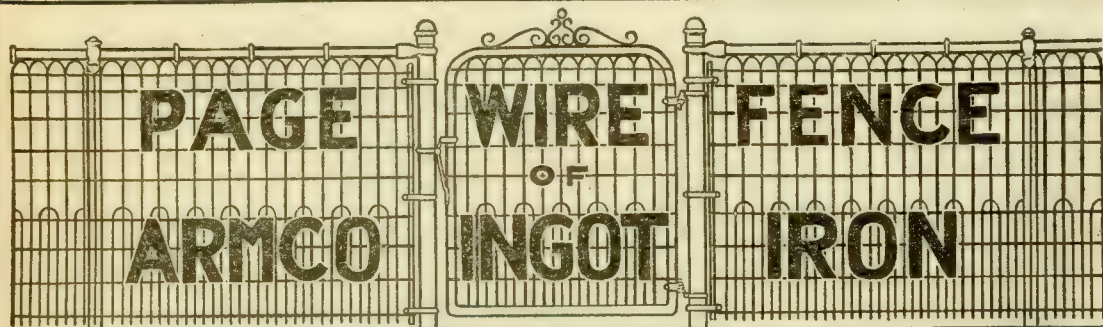
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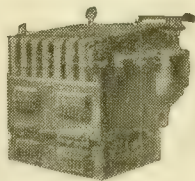
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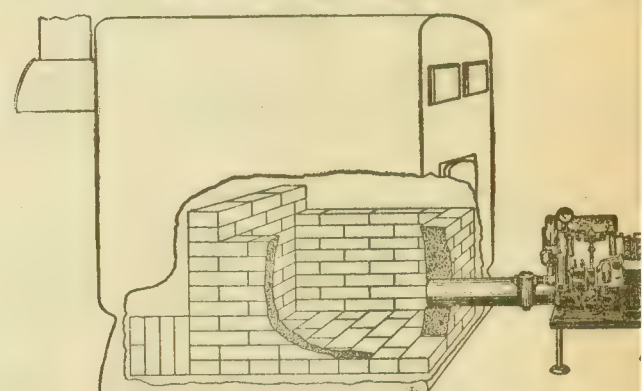
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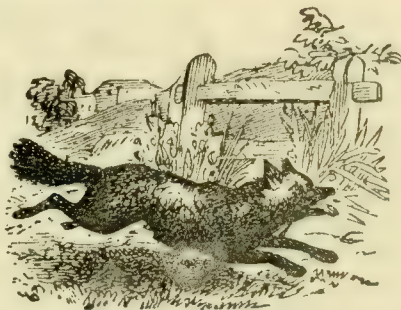
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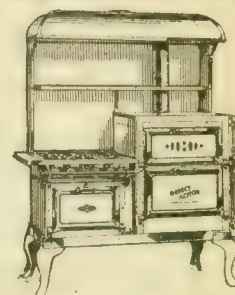
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private plans. Owner, Peter A. Koch, 2402 Ingersoll street, Philadelphia. Brick, 1 story add., 12x15 feet, general alterations. Owner will build.

**Garage**, 3541 North Marshall street, Philadelphia, \$5,000. Architect, private plans. Owner, Sigfried Field, Kensington avenue and Cambria street. Brick, 1 story, irregular shape, slag roof, cement floors. Owners will build.

**Residence**, Northwest Corner Decatur and Erdrick streets, Philadelphia, \$7,000. Architect, private plans. Owner, C. Day, 3503 Decatur street, Philadelphia. Brick, 2 stories, 24x40 feet, 1 story, 18x12 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (32)**, D and Loudon and Bingham streets, \$145,500. Architect, private plans. Owner, William B. Davenport, 6612 Wayne avenue, Philadelphia. Brick, 2 stories, (1) 15x50 feet, and (31) 15x27 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences and Stores (2), Store and Storage (1)**, Northeast Corner Fifth and Fishers avenue, and 5302-04 North Fifth street, Philadelphia, \$23,000. Architect, private plans. Owner, William H. Ashton, 515 Fishers avenue, Philadelphia. Brick, 2 stories, 22x62 feet, (2) 16x42 feet, 13x17 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residence**, Northwest Corner Wakeling and Horrocks streets, Philadelphia, \$9,500. Architect, private plans. Owner, William F. Shrimmer, 1616 Howarth street, Philadelphia. Stone, 3 stories, 27x40 feet, 1 story, 4x6 feet,

slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences and Stores (6)**, North side Oxford avenue, West of Large street, \$7,000 each. Architect, private plans. Owners, Beechwood & McDevitt, Pratt and Large streets, Philadelphia. Brick, 3 stories, 16x26 feet, 13x33 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Storage (add.)**, 846-50 North Seventh street, Philadelphia, \$7,000. Architect, private plans. Owner, A. Schmerling, 854 North Seventh street, Philadelphia. Brick, 1 story, 40x78 feet, and 2 stories, 24x90 feet. Owner will build.

**Warehouse**, West side Eighth street, South of Cheltenham avenue, \$5,000. Architect, private plans. Owners, Fireproof Const. Co., 2050 Ludlow street, Philadelphia. Stone, 1 story, 60x23 feet. Owners will build.

**Manufacturing (alts.)**, West side Gaul street, South of Letterly, \$2,500. Architect, private plans. Owner, Joseph P. Cattie, on premises. General alterations. Owner will build.

**Residence**, South side Fanshawe street, West of Oakley street, \$3,800. Architect, private plans. Owner, George Bethel, 3438 F street, Philadelphia. Frame, 2 stories, 26x29 feet, electric work. Owner will build.

**Garage**, 4648 Umbria street, Philadelphia, \$3,100. Architect, private plans. Owner, Howard F. Richter, 4648 Umbria street, Philadelphia. Brick, 2 stories, 47x26 feet, and 1 story, 47x45 feet, 50x20 feet, slag roof, cement floors. Owner will build.

**Building (add.)**, 1927 Diamond street,

Philadelphia, \$2,500. Architect, private plans. Owner, Smith Craighead, 549 West Roosevelt Boulevard, Philadelphia. Iron, second story add., 15x10 feet, hot water heating. Owner will build.

**Residences (2)**, 7321-23 Rising Sun avenue, Philadelphia, \$6,200 each. Architect, private plans. Owner, Harvey L. Miller, 7319 Palmetto street, Philadelphia. Brick and frame, 2 stories, 16x46 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Store and Residence (add.)**, 6203 Girard avenue, Philadelphia, \$4,500. Architect, private plans. Owner, James V. Autry, on premises. Brick, 2 stories add., 25x25 feet. Owner will build.

**ReResidences (6)**, East side Janney street, South of Allegheny, \$4,500 each. Architect, private plans. Owner, Martin P. Newell, 3032 Aramingo avenue, Philadelphia. Brick, 2 stories, 15x20 feet and 10x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Workshop**, Northeast Corner Fox and Clearfield streets, Philadelphia, \$6,000. Owners, H. & H. Rose, 1778 Frankford avenue, Philadelphia. Brick, 1 story, 76x90 feet, slag roof, electric work. Owner will build.

**Residences (18)**, East side Fairhill street, North of Sixty-sixth avenue, total \$108,500. Architect, private plans. Owners, Kerr & Witty, Northwest Corner Thirteenth and Cambria streets, Philadelphia. Brick, 2 stories, 15x37 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Apartment**, 311-15 South Twentieth street, Philadelphia, \$60,000. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, Jacob Korman, 5020 Rosehill street, Philadelphia. Brick, 4 stories, 44x27 feet, 28x55 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (31), Store and Residence (1)**, Champlost and Ogontz avenues, \$195,000. Architect, private plans. Owner, George H. McCracken, 2528 West Lehigh avenue, Philadelphia. Brick, store and residence, 3 stories, irregular shape, residences, 2 stories, 16x31 feet, 13x14 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

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**Residences (30)**, Sixty-fifth avenue, Beechwood street and Stenton avenue. Architect, private plans. Owner, John W. Mortimer, 3024 E street, Philadelphia. Brick, 2 stories, 15x33 feet, 12x14 feet, 18x32 feet and 16x54 feet, slag roof, hardwood and pine floors, hot water heat, electric lighting. Owner will build.

**Residences (5)**, 525-33 East Fairthorne street, Philadelphia, \$5,000 each. Architect, private plans. Owners, G. L. & J. K. Callahan, 542 Fairthorne street, Philadelphia. Stone and frame, 2 stories, 16x45 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2)**, 7323-25 Claridge avenue, Philadelphia, \$5,000 each. Architect, private plans. Owner, Harry Schaubel, 7327 Claridge street, Philadelphia. Brick, 2 stories, 14½x48 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, South side Midvale avenue, East of Thirty-second street, \$25,000. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owner, R. A. Donnell, Broad and Cheltenham avenue, Philadelphia. Brick, stone, 3 stories, 28x38 feet, 1 story, 10x19 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

Harry Alterman, 2729 Walbert street, Philadelphia.

**Store and Residence (alts.)**, Northwest Corner Eighth and Dickinson streets, \$2,000. Architect, private plans. Owner, D. Kiversonstein, on premises. General alterations. Contract awarded to N. Kerler, 824 North Eighth street, Philadelphia.

**Art Museum**, Fairmount Park, Philadelphia. Architects, Trumbauer, Zantzinger & Borie, Land Title Building and Otis Building. Owners, Commissioners of Fairmount Park, City Hall, Philadelphia. Brick, cut stone, steel, terra cotta, 163x86 feet, wing 86x130 feet, wing 86x220 feet, tile and slag roof, cement floors, bronze sash, bond, waterproofing. Contract awarded to George A. Fuller Co., Morris Building, Philadelphia.

**Bennett Hall**, Thirty-fourth and Walnut streets, Philadelphia. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owners, University of Pennsylvania, Thirty-fourth and Spruce streets, Philadelphia. Brick, cut stone, granite and steel, 3 stories, 231x93 feet, slate and slag roof, cement and maple floors, metal lath, marble and terrazzo work, rolled steel sash, bond, ornamental iron work and stairs, waterproofing, roof ventilators. Contract awarded to W. R. Dougherty, 1610 Sansom street, Philadelphia.

**Locker Rooms and House**, River Field, Philadelphia. Architect, private plans. Owners, University of Pennsylvania, Executive Engineer, 3446 Walnut street. Brick, 1 story, 137x24 feet, slag roof, cement floors, hollow tile, metal lath, tile and marble work, rolled steel sash, bond. Contract awarded to Monaghan & Losse, 3016 Chestnut street, Philadelphia.

**Improvements**, South Second street, Mar-

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Residence**, Mount Airy avenue and West McCallum street, Mount Airy, Pa. Architects, McKenzie & Wiley, Liberty Bldg., Phila. Owner, Geo. E. Stauffer, 554 E. Monastery street, Roxboro, Philadelphia. Stone, 2½ stories, irregular size, hot water heat, electric light, tile work, slate roof, oak and pine floors, ornamental iron work. Contract awarded to Tourison & Tourison, Bankers' Trust Building, Philadelphia, who are taking sub-bids due as soon as possible.

**Residence and Garage**, Oak Road, Germantown, Pa. Architect, Carl A. Ziegler, 1309 Locust street, Philadelphia. Owner, Richard Brown, Wayne and Roberts streets, Philadelphia. Stone, cut stone, 2½ stories, 79x48 feet, garage 20x20 feet, shingle roof, oak and cement floors, hot water heat, electric light, tile and marble work, ornamental iron work. Contract awarded to J. Riley & Son, Forrest avenue, Mount Airy, Pa.

**Stores (5) (alts.)**, 1709-17 Chestnut street, Philadelphia, \$5,000 total. Architect, private plans. Owners, Rosebelle Realty Co., Southwest Corner Seventh and Chestnut streets. General alterations. Contract awarded to

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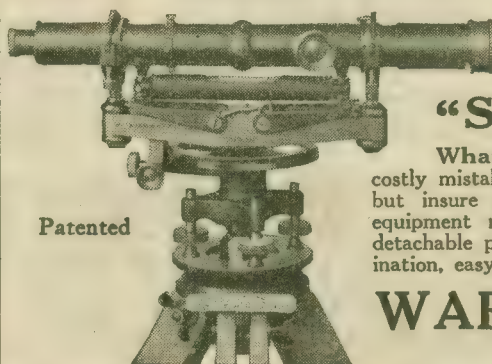
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ket, Pine and Lombard and Second streets, Philadelphia. Architect, John Molitor, 1211 Chestnut street, Philadelphia. Owners, City of Philadelphia, Department of Public Works, Bureau of City Property. Concrete and cement, granite curbing, brick and stone, miscellaneous steel, and iron work, ventilators, slag roofing, metal lath, plastering, carpentry and mill work, painting and glazing, hardware (plumbing, electric work separate bids). Contract awarded George Dobbins, 1020 South Forty-seventh street, Philadelphia, \$32,800.

**Garage**, 1143-45-47 North Third street, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, Girard Hauling Co., 1411 Germantown avenue, Philadelphia. Brick, steel, concrete, 1 story, 57x96 feet, cement floors, reinforced steel slag roof, steel sash, electric light, hot water heat, plastering, mill work. Contractor taking sub-bids. Contract awarded T. Wilkinson, 3639 North Ninth street, Philadelphia.

**Residence and Garage**, Southwest Corner Wakeling and Oakland streets, \$11,200. Architect, H. C. Lightfoot, 1660 Foulkrod street, Philadelphia. Owner, Charlotte R. Stocks, 5005 Cottage street, Philadelphia. Brick, 3 stories, 20x22 feet, 2 stories, 24x16 feet, garage, 1 story, 17x20 feet, slate roof, hardwood, pine and cement floors, hot water heat,

electric light, tile work. Contract awarded to George Rimer, 4842 Hawthorne street, Philadelphia.

**Residence**, 1555 Ridge avenue, Philadelphia, \$8,000. Architect, H. B. Weldon, 1520 Locust street, Philadelphia. Owner, Thomas Corley, 1557 Ridge avenue, Philadelphia. Brick, 3 stories, 14x29 feet, 10x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work, plate glass. Contract awarded to Smith-Hardican Co., 1809 Callowhill street.

**Residence**, Northwest Corner Mercer and Lefevre streets, Philadelphia, \$8,000. Architect, private plans. Owner, J. Koscielski, 2617 Lefevre street, Philadelphia. Brick, 2 stories, 20x16 feet, 14x34 feet, hardwood floors, electric work. Contract awarded to S. Pietrykowski, 3416 Richmond street, Philadelphia.

**Alterations and Additions**, Allegheny and Tulip streets, Philadelphia. Architect, Edwin A. Yeo, 226 Sydenham avenue, Philadelphia. Owners, Northeastern Hospital, on premises. Brick, reinforced concrete, cut stone, steel, 3 stories, 44x50 feet, slag roof, cement floors, safety treads, ornamental iron work, tin covered doors, rolled steel sash and skylights, marble and terrazzo work, metal lath. Contract awarded Barclay White Co., 1713 Sansom street, Philadelphia.

**Store (alt. and add.)**, 334 South street, Philadelphia. Architect, E. A. Roth, Drexel Building, Philadelphia. Owner, D. Rosenfeld, on premises. Brick, 2 story rear addition, 15x20 feet, new front, hot water heat, electric light, tile and marble work, plate glass, slag roof, hardwood. Contract awarded Sol Marcus, 971 North Tenth street, Philadelphia.

**Home (alts.)**, Fifty-eighth and Baltimore avenue, Philadelphia. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owners, Church Home for Children, on premises. Stone, 2 stories, 30x18 feet, slate and tin roof, cork and pine floors, plastering, carpentry and mill work, painting and glazing, hot water heat, electric light, metal lath, bond, plumbing. Contract awarded J. Sims Wilson Co., 1125 Brown street, Philadelphia.

**Residence**, East side Montour street, North Shelmire avenue, Philadelphia, \$5,600. Architect, private plans. Owner, Louis Rornbant, 260 West Stella street, Philadelphia. Frame, 1 story, 25x29 feet, electric work, pine floors, shingle roof. Contract awarded A. Irving Knickerbocker, 6102 Torresdale avenue.

**Garage**, 1108-10 McClellan street (rear), Philadelphia, \$3,350. Architect, private plans. Owner, Sol. Palladicio, 1110 McClellan street, Philadelphia. Brick, 1 story, 32x45 feet, cement floors, slag roof, electric. Contract awarded James Ginliano, 1723 Jackson street, Philadelphia.

**Residence (alts. and add.)**, 114 West Phil-Ellena street, Philadelphia, 3,100. Architect, private plans. Owner, Dr. M. Valentine Miller, on premises. Stone and brick, 1 story, 10x30 feet, pine floors, slate roof, electric. Contract awarded William C. Wright, 22 Harvery street, Philadelphia.

**Residence and Stores (2) (alt. and add.)**, 7733-35 Germantown avenue, \$3,000. Architect, private plans. Owner, Andrew Vieh-ing, 7821 Germantown avenue, Philadelphia. Brick, 1 story, 16x6 feet, 2 stories, 16x11 feet, slag roof, pine floors. Contract awarded Melvin H. Frebe, 5 East Highland avenue, Philadelphia.

**Manufacturing Building (alt.)**, 1624 Ludlow street, Philadelphia, \$2,900. Architect, private plans. Owner, Harry F. Saunders, 31 South Eighteenth street, Philadelphia. Carpentry and mill work, plastering, painting and glazing. Contract awarded William G. Uhler & Son, Twenty-fifth and Snyder avenue, Philadelphia.

**Residence and Store (alts.)**, 1653 East Passyunk avenue, Philadelphia, \$2,300. Architect, private plans. Owners, Weil & Bro., Northwest Corner Thirteenth and Tasker streets, Philadelphia. General interior alterations. Contract awarded Louis Manfredi & Co., 228 Mifflin street, Philadelphia.

**Store and Residence (alts. and add.)**, 4909 North Broad street, Philadelphia, \$2,200. Architect, private plans. Owners, Dallas & Hartley, 4709 North Broad street, Philadelphia. Brick, 1 story, 3 feet, 6 inches x 35 feet, pine floors, slag roof. Contract awarded J. Henry Parker, 815 East Cheltenham avenue, Philadelphia.

**Alterations**, Northwest Corner Fifty-second and Filbert streets, Philadelphia, \$2,000. Architect, private plans. Owner, Fasonareno Holey, Northwest Corner Sixtieth and Thompson streets, Philadelphia. General interior alterations. Contract awarded Edward Holland, 5005 Sansom street, Philadelphia.

**Store and Residence (alts.)**, Northwest Corner Sixty-first and Osage avenue, \$4,550. Architect, private plans. Owner, J. Frank, 418 Fitzwater street, Philadelphia. General alterations. Contract awarded to A. Shestack, 5829 Walnut street, Philadelphia.

**Garage**, 430 Locust avenue, Philadelphia, \$3,500. Architect, private plans. Owner, Mrs. T. William Kimbar, on premises. Brick, 2 stories, 17x22 feet, slag roof, hot water heat, cement floor. Contract awarded to Triangle Const. Co., 44 Armat street, Philadelphia.

**Residence (alts. and add.)**, 322 South Sixty-second street, Philadelphia, \$2,225. Architect, private plans. Owner, Selma Prosen, on premises. Brick, 1 story add., 12x8 feet, general alterations. Contract awarded to L. M. Shestack, 826 Arch street, Philadelphia.

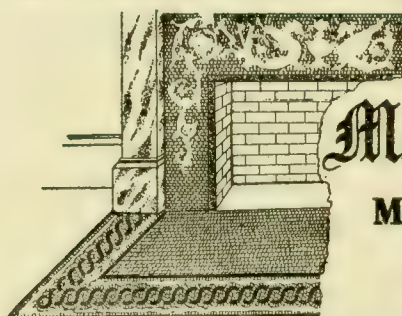
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**Apartment (alts. and add.),** 2025 North Broad street, Philadelphia, \$7,000. Architect, W. F. B. Koelle, Otis Building, Philadelphia. Owner, Fred I. Bumpus, on premises. Brick, 3 stories, general alterations. Contract awarded George Sherm & Son, 709 South Fifty-ninth street, Philadelphia.

**Maintenance Shop,** Twenty-sixth and Christian streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, concrete, steel, 2 stories, 101x60 feet, slag roof, cement floors, elevators, safety treads, roof ventilators, waterproofing, bond, metal lath, rolled steel sash and skylights. Contract awarded Franklin M. Harris & Co., 1520 Parrish street, Philadelphia.

**Church Building,** Northeast Corner Fiftieth and Aspen streets, Philadelphia. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, Reeves Memorial Presbyterian Church, on premises. Stone, brick, 1 story, gallery and basement, 57x51 feet, slag roof, pine floors, steam heat, electric light, metal lath, tile work, ornamental iron work. Contract awarded George B. Bond, Thirteenth and Sixty-sixth avenue, Philadelphia.

**Residence (alts. and add.),** 419 West Stafford street, Germantown, Philadelphia. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owner, Miss E. Carter, care of architect. General alterations, hot water heat, electric light, plumbing. Contract awarded I. A. Dunkelberger, 71 East Herman street, Philadelphia.

**Store and Residence (alts. and add.),** 5534 Chester avenue, \$3,400. Architect, private plans. Owner, George McGill, 5534 Chester avenue, Philadelphia. Brick, 1 story add., 16x13 feet, general alterations. Contract awarded to George Adams, 5905 Chester avenue, Philadelphia.

**Manufacturing Building (alts.),** Southwest Corner Sedgley avenue and N street, \$3,200. Architect, private plans. Owner, William D. Whitaker, on premises. Steel tower and tank. Contract awarded to Pittsburgh-Des Moines Steel Co., 50 Church street, New York.

**Garage,** 5025 Market street (rear), Philadelphia, \$2,050. Owner, Nathan Madel, on premises. Brick, 1 story, 16x16 feet, slag roof, cement floors. Contract awarded to Weiss & Buchanan, 5135 Market street.

**Residence and Garage,** West side Oxford avenue, North of Dyer street, \$26,000. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Harry Sarfert, Noble, Pa. Stone, 3 stories, 33x43 feet, 1 story, 23x10 feet, garage, 1 story, 20x22 feet, slate roof, hardwood and pine floors, steam heat, electric light. Contract awarded to D. R. Evans, Penfield, Pa.

**Warehouse,** 59-65 Armat street, Philadelphia, \$14,800. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Abbott's Alderney Dairies Co., on premises. Brick, steel, 1 story, 60x33 feet, slag roof, cement floors. Contract awarded to R. C. Ballinger Co., 925 Walnut street, Philadelphia.

**Residence and Store (alts. and add.),** 436 South Fifty-second street, \$5,000. Architect, private plans. Owner, Minnie Lindneer, on premises. Brick, 1 story add., 16x10 feet, general alterations. Contract awarded to Warren E. Biscoe, 3946 Baring street, Philadelphia.

**Elevator Shaft (alts.),** 137 North Seventh street, Philadelphia, \$4,500. Architect, private plans. Owners, W. A. & H. T. Haines Estate, on premises. Brick elevator shaft. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Garage and Shop,** 617 Free street, Philadel-

phia, \$5,000. Architect, private plans. Owner, Morris Feldman, 712 Ritner street, Philadelphia. Brick, 2 stories, 14x27 feet, 23x17 feet, slag roof, cement and pine floors, electric lighting. Contract awarded to S. Goldman, 2446 South Ninth street, Philadelphia.

**Garage (alts.),** 1825 Market street, Philadelphia, \$4,000. Architect, private plans. Owner, William Gerstter, on premises. General alterations. Contract awarded to Keystone State Const. Co., 210 South Thirteenth street.

**Manufacturing Building,** Northeast Corner Camac and Spring streets, \$50,000. Owners, Godfrey-Roller Co., Northwest Corner Camac and Race streets, Philadelphia. Reinforced concrete, brick, 2 stories, 49x80 feet, slag

roof, electric light, rolled steel sash. Contract awarded to A. Raymond Raff Cont. Co., 1635 Thompson street.

**Garage,** North side Sunset avenue, East of Norwood avenue, Philadelphia, \$12,000. Architect, private plans. Owner, Mrs. George C. Thomas, 301 South Twenty-first street, Philadelphia. Brick, 1 story, 39x27 feet, 29x12 feet, slag roof, cement floors. Contract awarded to George J. Watson, 421 Chestnut street, Philadelphia.

**Store Front,** Fourth and Huntingdon streets, Philadelphia. Architect, private plans. Owner, Robert Garrison, on premises. Marble work, plate glass, flush bulks. Contract awarded J. Maurer & Son, 1304 North Second street, Philadelphia.

## PENNSYLVANIA

# Construction News

**Residence,** Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Frame, 2½ stories, 36x50 feet, asphalt shingle roof, pine floors, electric light, tile work. Plans in progress.

**Parochial School,** Wilkes-Barre, Pa. Architect, Austin Reilly, Bennett Building, Wilkes-Barre, Pa. Owners, Sacred Heart Roman Catholic Church, Wilkes-Barre, Pa. Fireproof, steel, brick, 3 stories, 60x75 feet, Barrett Specification roof, hardwood floors, hollow tile, safety treads, roof ventilators (heating, plumbing and electric work reserved), metal lath, bond, iron stairs. Plans in progress.

**Apartment,** South Franklin street, Wilkes-Barre, Pa., \$40,000. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Brick, 3 stories, 35x70 feet, tile roof, hardwood floors, vapor heat, electric light, tile and marble work. Plans in progress.

**Residence,** Pittston, Pa. Architect, H. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Max Cohen, Pittston, Pa. Frame and stucco, 2½ stories, 28x41 feet, asphalt shingle roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Residence,** Pittston, Pa. Architect, H. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Harry Waldman, Pittston, Pa. Frame and stucco, 2½ stories, 39x45 feet, asphalt shingle roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Warehouse,** Wilkes-Barre, Pa. Architect, H. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, name withheld. Structural steel, brick, 4 stories, 50x115 feet, Barrett Specification roof, wood floors, hollow tile, freight elevators, waterproofing and damp-proofing, electric light, metal lath, rolled steel sash, fire doors, iron stairs. Plans in progress. Architect ready for bids.

**Residence (alts. and add.),** Bryn Mawr, Pa. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owner, Mrs. C. C. Perkins, Bryn Mawr, Pa. New sleeping

porch, bay window, etc. Architects taking bids due March 20th, 2 P. M.

**School,** Pittston, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre, Pa. Owners, St. Mary of Assumption, care of George T. Schmid, Pittston, Pa. Brick, steel, 3 stories, 55x110 feet, slag roof, pine floors, roof ventilators, waterproofing (heating, electric work and plumbing reserved), metal lath, rolled steel sash. Architects taking bids due March 12th.

**Pavilion,** West Dallas, Pa. Architects, McCormick & French, Second National Bank Building, Wilkes-Barre. Owners, Irem Country Club, West Dallas, Pa. Structural steel, 1 story, 80x160 feet, Barrett roof, steel trusses, yellow pine floors, electric light, locker rooms. Architects taking bids due March 14th.

**Apartment and Store (add.),** Market street, Nanticoke, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, Peter Kranforsky, Nanticoke, Pa. Frame, 2 stories, 42x42 feet, built-up roof, pine floors, steam heat, electric light, plate glass, metal ceilings. Plans in progress. Owner will take bids.

**School,** Forty Fort, Pa., \$300,000. Architect, Ralph M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, Forty Fort School Board, P. Crosby, secretary, Kingston, Pa. Brick, steel, 2 stories, 200x125 feet, slag roof, hardwood floors, metal lath, cut stone, iron stairs (heating, electric and plumbing reserved). Will be ready for bids next week.

**Garage and Apartment,** Allentown, Pa. Architect, C. N. Grossart, 603 Hamilton street, Allentown, Pa. Owner, Fred Petrillo, Allentown, Pa. Brick, 2 stories, 52x39 feet, Barrett roof, hardwood floors, steam heat, electric light. Owner taking bids due as soon as possible.

**School (add.),** Shabertown, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owners, Kingston Township School Board, J. Schooley, Trucksville, Pa. Frame, 2 stories, 4 rooms, shingle roof, yellow pine floors (heating, electric work and

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plumbing reserved). Architects taking bids due March 13th.

**Warehouse (add.),** Plymouth, Pa. Architect, J. A. Boyle, Bennett Building, Wilkes-Barre, Pa. Owners, Wolfe Furniture Co., Plymouth, Pa. Brick, steel, 3 stories and basement, 80x30 feet, slag roof, pine and concrete floors, hollow tile, freight elevators, elevator doors, heating extension, electric light. Owners and architect taking bids due March 17th.

**School and Chapel,** Hampdon Road and Sansom street, Upper Darby, Pa. Architect, Peter F. Getz, 1634 North Sixteenth street, Philadelphia. Owners, St. Alice's Roman Catholic Church, Rev. W. L. Hayward, on premises. Brick, cut cast stone, 2 stories and 1 story, 160x56 feet, slate roof, Georgia pine floors, metal ceilings, waterproofing and dampproofing, ornamental iron work and stairs, bond, tile and marble work, metal lath, vapor heat, electric light. Architect taking bids due March 18th.

**Residence and Garage,** Peckville, Pa. Architect, Lewis Hancock, Mears Building, Scranton, Pa. Owner, Dr. R. H. Armstrong, 541 Main street, Peckville, Pa. Brick, 2 stories, 32x42 feet, slate or shingle roof, hardwood floors, steam heat, electric light, tile work. Plans in progress. Architect will be ready for bids next week.

**Parochial School and Gymnasium,** Scranton, Pa. Architects, Morris & McHale, Mears Building, Scranton, Pa. Owners, Holy Rosary Cong., Rev. Dr. J. Moylan, 316 William street, Scranton, Pa. Brick, 3 stories and basement, 86x125 feet, composition roof, hardwood floors, hollow tile, roof ventilators, waterproofing and dampproofing (heating, electric work and plumbing reserved), tile work, iron stairs, ornamental iron work. Architect will take bids in three weeks.

**Store (alts. and add.),** Scranton, Pa. Architects, E. H. Davis & George M. D. Lewis, Union Bank Building, Scranton. Owners, Samter Brothers, 229 Lackawanna street, Scranton, Pa. Steel, brick, 1 story add., 50x90 feet, slag roof, hardwood floors, hollow tile, elevators, metal ceilings, safety treads, steam heat, electric light, metal lath, rolled steel sash, hollow metal doors, limestone, iron stairs. Plans in progress. Architects will be ready for bids in ten days.

**Store and Apartment,** Scranton, Pa. Architect, Vincent Russoniello, Scranton Life Building, Scranton, Pa. Owner, Michael Cartusciello, 1026 Jackson street, Scranton, Pa. Frame, stucco, 2 stories, 21x64 feet, slag roof, hardwood floors, vapor heat, electric light, metal lath, metal ceilings, plate glass. Owner ready for bids.

**Apartment and Store,** Scranton, Pa. Architect, Vincent Russoniello, Scranton Life Building, Scranton. Owner, William Castlegarde, 218 Chestnut avenue, Scranton, Pa. Frame, stucco, 2 stories, 32x70 feet, asphalt shingle roof, hardwood floors, vapor heat, electric light, metal lath, tile work, plate glass, metal ceilings. Architect and owner ready for bids due March 23rd.

**Residence,** Allentown, Pa. Architect, E. R. Biting, Odd Fellows' Building, Bethlehem, Pa. Owner, Joseph Schnitzer, Allentown, Pa. Stucco, frame, 2 stories, 40x20 feet, slate roof, hardwood floors, steam heat, electric light. Owner will build.

**Community Hall,** Scranton, Pa., \$600,000. Associate architects, Edward Langley, D. Morgan, W. D. Lowndes, E. H. Davis and George M. D. Lewis, Scranton, Pa. Owners, Chamber of Commerce, M. Edgar, secretary, Scranton, Pa. Fireproof. Sketches in progress.

**Double Residence,** Scranton, Pa. Architects, Morris & McHale, Mear Building, Scranton, Pa. Owner, Frank Wright, care of architects. Frame and stucco, 2½ stories,

34x50 feet, asbestos shingle roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Residence,** Scranton, Pa. Architect, Lewis Hancock, Mears Building, Scranton, Pa. Owner, Dr. J. J. Lonsdorf, Jr., Pittston avenue and Beech street, Scranton. Brick, 2 stories, 32x65 feet, slate roof, yellow pine and white oak floors, steam heat, electric light, tile work. Revised plans.

**Parish School and Parish Hall,** Old Forge, Pa. Architect, A. J. Praudzik, care of Edward Langley, Scranton Life Building, Scranton, Pa. Owners, St. Michael's Polish Roman Catholic Church, Rev. T. Kurylowicz, Old Forge, Pa. Frame, stucco, structural steel, 2 stories, 45x70 feet, slag roof, pine floors (heating, plumbing and electric work reserved), metal lath. Architect will be ready for bids about March 17th.

**Double Residence,** Allentown, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, James Cassone, 219 South Fulton street, Allentown, Pa. Brick, 3 stories, 58x56 feet, slate roof, hardwood floors, hot water heat, electric light, metal lath. Plans in progress. Owner will build.

**Twin Residences Operation,** Collingdale, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Christian Hansen, Lansdowne, Pa. Brick and stone, 2 and 3 stories, 16x40 feet, asphalt shingle roof, hardwood floors, electric light, hot water heat, tile work. Owner ready for sub-bids.

**Twin Residence Operation,** Collingdale, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, John Dillin, 2034 South Sixty-sixth street, Philadelphia. Brick and stone, 2 stories, 16x40 feet, asphalt shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner ready for sub-bids.

**High School,** Shamokin, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Coal Township School Board, Shamokin, Pa. Brick, stone, cast stone, 3 stories and basement, 350x185 feet, slag roof, pine floors, hollow tile, metal lath, fire doors, steam heat, electric light, tile and marble work, flag pole. Plans completed. Owner ready for bids.

**Residence,** Haverford, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, Lloyd Coates, care of architect. Stone, 2½ stories, 33x114 feet, hardwood floors, electric light, tile and marble work. Architect ready for bids in one week.

**Bank Building,** Ardmore, Pa. Architect, J. T. Brugger, 505 Chestnut street, Philadelphia. Owner, Ardmore National Bank, J. F. Wilson, Ardmore, Pa. Brick, steel, limestone, 1 story, 70x50 feet, 40x45 feet. Architect will be ready for bids in a month.

**Residence and Garage,** Jenkintown, Pa. Architects, Durham Brothers, 1609 Sansom street, Philadelphia. Owner, Herman Paus, Runnymede Road, Jenkintown, Pa. Stone and frame, 2½ stories, 23x37 feet, 15x20 feet, shingle roof, hot water heat, electric light, tile work, shingle roof, cement and hardwood floors. Owner taking general bids.

**Church and Sunday School,** Bloomsburg, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, St. Matthew's Lutheran Church, Bloomsburg, Pa. Concrete, brick and stone and hollow tile, 1 and 2 stories, 72x32 feet, wing 102x56 feet, composition slate roof, oak and North Carolina pine floors, painting and glazing, ornamental iron work, bond, electric light, steam heat. Architects taking bids due March 21st.

**Residence,** Melrose Park, Pa. Architects, Schermerhorn & Phillips, 315 South Fifth street, Philadelphia. Owner, John Graham, care of architect. Stone, 2½ stories, 44x44

feet, slate roof, oak and pine floors, hot water heat, electric light, tile work. Architects taking bids due March 19th.

**United States Post Office,** Dubois, Pa. Architect, James A. Wetmore, Washington, D. C. Owners, Treasury Department, United States Government, Supervising Architect, Washington, D. C. Brick and concrete, steel, 1 story, 60x95 feet, slag roof, cement floors, painting and glazing, metal weather strip, dampproofing, ornamental iron work, bond, tile and marble work, electric light, steam heat, cold water paint. Owners taking bids due March 18th at 3 P. M.

**Residence,** Merion, Pa. Architects, McIlvaine & Roberts, Otis Building Philadelphia. Owner, S. Townsend Zook, 112 Elmwood avenue, Narberth, Pa. Stone, cut stone, 2½ stories, 70x35 feet, slag and slate roof, oak and pine floors, painting and glazing, ornamental iron work, bond, tile and marble work, electric light, hot water heat. Architect taking bids due March 13th.

**Residence and Garage,** Cynwyd, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, Mrs. Theodore Loder, Cynwyd, Pa. Stone, cut stone, 2½ and 1½ stories, 65x20 feet, garage, 21x18 feet, shingle roof, oak and cement floors, painting and glazing, ornamental iron work, bond, tile work, hot water heat, electric light. Architects taking bids due March 13th.

**Building (alts.),** Fayette and Elm streets, Conshohocken, Pa. Architects, Smedley Durham Co., 1345 Pine street, Philadelphia. Owner, David Gabin, on premises. Brick, steel, hot water heating (alts.), electric light, cement floors, painting and glazing, carpentry and mill work, sheet metal work, waterproofing, ornamental iron work. Architects taking bids due March 15th.

**Theatre,** Mahoney City, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Chamberlain Amusement Enterprise, Mahoney City, Pa. Brick, stone, caststone, 1 story, 70x160 feet, steam heat, electric light, tile and marble work, metal lath, fire doors, slag roof, cement and pine floors, hollow tile. Architect taking bids due March 26th.

**Southern Junior High School,** Tenth and Chestnut streets, Reading, Pa. Architect, E. Z. Scholl, 136 East Robeson street, Reading, Pa. Owners, Reading School District, J. Newton Roads, president, Reading Pa.; Harry Yost, chairman; E. Heim, secretary. Brick and concrete, 3 stories, 229x92 feet, asphalt roof, maple floors (plumbing, heating, electric separate). Owners taking bids due March 25th.

**Lodge Building,** Shamokin, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Red Men's Home, Association Lodge 528, Shamokin, Pa. Brick, stone, steel, 3 stories and basement, 28x95 feet, slag roof, concrete and pine floors, plumbing, dumb waiters, flag pole, metal bulks, ornamental iron work, prest-metal joist, marble work, metal lath, electric light, hot water heat. Architect taking bids due March 14th.

**Church,** Osceola Mills, Pa. Architects, Morris & McHale, Mears Building, Scranton, Pa. Owners, Immaculate Conception Church, Rev. M. J. Renahan, Osceola Mills, Pa. Brick, steel, 1 story and basement, 112x62 feet, asbestos shingle roof, pine floors (heating, plumbing and electric work reserved), metal lath, tile and marble work, kitchen equipment for basement. Architects taking bids due March 25th.

**Residence and Garage,** Overbrook, Pa. Architect, I. Demshick, 1701 Chestnut street, Philadelphia. Owner, Louis Halprin, Commonwealth Building, Philadelphia. Stone, 2½ stories and 1½ stories, 58x28 feet, garage 20x20 feet, wing to residence 25x25 feet (heating, electric and plumbing reserved),



slate roof, oak and pine floors, painting and glazing. Architect taking bids due March 14th.

**Garage, Show Room and Accessory Shop,** Quarry and Chester Pike, Darby. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. Foster, on premises. Brick, steel, concrete, 2 stories, 70x100 feet, slag roof, maple floors, plate glass, steam heat, electric light, metal lath, fire doors, hollow metal skylights, metal bulks. Owner taking bids due March 15th.

**Residence,** Drexel Hill, Pa. Architect, Guy B. Johnson, 5413 Media street, Philadelphia. Owner, J. Lamont Stewart, Glenolden, Pa. Stone and stucco, 2½ stories, 43x29 feet, hot water heat, electric light, tile work, metal lath, plumbing, painting and glazing, oak, pine and cement floors. Owner taking bids due March 14th.

**Convent,** Shamokin, Pa. Architect, Paul A. Monaghan, 1713 Sansom street, Philadelphia. Owners, St. Stanislaus' Roman Catholic Church, Rev. A. Toplonski, 106 Cherry street, Shamokin, Pa. Brick, cut stone, steel, 3 stories, 68x78 feet, composition roof, oak and pine floors, painting and glazing, roof ventilators, bond, hollow metal sash, tile and marble work, metal lath, electric light, vapor heat. Architect taking bids due March 18th.

**Silk Mill,** Bloomsburg, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Bloomsburg Silk Mills, Bloomsburg, Pa. Brick, steel, 1 story, 110x161 feet, composition roof, cement floors, painting and glazing, plumbing, ornamental iron work, bond, hollow metal sash. Architects taking bids due as soon as possible.

**Grade High School,** Coatesville, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Board of Education, H. R. Vanderslice, Coatesville, Pa. Low bidders: Fireproof construction, W. K. Thorn, Coatesville, Pa., \$72,000. Slow-burning construction, W. R. Beard, Coatesville, \$61,545. Heating, all bids rejected.

**Road Work, Pennsylvania.** Owners, Department of Highways, Harrisburg, Pa. Owners taking bids due March 17th, at 10 A. M.

Allegheny and Westmoreland Counties, Route 187, Patton and Franklin Townships, 22,552 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$4,000.

Butler County, R-79, Butler, Connoquenesing and Franklin Townships, 26,644 feet. One course reinforced concrete. Certified check, \$4,000.

Butler and Lawrence Counties, R-79, Muddy Creek and Slippery Rock Townships, 33,881 feet. One course reinforced concrete. Certified check, \$4,000.

Chester County, R-142, Caln Township, 22,056 feet. One course reinforced concrete. Certified check, \$4,000.

Dauphin County, R-1, Halifax and Upper Townships, 3,199 feet. One course reinforced concrete. Certified check, \$1,000.

Delaware County, R-133, Newton and Edgemont Townships, 17,704 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,500.

Delaware County, R-130, Springfield and Nether Providence Townships, 1,167 feet. Grading and drainage. Certified check, \$1,000.

Erie County, R-271, Waterford and Le Boeuf Townships, 26,197 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Lackawanna County, R-9, South Abington Township and Clark's Summit Borough, 8,199 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$1,500.

Lehigh County, R-226, A-1926, Heidelberg

and Lynn Townships, 20,273 feet. One course reinforced concrete. Certified check, \$4,000.

McKean County, R-95, Mt. Jewett Borough and Hamlin Township, 19,984 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

Somerset County, R-52, Conemaugh Township, 7,393 feet. One course reinforced concrete. Certified check, \$1,500.

Susquehanna County, R-14, Jessup and Bridgewater Townships and Montrose Borough, 27,214 feet. One course reinforced concrete. Certified check, \$4,000.

#### Replacement:

Armstrong County, R-69, South Buffalo Township, 11,516 feet. One course reinforced concrete. Certified check, \$2,000.

Butler County, R-73, Butler and Center Townships, 11,202 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Butler County, R-73, Mercer Township, 10,548 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Cambria County, R-222, Richland and Stony Creek Townships, 7,318 feet. One course reinforced concrete. Certified check, \$1,500.

## Pennsylvania Contracts Awarded

**Residence,** Forty Fort, Pa. Architect, H. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Harry Shaffer, Forty Fort, Pa. Stucco and frame, 2½ stories, 25x30 feet, asphalt shingle roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to Le Valley & Wesley, Kingston, Pa.

**Bank (alts. and add.),** Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Brick, steel, 1 story, 40x60 feet, slag roof, composition floors, tile work, electric light, (2) vaults. Contract awarded to George T. Dickover & Sons, Simon Long Building, Wilkes-Barre, Pa.

**Apartment,** Kingston, Pa. Architects, Mack & Salm, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Dr. M. C. Rumbaugh, 618 Wyoming avenue, Kingston, Pa. Steel, brick, 4 stories, 47x58 feet, slag roof, pine floors, hollow tile, vapor heat, electric light, tile work. Contract awarded to J. Curtis & Co., 1 Hickory street, Wilkes-Barre.

**Residences (2),** Nos. 57-58, Wynnewood, Pa. Architect, Frank Seeburger, 1524 Chestnut street, Philadelphia. Owner, name withheld. Stone, brick, stucco, 2½ stories, 43x24 feet, 37x24 feet, shingle roof, oak and pine floors, tile work (plumbing, heating, electric reserved). Contract awarded J. Howard Roberts, Lansdowne, Pa.

**Theatre Foundations,** Mahoney City, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Chamberlain Amusement Enterprise, Mahoney City, Pa. Reinforced concrete, 70x160 feet. Contract awarded Stoffel & Tillotson, Wesley Building, Philadelphia.

## New Jersey Construction News

**High School,** North Plainfield, N. J. Associate architects, J. T. Simpson & Brown Ralston, Newark, N. J. Owners, Board of Education, North Plainfield, N. J. Brick, limestone, steel, reinforced concrete, 2 stories,

178x136 feet, slag roof, maple and cement floors, hollow tile, painting and glazing, waterproofing and dampproofing, bond, fire doors, metal lath. Owners taking bids due March 28th.

**Junior High and Grade School,** Pensauken, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Pensauken Township School Board of Education, N. J. Brick, reinforced concrete, cut stone, granite, limestone, 2 stories, 258x156 feet, slag roof, linoleum, cement and maple floors, safety treads, painting and glazing, ornamental iron work, bond, kalamein doors, rolled steel sash, tile, marble and terrazzo work, metal lath (heating, electric and plumbing separate). Owner taking bids due March 19th.

**Bank,** Atlantic avenue, Atlantic City, N. J. Architect, J. H. Vaughn, Guarantee Trust Building, Atlantic City. Owners, Seaside Trust Co., T. Schimp, president, Guarantee Trust Building, Atlantic City, N. J. Fireproof and terra cotta, 1 story, 45x90 feet, slag roof, terrazzo floors, hot water heat, electric light, tile and terrazzo work, rolled steel skylights, kalamein doors, metal window guards, ornamental iron work. Plans in progress. Architect will take bids in one week.

**Hotel (Edgewater),** 123 South South Carolina avenue, Atlantic City. Architect, J. R. Ogden, 143 South South Carolina avenue, Atlantic City. Owner, care of architect. Brick, 2 stories add., general alterations. Architect ready for bids.

**Aquarium,** Forrest Hill Park (Memorial Building), Camden, N. J. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owners, Department of Parks and Public Property, H. Raymond Staley, Camden. Concrete, block and stucco, 35x35 feet, 4 wings 21x21 feet, Spanish tile or concrete tile roof, electric light, waterproofing. Preliminary plans in progress.

**Church and Sunday School,** Audubon, N. J. Architect, F. R. Watson, 1211 Walnut street, Philadelphia. Owners, Logan Memorial Presbyterian Church, Rev. G. Kane, Audubon. Steel, 1 story, 40x70 feet. Plans in progress.

**Residence,** Haddon Heights, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owner, name withheld. Hollow tile and stucco, 2 stories, 40x50 feet, slate roof, hardwood floors, electric lighting. Plans in progress.

**Residence,** Twenty-seventh and Benson streets, Camden, N. J., \$9,000. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, C. H. Bowers, care of architect. Brick, 2½ stories, 26x30 feet, slate roof, pine and oak floors, hot water heat, electric light. Plans in progress.

**Stores and Residences (4),** Pensauken Township, N. J., \$30,000. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, F. S. Russell, care of architect. Brick and block, 2 stories, 80x58 feet, slag roof, pine floors, hot water heat, electric light. Ready for sub-bids.

**Residence,** Belmont Circle, Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owner, Senator H. D. Leavitt, State and Warren streets, Trenton. Brick, 2½ stories, 40x30 feet, slate roof, hardwood floors, steam heat, electric light, tile and marble work. Architect ready for sub-bids.

**Residence,** Trenton, N. J. Architect, Walter Hankin, 39 East State street, Trenton, N. J. Owners, Robinson & O'Donnell, Trenton, N. J. Brick, 2½ stories, 40x56 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress. Owners will build.

**School,** Lambertville, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, Lambertville School Board, A. L. Gimson, Lambertville, N. J.



Brick, steel, reinforced concrete, 3 stories, 125x56 feet, composition or slag roof, hardwood and concrete floors, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing (heating, electric and plumbing reserved), metal lath, tile and marble work, rolled steel sash and skylights, fire doors, bronze work, bond, iron stairs, ornamental iron work. Owners will be ready for bids in a few days.

**Residence and Garage**, Vineland, N. J. Architect, Walter Custer, Bridgeton, N. J. Owner, John Joseph, Vineland, N. J. Hollow tile and stucco, 2½ stories, 20x48 feet, wing 20x20 feet, hot water heat, electric light, tile work, cement work, hardwood and cement floors, shingle roof. Architect will be ready for bids in a few days.

**Office Building**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, United Clay Mines, American Mechanics' Building, Trenton. Brick, frame, 2 stories, 30x50 feet, slag roof, hardwood floors, hot water heat, electric light, roof ventilators, metal ceilings. Architect taking bids due March 13th.

**Church**, Vineland, N. J. Architects, Mills & Van Kirk, Harrison Building, Philadelphia. Owners, Church of the Pilgrim, Rev. J. MacMillan, Vineland, N. J. Brick, structural steel, limestone, 2 stories and basement, 56x96 feet, oiler room in the rear, vapor heat, electric light, tile work, pews, pipe organ, painting and glazing, quarry slate roof, pine floors, plumbing, mill work, cabinet work, grading, terracing, cement work, kitchen equipment, expanded metal. Architects taking bids due March 14th.

**Residence**, Atlantic City, N. J. Architect, S. G. Dobbins, Segal Building, Atlantic City, N. J. Owner, S. G. Dobbins, Segal Building, Atlantic City, N. J. Cinder block and stucco, 1 story, 45x56 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Architect taking bids.

**High School**, Bordentown, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Bordentown School Board, Mr. Bechtel, Bordentown, N. J. Brick, steel, 2 stories and basement, 140x120 feet, Barrett built-up roof, composition and pine floors, hollow tile, safety treads, terra cotta. Low bidder: William C. Ehret Co., 13 West State street, Trenton, \$113,784. Heating, Trenton Plumbing & Heating, Trenton, N. J., \$15,848. Plumbing, Charles M. Whelan, 1126 South Broad street, Trenton, \$7,597. Electric, A. Bensol, Y. M. C. A. Building, Trenton, N. J., \$2,330.

**City Hall**, Northfield, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owners, City of Northfield, care of architect. Brick, hollow tile and stucco, 2 stories, 35x50 feet, slate roof, hardwood floors, roof ventilators, tile work, rolled steel sash. Lowest bidder: Charles Corson, Linwood, N. J.

## New Jersey Contracts Awarded

**School (add.)**, Florence, N. J., \$124,500. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Florence Township School District, E. Robbins, Florence, N. J. Brick, 2 stories, 12 rooms and auditorium, slate roof, maple floors, hollow tile, safety treads, tile work, metal lath, bond. Contract awarded to Thomas Day & Sons, Fitzcharles Building, Trenton. Plumbing to Trenton Plumbing & Heating Co., Trenton, N. J., \$5,648. Heating to Mechanical Equip. Co., 214 South Twelfth street, Philadelphia, \$22,944. Electric to Jackson Elec. Co., Trenton, N. J., \$3,924.

**School (add.)**, Roebling, N. J., \$74,000. Ar-

chitects, P. L. Fowler Co., Fitzcharles Building, Trenton. Owners, School Board of Florence Township, E. Robbins, Florence, N. J. Brick, 3 stories add., 38x45 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators, metal lath, tile work. Contract awarded to General Cont. & Const. Co., Trenton, N. J. Heating to William G. Royer, 510 Stuyvesant street, Trenton, \$15,525. Plumbing to William G. Royer, 510 Stuyvesant street, Trenton, \$3,925. Electric to Jackson Elec. Co., Forst Richey Building, Trenton, \$1,500.

**Power House**, Highstown, N. J. Architect, W. E. S. Dyer, Land Title Building, Philadelphia, Pa. Owners, Peddie Institute, Highstown, N. J. Brick, steel, 1 story, 57x45 feet, slag roof, cement floors, plumbing, rolled steel sash, bond, ornamental iron work, terra cotta work. Contract awarded Frank G. English, 1610 North Carlisle street, Philadelphia.

**Bank and Apartment**, Pleasantville, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Pleasantville National Bank, B. Whitman, president, care of architect. Fireproof, steel, brick, concrete, 3 stories, 42x106 feet, slate roof, hardwood and tile floors, hot water heat, electric light, metal lath. Contract awarded to William Sharrock, Somers Point, N. J.

**Memorial for Colored Veterans**, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owners, City of Atlantic City, L. Steinbrecker, Atlantic City, N. J. Concrete, steel, brick, 4 stories, 60x100 feet, slag roof, concrete and pine floors, electric light, metal lath, waterproofing. Contract awarded to Lam Building Co., 1001 Wood street, Philadelphia.

**Store and Apartment**, 717 Broadway, Camden, N. J., \$15,000. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Carl Swartz, care of architect. Brick, cement block, 2 stories, 21x96 feet, slag roof, hardwood and pine floors, hot water heat, electric light, plate glass, copper work, limestone trim, plate glass, tile work, ornamental iron work. Contract awarded to Bezhaher & Schulke, 348 Kaighn avenue, Camden. Plumbing and heating awarded to Philip Willdin, 434 Liberty street, Camden, N. J., \$2,200.

**Store Building**, Bridgeton, N. J. Architect, Walter Custer, Bridgeton, N. J. Owner, Max Goldberg, Bridgeton, N. J. Brick, steel, 2 stories, 75x100 feet, slag roof, pine floors, steam heat, electric light, tile and marble work, metal bulks, metal ceiling. Contract awarded George Maier & Bro., Bridgeton, N. J.

**Public Building**, Mt. Holly, N. J. Architects, E. A. Wightman, Heed Building, Philadelphia; W. G. Le Coney, Moorestown, N. J. Owners, Board of Chosen Freeholders, Burlington County, N. J. Brick, stone, steel, 1 story and basement, 60x65 feet, slag roof, cement and pine floors. Contract awarded C. H. Moses, Edgewater Park, N. J.

## Delaware Construction News

**Road Work**, Delaware. Owners, State Highway Department, Dover, Delaware. Owners taking bids due March 26th at 2 P. M. Bond. Deposit of \$10.00 (refunded).

Contract CN 16, Bear-Christiana, 2.18 miles. Excavation, borrow, cement concrete pavement, pipe concrete gutter, wood shoulder curb.

Contract CN 17, Basin Corner-New Castle, 1.90 miles. Excavation, borrow, broken stone base cement, concrete pavement, concrete reinforcement, pipe, concrete gutter, rail, curb.

Contract CK 21, Clayton-Smyrna, 0.836 mil. Excavation, borrow, cement concrete pavement, slag cement concrete pavement,

Class A concrete, R. C. pipe, cable guard rail, wood shoulder curb, center longitudinal joint.

## Delaware Contracts Awarded

**Cottages A and B and Power House**, Dover, Del. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, Elizabeth Murphy School, Dover, Del. Brick, reinforced concrete steel, 2 stories and basement, 73x44 feet, power house, 39x48 feet, 79x48 feet, slate roof, pine floors, roof ventilators, ornamental iron work, bond, kalamein doors, tile and marble work, metal lath, electric light, hot water and steam system. Contract awarded Bennett McLaughlin, 17 South Seventeenth street, Philadelphia.

## Miscellaneous Construction News

**Gwynn's Falls Park High School**, Helton and Hoffman Lane, Baltimore, Md. Architects, Smith & May. Engineer, Henry Adams, all of Baltimore, Md. Owners, Mayor and City Council, H. W. Jackson, Mayor; Robert Garrell, chairman; H. G. Perring, supervising engineer, Public Imp. Commissioners, Baltimore, Md. Brick, east stone, steel, granite, limestone, 3 stories and basement, 353x181 feet, steam heat, electric light, metal lath, terrazzo work, rolled steel sash and skylights, fire and kalamein doors, bond, ornamental iron work and stairs, painting and glazing, waterproofing and dampproofing, roof ventilators, elevators, pine, cement and linoleum floors, concrete steel, composition, slate roof, electro mech. gong system, vacuum cleaning system, swimming pool. Owners taking bids due March 19th.

**Seminary Building**, High Point, St. Louis, Mo. Architects, Day & Klauder, Franklin Trust Building, Philadelphia. Owners, Concordia Lutheran Seminary, High Point, St. Louis, Mo. Architects taking bids due March 31st.

## Proposals

### NOTICE

Sealed Proposals will be received by the Pennsauken Township Board of Education at 8 o'clock P. M., March 19th, 1924, for the General Construction, Heating, Plumbing and Electric Work for new Junior High and Grade School to be built by the Pennsauken Township Board of Education on Merchantville Avenue, south of Cramer Street, Pennsauken Township. Drawings and specifications can be seen at the office of Arnold H. Moses, Architect, Temple Building, Camden, N. J., on and after Saturday, March 1st, 1924.

ARNOLD H. MOSES,  
Architect.

**Want to hear from owner having farm for sale; give particulars and lowest price.** John J. Black, Chippewa Falls, Wisconsin.

The Carter Paving Co., Reinforced Concrete, Cement Work and Cement Paving, will move on or about March 15th from their present address, 18th & Fairmount Ave., Philadelphia, to their new offices and yards at the N. E. Corner of 50th and Lancaster Ave., Philadelphia.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarriek Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F.....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Berko Bros. ....Randolph and Wood Sts., Phila.  
Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.  
Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.  
Builders' Specialty Co., Inc. ....1844 N. Front St., Phila.  
Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## HAULING CONTRACTORS.

McCarriek Bros. ....3138 N. 24th St., Phila.  
Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.  
Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.  
Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ...19th and Washington Ave., Phila.  
Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Berko Bros. ....Randolph and Wood Sts., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOLEUM.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Felln, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.  
Gillingham Co. ...Norris and Richmond Sts., Phila.  
Ketcham, Howard.....3rd and Girard Ave., Phila.  
Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.  
Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.  
Italian Marble Mosaic Co. ....433 Spruce St., Phila.  
Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.  
Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## OIL BURNERS.

Oliver Oil-Gas Burner Co. Oliver Bldg., St. Louis, Mo.

## ORNAMENTAL IRON.

Berko Bros. ....Randolph and Wood Sts., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## PAINTS AND VARNISHES.

Truscon Laboratories....1432 S. Penn Square, Phila.

## PAPERHANGING AND DECORATING.

Sukerman, S. ....2958 N. 22nd St., Phila.

## PAVING BRICKS.

Ketcham, O. W. ....121 N. 18th St., Phila.

## PHOTOSTATS.

Weber, F., Co. ....1125 Chestnut St., Phila.

## PLUMBING FIXTURES.

Fleck Bros. Co. ....44 N. 5th St., Phila.

## RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REFRIGERATORS.

Borden Stove Co. ....1026 Arch St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REINFORCING BARS.

Lukens, Lewis N. ...19th and Washington Ave., Phila.

## ROOFING SLATE.

Chapman Slate Co. ....Bethlehem, Pa.

## ROOFING TILE.

Ketcham, O. W. ....121 N. 18th St., Phila.

## SAFETY GUARDS.

Berko Bros. ....Randolph and Wood Sts., Phila.  
Cyclone Fence Co. ....20 S. 15th St., Phila.

## SAND AND GRAVEL.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

## SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## SHEET METAL AND ROOFING.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## SHEETROCK (Wall Board).

Pearce Fireproof Co. ....1345 Arch St., Phila.  
Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

## SHORING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## SOUNDINGS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

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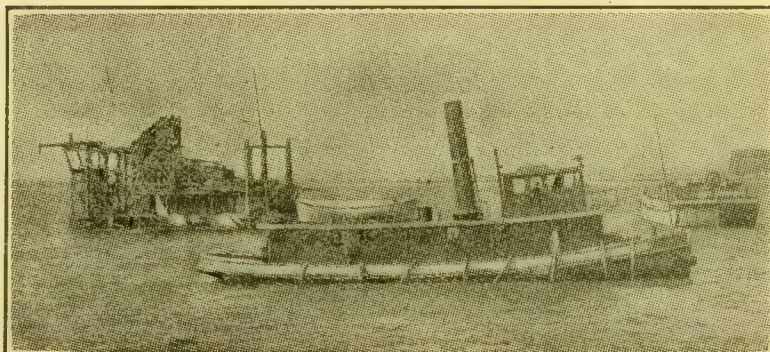
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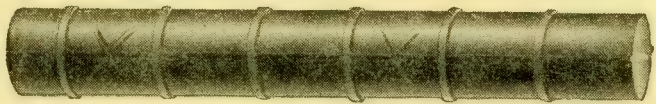
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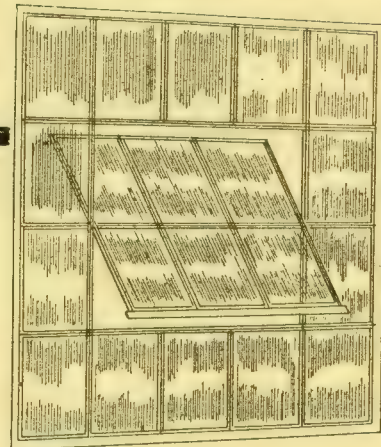
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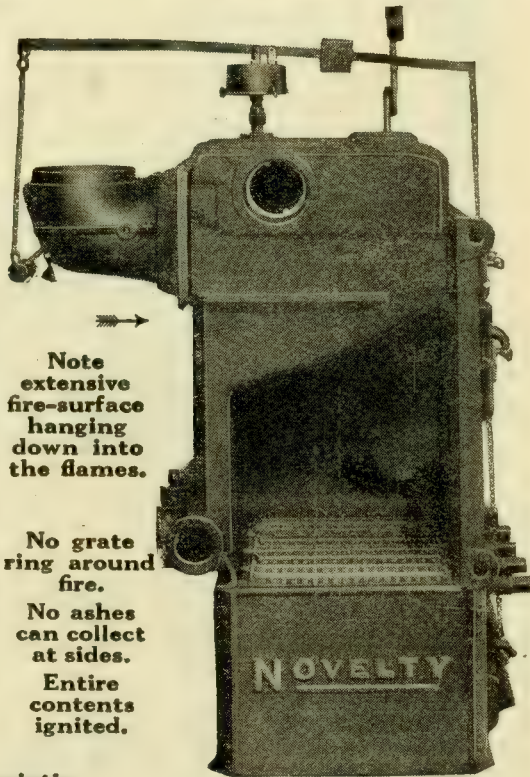
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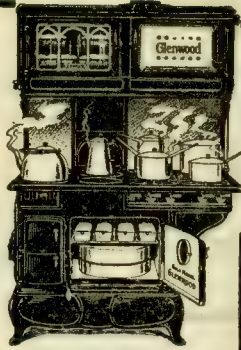


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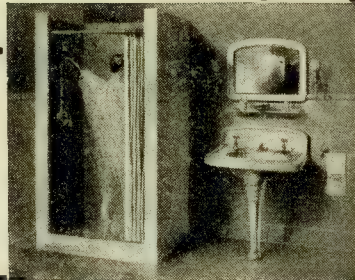


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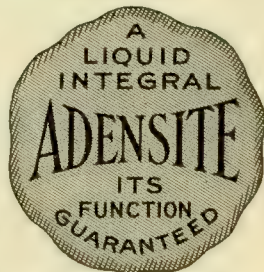
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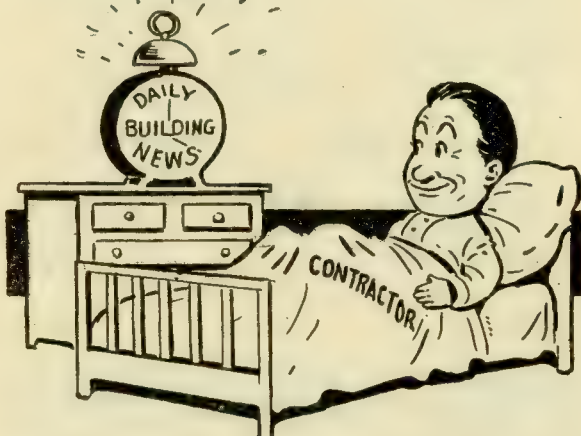
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# BUILDERS' GUIDE

VOLUME XXXIX  
Number 12

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

PHILADELPHIA  
March 19, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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## As The Editor Sees It



### A NEW HOTEL IN YOUR TOWN

#### VI. The Architect's and Builder's Relation to the Enterprise

A full description of the services the Architect, engineer and builder should render to the new hotel.

BY W. L. STODDART,  
Architect

Reprinted Through the Courtesy of  
"Hotel Management"

Let us suppose that the new hotel project has passed through the preliminary stages as described in the foregoing articles in this series. These stages consist of the organization of the board of directors or business men's committee who initiated the project, the preliminary negotiations with the prospective lessee, the selection of the site, determination of the hotel's size, preparation of a report with a view to outlining the type of hotel that will best meet the city's needs, the determination of its approximate cost and the fund raising campaign.

The next step in launching the new hotel is that of selecting its architect. In nine cases out of ten, the business men who start a project of this kind are not trained to read an architect's plans or specifications, which means that they must largely depend on his honesty and ability, and that they are obliged to place absolute trust, both in him and in his organization. For these reasons, it is obviously of first importance to select a man whose training and experience is such that there

is no question as to his fitness for designing a hotel that is artistic, structurally correct with proper mechanical equipment, and one that will prove efficient in its planning for economical and satisfactory operation.

Of course, the views of the prospective lessee should be consulted when it comes to choosing the architect, but it is, in my opinion, a mistake for the owners to insist on the architect's complying with all of the lessee's ideas, for the directors must remember that the original lessee may have unusual—and perhaps—too elaborate—opinions as to how the hotel should be built, and that the ideas of another lessee may be entirely different. It is, therefore, better to erect the hotel along sound, conservative lines so that when the first operator's lease expires, it will not be difficult to find a man to take his place should they or he wish to sever relations. It is therefore doubly important that the architect should have had wide experience in the planning and building of hotels so that he can, without reservation, properly advise the owners regarding important rearrangements of the plans under consideration.

#### What Architectural Service Should Include

The standard fee that the Institute of Architects calls for is not less than 6% of the total cost of the building, plus traveling expenses incurred in supervising its erection. The owners are also ex-

pected to furnish the architect with a survey of the property. In return the architect should give complete architectural and engineering services. These as a rule, include the following items:

Preliminary sketches and a statement showing the cubical contents and approximate cost per cubic foot.

These sketches include an exterior elevation of the building and plans as follows:

Section                      Basement floor  
Lobby floor  
Typical bedroom floors.

After the owners and prospective lessee have had an opportunity to go over these sketches, and after whatever modifications have been decided on are approved by them, the working drawings and specifications are prepared by the architect. This portion of the architect's service includes all the architectural drawings and specifications, covering as a rule, the following items:

All architectural plans and specifications  
Structural drawings and specifications  
Mechanical drawings and specifications including  
Plans of the plumbing layout  
Plans of the heating and ventilating layout  
Plans of the electrical layout.

#### Selecting the General Contractor

As soon as all the working drawings

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and specifications have been approved by the owners and lessee, copies are sent to a selected list of responsible contractors for their estimates. The selection of contractors to bid on the work is generally left to the judgment of the architect, due to his experience and knowledge of their ability and financial standing.

In sending out working drawings and specifications to the general contractors, it is always a good plan to ask for alternate bids which will give the owners an opportunity to reduce the cost if it found necessary to do so and if this can be done without in any way impairing its quality.

When all the contractors bids are in, another conference takes place between the owners, lessee and architect, all of whom should be given an opportunity to express their opinions as to the basis on which the contract should be awarded.

Prior to this point in the procedure it will have become necessary to decide as to whether the general contractor will also be held responsible for the mechanical equipment. As a general rule I believe it better to ask for separate bids on the mechanical work and to select the mechanical contractors separately from the general contractor. Then, in my opinion, all of the work should be included under one general contract.

Obviously, the form of contract entered into with the builder is of vital importance. There are many different methods for determining the builder's compensation—they are too many and complicated to enumerate here. The architect's opinion on this point is, or at least should be, of considerably more value than that of the other groups, for if he is the type of business man he should be, he will be just as familiar with this phase of the work as with its creative aspects.

Once the general contractor has been selected, his first step is that of letting the sub-contracts for the various divisions of the work. The architect should be asked to pass on the ability, experience and financial standing of each of these sub-contractors.

There is but one standard and recognized method for payments to the general contractor. This is through the monthly issuance by the architect of certificates of payment to the builder covering 85% to 90% of the value of the work completed during the course of the preceding month. The final payment on the retained percentage is made after the completion of the contract as approved by the architect.

As soon as these negotiations have been concluded, the architect prepares the full sized detailed drawings which go to the general contractor who in turn issues them to the sub-contractors who then prepare shop drawings for the manufactures of the work covered by their con-

tracts. The architect approves these latter drawings before the work is executed. This procedure applies to all the finished and manufactured parts that are to be incorporated in the new hotel, with the exception of its mechanical equipment, and further excepting the structural steel and reinforced concrete work, for which the successful sub-contractors prepare the detailed shop drawings. These latter drawings should be approved by the structural engineer in the architect's office before the work is executed.

When properly executed by the architect's engineering staff, the detailed mechanical drawings are so complete that no shop drawings are required with the exception of those for such specialties as boilers, pumps, plumbing fixtures, valves, and the like, which are submitted for approval by the manufacturers who are to supply them, and which should also be approved by the architect as coming up to the requirements of the specifications before this equipment is ordered.

#### *Starting Work on the New Hotel*

The above procedure covers in a general way the preparatory steps which must be taken before actual work on the build can start. The next step is for the architect and general contractor to each install his superintendent on the work. These two superintendents are the representatives of their firms and are in direct charge—the first, of the architect's part in the building and the second, of the general contractor's. It is the former superintendent's duty to see to it that the general contractor and the mechanical contractors, comply with all the architect's plans and specifications, while the general contractor's superintendent watches the work of his own men and that of the sub-contractors. If the architect's office is at a distance his superintendent sends daily or semi-weekly reports on the progress of the work.

Where a procedure of this kind is rigidly followed and where no undue delays such as labor troubles freight congestion or the like are encountered, the building should progress smoothly to its successful completion.

It is only through strict adherence to a carefully organized working plan such as this that the hotel can be properly built. Furthermore, it goes without saying that each of the men who enter into it must be thoroughly competent, practical and experienced. A hotel presents more difficult construction problems than any other type of building. In it are combined many of the features that characterize private homes, factories, stores, office buildings, banks and public institutions. And it is specialized knowledge of hotel operating as well as hotel construction problems that the owners and lessee should insist on when negotiating with architects, builders and engineers.

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**Service Station**, 900-02-04 South Second street, Philadelphia. Architect, private plans. Owners, Gulf Refining Co., Widener Building, Philadelphia. Size of lot 70x68 feet irregular. Plans in progress.

**Residences (110)**, Forty-fifth and Wyalusing avenue, Philadelphia, \$619,800. Architect, private plans. Owner, David L. Sloan, 1911 North Sixty-third street, Philadelphia. Brick, 2 stories, 15x39 feet and 15x29 feet, 10x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, East side Ferndale street, North of Rhaun street, \$4,000. Architect, private plans. Owner, L. Bridgewater, 102 Loney street, Philadelphia. Frame, 1 story, 30x26 feet, electric work, hardwood and pine floors. Owner will build.

**Subway Terminal**, around Twelfth and Nedro streets, Philadelphia, \$1,350,000. Owners, City of Philadelphia, City Transit, Philadelphia. Shop, terminal building, etc. Site not yet selected. Work contemplated.

**Sunday School Building**, Philadelphia. Architect, S. D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Stone and brick, 1 story, basement and balcony, will contain gym and class rooms, 50x90 feet, steam heat, electric light, slate roof, pine and maple floors, plumbing. Preliminary plans in progress.

**Church, Sunday School and Gym**, Lawndale, Philadelphia. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owners, Lawndale Presbyterian Church, Rev. William T. Caldwell, Lawndale, Philadel-

phia. Stone, 100x100 feet, slate roof, pine floors, vapor heat, electric light, kitchen equipment, mezzanine. Plans in progress.

**Store and Apartment (alts. and add.)**, 2258 North Broad street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Plans in progress.

**Schools (4)**, Fifty-third and Media, Fifth and Sixty-fourth avenue, Stanwood and Frontenac, and Rodney, Lawler, Sedwick and Mt. Pleasant streets, Philadelphia. Architect, private plans. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Preliminary plans in progress. Work contemplated.

**Residences (20), Stores (2), Garage**, South side Lemmore avenue, Sixty-fifth to Sixty-Sixth streets. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, 2 stories, 20x35 feet, slag roof, pine and composition floors, metal lath, flush bulks, bond, store fixtures, hollow metal skylights, tile work, electric light, hot water heat. Owner will build. Architect taking sub-bids due at once.

**Store (alts.)**, West Philadelphia. Architect, S. D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Cement work, plumbing, plastering, plate glass, electric light, new bulks, painting. Architect taking sub-bids.

**Alterations**, 1316 South Thirteenth street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Fiorindo Biralli, 818 South Thirteenth street, Philadelphia. Tapestry brick, general alterations, front and rear addition, plate glass, carpentry and mill work, plastering, cement work, painting, metal bulks. Owner will build and is taking sub-bids.

**Residence and Garage**, Chestnut Hill, Philadelphia. Architects, Boyd, Abel & Gurgert, Otis Building, Philadelphia. Owner, Louis Weiderheld, 316 Walnut street, Philadelphia. Stone and brick, 2½ stories, 42x41 feet and 21x29 feet, slate roof (lighting, heating, plumbing separate bids), corks, cement, oak and pine floors, tile work, ornamental iron work. Architect will take new bids in a week.

**Apartment House**, Nineteenth and Ritten-

house streets, Philadelphia. Architects, Sugerman, Hess & Berger, 16 East Forty-third street, New York. Owners, Company, care of F. E. D. Thayer, Drexel Building, Philadelphia. Brick, steel, limestone, 15 stories, 95x42 feet (plumbing, heating, electric reserved), Barrett Specification roof, cement floors, hollow tile, elevators, shoring, waterproofing, terra cotta, ornamental iron work, iron stairs, bond, kalamein and hollow metal doors, rolled steel skylights, hollow metal sash, tile and marble work, metal lath, mail chutes. Will take new bids soon.

**Municipal Court Building**, Eighteenth to Nineteenth, Vine to Race streets, Philadelphia. Owners, City of Philadelphia, care of Commissioner Holmes, City Hall, Philadelphia. New plans will be drawn.

**Loft Factory**, 1024-28 Buttonwood street, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Brick, reinforced concrete, steam heat, electric light, slag roof, maple floors, freight elevators, rolled steel sash, fire tower, freight elevators, rolled steel sash, fire tower, kalamein doors. Architect taking new bids due March 15th.

**House**, Southeast Corner Ninth and Shunk streets, Philadelphia. Associate architects, J. E. Fieldstein and A. C. Bieber, Otis Building, Philadelphia. Owner, name withheld. Brick, steel, cut stone, 2 stories and basement, 100x42 feet, slag roof (heating, plumbing, electric, kitchen equipment separate bids), maple and composition floors, painting and glazing, rolled steel skylights, tile work, metal lath (alternate cast stone), oil burning system. Architects taking bids due March 24th.

**Fire Cleaners' and Hostlers' Building**, Tulip Street Yards, Philadelphia. Architect, Samuel T. Wagner, Reading Terminal, Philadelphia. Owners, Philadelphia & Reading Railroad, Reading Terminal, Philadelphia. Brick and steel, 1 story, 32x14 feet, asbestos roof, asphalt floors, painting and glazing, bond, ornamental iron work. Architect taking bids due March 24th.

**Building (alts. and add.)**, Bigler, East of Delaware avenue, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Publicker Commercial Alcohol Co., Swanson and Delaware avenue, Philadelphia. Bond, shoring, cement and concrete work, brick work, structural steel, fire doors, iron work, carpentry and mill work, painting and glazing, slag roof, plumbing (electric work reserved). Architect taking bids due March 20th.

**Wister Sub-Station**, Northeast Corner Olney avenue and Wister street, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, 1 story and basement, 116x61 feet, slag roof, cement floors, painting and glazing, floor hardener,

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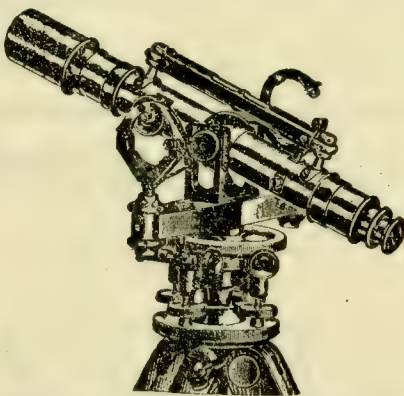
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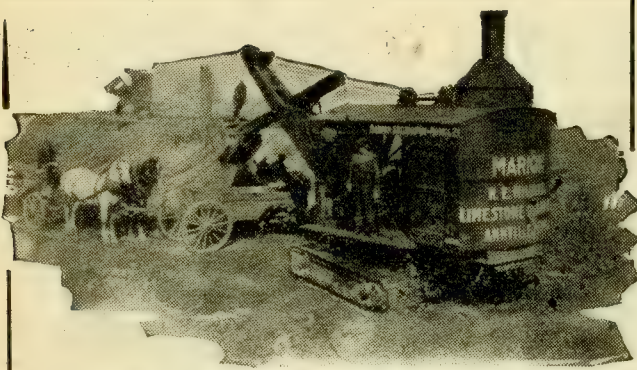
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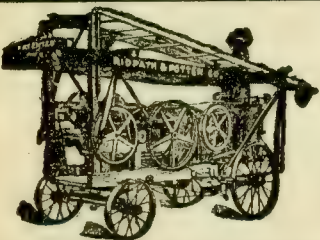
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tile and marble work, steam heat. Architect taking bids due March 25th.

**New Building**, 1173 South Ninth street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Tony Ruggeri, 743 South Ninth street, Philadelphia. Tapestry brick, 3 stories, 15x60 feet, slag roof, pine floors, hot water heat, electric light, metal trimmings, galvanized iron work, plate and florentine glass, metal ceilings, cement work. Architect taking bids due as soon as possible.

**Factory (alts. and add.)**, Third and Armsbury and Orianna streets, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owners, Columbia Steel Equipment Co., on premises. Brick and steel, 2 stories, 63x97 feet, slag roof, cement floors, ornamental iron work, rolled steel sash, electric, steam heat. Architect taking bids due March 26th.

**Apartment House**, 6300 North Park avenue, Philadelphia. Architects, Sol Kaplan & D. D. Weitz, 10 South Eighteenth street, Philadelphia. Owner, John Goldman, care of architect. Brick, cut stone, steel, 2 stories and basement, 32x70 feet, slag roof, North Carolina pine, oak and composition floors, painting and glazing, shoring, ornamental iron work, bond, tile and marble work, electric work, vapor heat. Architects taking bids due March 21st.

**Apartment House**, City Line and Bryn Mawr avenue, Philadelphia. Architects, Hoffman Henon, Finance Building, Philadelphia. Owner, A. I. Fink, Land Title Building, Philadelphia. Brick, stone, steel, terra cotta, 4 stories, 140x250 feet, slag roof, steam heat, electric light, tile and marble work, hardwood and composition floors. Owner taking bids.

**Residence**, Wakeling and Large streets, Philadelphia. Architect, Joseph Lowery, Land Title Building, Philadelphia. Owner, John H. Connor, Frankford, Philadelphia. Stone, 2½ stories, 43x43 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work. Architect taking new bids due as soon as possible.

**Miscellaneous Supplies**, Philadelphia. Purchasing agent, E. J. Lafferty, 312 City Hall. Electric supplies, pipe and fittings, valves and plumbing supplies; bituminous material, torpedo gravel. Owner taking bids due March 21st at noon, Room 312, to be opened in Room 329.

**Swimming Pool, Shelter Building and Shower House**, Tenth and Mifflin streets. City architect, John Molitor, 1211 Chestnut street, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, City Hall. Low bidders: McCormick Lenham Co., 2403 North Broad street, Philadelphia, Item A, \$39,395; Item B, \$37,295. Robbins Cont. Co., 1137 North Front street, Philadelphia, Item A, \$40,990; Item B, EU, UYU, \$37,767.

Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$4,383. Electric, J. F. Buchanan & Co., 1904 Sansom street, Philadelphia, \$1,687.

**Residences (29)**, Third and Nedro streets, Philadelphia, \$151,000. Architect, private plans. Owner, John M. Snyder, Fourth and Nedro streets, Philadelphia. Brick, 2 stories, (1) 15x50 feet, (2) 15x40 feet, and (25) 15x31 feet and 11x8 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (33)**, McKean avenue and Abbottsford avenue, \$4,500 each. Architect, private plans. Owners, John F. McGinty & Son, 6514 Lebanon avenue, Philadelphia. Brick, 2 stories, 15x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, Southeast Corner McCallum and Mt. Airy streets, \$15,000. Architect, private plans. Owner, E. C. Durell, 1713 North Twenty-fourth street, Philadelphia. Stone, 3 stories, 31x42 feet, 18x6 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work, iron work. Owner will build.

**Residences (9)**, North side Upland street, East of Cobb's Creek Parkway, total \$40,100. Architect, private plans. Owner, David Sokolow, 3130 Clifford street, Philadelphia. Brick, 2 stories, (1) 18x45 feet, (8) 14x27 feet, 10x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage (rear)**, North side Woodland avenue, West of Forty-fifth street, \$10,000. Architect, private plans. Owner, Samuel L. Rothenberg, 4938 North Eleventh street, Philadelphia. Brick, 1 story, irregular shape, slag roof, cement floors, electric work. Owner will build.

**Residence and Store**, Northwest Corner Hancock and Oregon avenue, \$5,000. Architect, private plans. Owner, A. Berman, 2502 South Third street, Philadelphia. Brick, 2 stories, 17x40 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Residence**, 836 Magee street, Philadelphia, \$4,800. Architect, private plans. Owner, William A. Hitchens, 836 Magee street, Philadelphia. Frame, 2 stories, 24x30 feet, 1 story, 24x12 feet, hot water heat, electric light. Owner will build.

**Residences (3)**, West side Hancock street, North of Oregon avenue, \$4,000 each. Architect, private plans. Owner, A. Berman, 2502 South Third street, Philadelphia. Brick, 2 stories, 15x22 feet, 12x11 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Residence**, 901 Magee street, Philadelphia, \$4,200. Architect, private plans. Owner, William A. Hitchens, 836 Magee street, Philadelphia. Brick, 2 stories, 16x39 feet, slag roof, hardwood and pine floors, hot water

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**Residences (2)**, East side Manayunk avenue, South of Kingsley street, \$7,000 each. Architect, private plans. Owners, Manayunk Coal & Lumber Co., Main and Umbria streets, Philadelphia. Brick, 2 stories, 16x42 feet, tin roof, hot water heating, electric lighting. Owners will build.

**Residence and Store (alts. and add.)**, 2933 Diamond street, \$6,200. Architect, private plans. Owner, Israel Swartz, 2421 North Thirtieth street, Philadelphia. Brick, 2 stories add., 12x6 feet, third story add., 12x21 feet, general alterations. Owner will build.

**Residences (13)**, West side Lambert street, South of Nedro, \$59,500. Architect, private plans. Owners, Warker & Speth, 815 East Cheltenham avenue, Philadelphia. Brick, 2 stories, 16x28 feet, slag roof, hot water heat, electric light. Owners will build.

**Garages (3)**, West side Melville street, North of Woodland avenue, \$22,000. Architect, private plans. Owner, W. J. Baylis, 6221 Catharine street, Philadelphia. Brick, 1 story, (1) 17x147 feet, 13x112 feet, (2) 73x24 feet each, slag roof, cement floors. Owner will build.

**Residences (8)**, South side Durham street, West of Lincoln Drive, \$5,000 each. Architect, private plans. Owner, M. J. McCudden, 1134 Real Estate Trust Building, Philadelphia. Concrete block and stucco, 2 stories, 16x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (8)**, North side Rector street, East of Terrace street, \$5,000 each. Architect, private plans. Owners, C. M. Swartley & Son, 6835 Ridge avenue, Philadelphia. Brick, 2 stories, 20x30 feet, tin roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Residences (23)**, Eleventh street, Olney avenue and Chew street, \$136,500. Architect, private plans. Owners, Zerbey & Holloway, 4713 North Broad street, Philadelphia. Brick, 2 stories, (2) 16x40 feet, (21) 16x29 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Apartment (add.)**, 511-13 Ruscomb street, Philadelphia, \$12,000. Architect, private plans. Owner, Pasquale Teti, 800 South Tenth street, Philadelphia. General alterations and additions. Owner will build.

**Store and Storage (alts.)**, 633-35 North Second street, Philadelphia, \$5,000. Architect, private plans. Owner, M. Wildstein, 635 North Second street, Philadelphia. General alterations. Owner will build.

**Residences (2)**, West side C street, South of Wyoming avenue, \$5,000 each. Architect, private plans. Owner, Jesse Storek, 1345 Grange avenue, Philadelphia. Brick, 2 stories, 15x29 feet, 12x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Office Building (add.)**, 2515-17 West Hunt-

ingdon street, \$4,000. Architect, private plans. Owner, Paul Brosz, on premises. Brick, 2 stories, 36x27 feet, slag roof, composition floors, hot water heat, electric light. Owner will build.

**Residence**, East side Edmund street, South of Hellerman street, \$4,000. Architect, private plans. Owner, Karl Moeschle, 6432 Tulip street, Philadelphia. Brick, 2 stories, 25x32 feet, asbestos shingle roof. Owner will build.

**Building (alts.)**, Eighteenth and Washington avenue, Philadelphia. Architect, private plans. Owners, A. & G. Boehm, Fifteenth and Federal streets, Philadelphia. General alterations, slag or slate roof, pine floors, electric light, hollow metal skylight. Owner will build.

**Residences (6)**, Jeanes street, South of Hofnagle and (2) Geneva street, East of Westford Road, Philadelphia, \$5,000 each. Architect, private plans. Owner, Frank W. Biddle, 2852 North Twenty-second street, Philadelphia. Brick, 2 stories, 15x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences**, 147-49 West Hortter street, Philadelphia, \$7,500. Architect, private plans. Owners, M. & N. Wunster, 2718 Jefferson street, Philadelphia. Brick, 3 stories, 22x32 feet, shingle roof, hardwood floors, hot water heat, electric light. Owner will build.

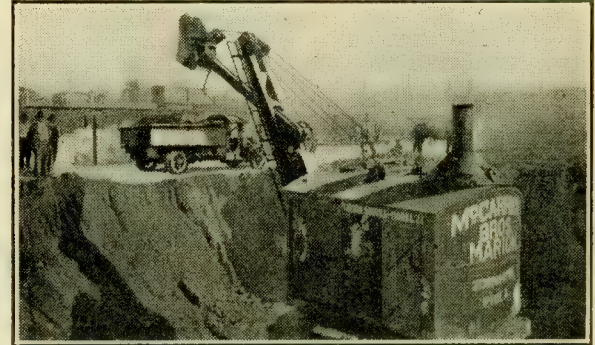
**Residences (28)**, Fifty-second and Berks streets, Philadelphia, \$197,000. Architect, private plans. Owner, Samuel Schlosberg, 5446 Locust street, Philadelphia. Brick, 2 stories, (1) 20x27 feet, 13x23 feet, (1) 16x51 feet, (26) 16x31 feet, 13x19 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Garage**, 232 Ripko avenue, Philadelphia, \$2,500. Owner, D. Morton Atkinson, on premises. Brick, 1 story, 62x18 feet, tin roof, cement floors. Owner will build.

**Stores (2)**, Duval and Sherman streets, Philadelphia, \$3,500. Owner, Harry D. Rose, 4511 North Broad street, Philadelphia. Brick, 1 story, 36x28 feet and 16x15 feet, pine floors, slag roof, electric light. Owner will build.

**Residences (2)**, West side Torresdale avenue, North of Pratt street, \$4,200 each. Architect, private plans. Owner, Ignac Elssen, Haworth and James streets, Philadelphia. Brick, 2 stories, 15x34 feet, 11x11 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (32)**, Aikens street, Upland to Greenway avenue, \$114,000. Architect, private plans. Owners, Dillon & Kaiser, 1417 Jefferson Building, Philadelphia. Brick, 2 stories, 14½x35 feet, slag roof, hardwood and



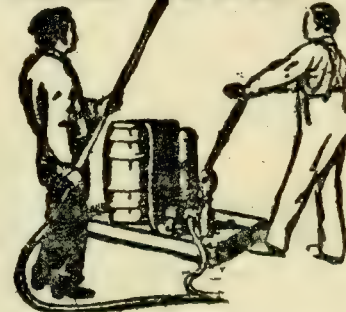
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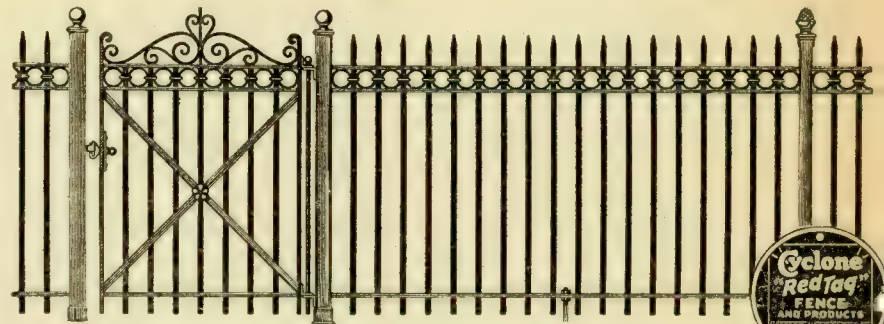
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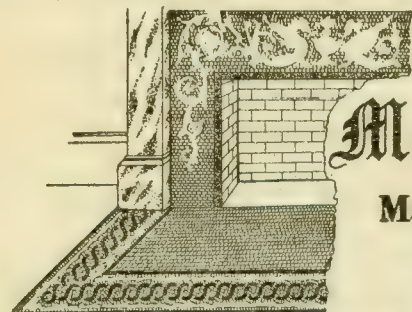
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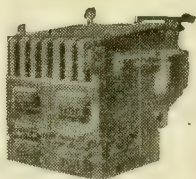
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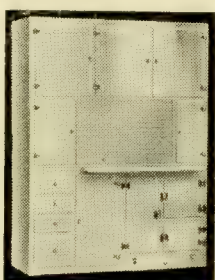
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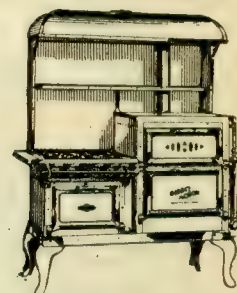
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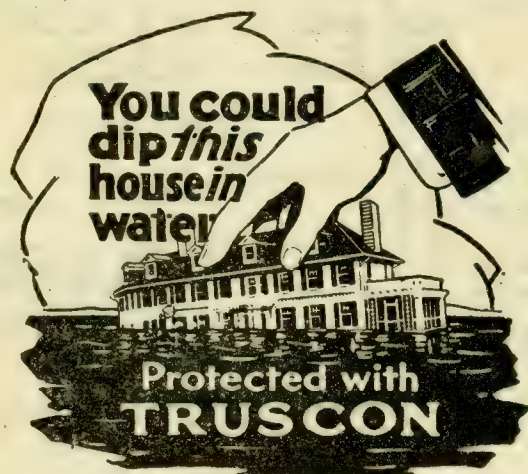
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pine floors, hot water heat, electric light, tile work. Owners will build.

**Coaster, Etc.,** Woodside Park, Philadelphia, \$10,000. Architect, private plans. Owners, L. A. Thompson Scenic Railway Co., 220 West Forty-second street, New York. Owners will build.

**Garage (repairs),** North side Hagert street, West of Twenty-sixth street, \$4,000. Architect, private plans. Owner, Louis Ostroff, 2631 West Hagert street, Philadelphia. General fire repairs. Owner will build.

**Residences (5),** North side Rockwell avenue, West of Oxford, \$4,000 each. Architect,

private plans. Owner, Alfred H. Bowker, Cheltenham, Pa. Brick, 2 stories, 14x38 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (12) (alts. and add.),** 1700-22 South Sixtieth street, \$2,500 each. Architect, private plans. Owner, Louis Davidson, 5500 Baltimore avenue, Philadelphia. Brick, 2 stories add., 12x8 feet, hot water heat, general alterations. Owner will build.

**Garage,** 967 North Randolph street, Philadelphia, \$2,000. Architect, private plans. Owner, Samuel Engle, 970 North Fifth street, Philadelphia. Brick, 1 story, 16x40 feet, cement floors. Owner will build.

Contract awarded to Benj. A. Kaplan, 6140 Pine street, Philadelphia.

**Store and Storage Building (add.),** 1103 South Second street, \$5,000. Architect, private plans. Owner, William H. Devitt, 1101 South Second street, Philadelphia. Brick, third story add., 17x64 feet. Contract awarded to Charles L. Hill, 229 Locust street, Philadelphia.

**Store and Residence (alts.),** 2508 Gray's Ferry Road, \$2,000. Architect, private plans. Owner, Jacob Feldman, on premises. General alterations. Contract awarded to Hyman Greenberg, 2543 North Hollywood street.

**Apartment House,** Nineteenth and Spruce, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, The Nineteenth and Spruce Streets Realty Company, care of Abram Felt, Land Title Building, Philadelphia, Pa. Brick, cut stone, granite, limestone, bluestone, steel, 16 stories, basement and pent house, 130x44 feet (heating, plumbing, electric, elevators and dumb waiters reserved), slag and tile roof, concrete, oak and composition floors, hollow tile, safety treads, metal weather strips, shoring, waterproofing, terracotta, ornamental iron work, iron stairs, bond, floor hardener, kalamein and hollow metal doors, tile, marble and terrazzo work, metal lath, steel pilings, cold water painting, leaded glass caulking, kitchen and cabinet equipment, hardware, sheet metal windows, medicine cabinets (white steel), door beds, china closets, "Murphy" imitation travertine, painting, cast stone. Contract awarded Roberts & Roller, 1904 Sansom street, Philadelphia.

**Church,** Fifty-sixth and Cedar avenue, Philadelphia. Architects, Henry D. Dagit & Son, 34 South Seventeenth street, Philadelphia. Owners, Church of the Transfiguration of Our

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Apartment House,** Twenty-first and Walnut streets, Philadelphia. Architect, Charles Oelschlager, 1615 Walnut St., Philadelphia. Owner, M. Finkel, 130 South Seventeenth street, Philadelphia. Brick, cut stone, 3 stories and basement, 116x120 feet (plumbing, heating, electric, elevators reserved), oak floors, cement floors, roof ventilators, terracotta, ornamental iron work, floor hardener, metal bulks, bond, tin-lined doors, kalamein doors, galvanized iron skylights, rolled steel sash, tile and marble work, metal lath. Contract awarded A. Kirpich, Fifth and Tasker streets, Philadelphia.

**Residences and Garages (10),** Foulkrod street and Castor Road, \$110,000. Architect, Paul Boyd, 6943 Limekiln Pike, Philadelphia. Owner, Alfred C. Lechler, 3705 Germantown avenue, Philadelphia. Brick, 2 stories, garages 1 story, tile roof, hardwood, pine and cement floors, hot water heat, electric light, tile work. Contract awarded to George A. Boyd, 5701 North Sixth street, Philadelphia.

**Manufacturing Building and Store (alts.),** Northeast Corner Sixth and Market, \$30,000. Architect, B. F. Betz, 1723 Sansom street, Philadelphia. Owner, L. Steinberg, 331 Market street, Philadelphia. General alterations.

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Lord, Rev. Daniel McGettigan, on premises. Stone, granite, limestone, cut stone, steel, 1 story and basement, 174x116 feet (plastering, upper floors, electric, steam heat, tile and marble work reserved), slate roof, cement and pine floors, hollow tile, terra cotta, ornamental iron work, bond, rolled steel sash. Contract awarded F. V. Warren Co., 1913 Arch street, Philadelphia.

**Building (alts. and add.),** 1010-12 Market street, Philadelphia. Architect, A. F. Evans, 28 West Twenty-third street, New York City. Owners, W. T. Grant Co., 28 West Twenty-third street, New York City. Demolition, shoring, reinforced concrete, cement floors, waterproofing and dampproofing, brick, terra cotta tile, cut stone, metal lath, steel and iron work, marble work, iron stairs, carpentry and mill work, maple floors, Barrett Specification roof, metal ceiling, metal show cases, bond, shoring (plumbing, heating and ventilating, electric work, elevators and painting reserved). Contract awarded to Tiff Const. Co., 37 Church street, Buffalo, N. Y.

**New Bridge** across Filbert street, Seventh and Eighth streets, Philadelphia, \$25,000. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Lit Brothers, Eighth and Market street. Brick, cut stone, steel, 40 1/4 feet long, tile roof, cement floors, metal lath, kalamein doors, bond, floor hardener, ornamental iron work, shoring, damp-proofing. Contract awarded Keystone State Const. Co., 210 South Thirteenth street, Philadelphia.

**Bank,** Southwest Corner Fifth and Wyoming avenue, Philadelphia. Architects, McManahan & Beneker, Bellvue Court Building, Philadelphia. Owners, Wyoming Bank & Trust Co., on premises. Stone, cut stone, steel, brick, 1 story and basement and balcony, 80x70 feet, Barrett Specification roof, cement floors, roof ventilators, shoring, painting and glazing, ornamental iron work, bond,

galvanized iron skylights, marble work, terrazzo work, metal lath, steam heat, electric light. Contract awarded Roberts & Roller, 1904 Sansom street, Philadelphia.

**Residence (alts. and add.),** 228 West Cheltenham avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Charles H. Collins, 219 North Front street, Philadelphia. Brick, cut stone, steel, iron work, carpentry and mill work, hardware, sheet metal work, plastering, plumbing, painting (heating reserved), electric light, bond. Contract awarded T. S. Fetter, 1829 Filbert street, Philadelphia.

**Alterations,** 312 South Broad street, Philadelphia. Architect, E. L. Rothschild, 1429 Chestnut street, Philadelphia. Owner, E. McCormick, on premises. Contract awarded George Gaiger & Son, care of owner.

**Residence (alts.),** 15 East Abington avenue, Philadelphia. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owner, Miss Duhring, care of architect. Stone and frame, general remodeling and renovating. Contract awarded Harvey Schock, 359 East Cheltenham avenue, Germantown, Pa.

**Alterations Building,** Southwest Corner Fifth and Girard avenue, Philadelphia. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owner, Reinhold Frost, care of architect. Brick, stone, limestone, electric light, marble work, kalamein doors, bond, ornamental iron work, shoring, painting and glazing, plate glass, composition, rubber tile and North Carolina pine floors. Contract awarded Fred Havens & Co., 845 North Nineteenth street, Philadelphia.

**Apartment House,** Southwest Corner Twenty-first and Walnut streets, Philadelphia, \$2,000,000. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Twenty-first and Walnut Streets Corp., North American Building, Philadelphia. Brick, cut stone, granite, limestone, bluestone, steel, 15 stories, 63x180 feet, slag and tile roof, concrete, oak and composition floors, hollow tile, safety treads, metal weather strip, shoring, waterproofing, terra cotta, ornamental iron work and stairs, bond,

floor hardener, kalamein and hollow metal doors, tile, marble and terrazzo work, metal lath (heating, plumbing and electric. Contract awarded Rose Const. Co., North American Building, Philadelphia.

**Plant (add.),** York and Callowhill streets, Philadelphia, \$60,000. Engineer, P. M. Sax, Penfield Building, Philadelphia. Owners, S. H. French & Co., Fourth and Callowhill streets, Philadelphia. Steel, concrete, brick, 4 stories, 30x40 feet, slag roof, cement floors, steam heat, electric light, rolled steel sash. Contract awarded George F. Payne Co., Stock Exchange Building, Philadelphia.

**Residences (27),** Chew street, Johnson to Cliveden streets, \$149,500. Architect, private plans. Owner, John S. Winto, 267 East Johnson street, Philadelphia. Brick, 2 stories, (2) 15x48 feet, and (25) 14x32 feet, 10x16 feet, slag roof, hardwood and pine floors, hot water heat, electric work. Contract awarded to David Sloan, 4753 North Eighth street, Philadelphia.

**Service Station,** East side Twenty-fourth street, South of Ludlow street, \$25,000. Architect, H. B. Weldon, 1520 Locust street, Philadelphia. Owner, Edward M. Harris, Twenty-second and Chestnut streets, Philadelphia. Brick, 1 story, 92x120 feet, slag roof, cement floor, electric work. Contract awarded to Smith-Hardican Co., 1809 Callowhill street.

**Store and Offices,** Northeast Corner Fifteenth and Chestnut streets, Philadelphia, \$14,000. Architect, private plans. Owners, Fidelity Trust Co., 325 Chestnut street, Philadelphia. Brick work, tile roof, painting, glazing, plastering, metal lath, alterations, steam heat, iron work, carpentry, mill work. Contract awarded to E. H. Keefer & Son, 1321 Rodman street, Philadelphia.

**Residence,** South side Midvale avenue, East of McMichael street, \$12,000. Architect, private plans. Owner, G. A. Wiggin, 236 West Cheltenham avenue, Philadelphia. Stone, 2 stories, 28x32 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to G. H. English, Mt. Airy and Emlen streets, Philadelphia.

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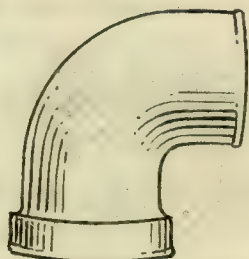
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**Stores and Residences (2)** (alts. and add.), 50 and 52 North Ninth street, and **Store and Storage** (alts.), Southwest Corner Ninth and Arch streets, \$20,000. Owner, Charles F. Eggleston, 1701 Arch street, Philadelphia. Brick, 1 story add., 18x36 feet, general alterations. Contract awarded to Charles Goldstein, 1538 North Sixth street, Philadelphia.

**Residence**, West side Mitchell street, North of Cinnaminson street, \$9,000. Architect, private plans. Owner, E. Watson, 210 Leverington avenue, Philadelphia. Stone, 1 story, 29x46 feet, 15x9 feet, asbestos shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to George M. Robinson, 635 Summit avenue, Philadelphia.

**Warehouse**, East side Sixteenth street, North of Loudon street, \$23,000. Owners, Stelwagon Mfg. Co., Nineteenth and Washington avenue, Philadelphia. Brick, 1 story, irregular shape, slag roof, electric work. Contract awarded to L. Rosengarten, 4742 Market street, Philadelphia.

**Barn** (alts.), Twentieth and Johnson streets, Philadelphia. Architect, private plans. Owners, P. R. T., Eighth and Dauphin streets, Philadelphia. Brick, concrete and cement. Contract awarded H. E. Baton, 1713 Sansom street, Philadelphia.

**Residence (24)**, north side Rittenhouse street, Boyer to Sprague, \$8,000 each. Architect, private plans. Owner, James N. Mitchell, 4 South Farragut street, Philadelphia. Stone and brick, 2 stories, 17x43 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Hermitage St., West of Lawnton street, \$7,500. Architect, private plans. Owner, Fred Howarth, 6134 Ridge avenue, Philadelphia. Brick, 2 stories, 24x40 feet, asbestos shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to John F. Hillsley, 217 DuPont street, Philadelphia.

**Residence** (alts. and add.), 609 East Cheltenham avenue, \$5,000. Architect, private plans. Owner, James V. Powers, on premises. Brick, 1 story add., 8x12 feet, second story add., 15x23 feet, alterations. Contract awarded to William J. Gruhler Co., 219 High street, Philadelphia.

**Store and Residence** (alts. and add.), Northeast Corner Eleventh and Mountain streets, \$3,500. Architect, private plans. Owner, Carlo Ciprezzo, 1110 Morris street, Philadelphia. Brick, 2 stories add., 16x15

feet, general alterations. Contract awarded to Carlo Castagno, 1809 South Twelfth street, Philadelphia.

**Business Building** (alts. and add.), 254 North Thirteenth street, \$2,900. Architect, private plans. Owner, Albert Rosenstein, 1311 Vine street, Philadelphia. Brick, 1 story add., 15x39 feet, general alterations. Contract awarded to O. D. Perreault, Southeast Corner Fifteenth and York streets, Philadelphia.

**Church** (alts.), Southwest Corner Twenty-fifth and Montgomery avenue, \$4,000. Architect, George C. Baum, 1211 Arch street, Philadelphia. Owners, Bethany Lutheran Church, on premises. Cement work, alterations heating, electric work, plumbing. Contract awarded to E. C. Durell, 1713 North Twenty-fourth street, Philadelphia.

**Store and Storage Building** (alts. and add.), 1526 South Twenty-second street. Architect, private plans. Owner, Louis Contrella, 1514 South Twenty-second street, Philadelphia. Brick, 2 stories, 12x16 feet, general alterations. Contract awarded to Scurei & Macrane, 734 South Seventh street, Philadelphia.

**Store and Residence** (alts.), 421 South Broad street, \$3,000. Architect, private plans. Owner, C. L. Roach, on premises. General alterations. Contract awarded to Frank R. Shriver, Fifty-first and Catharine streets.

**Store and Warehouse** (add.), 2621-23 South street, Philadelphia, \$3,000. Architect, private plans. Owner, Henry Nagle, 1345 Arch street, Philadelphia. Brick, 1 story add., 32x24 feet. Contract awarded to James Cunningham, 6924 Market street, Philadelphia.

**Residence** (add.), 2602 Edgemont street, Philadelphia, \$3,600. Architect, private plans. Owner, R. Przyloski, on premises. Brick, 2 stories, 14x10 feet, 11x7 feet. Contract awarded to Andrew Slovak, 3035 Edgemont street, Philadelphia.

**Residence and Store** (alts. and add.), 3932 West Girard avenue, \$5,000. Architect, private plans. Owner, Leon Morris, 3948 Girard avenue, Philadelphia. Brick, 1 story add., 21x11 feet, 5x20 feet, general alterations.

Contract awarded to Morris Singer, 430 Snyder avenue, Philadelphia.

**Residences (2)**, East side Rockwell avenue, North of Bleigh, \$5,500 each. Architect, private plans. Owner, E. Hrycharski, 2906 Waterloo street, Philadelphia. Brick, 3 stories, 16x47 feet, hot water heat, electric light. Contract awarded to L. D. Smith, 3072 Agate street, Philadelphia.

**Residence**, South side Tyson street, West of Loretta street, \$4,000. Architect, private plans. Owner, Albert Robey, 1840 East Clearfield street, Philadelphia. Frame, 2 stories, 24x28 feet, hot water heat, electric light. Contract awarded to H. C. Widdoes, Andalusia, Pa.

**Apartment** (alts. and add.), 2001 Cheltenham avenue, \$3,000. Architect, L. Walton Heiss, Jenkintown, Pa. Owner, Alfred Vogel, on premises. Brick, 3 stories, 16x25 feet, 1 story, 16x8 feet, general alterations. Contract awarded to S. R. Krewson & Son, Elkins Park, Pa.

**Residence and Office** (alts. and add.), 1709 South Fifty-sixth street, \$5,500. Architect, private plans. Owner, Thomas J. O'Rourke, 1710 Morris street, Philadelphia. Brick, 2 stories add., 16x12 feet, general alterations. Contract awarded to Charles R. Davis & Son, 1500 Ellsworth street, Philadelphia.

**Store and Residence** (add.), Southwest Corner Eighty-third and Dicks avenue, \$3,200. Architect, private plans. Owner, K. Markon, on premises. Brick, second story add., 20x50 feet. Contract awarded to Andrew Pipe, 7901 Buist avenue, Philadelphia.

**Shop** (add.), 4048 Main street, Philadelphia, \$4,000. Architect, private plans. Owner, Frank Krobak, Hermitage and Umbria streets, Philadelphia. General alterations and additions. Contract awarded to Tony Olivieri, Adams avenue, West of Frankford avenue.

**Garage and Shop**, 2771-73 Jasper street, Philadelphia, \$3,000. Architect, private plans. Owner, C. I. Shuttleworth, 3054 Kensington avenue, Philadelphia. General alterations. Contract awarded to Roland Bales, Jr., 1823 E. Wishart street.

## PENNSYLVANIA

# Construction News

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**Residence**, Villa Nova, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, R. R. Titus, Jeffersonville, Pa. Stone, cut stone, 2½ stories, 101x36 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath, tile work. Architect taking new bids due as soon as possible.

**Theatre**, Mahoney City, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Chamberlain Amusement Enterprise, Mahoney City, Pa. Architect taking bids due March 26th.

**Hotel**, Duke and Market streets, York, Pa. Architects, J. G. White Engineering Corp., 43 Exchange Place, New York, N. Y. Owners, Chamber of Commerce, Edward Hershman, secretary, York, Pa. Fireproof, 14 stories, 97x230 feet. Architects selected. Architects will build.

**Store and Apartments**, West King street,

Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owners, Hiemenz Brothers, Lancaster, Pa. Brick, 2 stories, 20x30 feet, slate roof, hardwood floors, hot water heat, electric light, plumbing, general alterations. Plans in progress.

**Bank** (alts. and add.), Ephrata, Pa., \$15,000. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Ephrata National Bank, care of architect. Bank screen and partitions, bronze work, marble work, steel. Architect ready for bids.

**Chapel, Office and Residence**, Mt. Lebanon Cemetery, Darby, Delaware County, Pa. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, stucco, 1½ stories, 40x125 feet, slate roof, pine and maple floors, hollow tile, metal lath, waterproofing and dampproofing, ornamental iron work, floor hardener, bond,

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**Residence**, Boyertown, Pa. Architect, M. B. Dechant, Mount Penn, Reading, Pa. Owner, George B. Unger, Boyertown, Pa. Brick, 2½ stories, 30x45 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Plans in progress.

**Residence**, Phoenixville, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Carl H. Weiland, 393 Second avenue, Royersford, Pa. Brick, stone, 2 stories, 28x34 feet, asbestos roof, oak and tile floors, plumbing, hot water heating, electric lighting, tile work, Morgan doors, bond. Plans in progress. Owner will take bids.

**Grade and High School**, Lewisburg, Pa. Architects, Eccles & Son, New Castle, Pa. Owners, Lewisburg School Board, Mrs. M. L. Drum, secretary, Lewisburg. Semi-fireproof, 2 stories. Architects selected.

**Garage and Shop**, Harrisburg, Pa. Architect, F. G. Fahnestock, Patriot Building, Harrisburg, Pa. Owners, Harrisburg Machine Electric Welding Co., Harrisburg. Brick, steel, 2 stories, 78x110 feet, slag roof, concrete floors, electric light, rolled steel sash. Plans in progress.

**Residence**, Bellevue Park, Harrisburg, Pa. Architect, F. G. Fahnestock, Patriot Building, Harrisburg, Pa. Owner, K. E. Richards, Telegraph Building, Harrisburg, Pa. Stone, 2 stories, 32x64 feet, slate roof, hardwood floors, tile work, electric light. Plans in progress.

**Residence**, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, Louis Silver, 2311 North Second street, Harrisburg, Pa. Brick, 2½ stories, 30x45 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Residences (60)**, Union avenue, Lansdowne, Pa. Architect, private plans. Owner, Charles H. Clark, 1504 South Twenty-eighth street, Philadelphia. Cement block and stucco, 2½ stories, 16x35 feet, hot water heat, electric light, shingle roof, hardwood floors, tile work. Owner ready for sub-bids.

**Twin Residences (20)**, Collingdale, Pa. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owners, Higson Const. Co., Fifth, Main and B. and O. R. R., Darby, Pa. Concrete block, 2 stories, 16x32 feet, slag roof, pine floors, hot water heat, electric light, carpentry, plastering, painting and glazing, papering, plumbing. Owners taking sub-bids due at once.

**School**, Bala, Pa. Architect, William C. Prichet, 225 South Sixth street, Philadelphia. Owner, Agnes Irwin School, Bryn Mawr, Pa. Concrete block and stucco, 2½ stories. Plans in progress.

**Cottage**, Oakmont, Pa. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owner, Mrs. W. J. Clothier, Oakmont, Pa. Architect ready for bids.

**Residence**, Elkins Park, Pa. Architects, George S. Idell, J. Labe, Broad and Fairmount avenue, Philadelphia. Stone, hollow tile, stucco, 2½ stories, 31x52 feet, slate roof, electric light, heating undecided, tile work, hardwood floors, copperoid conductors. Plans in progress.

**School**, Newtown Square, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owners, School Board New-

town Square, Thomas Campbell, Newtown Square, Pa. Stone, 2 stories. Plans in progress.

**Residence and Garage**, Overbrook, Pa. Architects, Wallace & Warner, 1012 Walnut street, Philadelphia. Owner, William T. Dickson, 261 South Fifty-second Street, Philadelphia. Hollow tile and stucco, 2½ stories, 88x30 feet, hot water heat, electric light, hardwood floors. Plans in progress.

**Residence and Garage**, Haverford, Pa. Architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia. Owner, John W. Hastings, Jr., 819 Filbert street, Philadelphia. Stone, 2½ stories. Details undecided. Plans in progress.

**School**, Jersey Shore, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, School Association of Borough of Jersey Shore, C. C. Peterson, secretary, Jersey Shore, Pa. Brick, steel, 2 stories, asphalt roof, maple floors, hollow tile, roof ventilators, metal weather strips, dampproofing (heating, electric work and plumbing reserved), metal lath, rolled steel sash and skylights, kalamein doors, bond, iron stairs, ornamental iron work. Architects and owners will be ready for bids in ten days.

**Power House**, Ridgway, Pa. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, Ridgway School Board, J. Schramm, secretary, Ridgway, Pa. Brick, steel, 1 story, 66x45 feet, concrete roof and floors. Owners will be ready for bids in ten days.

**Residence and Garage**, Torresdale, Pa. Architect, S. D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Stone and frame, 2½ stories, 27x42 feet, 11x20 feet, shingle roof, tile work, vapor heat, electric light, hardwood and rubber floors. Architect taking sub-bids due at once.

**Residence**, Torresdale, Pa. Architect, S. D. Milner, 1117 Foulkrod street, Philadelphia. Owner, S. D. Milner, 1117 Foulkrod street, Philadelphia. Frame and stucco, 2½ stories, 24x42 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Architect ready for bids.

**High School**, Rosedale, Muhlenberg Township, Berks County, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Muhlenberg Township School District, A. E. Faust, Temple, Pa. Brick, stone, steel, 2 stories and basement, 76x24 feet, 56x60 feet, Barrett roof, maple floors, hollow tile, roof ventilators (heating, electric work and plumbing reserved), metal lath, tile and marble work, rolled steel sash and skylights, fire doors, bond, iron stairs, ornamental iron work. Ready for bids.

**Bungalow**, West Chester, Pa. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, W. G. Hilyard, West Chester, Pa. Stone, 1½ stories, 56x40 feet, slate roof, hardwood and pine floors, vapor heat, electric light, tile work. Architect taking bids from local bidders.

**School**, Cheltenham, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Roman Catholic Church of the Presentation of the Blessed Virgin Mary, Rev. J. J. Moran, on premises. Brick, stucco, stone and steel, 2 stories, slag roof, pine and maple floors, hollow tile, metal lath, terrazzo work. Architect taking new bids due March 20th, 10 A. M.

**Residences (8)**, Wayne, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Knox Lichenfeld, Berwyn, Pa. Penn Block plastered, 2½ stories, 16x37 feet, 6 inches, asphalt slate, shingle and Johns Mansville built-up roof, hot water heat, electric light, tile work, hardwood floors, copper spouting. Owner will be ready for sub-bids in one week.

**Residence**, Drexel Hill, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Thomas Patterson, Drexel Hill, Pa. Frame plastered, 2½ stories, 24x40 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner taking bids.

**Residence**, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, James Halberstadt, Gladwynne, Pa. Penn block plastered, 2½ stories, 26x28 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner ready for sub-bids.

**Garage**, Villa Nova, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, J. Howard Supplee, Rosemont, Pa. Stone, reinforced concrete, 1½ stories, 26x40 feet, slate roof, cement and pine floors, hot water heat, electric light. Architect ready for general bids in a week.

**Residence**, Lorraine avenue, Ardmore Park, Pa. Owner, Nanti Rose, Biddle avenue, Ardmore Park, Pa. Brick, 2½ stories, 16 feet 8 inches x 50 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Architect ready for sub-bids.

**Garage**, Ardmore Park, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, William McGoldrick, Lorraine avenue, Ardmore Park, Pa. Penn Building Block, 1 story, 50x26 feet, hot water heat, electric light, shingle roof, cement floors. Owner taking sub-bids.

**Church and Sunday School**, Girardville, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Vincent's Roman Catholic Church, Rev. Ignatius Valancius, Girardville, Pa. Steel, frame, brick, hollow tile, 2 and 3 stories, 150x50 feet, slate or asbestos roof, pine floors, roof ventilators, steam heat, electric light, tile work. Architect ready for bids in two weeks.

**Convent**, Lost Creek, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Mary Magdalene's Parish, Rev. T. Kelley, Lost Creek, Pa. Frame, 2½ stories, 38x70 feet, slate roof, pine floors, hot water heat, electric light, tile work. Owners and architect will take bids this week.

**Grade School**, Riverside, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Reading School Board, O. B. Heim, Eighth and Washington streets, Reading, Pa. Brick, 2 stories, 100x150 feet, composition roof, maple floors, hollow tile, roof ventilators, waterproofing and damp-proofing (heating, plumbing and electric work reserved), metal lath, tile work, rolled steel sash and skylights, fire doors, iron stairs, ornamental iron work. Owners will be ready for bids in one week.

**Church**, Shippensburg, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Grace Reformed Church, Rev. D. J. Wetzel, Shippensburg, Pa. Brick, 1 story and basement, 45x138 feet, slate roof, maple floors, steam heat, electric light, tile and terrazzo work. Owner ready for bids.

**Factory**, Adamstown, Berks County, Pa. Ar-

**Steam  
Shovel  
Excavating**

**JOHN F. MCDEVITT**  
1403 North 20th Street  
Poplar 3816  
Philadelphia, Pa.



chitects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owner, George Bollman, Adamstown, Pa. Brick, steel, 3 stories, 25x89 feet, slag roof, wood floors, steam heat, electric light, rolled steel sash. Owner ready for bids.

**Sanitary Sewerage System and Sewage Disposal Plant**, Elizabethtown, Pa. Engineers, F. H. Shaw, 53 North Duke street, Lancaster, Pa., and Buller & McClintock, 1001 Chestnut street, Philadelphia. Owners, Borough of Elizabethtown, D. L. Landis, secretary, Borough Council, Elizabethtown, Pa. Disposal plant, (4) trunk sewer lines, 21,900 feet long, collecting system of laterals in streets 51,000 feet long, manholes, flush tanks, appliances, etc., largest size pipe used 15-inch. Owners taking bids due April 15th at 7 P. M.

**Consolidated Vocational School**, Chadds Ford, Pa. Architect, E. T. Ritter, North American Building, Philadelphia. Owners, Board of Directors, Townships Birmingham and Pennsburg, Chester and Birmingham Counties, Pa. Brick, cut stone, concrete steel, 2 stories and basement, 145x70 feet, composition roof, maple and cement floors, hollow tile, roof ventilators, waterproofing, ornamental iron work, bond, metal lath, electric light, steam heat, painting and glazing. Architect taking bids due March 27th.

**Bungalow**, West Chester, Pa. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, W. G. Hilyard, West Chester, Pa. Stone, 1½ stories, 56x40 feet, slate roof, hardwood and pine floors, vapor heat, electric light, tile work. Architect taking bids due March 21st.

**Store and Apartments (alts.)**, Clifton Heights, Pa. Architect, H. B. Weldon, 1520 Locust street, Philadelphia. Owner, I. Berry, on premises. Shoring, concrete and cement floors, brick work, steel and iron work, carpentry and mill work, pine floors, metal lath, plastering, marble work, tile and terrazzo, cut stone, copper sash, painting and glazing, slag roof, oak floors, galvanized iron skylights. Architect taking bids due March 22nd.

**School Building**, Mt. Carmel, Pa. Architect, Paul Monaghan, 1713 Sansom street, Philadelphia. Owners, Our Mother of Consolation Parish, Rev. C. Tomaszewski, on premises. Reinforced concrete, brick, cut stone, steel, limestone, 3 stories and basement, 150x62 feet, slate roof, composition, cement and maple floors, plumbing, painting and glazing, metal window guards, waterproofing, ornamental iron work and stairs, metal lath, tile work, electric light (heating reserved). Architect taking bids due March 24th.

**Residence**, Front street, Harrisburg, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owner, S. G. McNees, 315 Walnut street, Harrisburg, Pa. Frame, 2 stories, 40x75 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Architect taking bids due March 24th.

**Residence**, Yernon and Homestead Roads, Jenkintown, Pa. Architect, Clyde S. Adams, 2038 Spruce street, Philadelphia. Owner, T. Ferrill Reiser, care of architect. Brick, cut stone, cinder block, hot waetr heat, electric light, metal lath, tile work, bond, painting and glazing, slate roof, oak and pine floors. Architect taking bids due March 21st.

**Residence**, Wyomissing, Pa. Architect, M. B. Dechant, Penn Side, Reading, Pa. Owner, F. H. Kessler, Brighter Apartments, Reading, Pa. Stone, frame, 2½ stories, 31 feet 10 inches x 70 feet, shingle roof, hardwood floors, vapor vacuum heat, electric light, tile work. Architect taking bids due March 20th.

**Dye House and Storage**, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Noe Equi Hosiery Mills, Twelfth and Bern streets, Reading, Pa. Brick, concrete, steel, 1 story, 50x100 feet, built-up roof, composition floors, electric light, rolled

steel sash and skylights, fire doors. Architect taking bids due March 20th.

**Garage and Show Room**, Lancaster, Pa. Architect, W. R. Erisman, Woolworth Building, Lancaster, Pa. Owner, E. Miller, Lancaster, Pa. Brick and Indiana limestone, 1 story, 75x150 feet, built-up roof, concrete floors, steam heat, electric light, rolled steel sash and skylights. Architect taking bids due March 20th.

**Building (alts. and add.)**, Ashland, Pa. Architect, Benjamin Rush Stevens, 1827 Arch street, Philadelphia. Owners, Ashland National Bank, Ashland, Pa. Brick, cut stone, cast stone, steel, 1 story and mezzanine, 43x42 feet, slag roof, cork and cement floors, hollow tile, painting and glazing, roof ventilators, metal window guards, metal ceilings, shoring, bond, rolled steel sash and skylights, tile work, metal lath, electric light, steam heat. Architect taking bids due March 24th.

**Bank Building**, Jenkintown, Pa. Architect, H. Trumbauer, Land Title Building, Philadelphia. Owners, Jenkintown Bank & Trust Co., Jenkintown, Pa. Brick, cut stone, steel, 1 story and mezzanine, 151x57 feet, slag and tile roof, cement and oak floors, elevators, painting and glazing, shoring, waterproofing, ornamental iron work, iron stairs, bond, kalamain doors, tile and marble work, metal lath, steam heat, electric light, naturalized flooring. Architect taking bids due March 26th.

**Reinforced Concrete Grandstand**, Norristown, Pa. Engineer, J. B. Long, Boyer Arcade, Norristown, Pa. Owners, Board of Education, School District of Norristown, Pa. Reinforced concrete, 92x61 feet, rolled steel sash, seat lumber. Owner taking bids due March 20th.

**School**, Coatesville, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Board of Education, Coatesville, Pa. Owners taking bids (revised) due March 25th.

**Road Work**, Pennsylvania. Low bidders on road work opened March 6th, 1924:

Somerset County, Route 50, A-2639, Lower Turkeyfoot Township and Confluence Borough, 10,756 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. C. Russell McIntyre, Fairchance, Pa., \$100,206.25.

Mercer County, A-2779, Greene Township, 22,416 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Meredith, McVaugh & Webb, Erie, Pa., \$161,455.61.

Adams County, R-231, Mt. Pleasant Township, 29,877 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Souder Const. Co., Lancaster, Pa., \$230,019.54.

Indiana County, R-223, Blairsville Borough, 2,328 feet. One course reinforced concrete. Jeffreys & Hart, Beaver, Pa., \$46,042.30.

Greene County, R-268, Jefferson Township, 17,080 feet. One course reinforced concrete and hillside vitrified brick. Fort Pitt Const. Co., Pittsburgh, Pa., \$246,044.35.

Centre County, R-307, A-2712, State College Borough, 3,384 feet. One course reinforced concrete. John M. Hutchinson, Altoona, Pa., \$58,357.45.

Tioga County, R-212, Richmond, Sullivan Townships and Mansfield Borough, 28,212 feet. One course reinforced concrete. A. W. Hinaman, Canton, Pa., \$299,921.22.

Allegheny County, R-181, A-1058, Forward Township, 9,731 feet. One course reinforced concrete. Donora Const. Co., Donora, Pa., \$104,898.70.

Cambria County, R-62, East Carroll and Cambria Townships, 19,303 feet. One course reinforced concrete. Lord Const. Co., Hastings, Pa., \$172,799.

Venango County, A-2092, Cornplanter Township, 17,164 feet. Either bituminous sur-

face course on concrete foundation or one course reinforced concrete. R. V. Baldwin, Coraopolis, Pa., \$151,496.22.

Clearfield County, R-234, A-2043, Bigler and Woodward Townships, 9,609 feet. One course reinforced concrete. Avery & Bailey, Philipsburg, Pa., \$79,820.10.

Indiana County, R-223, Burrell and West Wheatfield Townships, 31,237 feet. One course reinforced concrete. Rood Const. Co., Butler, Pa., \$330,151.03.

Low bidders on road work opened March 7th, 1924:

Somerset County, R-50, Spur A, A-2731-2-3, North Centerville Borough, Milford Township and Rockwood Borough, 14,062 feet. Either one course reinforced concrete and hillside vitrified brick or bituminous surface course on concrete foundation and hillside vitrified brick. M. F. McCabe & Co., Fairmount, W. Va., \$170,891.40.

Cambria County, R-62, Susquehanna Township, 19,202 feet. One course reinforced concrete. McClure & Bingner Co., Johnstown, Pa., \$196,921.30.

Columbia County, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. James Christiano, Shamokin, Pa., \$135,563.50.

Fayette County, R-113, North and South Union and Menallon Townships, 16,770 feet. One course reinforced concrete. Colonial Const. Co., Pittsburgh, Pa., \$169,288.

Washington County, R-268, East Bethlehem Township, 4,176 feet. One course reinforced concrete. Williamson Const. Co., Inc., Turtle Creek, Pa., \$58,105.40.

Blair County, R-47, Greenfield Township, 10,772 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. A. R. Cooper, Idamar, Pa., \$110,955.36.

Erie County, R-271, Le Boeuf and Union Townships and Union City Borough, 13,885 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Fred W. Knickenberg, Buffalo, N. Y., \$147,580.

Indiana County, R-314 and 223, East Wheatfield Township and Armagh Borough, 27,752 feet. One course reinforced concrete. L. H. Hileman Const. Co., New Kensington, Pa., \$357,435.65.

Lycoming County, R-355, A-1036, Muncy Township, 5,867 feet. One course reinforced concrete. George L. Thompson Co., Clearfield, Pa., \$58,100.35.

Beaver County, R-76, Center and Hopewell Townships, 32,391 feet. One course reinforced concrete. D. W. Challis & Sons, Sewickley, Pa., \$376,315.45.

Lawrence County, North Beaver Township, A-1623. One course reinforced concrete, 12,375 feet. E. A. Freshwater & Sons, Painesville, Ohio, \$116,274.46.

Monroe County, A-2734, Hamilton and Ross Townships, 14,732 feet. One course reinforced concrete or bituminous surface course on concrete foundation. W. A. Palmer, Bethlehem, Pa., \$137,153.81.

## Pennsylvania Contracts Awarded

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Elk County, Route 59, Ridgway Borough. Contract awarded to George Metzger, Jr., Emporium, Pa., \$54,786.73.

Potter-Tioga Counties, Route 102, Pike and Gaines Townships. Contract awarded to David Schoentag, Inc., Saugerties, N. Y., \$318,421.60.

Tioga County, R-102, Delmar and Shipen



Townships. Contract awarded to David Schoentag, Inc., Saugerties, N. Y., \$408,107.25.

Susquehanna County, R-174, Clifford Township. Contract awarded to R. D. Richardson Const. Co., Scranton, Pa., \$36,554.95.

**Residence (alts.),** Ardmore, Pa. Architect, W. Woodburn Potter, Real Estate Trust Building, Philadelphia. Owner, J. H. Pew, Ardmore, Pa. Interior alterations, carpentry and mill work, plastering, brick work, painting and glazing. Contract awarded C. C. Pace, Cynwyd, Pa.

**Home,** Lebanon, Pa. Architects, Bissell & Sinkler, 1520 Locust street, Philadelphia. Owners, Home for Widows & Single Women, Lebanon, Pa. Brick, 3 stories. Contract awarded Rapp Const. Co., Lebanon, Pa.

**Distribution Station,** Southeast Corner Ninth and Somerset streets, Darby, Pa. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Supplee-Wills-Jones Milk Co., Twenty-sixth and Jefferson streets, Philadelphia. Brick, cut stone, steel, 2 stories, 122x96 feet, slag roof, cement granite block, North Carolina pine floors, waterproofing, terra cotta, ornamental iron work, floor hardener, bond, metal lath, tile work, cork insulation. Contract awarded George Kessler Cont. Co., 1733 North Marvine street, Philadelphia.

**Residences (20),** Highland Farms, Rydal, Pa. Architect, Carl Ziegler, 1309 Locust street, Philadelphia. Owners, Herkness & Stetson, Land Title Building, Philadelphia. Frame and stucco, 2½ stories, 24x35 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath, tile work, ornamental iron work. Contract awarded E. Allen Reeves, Abington, Pa.

**Church,** Pine street, Harrisburg, Pa. Architects, Cram & Ferguson, Pittsburgh, Pa. Associate architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Pine Street Presbyterian Church, Dr. A. Cherry, 315 North Front street, Harrisburg, Pa. Stone, 3 stories, slag roof, hardwood floors, electric light, tile work. Contract awarded to Shepherd Const. Co., Wilkes-Barre, Pa.

**Store Building,** Reading, Pa. Architect, H. R. Hickman, 128 South Fifth street, Reading, Pa. Owner, B. Sher, care of architect. Brick, 1 story, 25x60 feet, composition roof, maple floors, steam heat, electric light, marble work, plate glass. Contract awarded to Reider & McLaughlin, Reading, Pa.

**Alterations,** Bryn Mawr, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owner, George W. Norris, care of architect. Stone, cut stone, shingle roof, cement and oak floors, hollow tile, carpentry and mill work, plastering, dampproofing, metal lath. Contract awarded J. R. Schaeffer, 3731 North Seventh street, Philadelphia.

**Residence (alts. and add.),** Exton, Chester County, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owner, Mrs. W. E. Lockwood, Exton, Pa. Stone, 2½ stories, 20x28 feet, shingle roof, pine floors, heating and lighting extensions. Contract awarded H. W. Farra, West Chester, Pa.

**School,** Spring Grove, York, Pa. Architect, Edward Leber, Hay Building, York, Pa. Owners, Spring Grove Township School Board, care of architect. Brick, 2 stories, slag roof, pine floors (heating, electric work and plumbing reserved). Contract awarded to Hess Brothers, York, Pa.

**Residence,** Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, M. T. Garvin, 31 East King street, Lancaster, Pa. Brick, cinder block, 2½ stories, 48x30 feet, slate roof, hardwood floors, hot water heat, tile work. Contract awarded to Jacob Stumpf, 638 South Lime street, Lancaster.

**Residences (10),** Grand View and Spring streets, Ardmore, Pa. Architect, John C. Norton, Ardmore, Pa. Owners, Progress Realty Corp., 6127 Market street, Philadelphia. Concrete block plastered, 3 stories, 18x54 feet, hot water heat, electric, tile roof, hardwood and cement floors, tile work. Contract awarded Merion Const. Co., 2315 Walnut street, Philadelphia.

**Residence,** Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owner, J. H. Rippe, care of architect. Contract awarded to B. F. Bachman, Woolworth Building, Lancaster.

**Memorial Hospital Building,** West Chester, Pa. Architects, York & Sawyer, 100 East Forty-second street, New York City. Owners, Chester County Hospital, West Chester, Pa. Brick, stone, concrete and steel, 2 stories and basement, 50x200 feet. Contract awarded Longwood Const. Division, Kenneth Square, Pa. Mr. William Frances taking sub-bids due March 15th.

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Clearfield County, Route 59, Sandy Township. Contract awarded to Milliron Const. Co., DuBois, Pa., \$98,896.92.

Fayette County, Route 116, Georges Township and Smithfield Borough. Contract awarded to Swaney & Gilmore, Uniontown, Pa., \$78,122.80.

Westmoreland County, Route 120, Irwin Borough. Contract awarded to James S. Rinehart, East Liverpool, Ohio, \$61,910.45.

Carbon County, Route 163, Palmerton Borough. Contract awarded to Neely Brothers, Philadelphia, \$121,299.03.

Clearfield Township, A-1775, Sandy Township. Contract awarded to M. S. McMahon, Brookville, Pa., \$21,950.80.

Adams County, Route 213, McSherrystown Borough. Contract awarded to Frey Const. Co., York, Pa., \$42,029.35.

**School,** Collingdale, Pa. Architects, Folsom & Stanton, 10 South Eighteenth street, Philadelphia. Owners, Board of Education, School District of Collingdale, Pa. Contract awarded: Bowden Const. Co., 1935 Chestnut street, Philadelphia, \$85,700. Plumbing, H. S. Riley, Chester, Pa., \$7,435. Electric, Strang Elec. Co., 214 South Seventh street, Philadelphia, \$3,640.

## New Jersey Construction News

**Bank (alts.),** State street, Trenton, N. J. Architects, P. H. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Trenton Savings Fund, care of architects. Brick, mezzanine floor, partition work, tile work. Plans in progress.

**High School,** North Plainfield, N. J. Architects, J. T. Simpson & Brown, Ralston, Newark, N. J. Owners, Board of Education, North Plainfield, N. J. Brick, limestone, steel, reinforced concrete, 2 stories, 178x136 feet, slag roof, maple and cement floors, hollow tile, painting and glazing, waterproofing and dampproofing, bond, fire doors, metal lath. Owners taking bids due March 28th.

**Electrification of Pumping Station,** Hammonton, N. J. Town engineer, Joseph A. Baker, Hammonton, N. J. Owners, Board of Water Commissioners, Mrs. Mildred E. Wilson, secretary, Hammonton, N. J. Deposit, \$10. Refund, \$10.00. Owners taking bids due March 24th, 8 P. M.

"Facts are stubborn things." Advertise only the truth about your product and watch the result.

## New Jersey Contracts Awarded

**High School,** Bordentown, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Bordentown School Board, Mr. Bechtel, secretary, Bordentown. Brick, steel, 2 stories and basement, 140x120 feet, Barrett built-up roof, composition and pine floors (heating, electric work and plumbing reserved), metal lath, tile work, rolled steel sash and skylights, fire doors, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing, terra cotta, floor hardener, iron stairs, ornamental iron work, bond. Contract awarded to William C. Ehret, 13 West State street, Trenton, N. J., \$113,784. Heating awarded to Trenton Plumbing & Heating Co., Trenton, N. J., 15,848. Plumbing awarded to Charles M. Whelan, 1126 South Broad street, Trenton, N. J., \$7,597. Electric awarded to A. Bensol, Y. M. C. A. Building, Trenton, N. J., \$2,330.

**Garage,** Chestnut above Second street, Camden, N. J. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, William F. McCormick, on premises. Brick, 1 story, 40x100 feet, steam heat, electric light, slate roof, cement floors. Contract awarded M. J. Hasting, Woodlynne, N. J.

## Delaware Construction News

**Road Work,** Delaware. Owners, State Highway Department, Dover, Delaware.

Contract No. 37-B. Low bidder: G. A. Flink & Co., Harrisburg, Pa., \$36,660.

Contract No. CN 14, Walker-Deakynville. Low bidder: Sherman & Shodes, Smyrna, Del., \$82,970; \$83,090; \$81,584; \$81,704.

Contract CN 15, Mt. Pleasant, Summit Bridge. Low bidder: William Eisenberg, Camden, N. J., \$82,737.50; \$82,962.50; \$81,577.50; \$81,802.

Contract CK 17, through Frederica. Low bidder: George & Lynch, Dover, Del., \$18,231.80 and \$17,979.80.

Contract CK 20, Walnut street, Milford, Del. Low bidder: R. L. Bonham Co., Bridge-ton, N. J., \$35,185; \$35,230; \$34,505; \$34,550.

Contract CS 30, Wescoats Rehoboth. Low bidder: Roberts Paving Co., Quanteco, Md., \$165,688; \$166,268.

Contract CS 31, Bethel, Broad Creek. Low bidder: Field, Barker & Underwood, Commercial Trust Building, Philadelphia, \$73,192.50; \$73,492.50; \$70,980; \$71,280.

**Club Building,** Wilmington, Del. Architects, E. William Martin & R. R. Neely, 2301 Spruce street, Philadelphia. Owners, Wilmington Country Club, W. H. Fenn, chairman, 2056 DuPont Building, Wilmington, Del. Brick, hollow tile and stucco, steel, slate roof, main building, 3 stories, 65x135 feet, porch wings, 24x60 feet. Plans in progress.

**Grade School,** Clayton and Maple streets, Wilmington, Del., \$600,000. Architects, Guilbert & Betelle, Newark, N. J. Owners, Delaware School Auxiliary Association, care of Mr. Taylor, DuPont Building, Wilmington, Del. Brick, 2 stories and basement, 189x166 feet, slag roof, hardwood floors, hollow tile, safety treads, roof ventilators (heating, plumbing and electric work reserved), metal lath, rolled steel sash, iron stairs. Owners taking sub-bids.

## Delaware Contracts Awarded

**Garage and Apartment,** 607 French street, Wilmington, Del. Architect, John McKibbin,



Industrial Trust Building, Wilmington. Owner, J. C. Schwind, 102 West Fifth street, Wilmington, Del. Stucco, brick, 2 stories, 30x80 feet, slag roof, concrete and pine floors, hollow tile, hot water heat, electric light, tile work. Contract awarded to F. G. Krapf, 421 Orange street, Wilmington, Del.

## Miscellaneous Construction News

**Residence and Garage**, Pinehurst, N. C. Architect, J. L. Conaroe, 225 South Sydenham street, Philadelphia. Owner, name withheld. Timber and hollow tile, 2½ stories, 45x30 feet, wing 20x18 feet, garage, 2 stories, 20x25 feet, hot water heat, electric light, slate roof, pine floors, tile and marble work. Preliminary plans in progress.

**Church, Sunday School and Parsonage**, Cumberland, Md. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. Luke's Evangelical Lutheran Church, Rev. H. Hall Sharke, Cumberland, Md. Granite, steel, 1½ stories, 146x70 feet, and 2 stories, 40x50 feet, slate roof, maple floors, metal lath, roof ventilators, tile and marble work. Owners ready for bids.

**Schools (3)**, Bel Air, Aberdeen and Havre de Grace, Maryland. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, School Board of Harford County, C. M. Wright, superintendent, Bel Air, Md. Low bidder: North Eastern Const. Co., Lexington Building, Baltimore, Md., \$150,473.

**Schools (3)**, Rising Sun, Northeast and Elkton, Maryland. Architect, C. R. Hope, Dupont Building, Wilmington, Del. Owners, Cecil County School Board, H. Caldwell, secretary, Elkton, Md. All bids rejected. Will take new bids.

**Church (add.)**, Ridgely, Md. Architect, John McKibbin, Industrial Trust Building, Wilmington. Owners, St. Benedict's Church, Rev. E. J. Kraemer, Ridgely, Md. Frame, 1 story, 30x70 feet, shingle roof, pine floors, electric light. Owners taking bids due March 20th.

## Proposals

### ADVERTISEMENT FOR BIDS TO CONSTRUCT

#### A. Sanitary Sewerage System and Sewage Disposal Plant for the Borough of Elizabethtown, Penna.

Sealed Proposals endorsed "Proposals for Constructing a Sanitary Sewerage System and Sewage Disposal Plant at Elizabethtown, Pa.," addressed and delivered to D. L. Landis, Secretary of Borough Council, Elizabethtown, Pa., will be received until Tuesday, April 15, 1924, at 7.00 o'clock P. M., at which time the bids will be publicly opened at a meeting of Borough Council at their usual meeting place in said Borough. In general the work to be done involves a Disposal Plant, four trunk sewer lines approximately 21,900 feet long, a collecting system of laterals in Borough Streets approximately 51,000 feet long, incidental manholes, flush tanks, appliances, etc. Largest size pipe used is 15-inch. Plans and Specifications and other information can be secured upon application to F. H. Shaw, C. E., 53 North Duke Street, Lancaster, Pa., or Fuller & McClintock, 1001 Chestnut Street, Philadelphia, Pa. The Borough reserves the right to reject any and all bids. Bids may be for the whole, or any one

of six parts of the whole, as per specifications.

By authority of Borough Ordinances approved March 4th and 11th, 1924.

D. L. LANDIS,  
Secretary Borough Council.

Schmitt & Slater Co., Mason Builders, formerly of 1132 Vine Street, have moved to new offices at 2315 Walnut Street, Philadelphia.

Plans are going forward at Washington D. C., to make the spring of 1924 a period of definite progress in improving the quality of American homes. Women's clubs, civic organizations and other agencies are marshaling under the leadership of Better Homes in America, an educational, non-commercial corporation recently formed with Herbert Hoover as president and Dr. James Ford, now on leave of absence from Harvard University, as executive director. The aim of the organization is to help the man of small income learn how to live in more comfort, more health and more certainty that his children will regard the home as the center of interest.

The week of May 11th-May 18th has been designated as Better Homes' Week. Local committees are being organized on a nation-wide scale to prepare community exhibits of homes properly planned, built and furnished. No commercial features of any kind will attend the exhibits and Better Homes in America will confine its efforts solely to service for the individual homeowner and the community at large.

Offices have been opened at 1653 Pennsylvania Avenue. The directors of the new organization include Miss Grace Abbott, Mrs. William Brown Meloney, who is vice-president, Don Barber, Christian A. Hertor, John M. Gries, Mrs. John Sherman, George W. Wilder and Edwin H. Brown.

"One definite objective," Dr. Ford said in outlining the purposes of the movement, "will be the inclusion in high school curricula of required courses in home-making and the care of a home. The one sure product of every school is an army of men and women who will head homes, yet for this most important function in life there is often not even a pretense of practical training."

A host of simple but collectively important ways to improve small homes are being recommended by the group behind the new organization, who aided informally in the setting up of approximately 1000 Better Homes exhibits in 1923.

Here are some of the prosaic bits of advice:

Put the kitchen sink under a window so that the home-maker may enjoy the fresh air and the beauty of nature while engaged at necessary household tasks.

Put rollers on the kitchen table and

save about fifteen miles of walking a month for the housewife.

Place your bed in relation to the bedroom windows so that you can have plenty of fresh air without a draft.

Dedicate the sunny south bed-room to your children instead of to occasional guests.

Build your house so that the living-room and dining room constitute one big room. Then your daughter can have dances, parties and other social events at home instead of somewhere else.

Give the housewife the share of the living expense money which should come under her jurisdiction, and let her be responsible for the budgeting of it.

There are scores of further recommendations. Books, music and other cultural features of the home are included in the specifications, as well as things physical. A determined effort will be made to see that every American knows what constitutes the best, most livable home his money can assure.

### ALERTNESS PICKS UP ORDERS

Looking for business and just waiting for business makes the difference between success and a bare living.

The DAILY BUILDING NEWS will tell you where to look and make you most alert in securing business.

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### WE ASK YOU

Isn't it funny?  
THAT A MAN WHO CONSIDERS HIMSELF A BUSINESS MAN  
Will get up in the morning  
From an advertised mattress,  
And put on advertised underwear,  
Advertised hose, shirt, collar, tie and shoes.  
Seat himself at a table and  
Eat advertised breakfast food,  
Drink advertised coffee or substitute,  
Put on an advertised hat,  
Light an advertised cigar,  
Go to his place of business and  
TURN DOWN ADVERTISING ON THE GROUND THAT ADVERTISING DOESN'T PAY!

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Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

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Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

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The Parkway at 24th St., Phila.  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

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The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

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Pearce Fireproof Co. ....1345 Arch St., Phila.

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Penna. Flooring & Woodoleum Mfg. Co.,  
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Weil, J. H., Co. ....1315 Cherry St., Phila.

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McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

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Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.  
Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

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## FLUE LINING.

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American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

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Tinney, Walter H., Co.,  
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Ketcham, O. W. ....121 N. 18th St., Phila.

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Philadelphia Fire & Marine Ins. Co.,  
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Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

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## LINOTILE.

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Gillingham Co. ...Norris and Richmond Sts., Phila.  
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Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

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Warren-Knight Co. ....136 N. 12th St., Phila.  
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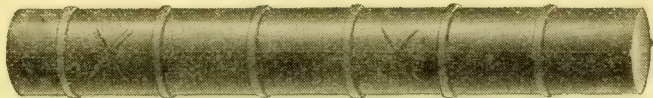
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March 26, 1924

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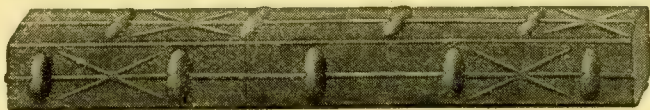
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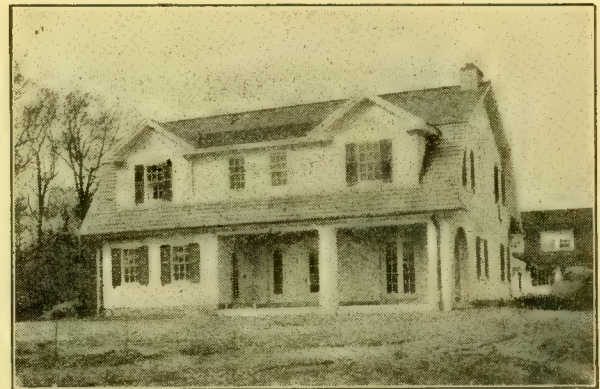
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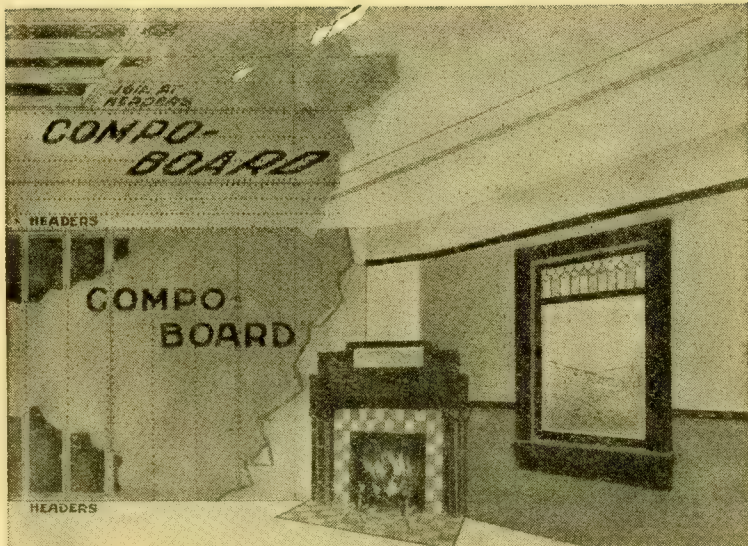
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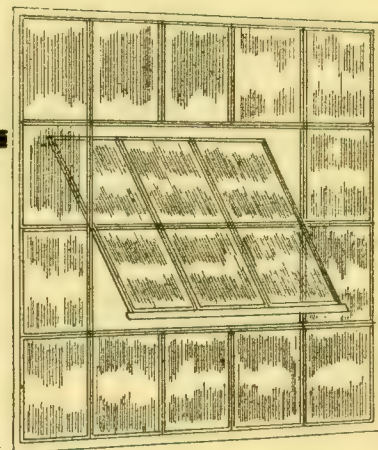
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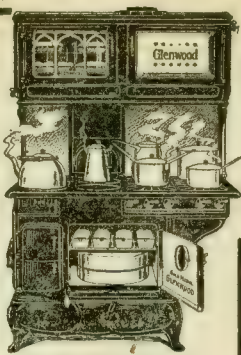


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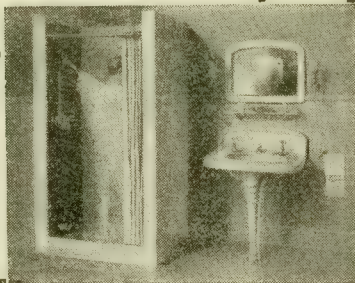
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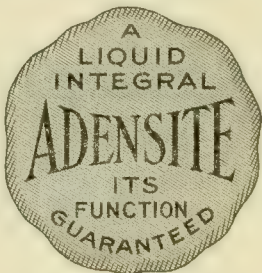
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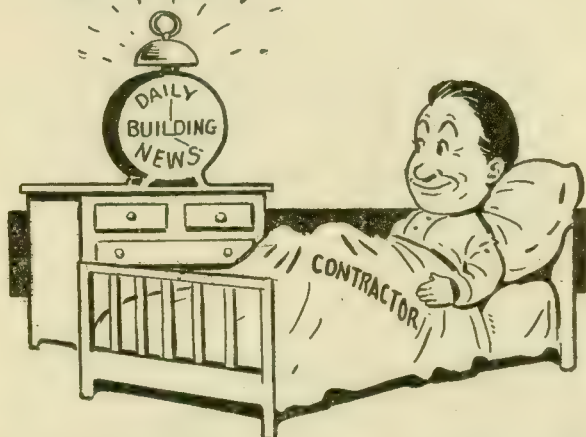
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# BUILDERS' GUIDE

VOLUME XXXIX  
Number 13

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

PHILADELPHIA  
March 26, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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Second Class Matter



## As The Editor Sees It



One of the major aims of the Better Homes in America movement is the promotion of thrift for home ownership. It is being stressed again this year in the national campaign of the organization which culminates in Better Homes Week, May 11 to 18.

But, while the ownership of its home by a family enables the family to control its own living conditions, to secure comfort, safety and privacy, make the home attractive according to the family's standards of taste, and promote a wholesome family life uninvaded by the threats or negligence of the landlord, the greatest care should be exercised by the prospective home buyer or builder. The attention of the officials of Better Homes in America has been called to cases in which owners have reported that their houses were poorly constructed or that they lost money because a factory was built nearby, or that promised street or public utility improvements were not put through.

Dr. James Ford, Executive Director of Better Homes in America, calling attention to the number of homes which are a needless burden to those who had them built due to necessary expenditures unforeseen in planning, urges that the home buying or building venture be of assured safety before a start is made.

"For many men home ownership is not a present possibility," Dr. Ford said. "Their positions may be temporary and

they must be free to move if necessary. But building should not be undertaken by any family until they have accumulated enough to secure a sufficient equity to make the venture safe. A step which so vitally affects the whole future life of the family should of course be taken with careful planning and reasonable caution. It does not mean in most cases to start building now, but rather to start saving today to provide a safe margin on the purchase price and to provide for appropriate new furnishings where needed.

"Cases where home builders and buyers have suffered from the failure to have street or other improvements made, or through deterioration of the neighborhood emphasize the need for taking reasonable precautions in buying a home," Dr. Ford continued. "The booklet on the subject published by the Department of Commerce, known as 'How to Own Your Home,' written by Dr. John M. Gries and James S. Taylor, highly competent authorities on the subject, points out many common symptoms of poor construction to be looked for in buying a completed house. These symptoms include cracks in foundation walls or rooms, uneven or squeaking floors, casings warped or pulled away from the plastering, doors that do not swing easily, and lack of sheathing or building paper on the house. This pamphlet, obtainable from the Superintendent of Documents at the

Government Printing Office in Washington for five cents, points out that it is safest to secure the advice of a competent builder or architect who will give prospective purchasers the benefit of expert advice for a small consideration.

"The writers of 'How to Own Your Home' state also that it is always safest to buy in a residential district in a zoned city on account of the protection from intrusion by factories, public garages and stores. Where streets, curbing, sidewalks, water, electric, gas or sewerage improvements have not been made, the home buyer has no business to take chances on 'probabilities' or 'expectations' in regard to them."

The great majority of those with whom home-seekers deal are honest, according to Dr. Ford, but it is always well to have such expert advice as can be given by disinterested persons of wide experience. The honest builder welcomes the chance to have his work compared with that of the fly-by-night by an architect or someone else who knows, he pointed out.

"In other words," said Dr. Ford, "Better Houses in America recommends home ownership as a program of great social importance, but because of that very importance urges prospective home owners to weigh and consider all the factors involved instead of rushing headlong and indiscriminately into home building. Careful planning and wise and patient thrift are the first steps."

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Wayne School**, Twenty-eighth and Morris streets, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Owners taking bids due April 3rd at noon. Wayne School, general construction. Various schools, gymnasium, painting inside and out, tearing down buildings, paving, galvanized iron hand rails on entrance steps, wire screens, electric light, fire escapes, doors, alterations and additions, etc. Owners taking bids due April 3rd at noon.

**Residences (35)**, Fifty-seventh and Lebanon avenue, Philadelphia, \$197,500. Architect, private plans. Owner, Henry J. McLean, 521 South Fifty-second street, Philadelphia. Brick, 2 stories, (2) 16x48 feet, (33) 16x30 feet, 12x12 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Garages (2)**, North side Benner street, West of Edmund street, \$4,500 each. Owner, J. Silver, 5116 North Camac street, Philadelphia. Brick, 1 story, 44x20 feet, 10x32 feet, slag roof, cement floors. Owner will build.

**Store and Apartment (alts. and add.)**, Northeast Corner Sixty-second and Girard avenue, Philadelphia. Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, William J. McConnell. 5263 Larchwood avenue, Philadelphia. Brick, 3 stories, 24x18 feet, 10x10 feet, composition floors, plumbing (6 baths), electric light, general interior alterations. Owner ready for general bids.

**Store and Apartment**, near Fifty-third and Chestnut streets, Philadelphia. Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, name withheld. General alterations. Plans in progress.

**Office and Apartment**, 5909 North Broad street, Philadelphia. Architects, Gleeson, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, Doyle & Tegan, care of architects. Brick, cut stone, steel, limestone, 3 stories and basement, 52x20 feet, slag roof, oak floors, painting and glazing, metal lath, tile and marble work, rolled steel sash, galvanized iron skylights, bond, ornamental iron work. Architects taking bids due March 30th.

**Garage**, York and Memphis streets, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, Samuel Knee, care of architect. Brick, cut stone, reinforced concrete, steel, 2 stories, 70x120 feet, slag roof, cement and pine floors, electric light, painting and glazing, plumbing, metal lath, rolled steel sash, rolled steel doors, metal bulks, ornamental iron work. Architect taking bids due April 1st.

**Church and Sunday School**, Olney, Philadelphia. Architects, Richter & Eiler, 147 North Fifth Street, Reading, Pa. Owners, Zion Lutheran Church, Rev. B. Shetlock, 117 East Tabor Road, Philadelphia. Revised plans in progress.

**Apartment House**, 4044-46 Walnut street, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, Leon

J. Benamy, care of builder. Brick, steel and limestone, 3 stories, 50x100 feet, slag roof, oak and pine floors, hot water heat, electric light, tile work, metal lath, ornamental iron work. M. J. Benamy, care of M. Greenberg, 903 North American Building, taking sub-bids.

**Residence**, McCallum and Lincoln Drive, Philadelphia. Architect, private plans. Owner, William Freihofer, Twentieth and Indiana avenue, Philadelphia. Stone, 2½ stories, 45x21 feet, 40x32 feet, slate roof, oak and composition floors, hot water heat, electric light, tile and marble work, iron work. Owner taking bids due as soon as possible.

**Telephone Exchange**, Northwest Corner Sixteenth and Jefferson streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. 173x120 feet. Plans in progress.

**Apartment House**, Wynnefield, Pa. Associate architects, T. B. Lippincott and C. F. Schaef, 11 South Sixteenth street, Philadelphia. Owner, name withheld. Brick, stone, steel, stucco, 4 stories, 45x160 feet, 2 wings, 45x185 feet, slag and tile roof, hardwood floors, dumb waiters and elevators, kitchen and laundry equipment, tile and marble work, electric light, vapor heat. Plans in progress.

**Church and Sunday School**, Greene near Coulter street, Philadelphia. Architects, Day & Klauder, Franklin Bank Building, Philadelphia. Owners, Second Church of Christ Scientist, on premises. Brick, steel, cut stone, reinforced concrete, 1 story and 2 stories, slag and tile roof, electric light, pine floors, iron work, electric light. Revised plans in progress.

**Residences (18)**, West Philadelphia. Architects, J. L. Stetler & Deysher, 1015 Chestnut street, Philadelphia. Owner, name withheld. Brick, 2 stories. Plans in progress.

**Apartment House (efficiency type)**, Nineteenth and Green streets, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owners, Corporation, care of J. Fieldman, 209 Lincoln Building, Philadelphia. Revised plans in progress. Architect will be ready for new bids in three weeks.

**Residence**, 147-49 West Hortter street, Germantown, Philadelphia. Architects, Webber &

Wurster, 153 Locust street, Philadelphia. Owner, M. N. Wurster, care of architect. Revised plans in progress.

**Residence (alts.)**, 2110 Pine street, Philadelphia. Architect, private plans. Owner, Dr. A. F. Mershon, 2305 Christian street, Philadelphia. General alterations. Work contemplated.

**Residence (alts. to Apartment and Office)**, Northeast Corner Thirty-eighth and Ludlow streets. Architect, not yet selected. Owner, A. S. Shafer, 4233 Walnut street, Philadelphia. General interior alterations, mill work, painting, hot water heat, electric light, tile and marble work, oak floors. Owner will sublet.

**Store (alts.)**, 417 Market street, Philadelphia. Architect, Charles H. Schaef, 11 South Sixteenth street, Philadelphia. Owner, A. S. Shafer, 4233 Walnut street, Philadelphia. Limestone or terra cotta, plumbing, painting and glazing, vapor heat, composition floors, tile and marble work, shoring, metal bulks. Owner ready for sub-bids.

**Store and Apartments (alts. and add.)**, 3638 Chestnut street, Philadelphia. Architect, Charles H. Schaef, 11 South Sixteenth street, Philadelphia. Owner, A. S. Shafer, 4233 Walnut street, Philadelphia. Tapestry brick, hot water heat, electric light, tile and marble work, metal bulks, metal ceilings, mill work, plastering, plumbing, painting, mineral and hardwood floors, slag and copper roof. Owner ready for sub-bids.

**Manufactory**, Allegheny and B street, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Allegheny Realty Corporation, 3264 North Sixth street, Philadelphia. Brick, concrete, steel, 7 stories and basement, 132x180 feet, slag roof, steam heat, electric light, cement floors, elevator, roof ventilators, ornamental iron work, bond, rolled steel sash and skylights. Barclay White Co., 1713 Sanson street, Philadelphia, taking sub-bids.

**Store and Dwelling (alts. and add.)**, 1626 Venango street, Philadelphia. Architect, William H. Wooters, 816 West Allegheny avenue, Philadelphia. Owner, George Hart, care of architect. Brick and steel, 2 stories, 15x16 feet, 1 story, 12x10 feet, slag and tin roof, maple and oak floors, cement paving, shoring,

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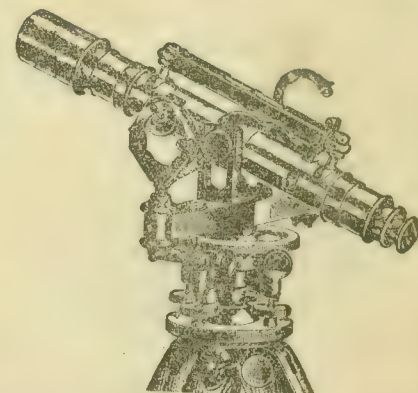
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**Church**, Parkesburg, Pa. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, Presbyterian Church of Parkesburg, Pa. Stone, 1 story, 60x100 feet, slate roof, pine floors, steam heat, electric light, ornamental iron work. Plans drawn. Owners will take bids.

**Residences (15)**, Harrison and Large streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, George Edel, Oakland and Pratt streets, Philadelphia. Brick, 2 stories, 16x43 feet, hot water heat, electric light, metal lath, tile work, slag roof, hardwood floors, cement work, garage in basement. Owner ready for sub-bids.

**Residences (26)**, Somerdale Station, Philadelphia. Architect, E. A. Wilson, 1208 Chestnut street, Philadelphia. Owner, James T. Larzelere, 1132 Land Title Building, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath, tile work, cement work, garages in basement. Owner ready for sub-bids.

**Residences (15)**, Oakland and Kenwyn streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, C. B. Jamison, Weightman Building, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood floors, hot water heat, electric light, tile work, metal lath, cement work, garages in basement. Owner ready for sub-bids.

**Residences (80)**, Germantown avenue and Springer street, Philadelphia. Architect, private plans. Owner, Robert Killough, Wayne avenue and Duval street, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner is ready for sub-bids.

**Residence and Garage**, Allen Lane and McCallum street, \$35,000. Architect, Warren Neff, 2003 South Sixtieth street, Philadelphia. Owner, E. C. Durrell, 1713 North Twenty-fourth street, Philadelphia. Stone, 3 stories, 31 feet, 6 inches x 43 feet, 18x18 feet, garage, 20x24 feet, hot water heat, electric light, tile work, slate roof, hardwood and cement floors. Owner taking sub-bids due as soon as possible.

**Residences (6)**, Cottman Gardens, Fox Chase, Philadelphia. Architect, William H. Wooters, 816 West Allegheny avenue, Philadelphia. Owners, Newman & Ball, 3250 Germantown avenue, Philadelphia. Brick, frame and stucco, 2 stories, 15x40 feet, slag and shingle roof, pine, oak and mineral floors, hot water heat, electric light, cement paving. Owners ready for sub-bids.

**Residence and Store (alts.)**, Northwest Corner Twenty-second and Ridge avenue, Philadelphia. Architect, Martin T. Glass, 806 Green street, Philadelphia. Owner, J. Russikov, on premises. Brick, 2 stories, 60x60 feet, hardwood floors, tile baths, oil heating or steam heating, electric light, mill work and plastering. Architect taking sub-bids.

**Store and Apartments (alts.)**, 1416 West Tioga street, Philadelphia, Pa. Architect, Paul Livingstone Boyd, 6943 Limekiln Pike, Philadelphia. Owner, William A. Lecher, 3705 Germantown avenue, Philadelphia. Stone, brick, marble work, 3 stories, 22 feet, 3 inches x 55 feet, hot water heat, electric light, metal lath, marble base, slag and slate roof, wood and composition floors. Owner will take sub-bids.

**Building Operation (44 Residences)**, Franklin street and Wellens and Eighth streets, Philadelphia. Architect, Paul Livingstone Boyd, 6943 Limekiln Pike, Philadelphia. Owner, Robert G. Foster, 1346 West Somerset street, Philadelphia. Stone and brick, 2 stories, 15x40 feet, 18x40 feet, 20x32 feet, slag roof, hot water heat, electric light, tile baths.

Hollow metal in bath rooms. Owner will take sub-bids.

**Apartment House**, North side Walnut street, between Forty-fifth and Forty-sixth streets, Philadelphia. Architect and engineer, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owner, name withheld. Brick, stone and castone, 4 stories, 80x100 feet (33 apartments), roof ventilators, tile work, hollow metal skylights, tower fire, kalamein doors, vapor heat, electric light, metal lath. Harry Gill, Jr., 2515 Germantown avenue, Philadelphia, taking sub-bids.

**Residences (6) (individual) and Garages**, Lancaster avenue, Overbrook. Architect and owner, William Woodburn Potter, Real Estate Trust Building, Philadelphia. Brick, 2½ stories, various sizes, hot water heat, slate roof, oak floors, hollow tile, electric light, tile and marble work. Plans in progress. Owner ready for general bids on three. Others to follow.

**Residences (62)**, Shields street, between Buist and Dicks avenues, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, M. D. Burke, care of architect. Stone, brick, 2 stories, 16x30 feet, slag roof, pine floors, hot water heat, electric light, tile work. Architect taking sub-bids due at once.

**Apartment (alts.)**, 221-23 South Tenth street, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. H. Waldow, Widener Building, Philadelphia. General alterations, hot water heat, electric light, tile and marble work, hollow metal skylights, metal bulks, slag roof, hardwood floors. Owner will take new bids.

**Store Building (alt. and add.)**, 2318-24 North Front street, Philadelphia. Architect, private plans. Owners, F. W. Woolworth & Co., C. M. Wilson, Miners' Bank Bldg., Wilkes-Barre, Pa. Brick, 2 stories, 32x107 feet, slag roof, pine floors, steam heat, electric light. Owners will build.

**Foundations**, Southern Car Barn, Forty-eighth Ward, Nineteenth and Twentieth and Johnston streets. Architect, private plans. Owners, Philadelphia Rapid Transit Co., Eighth and Dauphin streets, Philadelphia. Foundations for each following buildings: Inspection shop, office building, sand handling panel, trackless trolley garage, stack, water storage reservoir, bond, concrete piles, plain and reinforced concrete, waterproofing. Owners taking bids due March 27th.

**Residences (2)**, Fifty-eighth and Woodbine avenue, Philadelphia. Architect, A. C. Borzner, 717 Walnut street, Philadelphia. Owner, John Crawford, Land Title Building, Philadelphia. Stone, 3 stories, 28x43 feet, wing 11x12 feet, central heat, electric light, tile and marble work, slate roof, hardwood floors. Owner taking bids due as soon as possible.

**Office Building**, Northeast Corner Sydenham and Locust streets, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Charles Kahn, Morris Building, Philadelphia. Brick, limestone, granite steel, 10 stories and basement, 57x90 feet (plumbing, heating, electric and elevators reserved), slag roof, cement floors, painting and glazing, metal weather strip, shoring, dampproofing, terra cotta, ornamental iron work, iron stairs, hollow metal and kalamein doors, rolled steel sash and skylights, hollow metal sash, marble and terrazzo work, metal lath. Architect taking bids due March 31st.

**Apartment House**, Lincoln and Emlen streets, Philadelphia. Architects, associate, T. B. Lippincott and C. F. Schaef, 11 South Sixteenth street, Philadelphia. Owner, Wynnefield Taylor, care of architect. Concrete steel, brick, limestone, 75 stories, 128x48 feet, slag roof, composition and hardwood floors, automatic elevators, oil burning equipment, terra

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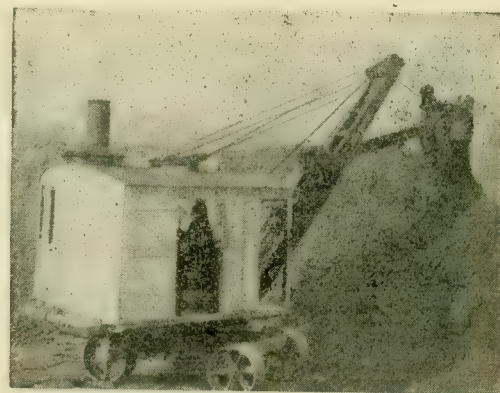
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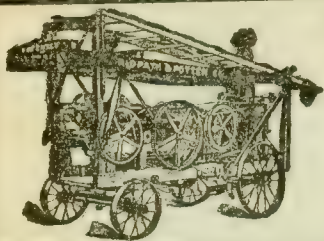
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cotta, artificial stone, tin clad and kalamein doors, metal sash, fire tower, tile and marble work, vapor heat, electric light. Architects taking bids.

**Residence (alts. and add.)**, 4856 Parkside avenue, Philadelphia. Architect, Solomon Kaplan, 10 South Eighteenth street, Philadelphia. Owner, A. E. Jawer, 604 North Broad street, Philadelphia. Hollow tile and stucco, 2 stories and basement, 27x19 feet, bond, cement work, hollow tile, cut stone, structural steel, iron work, plastering, slate roof, carpentry and mill work, tile, composition floors, steel sash, painting and glazing, oak floors, heating alterations, electric, plumbing. Architect taking bids due March 27th.

**Residence**, Chestnut Hill, Pa. Architect, Robert McGoodwin, 1600 Walnut street, Philadelphia. Owner, Mrs. Norton Downs, 49 Bethlehem Pike, Chestnut Hill, Pa. Stone, cut stone, brick, 2½ stories, 76x38 feet, (2) wings 40x20 feet, hot water heat, electric light, tile work, shingle roof, oak and pine floors, bond, ornamental iron work. Architect taking bids due March 28th.

**Residence**, Ardeleigh avenue near Gravers Lane, Chestnut Hill, Pa. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owner, J. Oliver Ernschaw, care of architect. Stone, cut stone, 2½ stories, 32x53 feet (plumbing, heating, electric reserved), slate roof, oak and pine floors, metal lath, tile and marble work, ornamental iron work. Architect taking bids due March 7th at noon.

**Supplies**, Philadelphia. Owners, Department of Public Safety, Director's Office, 215 City Hall. Fire alarm registers and equipment, signal boxes, fire alarm transmitters, fire alarm cable, fire alarm patrol underground system. Purchase and installation of electrically operated automatic police signal system, installation of four new water tube boilers in East Fire Room, City Hall, and oil burning equipment in new boiler and 2 boilers in Court Yard, together with alterations and repairs to existing installation. Deposit, \$20.00 Refund, \$20.00. Owners taking bids due April 2nd at noon. Mr. F. B. Titus, manager, taking bids.

**Funfield Recreation Center**, Twenty-second and Sedgley avenue, Philadelphia. City architect, John Molitor, 1211 Chestnut street, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall, Philadelphia. Grading, surfacing, iron fence, drainage. Owners taking bids due March 27th at noon.

**Room 132, City Hall (alts.)**, Philadelphia. Office of County Commissioners, 130 City Hall, Philadelphia. Owners taking bids in Room 130, due March 28th at noon, for alterations and erections of partitions. Plans may be secured from Chief Clerk.

**Supplies**, Philadelphia. Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Blast sand for bridge repairs and flat iron. Owners taking bids due March 26th at noon, Room 216.

**Storage Building**, 2127-29 Vine street, Philadelphia. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, Albert Quill, care of architect. Architect taking bids due as soon as possible.

**Residences (98)**, (44) Fifty-sixth and Morse street, and (54) Arlington street and Georges Lane, Philadelphia, \$574,000. Architect, private plans. Owners, Kenin & Shapiro, 5850 Market street, Philadelphia. Brick, 2 stories, (4) 16x51 feet, (52) 15x32 feet, 11x18 feet, (42) 16x29 feet, 13x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (18)**, Twentieth street, Church Lane and Woodstock street, \$98,500. Architect, private plans. Owner, Emil P. Stahl, 5209 North Third street, Philadelphia. Brick, 2 stories, 16x30 feet and 16x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (7)**, Marvine street and Duncannon avenue, \$52,500. Architect, private plans. Owners, Rosen & Feinberg, 1834 North Fifty-fourth street, Philadelphia. Brick, 2 stories, (3) 15x31 feet, 10x17 feet, (1) 16x46 feet, (3) 16x30 feet, 11x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

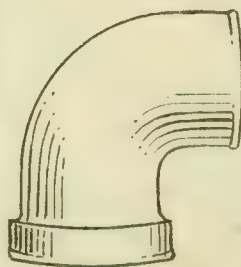
**Residences (2)**, 7 and 9 East Highland avenue, Philadelphia, \$9,000 each. Architect, private plans. Owner, Melvin H. Frebe, 5 East Highland avenue, Philadelphia. Brick, 2 stories, 16x53 feet, hot water heat, electric light, hardwood and pine floors, tile work. Owner will build.

**Service Station**, Southeast Corner Thirty-fourth and Mellon streets, Philadelphia, \$7,500. Architect, private plans. Owners, Gulf Refining Co., Widener Building, Philadelphia. Brick, 1 story, 14x14 feet, tile roof, cement work, electric lighting. Owners will build.

**Residences (45)**, Fifty-second and Arlington avenue and Fifty-seventh and Malvern, \$444,000. Architect, private plans. Owners, Marshall Const. Co., 1115 Marlyn Road, Philadelphia. Brick, 2 stories, 21x40 feet, 21x35 feet, 19x35 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (5)**, Bleigh street and Whitaker avenue, \$29,500. Architect, private plans. Owner, M. Glaser, 1238 North Lawrence street, Philadelphia. Brick, 2 stories, 18x52 feet and 15x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

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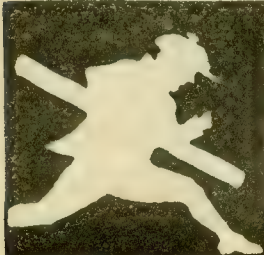
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**Residences (5)**, Ellet street and McCallum street, \$7,500 each. Architect, private plans. Owners, Samuel Harting & Sons, 20 East Johnson street, Philadelphia. Brick, 2 stories, 20x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2)**, Somerville avenue and Sydenham street and Fishers avenue and Sydenham street, Philadelphia, \$10,000 each. Owner, Louis Mark, 4501 North Ninth street, Philadelphia. Brick, 2 stories, 16x45 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residence**, 3108 Midvale avenue, Philadelphia, \$16,000. Architect, private plans. Owners, Johnson & Talley, P. O. Building, Room 11, Germantown, Philadelphia. Stone, 3 stories, 27x40 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Residences (31)**, Twentieth street, Sixty-sixth avenue to Sixty-seventh avenue, \$142,500. Architect, private plans. Owners, Ramsey & Williams, 6042 Cobbs Creek Parkway, Philadelphia. Brick, 2 stories, (3) 18x40 feet, (28) 15x30 feet, 11x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (20)**, Ogontz and Sixty-sixth avenues, Philadelphia, \$103,00. Architect, private plans. Owner, A. J. Schulke, 2631 Huntingdon street, Philadelphia. Brick, 2 stories, (2) 16x44 feet, (18) 16x33 feet, 11x13 feet, slag roof, hot water heat, electric light. Owner will build.

**Warehouse**, North side Cambria street, West of Belgrade street, \$10,000. Architect, private plans. Owner, James Trimble, 2556 East Somerset street, Philadelphia. Brick, 1 story, 100x100 feet, slag roof, cement floors. Owner will build.

**Store and Residence (add.)**, 3025 North Twenty-second street, Philadelphia, \$5,000. Architects, private plans. Owner, Joseph Caponello, 3025 North Twenty-second street, Philadelphia. Brick, 3 stories, 16x30 feet, 2 stories, 16x8 feet, hot water heating, electric lighting. Owner will build.

**Apartment House (alts. and add.)**, 4279 Frankford avenue, \$4,500. Architect, private plans. Owner, A. Black, 928 North Sixth street, Philadelphia. Brick, 1 story add., 5x11 feet, general alterations. Owner will build.

**Residence**, South side Benton street, West of Bustleton avenue, \$4,000. Architect, private plans. Owner, George Stuhlmuller, Bustleton avenue and Pennypack Creek. Brick, 2 stories, 24x48 feet, shingle roof, hot air heat, electric light. Owner will build.

**Garage**, 19 West Willow Grove avenue, Philadelphia, \$4,000. Architect, private plans. Owner, Luciana Adams, on premises. Brick, 1 story, 18x62 feet, slag roof, cement floors. Owner will build.

**Building (alts.)**, 1224 Chestnut street, Philadelphia, \$25,000. Architect, J. Oliver Potts, 1224 Chestnut street, Philadelphia. Owners, John B. Stetson Co., Fifth and Montgomery avenue, Philadelphia. General alterations. Owners will build.

**Building (add.)**, 634 Washington avenue, Philadelphia, \$4,000. Owners, Spinnelli Brothers, on premises. Brick, second story add., 35x90 feet. Owners will build.

**Residences (6)**, North side Wakeling street, West of Cottage street, \$4,500 each. Architect, private plans. Owners, W. M. France Sons, 1511 Oxford avenue, Philadelphia. Brick, 2 stories, 17½x30 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (8)**, 2702-06-10-14-18-22-26-30 Edgington street, Philadelphia, \$4,200 each. Architect, private plans. Owner, Joseph L. Wiza, 4420 East Thompson street, Philadelphia. Brick, 2 stories, 16x42 feet, and 1 story, 16x8 feet, slag roof, hardwood and pine floors, electric light. Owner will build.

**Residences (6)**, East side Eighty-fourth street, North of Lyons avenue, \$25,000 total. Architect, private plans. Owner, William Greehman, 8320 Brewster avenue, Philadelphia. Brick, 2 stories, (1) 16x46 feet, (5) 15x20 feet, 13x26 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

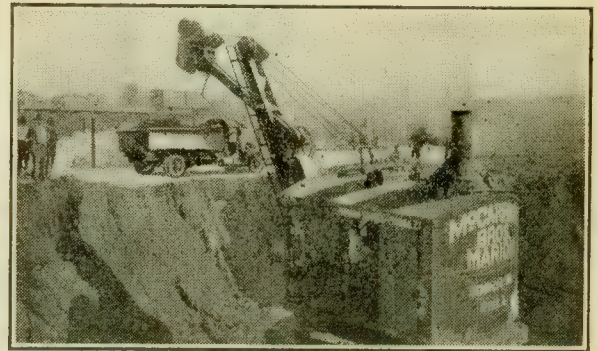
**Residence**, North side Fitler street, East of Frankford avenue, \$7,000. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Frame and stucco, 3 stories, 24x31 feet, 2 stories, 14x16 feet, shingle roof, hardwood and pine floors, hot water heating, electric lighting, tile work. Architect taking sub-bids.

**Garage and Show Room**, 5224-32 Greene street, \$60,000. Architect, private plans. Owner, A. Leibovitz, 4045 Baltimore avenue, Philadelphia. Brick, 1 story, 100x200 feet, slag roof, cement floors, electric, steam heat. Owner will build.

**Residences (37)**, Fifteenth and Chew streets, Philadelphia. Architect, private plans. Owners, John Loughran's Sons, Park avenue and Cambria street, Philadelphia. Brick, 2 stories, 16x30 feet, 13x13 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2)**, North side Loney street, East of Castor avenue, \$5,000 each. Architect, private plans. Owner, James Leyden, 420 West Cayuga street, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, North side Parkside avenue, East of Forty-ninth, \$9,000 each. Architect,



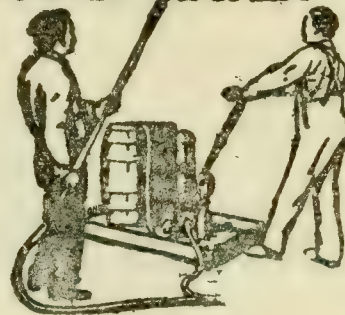
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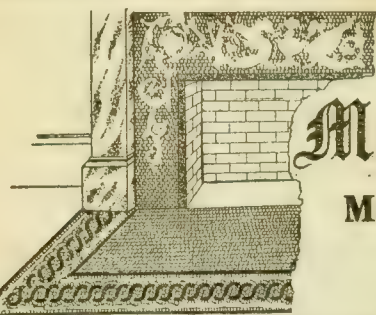
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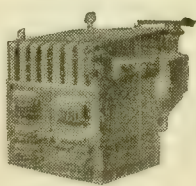
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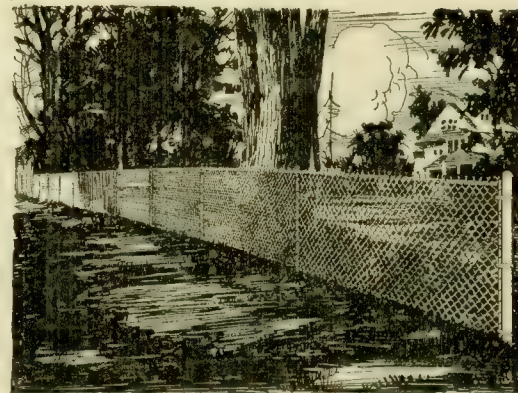
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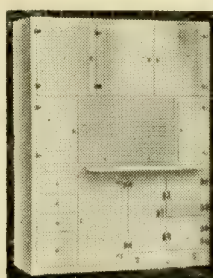
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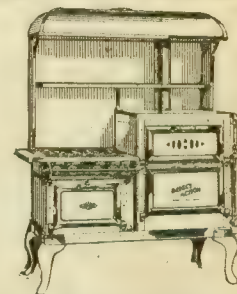
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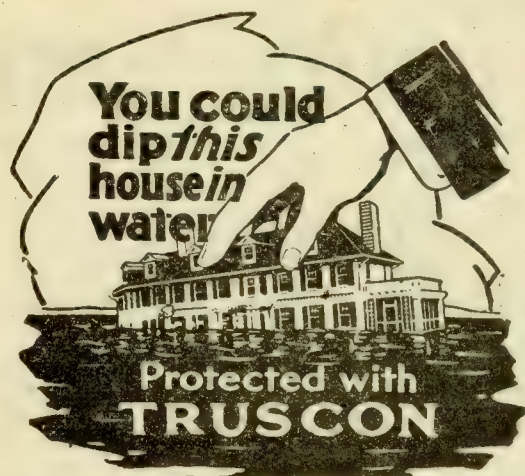
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private plans. Owners, Roland Young & Bro., 6228 Woodland avenue, Philadelphia. Brick, 2 stories, 24x39 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Owners will build.

**Garage**, 3613-15 North Eighth street, Philadelphia, \$4,000. Architect, private plans. Owner, M. Mosse, 3936 North Reese street, Philadelphia. Brick, 1 story, 37x41 feet, slag roof, cement floors. Owner will build.

**Residences (2)**, West side Verree Road, North of Hartel street, \$5,000 each. Architect, private plans. Owner, Edwin Davis, 7301 Oxford Pike, Philadelphia. Frame, 2 stories, 26x41 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence and Store (add.)**, Northeast Corner Torresdale and Margaret streets, \$2,600. Architect, private plans. Owner, Pasquale Domico, on premises. Brick, 1 story add.,

17x31 feet, and 1 story, 16x11 feet. Owner will build.

**Delaware River Bridge (Contracts No. 13, No. 14)**. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract No. 13—Cable bands, suspenders, hand rope to be erected upon main cables of bridge between two anchorages, furnishing material, erection and ready for attachment to suspended structure. Low bidders: Keystone State Const. Co., 210 South Thirteenth street, Philadelphia, \$404,850; Underpinning & Foundations Co., 34 Madison avenue, New York, \$414,000. Contract No. 14—Stiffening trusses, laterals and floor system of main bridge between two anchorages, carbon steel, two grades of high tensile steel to be used. Low bidders: American Bridge Co., Widener Building, Philadelphia, \$2,888,000; McClintock-Marshall Co., Morris Building, Philadelphia, \$2,918,610.

ries, 40x95 feet, slag roof, oak floors, painting and glazing, roof ventilators, ornamental iron work, bond, copper skylights, metal lath, tile work, vapor heat, electric. Contract awarded John Schnabel, Inc., Denckla Building, Philadelphia.

**Residence (alts.)**, 2340 Park avenue, Philadelphia. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, Joseph Caplan, care of architect. Heating repairs, carpentry and mill work, structural steel, iron work, carpentry and mill work, plastering, tile and marble work, hardware, painting and glazing, oak floors, electric light. Contract awarded F. A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Residence**, North side Borbeck street, East of Burholme avenue, \$9,000. Architect, private plans. Owner, George Marschner, 4955 North Second street, Philadelphia. Frame, 1 story, 30x42 feet, shingle roof, hardwood and pine floors, hot water heating, electric lighting, tile work. Contract awarded to A. Johnson, 4240 North Sixth street, Philadelphia.

**Telephone Building**, Oak Lane, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, limestone, 3 stories, 107x88 feet, slag roof, cement and composition floors, steam heat, electric, metal lath, tile work. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia, not signed.

**Manufacturing Building**, Northwest Corner Stenton and Wyoming avenues, \$50,000. Architect, Benjamin Rush Stevens, 1827 Arch street, Philadelphia. Owners, Rodger Hosier Co., Stenton and Wyoming avenues, Philadelphia. Brick, 2 stories, 72x149x55 feet, slag roof, cement floors, roof ventilators, floor hardener, hollow metal skylights, waterproof-

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Office Building**, Fifth and Walnut streets, Philadelphia, \$800,000. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Independence Realty Co., Third and Walnut streets, Philadelphia. Brick, steel, concrete, 8 stories, 180x100 feet, slag roof, cement floors, hollow tile, elevators, terra cotta, ornamental iron work, tile and marble work,

metal lath, electric lights, steam heat. Contract awarded James M. Stewart Co., 30 Church St., New York City.

**Store and Business Building**, Northwest Corner Eighteenth and Chestnut streets, \$60,000. Architects, W. H. Gravell, Arthur Hall, Otis Building, Philadelphia. Owner, name withheld. Brick, concrete, cut stone, steel, 2 sto-

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ing (electric work, sprinkler system and plumbing separate contracts). Contract awarded to R. M. Peterson & Son, 6 Queen Lane, Philadelphia.

**Apartment House**, Twenty-first and Walnut streets, Philadelphia. Architect, Charles E. Oelschlager, 1615 Walnut street, Philadelphia. Owner, M. Finkel, 130 South Seventeenth street, Philadelphia. Brick, cut stone, 3 stories and basement, 116x20 feet (plumbing, heating, electric and elevators reserved), oak floors, cement floors, roof ventilators, terra cotta, ornamental iron work, floor hardener, metal bulks, rolled steel sash, tile and marble work, metal lath. Contract awarded A. Kirpich, Fifth and Tasker streets, Philadelphia.

**Sunday School**, Walker and Benner streets, Philadelphia. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Wissinoming Baptist Church, Wissinoming, Pa. Stone, cut stone, steel, brick, 2 stories and basement, 85x40 feet, slate and slag roof, composition and pine floors, electric light, iron work (heating reserved). Contract awarded Roy Randall, Jenkintown, Pa.

**Hotel**, vicinity of Strawberry Mansion, Philadelphia. Architect, private plans. Owner, A. Stein, care of builder. Reid brick, 3 stories, 20x78 feet, slag roof, pine and composition floors, hot water heat, electric light, tile and marble work, mill work, kitchen equipment, cement work. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia, who are taking sub-bids due at once.

**Building (alts.), (new front)**, 1711-17 Chestnut street, Philadelphia. Architect, private plans. Owner, Charles R. Sykes, Washington Square Building, Seventh and Chestnut streets, Philadelphia. Brick and steel, 4 stories, steam heat, electric light, metal lath, slag roof, cement floors, elevators, plastering, painting and glazing. Contract awarded J. Alterman Const. Co., care of owner, Seventh and Chestnut streets, Philadelphia.

**New Barn and Manse**, Chestnut Hill, Pa., \$135,000. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owner, George Widener, care of architect. Frame and stone, 1 story and 2½ stories, 420x52 feet, manse 72x86 feet, slate roof, oak and pine floors, hot water heat, electric light, tile. Contract awarded D. W. Sperry, Heed Building, Philadelphia.

**Residences (19)**, Gaul and Cambria streets, Philadelphia, \$60,000. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owners, Octavia Hill Association, 603 Lombard street, Philadelphia. Brick, 2 stories, 15x24 feet, slag roof, pine floors, hot air heat, electric light. Contract awarded Mitchell Brothers, 2125 Race street, Philadelphia.

**New Bulks**, 1529 Germantown avenue,

Philadelphia. Architect, private plans. Owner, name withheld. New bulk, tile and marble work, galvanized iron work, composition floors, cabinet worn. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Residences (15)**, Devereaux, Walker and Algard streets, \$85,900. Architect, private plans. Owners, Starkey & Waters, 3123 Devereaux street, Philadelphia. Brick, 2 stories, (10) 15x24 feet, 12x20 feet, and (5) 15x41 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to F. W. Starkey, 1669 Bridge street, Philadelphia.

**Garage**, 216-20 Christian street, Philadelphia, \$16,000. Architect, private plans. Owner, H. Herkewitz, 1526 South Fifty-second street, Philadelphia. Brick, 1 story, 60x142 feet, slag roof, cement floors. Contract awarded to J. Herkewitz, 1526 South Fifty-second street, Philadelphia.

**Residence**, Southwest Corner Island avenue and Buist avenue, Philadelphia, \$11,000. Architect, private plans. Owner, M. Saltzman, Seventy-fifth and Buist avenue, Philadelphia. Brick, 2 stories, 17x60 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to I. Kaplan, 7904 Eastwick avenue, Philadelphia.

**Residences (2)**, West side Sepviva street, North of Duncan street, total \$10,000. Architect, private plans. Owner, Stefan Wazolek, 5023 Worth street, Philadelphia. Brick, 2 stories, 16x44 feet, 1 story, 16x10 feet, slag roof. Contract awarded to Felix Tatko, 2119 Pratt street, Philadelphia.

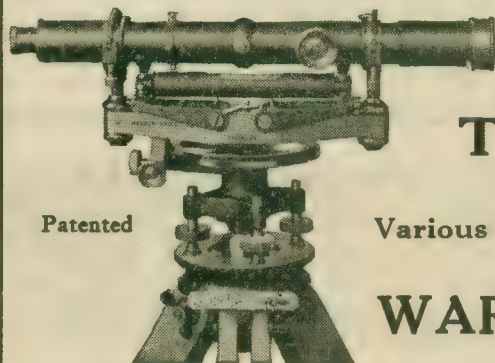
**Residences**, South side Grant avenue, East of Torresdale avenue, \$7,000. Architect, private plans. Owner, J. Rae Waters, Allengrove street, Philadelphia. Frame and stucco, 1 story, 32x50 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to A. W. J. Williams, 3021 Linden avenue, Philadelphia.

**Residence and Garage**, South side Aubrey avenue, West of Jackson street, \$7,600. Owner, Max Marschner, 1923 Wensley street, Philadelphia. Stone and frame, 2 stories, 26x31 feet, 12x10 feet, shingle roof, hardwood and pine floors, hot water heat, electric work, garage, frame and stucco, 1 story, 20x22 feet, cement floors. Contract awarded to A. W. J. Williams, 3021 Linden avenue, Philadelphia.

**Workshop**, Northeast Corner Third and Sedgley avenue, Philadelphia, \$6,950. Architect, private plans. Owners, Ploss Brothers, on premises. Brick, 1 story, irregular shape, slag roof, cement floors. Contract awarded to George Good, Adams Road, Oak Lane, Philadelphia.

**Residence (alts. and add.)**, 1309 Oak Lane, Philadelphia, \$10,000. Architects, Hamilton & Heller, Green and Cheltenham avenue, Philadelphia. Owner, J. Walter Levering, on premises. Brick, 1 story, 16x24 feet, 2 stories, 19x13 feet, general alterations. Contract awarded to Hugh A. Hamilton, Green and Cheltenham avenue.

**Building (add.)**, 2612 Germantown avenue, Philadelphia, \$6,000. Architect, private plans. Owner, I. Bentman, on premises. Brick, 2 stories add., 12x14 feet, 1 story add., 3x9 feet. Contract awarded to F. I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

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**Garage**, 2805 Queen street, Philadelphia, \$2,000. Architect, private plans. Owner, Hannah S. Hockman, on premises. Stone, 1 story, 18x23 feet, cement floors. Contract awarded to Joseph Vassalo, 3931 Wayne avenue, Philadelphia.

**Residence (add.)**, Northeast Corner Decatur and Craig streets, \$3,000. Architect, private plans. Owner, Mathew Di Palma, 2811 Decatur street, Philadelphia. Brick, 2 stories add., 16x32 feet, slag roof, electric light. Contract awarded to A. Miglione & Son, 7741 Ditman street, Philadelphia.

**Residence**, East side State Road, North of Linden avenue, \$3,000. Architect, private plans. Owner, Joseph Hermann, 3954 North Broad street (rear). Frame, 2 stories, 16x39 feet, hot air heat, electric light. Contract awarded to Joseph L. Bengert, 624 East Lippincott street.

**Store and Residence (alts. and add.)**, 763 Wynnewood Road, \$6,700. Architect, private plans. Owner, Lena Spiegelman, on premises. Brick, 1 story add., 16 feet, 4 inches x 22 feet, general alterations. Contract awarded to J. Trichovsky, 242 Morris street, Philadelphia.

**Residence**, South side Shelmire avenue, East of Verree Road, \$5,600. Architect, private plans. Owner, Fred Young, 34 Onrey street, Philadelphia. Frame, 1 story, 25x29 feet, slag roof, hardwood and pine floors, electric light. Contract awarded to A. Irving Knickerbocker, 6102 Torresdale avenue.

**Residences (4)**, East side Wakeling, North Edmund street, \$4,400 each. Architect, private plans. Owner, Benj. Slmzenski, 4653 Stiles street, Philadelphia. Brick, 2 stories, 14x33 feet, 12x12 feet, hot water heat, electric lighting. Contract awarded to Felix Tatko, 2119 Pratt street, Philadelphia.

**Store (alts.)**, 701 West Girard avenue, Philadelphia. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owners, Goldstein, Grossman & Herbach, 703 Girard avenue, Philadelphia. Copper bars, plate glass, hardwood floors, new bulks, tile and marble work, heating alterations, steel work, iron grills. Contract

awarded to Frank E. Wallace, 337 South Camac street, Philadelphia.

**Apartment House**, Northeast Corner Felton and Catharine streets, \$28,000. Architect, private plans. Owner, H. B. Copperman, 618 South Sixth street, Philadelphia. Brick, 2 stories, 100x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to H. M. Shandles, 617 Pine street, Philadelphia.

**Store and Shop**, 7108 Germantown avenue, Philadelphia, \$6,000. Architect, private plans. Owners, John H. & Charles Hagdoren, 4618 Wayne avenue, Philadelphia. Brick, 1 story, 30x100 feet, slag roof, electric work. Contract awarded to J. H. Sockriter, 129 North Edgewood street, Philadelphia.

**Residence and Shop**, 630 Fulton street, Philadelphia, \$6,000. Architect, private plans. Owner, Michael Sompreino, 631 Catharine street, Philadelphia. Brick, 3 stories, 15x40 feet, 7x8 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to M. Altarelli, 902 South Eighth street, Philadelphia.

**Residences (2)**, 2318-20 South Colorado street, Philadelphia, \$3,500 each. Architect, private plans. Owner, G. Nicolai, 2322 South Colorado street, Philadelphia. Brick, 2 stories, 14x23 feet, 11x13 feet, slag roof, hot water heat, electric light. Contract awarded to F. J. Henning, 2618 South Fifteenth street, Philadelphia.

**Building (add.)**, 3925 Market street, Philadelphia, \$3,090. Owners, F. J. Mott Co., on premises. Brick, 2 stories add., 36x22 feet. Contract awarded to James J. Murphy & Son, 3644 Market street, Philadelphia.

**Garage**, 6433 Sherwood Road, Philadelphia, \$2,800. Owner, Mrs. C. Robinson, on premises. Stone, 1 story, 22x24 feet, cement floors, slate roof. Contract awarded to M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Residence and Garage (alts. and add.)**, 1901 North Thirty-third street, \$2,500. Architect, private plans. Owner, L. Revitz, on premises. Brick, 2 stories add., 24x16 feet, general alterations. Contract awarded to A. Barsky, 3225 Arlington street, Philadelphia.

**Residence (add.)**, 6700 Rising Sun avenue, Philadelphia, \$2,500. Architect, private plans. Owner, E. L. Williams, on premises. Brick, 2 stories, 16x30 feet. Contract awarded to F. A. Adair, Lawndale, Philadelphia.

**Business Building (alts. and add.)**, 1504 Shunk street, \$3,200. Owner, George Unterkofler, 1502 Shunk street, Philadelphia. Brick, 1 story add., 16x20 feet, general alterations. Contract awarded to Joseph Lucci, 1603 Ellsworth street, Philadelphia.

**Residence and Store (add.)**, 2142 Ridge avenue, Philadelphia, \$3,000. Owner, Elias Weiss, on premises. Brick, 1 story, 18x14 feet. Contract awarded to Joseph Sweet, 2549 North Spangler street, Philadelphia.

**Lumber Shed**, 1432-36 North Sixth street, Philadelphia. Architect, private plans. Owner, Charles A. Nickel, on premises. Frame, 1 story, 50x97 feet. Contract awarded to H. LeRoy Kister, 1204 Chancellor street.

**Office Building (alts.)**, 424 Walnut street, Philadelphia, \$7,000. Owners, Utility Real Estate Co., 216 South Fourth street, Philadelphia. General alterations. Contract awarded to McNeill Const. Co., 1505 Race street, Philadelphia.

**Residence (alts.)**, 228 West Cheltenham avenue, Philadelphia, \$6,000. Architect, private plans. Owner, Charles H. Collins, 219 North Broad street, Philadelphia. General alterations. Contract awarded to T. S. Fetter, 1829 Filbert street, Philadelphia.

**Residence (alts. and add.)**, 529 Rex avenue, Philadelphia, \$5,000. Architect, private plans. Owner, Jeanne B. Hopkins, 2125 Locust street, Philadelphia. Brick, 2 stories add., 20x13 feet, general alterations. Contract awarded to Melvin H. Frebe, 5 East Highland avenue.

**Residences (10)**, West side Montour street, North of Levick, \$4,900 each. Architect, private plans. Owners, Oxford Terrace Realty Co., 1044 Fanshawe street, Philadelphia. Brick, 2 stories, 16x29 feet, 13x15 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to H. Lundin, 1044 Fanshawe street, Philadelphia.

**Residence and Garage (alts. and add.)**, Southeast Corner Twentieth street and Sixty-fifth avenue, Philadelphia, \$4,150. Architect, private plans. Owner, Mrs. Frieda Voss, on premises. Brick, 1 story add., 36x28 feet, general alterations. Contract awarded to John M. Hoepfl, 2016 North Fifth street, Philadelphia.

**Garage**, North side Allengrove street, East of Darrah street, \$3,800. Architect, private plans. Owner, Joseph Moss, 1652 Wakeling street, Philadelphia. Brick, 1 story, 19x18 feet, 16x72 feet, cement floors. Contract awarded to Anton Ahlers, 5260 Gaul street, Philadelphia.

**Building (alts.)**, 31 South Fifty-second street, Philadelphia, \$3,380. Architect, private plans. Owner, John F. Graham, 5440 Lansdowne avenue, Philadelphia. General alterations. Contract awarded to C. Erb, 6131 Lansdowne avenue, Philadelphia.

**Business Building (add.)**, 1947 Wharton street, Philadelphia, \$2,500. Architect, private plans. Owner, Theo. Richardson, Southwest Corner Nineteenth and Wharton streets, Philadelphia. Brick, 1 story add., 16x23 feet. Contract awarded to A. Abrams, 1903 Titan street, Philadelphia.

**Garage**, 608 East Thompson street, Philadelphia, \$2,200. Architect, private plans. Owner, M. Geriner, 1251 Montgomery avenue, Philadelphia. Brick, 1 story, 33x21 feet, cement floors. Contract awarded to Taylor & Nicholas, 2628 Braddock street, Philadelphia.

**Residence (add.)**, 704 North Sixty-third street, Philadelphia, \$2,000. Architect, private plans. Owner, F. J. Lambert, 405 North Sixty-third street, Philadelphia. Brick, 1 story, 16x30 feet. Contract awarded to M. F. Lambert, 755 Marlyn Road, Philadelphia.

**Warehouse (alts.)**, 1050 North Delaware avenue, Philadelphia, \$3,000. Architect, private plans. Owner, George D. Pierie, Jr., 144 East Allen street, Philadelphia. General alterations. Contract awarded to Winchester Simmon Co., 425 Arch street, Philadelphia.

**Apartment (alts. and add.)**, 2225 West Vengano street, Philadelphia, \$2,800. Architect, private plans. Owner, Laura S. Moore, on premises. Brick, 1 story, 14x12 feet, general alterations. Contract awarded to Julius Solomon, 1828 North Franklin street.

**Garage**, 6338 Haverford avenue (rear), Philadelphia, \$2,700. Architect, private plans. Owner, C. Warren, on premises. Brick, 1 story, 18x52 feet, cement floors. Contract

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awarded to John H. Patterson, 6209 Girard avenue.

**Garage**, Northwest Corner Upsal street and Wissahickon street, \$2,500. Architect, private plans. Owner, Philip B. Mark, Touraine Apartments, Philadelphia. Stone, 2 stories, 18x26 feet, cement floors. Contract awarded to F. W. Mark Const. Co., Commercial Trust Building.

**Garage**, 367 Gowan avenue, Philadelphia,

\$2,200. Architect, private plans. Owner, H. T. Lewis, 367 Gowan avenue, Philadelphia. Brick, 1 story, 19x25 feet, slag roof, cement floors. Contract awarded to J. W. Fry, 5414 Thompson street, Philadelphia.

**Residence**, 5001 Chestnut street, Philadelphia, \$2,000. Architect, private plans. Owner, E. H. Worley, on premises. General alterations. Contract awarded to W. A. Evitts, 5001 Chestnut street, Philadelphia.

teet, William H. Lee, 1505 Race street, Philadelphia. Owners, Majestic Theatre, George H. Bubb, manager, Williamsport, Pa. Castone, structural steel, brick, 2 stories, 70x122 feet, ornamental plaster. Plans in progress. Will be ready for bids in a week.

**Residence**, Melrose Park, Pa. Architects, Schermerhorn & Phillips, 430 Walnut street, Philadelphia. Owner, George Graham, care of architect. Preliminary bids have been taken. Job held up.

**Residence**, Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, Paul Lentz, Northampton, Pa. Brick, 2 stories, 34x26 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Residence**, Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, Floyd E. Schick, 638 Avenue R, Bethlehem, Pa. Brick, steel, 1½ stories, 26x13 feet, asbestos shingle roof, hardwood floors, electric light, tile work. Owner will build.

**Grade Schools (alts. and add.)**, (3), Leeperville, Woodlyn, Kerdon, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, School District for Ridley Township, Delaware County, Pa. Brick, cut stone, steel (plumbing, heating, electric separate bids), composition roof, cement and maple floors, hollow tile, roof ventilators, plumbing, painting and glazing, dampproofing, ornamental iron work, bond, metal lath. Leeperville School (add.), 2 stories (4 class rooms), 77x25 feet. Woodlyn School, 2 stories and basement (6 class rooms), 2 wings, 23x33 feet. Kerdon School, 2 stories and basement (4 class rooms), 60x35 feet. Owners taking bids due April 1st.

**Residence**, Glenside, Pa. Architect, H. Trumbauer, Land Title Building, Philadelphia. Owner, Edwin N. Johnson, Glenside, Pa. Hollow tile and dash, 2½ stories, 30x50 feet, slate roof, tile and marble work, hardwood floors, undecided heat, electric light. Architect taking bids due March 27th.

**Colonial Inn (alts. and add.)**, Bryn Mawr, Pa. Architects, Dreher & Churchman, Otis Building, Philadelphia. Owner, Mrs. Collanman, Bryn Mawr, Pa. Hollow tile and stucco, 3 stories, 21x65 feet, slag roof, vapor vacuum heat, electric light, tile work, hardwood and pine floors. Architects taking bids due as soon as possible.

**High School**, Bradford, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, School Board of Bradford, C. W. Charlton, Bradford, Pa. Brick, steel, semi-fireproof, 2 stories and basement, 250x300 feet, slag roof, slate roof, pine floors, hollow tile (heating, electric work and plumbing reserved). Low bidders: J. Frank Saussaman, 14 North Second street, Harrisburg, Pa., \$275,847.42; Havens Const. Co., Olean, N. Y., \$333,142.

**Supplies**, Borough of Lansdowne, Lansdowne, Delaware County, Pa. Owners, Borough of Lansdowne, Delaware County, F. C. Nieweg, 53 Price street, Lansdowne. Owners taking bids due April 10th, 8 P. M. Crushed stone, shale brick, rough hard brick for sewers, terra cotta pipe, various sizes, 6s with

## PENNSYLVANIA

# Construction News

**Theatre (moving picture)**, Main and Donaldson streets, Doylestown, Pa. Architect, A. Oscar Martin, 14 Hart Building, Doylestown, Pa. Owners, Hall Association Aquatong Lodge, No. 193, I. O. O. F. of Pennsylvania. Brick, 1 story and mezzanine, 140x53 feet, slag roof, concrete, pine and mineral floors, roof ventilators, metal ceilings, dampproofing, ornamental iron work, floor hardener, metal bulks, bond, rolled steel sash, metal lath, painting and glazing. Low bidder: F. V. Warren Co., 1913 Arch street, Philadelphia.

**Power House**, Glenside and Weldon, Glenside, Pa. Architects, Heacock and Mokanson, Bailey Building, Philadelphia. Owners, Board of Education, Abington Township, C. M. Doll, secretary, Elkins Park. Brick, stone, cut stone, 1 story, 82x71 feet (plumbing, heating and electric reserved), slate slag roof, composition, wood block and marbeloid floors, metal lath, bond, ornamental iron work, brick stack, 92 feet high. Owners ready for new bids.

**Sleeping Hall**, Malvern, Pa. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, Catholic Laymen's Retreat, Assoc., care of J. J. Cabrey, 157 North Fifteenth. Brick, 2 stories. Plans in progress.

**Masonic Temple and Apartments**, Conshohocken, Pa. Architect, William Chryst, 1145 South Wilton street, Philadelphia. Owners, Masonic Lodge, No. 420, A. MacKenzie, chairman, Conshohocken, Pa. Architect taking bids due March 28th. (Note extension of time.)

**Crosby Sub-Station**, Sixth street, between Welsh and Crosby streets, Chester, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Delaware County Electric Co., care of Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, concrete steel, 1 story, 136x60 feet, slag roof, cement floors, steam heat, metal lath. Architect taking bids due March 31st.

**Service Station**, Second and Liberty streets, Harrisburg, Pa. Architect, H. J. Knopel, 2401 Chestnut street, Philadelphia. Owners, Gomery Schwartz Motor Co., 2402 Market street, Philadelphia. Tentative sketches drawn. Work contemplated.

**Museum and Art Gallery**, Reading, Pa. Architect, Alexander F. Smith, Berks County Trust Company Building, Reading, Pa. Owners, City of Reading, Reading, Pa. Plans in progress. Details undecided.

**Chapel, Office and Caretakers' Residence**, Darby, Delaware County, Pa. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owners, Mt. Lebanon Cemetery Co., 303 South Fifth street, Philadelphia. Stone, stucco, 2½ stories, 40x125 feet, shingle roof, pine and concrete floors, metal lath, waterproofing and dampproofing, ornamental iron work, floor hardener, bond, electric light, hot air heat, stone foundations. Plans completed. Architect and owners taking bids due at once.

**Store and Apartment**, Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, William Bornstein, 97 West Broad street, Bethlehem, Pa. Brick, 3 stories, 40x190 feet, slag roof, hardwood floors, steam heat, electric light, tile work. Revised plans in progress.

**Residence**, Evergreen Road, Jenkintown Manor, Pa. Owner, George Evans, 1813 East Tioga street, Philadelphia. Work contemplated.

**Store and Apartment Building (alts. and add.)**, Scranton, Pa. Architect, Lester M. Davis, 616 Spruce street, Scranton, Pa. Owner, Isaac Wilensky, care of architect. Brick, 2 stories add., 50x38 feet, general alterations. Plans in progress.

**Residence**, Allentown, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owner, J. J. Yingling, 1348 Walnut street, Allentown, Pa. Brick, 2½ stories, 42x49 feet, tile roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Y. M. H. A. Building**, Easton, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owners, Y. M. H. A., care of architect. Brick, steel, 2 stories, 40x130 feet, slag roof, maple floors, vapor heat, electric light, tile work. Architect ready for bids.

**Hotel (add.)**, Laury's Station, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, George Snyder, Laury's Station, Pa. Brick, 3 stories, 60x40 feet, interior and exterior alterations. Plans in progress.

**Apartment**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, Reuben Cohen, 12 North Third street, Allentown, Pa. Brick, 3 stories, 40x60 feet, slag roof, hardwood floors, steam heat, electric light, tile work. Plans in progress.

**Residence**, Ashland, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owner, J. W. Laubenstein, Ashland, Pa. Hollow tile and stucco, concrete, 3 stories, 35x46 feet, tin, slate and canvas roof, hardwood, composition and tile floors, limestone, plumbing, incinerator, hot water heat, electric light, tile work. Architect ready for bids in a few days.

**Theatre, Stores and Office Building**, Pine and Church streets, Williamsport, Pa. Archi-

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**Residence and Garage**, Swarthmore, Pa. Architect, John A. Tompkins, 139 East Fifty-third street, New York City. Owner, Henry F. James, care of architect. Stone and brick, 2 stories, 29x39 feet, 13x23 feet, slate roof, steam heat, electric light, hardwood floors and composition floors. Architect taking bids.

**Apartment Building**, Olyphant, Pa. Architect, Lester Davis, 616 Spruce street, Scranton, Pa. Owner, N. D. Rosenfeld, 108 Willow street, Olyphant, Pa. Frame and stucco, 2½ stories, 35x60 feet. Architect and owner taking bids due April 1st.

**Cobb's Creek Asphalt Sewer**, Sixty-ninth to Sixtieth street, Upper Darby. Owners, Upper Darby Township, A. F. Damon, Chief of Bureau of Public Works, Municipal Building, Upper Darby, Pa. Approximately 17,400 feet of sewer divided in four sections. Certified check for \$500 must accompany each proposal. Owners taking bids due April 1st, 8 P. M.

**Residence**, Elkins Park, Pa. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, Mr. Bernard Stern, on premises. Stone, 2½ stories, 28x48 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Owner taking bids.

**Residence and Garage**, Elkins Park, Pa. Architect, Walter L. Schultze, 1919 West Dauphin street, Philadelphia. Owner, Charles A. Miller, care of architect. Frame and stucco, 2½ and 1½ stories, 34x25 feet, garage 21x13 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Architect taking bids due March 27th.

**School**, Chadd's Ford, Pa. Architect, V. T. Ritter, North American Building, Philadelphia. Owners, Board of Directors, Townships Birmingham and Pennsburg, Chester and Birmingham Counties, Pa. Owners taking bids due March 27th.

**Residence**, Allentown, Pa. Architects, Tilghtman Moyer Co., 824 Hamilton street, Allentown, Pa. Owner, W. A. Gibson, 27 South Eighteenth street, Allentown, Pa. Brick, stucco, 2 stories, 26x47 feet, tile roof, hardwood floors, hot water heat, electric light, tile work. Architects will build.

**High School Building**, Windber, Somerset County, Pa. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, School District of Windber, Somerset County, Pa. Owners taking bids due April 8th at 3 P. M.

**Bridge**, Armstrong County, between Bethel and Manor Townships, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Fabrication and erection complete of one span through truss bridge 163 feet between end pins with concrete floor and foundations, according to sheet S-356. Plans, \$2.50 per set. Certified check, \$1,500. Owners taking bids due April 1st, at 10 A. M.

**Bridge**, Franklin County, Route 37, Peters Township, Station 432, Pa. Owners, State Highway Department, Harrisburg, Pa. Fabrication and erection one span pony truss bridge 110 feet, 8 inches between end pins, concrete floors and necessary foundations, according to sheet S-351. Plans, \$2.50 per set. Certified check, \$800. Owners taking bids due April 1st at 10 A. M.

**Bridge**, Northumberland County, Route 25, over West bank of Susquehanna River, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Eleven span concrete

arch bridge complete with all new foundations, length face to face of abutments 1,362 feet, clear width between parapets 24 feet, according to sheet S-370. Plans, \$10.00 per set. Certified check, \$4,000. Owners taking bids due April 1st at 10 A. M.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa. Owners taking bids due March 31st at 10 A. M. for the construction of the following roads. Certified check required. Plans, \$2.50 per set.

Armstrong County, Route 189, Rayburn and Valley Townships, 24,508 feet. One course reinforced concrete. Certified check, \$4,000.

Beaver County, A-1952, Hopewell Borough, 7,300 feet. One course reinforced concrete. Certified check, \$1,200.

Butler County, Route 79, Prospect Borough, Franklin and Muddy Creek Townships and Portersville Borough, 37,272 feet. One course reinforced concrete. Certified check, \$4,000.

Clarion County, A-2577, Beaver Township, 10,560 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$2,000.

Clearfield and Jefferson Counties, Route 338, Sykesville Borough, Winslow and Brady Townships, 19,205 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

Erie County, Route 86, Springfield Township, 4,160 feet. One course reinforced concrete. Certified check, \$1,000.

Fayette County, Route 247, Dunbar Township, 10,855 feet. One course reinforced concrete. Certified check, \$1,500.

Forest County, A-2685, R-380, Jonks Township, 5,280 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,000.

Luzerne County, Route 170, Ashley Borough, 2,289 feet. One course reinforced concrete. Certified check, \$1,000.

McKean County, R-211, A-2800, Otto Township, 11,900 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Montgomery County, Route 146, Collegeville Borough, 6,068 feet. One course reinforced concrete. Certified check, \$1,000.

Schuylkill County, Route 185, Tamaqua Borough, Rahn and Rush Townships, 23,918 feet. One course reinforced concrete. Certified check, \$4,000.

Venango County, R-208, A-2270, Mineral and French Creek Townships, 20,505 feet. One course reinforced concrete. Certified check, \$4,000.

Venango County, R-65, Cranberry Township, 24,823 feet. One course reinforced concrete. Certified check, \$4,000.

Washington County, R-325, Amwell Township, 33,913 feet. One course reinforced concrete. Certified check, \$4,000.

Westmoreland County, R-68, Hempfield Township, 12,205 feet. One course reinforced concrete. Certified check, \$1,500.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa. Owners taking bids due April 1st at 10 A. M. for construction of following roads. Certified check required. Plans, \$2.50 per set.

Beaver County, Route 204, Chippewa Township, 3,491 feet. One course reinforced concrete. Certified check, \$1,000.

Berks County, R-141, A-1926, Strausstown Borough, Upper Tulpehocken and Upper Born Townships, 24,738 feet. One course reinforced concrete. Certified check, \$4,000.

Bradford County, R-212, Troy and West Burlington Townships, 36,960 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Butler County, R-214, A-2758, Fairview

Township, 14,913 feet. One course reinforced concrete. Certified check, \$2,500.

Cameron County, R-99, Shippen Township, 20,637 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Clearfield County, R-234, A-2042, Decatur and Woodward Townships, 12,192 feet. One course reinforced concrete and unbound macadam surface with oil treatment. Certified check, \$2,000.

Erie County, R-272, Mill Creek Township, 14,500 feet. One course reinforced concrete pavement, of which 14,000 feet is widening present 16-foot concrete pavement and 500 feet is replacing present water-bound macadam. Certified check, \$2,000.

Lycoming County, Route 20, Heyburn Township, 6,189 feet. One course reinforced concrete. Certified check, \$1,500.

Mercer County, R-74, Hickory Township, 11,360 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,500.

Montgomery County, R-146, Limerick and Lower Pottsgrove Townships, 26,406 feet. One course reinforced concrete. Certified check, \$4,000.

Tioga County, A-31, Jackson Township, 18,375 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

Venango County, A-2276, Oil Creek Township, 24,871 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Venango County, A-2004, Sugar Creek Township, 5,282 feet. One course reinforced concrete. Certified check, \$1,000.

Warren County, Route 86, Pittsfield and Broken Straw Townships, Youngsville Borough, 18,385 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa. Low bidders on road work opened March 17th, 1924: Delaware County, R-133, Newtown and Edgemont Townships, 17,704 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Ambler-Davis Co., Harrison Building, Philadelphia, \$137,795.77.

Butler County, RR-79, Butler, Connoquenessing and Franklin Townships, 26,644 feet. One course reinforced concrete. Fort Pitt Const. Co., Pittsburgh, Pa., \$301,738.55.

Butler-Lawrence Counties, R-79, Muddy Creek and Slippery Rock Townships, 33,860 feet. One course reinforced concrete. Garvey-Weyenberg Const. Co., Appleton, Wis., \$340,386.97.

Lehigh County, R-226, A-1926, Heidelberg and Lynn Townships, 20,273 feet. One course reinforced concrete. George H. Hardner, Allentown, Pa., \$168,851.53.

Butler County, R-73, Butler and Center Townships, 11,202 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Charles Winters Const. Co., Renfrew, Pa., \$91,540.30.

Dauphin County, R-1, Halifax and Upper Paxton Townships, 3,188 feet. One course reinforced concrete. Continental Contr. Co., Baltimore, Md. Full width, \$43,323.40; half width, \$46,533.40.

McKean County, R-95, Mt. Jewett Borough and Hamlin Township, 19,983 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Fred W. Knickenberg, Buffalo, N. Y., \$209,720.06.

Chester County, R-142, Caln Township, 22,056 feet. One course reinforced concrete. Ambler-Davis Co., Harrison Building, Philadelphia, \$160,607.70.

Erie County, R-271, Waterford and Le Boeuf Townships, 26,198 feet. Either bi-



tuminous surface course on concrete foundation or one course reinforced concrete. Henry W. Horst Co., Rock Island, Ill., \$288,093.10.

Armstrong County, R-69, South Buffalo Township, 11,515 feet. One course reinforced concrete. Charles Winters Const. Co., Renfrew, Pa., \$96,704.70.

Delaware County, R-130, Springfield and Nether Providence Townships, 1,627 feet. Grading and drainage. Vincenzo Di Francesco, Llanerch, Pa., \$24,938.69.

Cambria County, R-222, Richland and Stony Creek Townships, 7,302 feet. One course reinforced concrete. Crissey Const. Co., Johnstown, Pa., \$85,987.15.

## Pennsylvania Contracts Awarded

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Venango County, A-2092, Cornplanter Township, \$151,496.22. Contract awarded to H. V. Baldwin, Coraopolis, Pa.

Allegheny-Westmoreland Counties, Route 226, Patton and Franklin Townships, \$275,073.26. Contract awarded to J. C. Mickey, Latrobe, Pa.

Somerset County, Route 52, Conemaugh Township, \$79,570.10. Contract awarded to McClure & Bingner Co., Johnstown, Pa.

Lackawanna County, Route 9, South Abington Township and Clark's Summit Borough, \$119,271.30. Contract awarded to H. B. Sproul Const. Co., Scranton, Pa.

Susquehanna County, R-14, Jessup and Bridgewater Townships and Montrose Borough, \$266,592.69. Contract awarded to Comerford Const. Co., Fifth and Sansom streets, Philadelphia.

Butler County, Route 73, Butler and Center Townships, \$109,692.10. Contract awarded to Burns Brothers, New Castle, Pa.

**Residence and Garage**, Haverford, Pa. Architect, Frank Seeburger, 1524 Chestnut street, Philadelphia. Owner, William I. Schaffer, care of architect. Stone, brick, cut stone, 2½ stories, 68x30 feet, 1½ stories, 22x26 feet (plumbing, heating and electric reserved), slate roof, composition, oak and pine floors, tile and marble work, bond. Contract awarded Milton W. Young, 2037 North Sixty-third street, Philadelphia.

**Bungalow**, Hilltown, Bucks County, Pa. Architect, private plans. Owner, Frank Johnson, Jr., care of builder. Frame, 1½ stories, 26x48 feet, hot water heat, electric light, tile and marble work, asbestos shingle roof, pine floors. Contract awarded J. Maurer & Son, 1304 North Second street, Philadelphia.

**Residence**, Merion, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, S. Townsend Zook, 1909 Market street, Philadelphia. Stone, cut stone, 2½ stories, 70x35 feet, slate and slag roof, oak and pine floors, painting and glazing, ornamental iron work, bond, metal lath, tile and marble work, electric light, hot water heat. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**Hall**, Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, St. Joseph's Sick & Benefit Society, care of architect. Brick, concrete, steel, 3 stories, 115x45 feet, slag roof, maple floors, steam heat, electric light, roof ventilators, bowling alley. Contract awarded to Miller & Selfies, Northampton, Pa.

**Apartment House** (alts.), Windsor and Wynnewood avenues (near Narberth Station), Narberth, Pa. Architect, Spencer Roberts, 10 South Eighteenth street, Philadelphia. Owners, F. Kobolt, E. Muller, G. Eslinger, care of architect. Brick work (plumbing, heating,

electric reserved), cement and composition floors, metal lath, tile work, plastering, bond, carpentry and mill work, painting and glazing. Contract awarded J. A. McMahon, on site of building.

**Residence** (alts. and add.), Elkins Park, Pa. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owner, W. R. Fitzgerald, Elkins Park, Pa. General alterations and additions, carpentry and mill work, plumbing, painting and glazing, plastering. Contract awarded James P. Coates, Elkins Park, Pa.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa.

Tioga County, Route 212, Richmond and Sullivan Townships and Mansfield Borough. Contract awarded to A. W. Hinaman, Canton, Pa., \$295,921.22.

Fayette County, Route 113, North and South Union and Menallen Townships. Contract awarded to Colonial Const. Co., Pittsburgh, Pa., \$169,288.

## New Jersey Construction News

**Residence and Garage**, West State street, Trenton, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owner, Webster Edgerly, care of architect. Brick, 3 stories, 60x90 feet, slate roof, hardwood floors, electric light, tile work. Plans in progress.

**Apartment**, Bellview avenue, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Dr. C. J. Slack, 230 West State street, Trenton, N. J. Brick, 4 stories and basement, 38x95 feet, slate roof, hardwood floors, vacuum heat, electric light, metal lath, tile work, waterproofing, dampproofing, ornamental iron work. Plans in progress.

**Residence**, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Mrs. E. C. Driscoll, care of architects. Brick, frame, 2 stories, 33x24 feet, slate roof, hardwood floors, hot air heat, electric light, tile work. Plans in progress. Owner will take sub-bids.

**Theatre** (alts. and add.), Hermitage avenue, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owners, Hildinger Enterprise, Charles Hildinger, Arcade Building, Trenton, N. J. Brick, 1 story add., 12x40 feet, slag roof, hardwood floors, heating extension, electric light, interior decorating. Plans in progress. Owners will sub-let.

**Residence** (alts. and add.), Flemington, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Norman Landis, Flemington, N. J. Frame, stucco, 2 stories, various dimensions, tile work, plumbing, general alterations. Plans in progress. Owner will build.

**Church** (alt. and add.), Moorestown, N. J. Architect, E. A. Wightman, Heed Building, Philadelphia. Owners, Moorestown Baptist Church, W. G. LeConey, Moorestown, N. J. Concrete block and stucco, 1 story and basement, 34x50 feet. Plans in progress.

**Apartment** (alts.), 232-36-40 South Connecticut avenue, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City. Owner, B. Friedberg, care of architect. Limestone entrances, electric light, tile and marble work, general alterations, electric fixtures. Plans in progress.

**School**, Jersey City avenue, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. H. Young, secretary, Atlantic City, N. J. Fireproof, 3 stories, 30 rooms, slag roof, hardwood and pine floors, hollow tile, safety treads, roof ventilators

(heating, electric work and plumbing reserved), metal lath, tile and marble work, rolled steel sash. Plans in progress.

**New Hotel and Alterations to Building**, Point Pleasant, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, Hotel Beacon-by-the-Sea, care of architect. Architect will take revised bids in the fall.

**Dyke and Sluice**, Delaware River, Kelleo-hook Meadows, N. J., opposite Delaware City, Del. Architect, United States Engineers, 1307 Schaff Building, Philadelphia. Owners, United States Government, Washington, D. C. Construction pile, tile and stone dyke and sluice. Low bidder: The Priest Const. Corp., 247 Park avenue, New York. Approximate figure, \$473,000.

**New Dormitory**, Princeton, N. J. Architects, Day & Klauder, Franklin Bank Building, Philadelphia. Owners, Princeton University, J. C. Hibben, on premises. Stone, limestone, bluestone, reinforced concrete, steel, brick, 3 stories and basement, 143x30 feet, wing 85x25 feet, wing 32x25 feet, wing 104x30 feet, wing 70x25 feet, wing 30x15 feet, slate and slag roof, pine and cement floors, hollow tile, (1) roof ventilator, painting and glazing, waterproofing, ornamental iron work, bond, fire and kalamein doors, rolled steel sash, marble and terrazzo work, metal lath. Architects taking bids due April 10th.

**Six-Bin Coal Trestle**, 144 feet long; **Office Building and Garage**, Pleasantville, N. J. Architect S. T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Atlantic City Railroad Co., Twelfth and Market streets, Philadelphia. Frame, brick, steel, 1 story, 20x9 feet, garage 60x6 feet, Barrett Specification roof, cement and pine floors, painting and glazing, plumbing, bond, steam heat, electric light, concrete piers. Architect taking bids due March 31st.

**County Building**, Woodbury, N. J. Architect, Charles R. Peddle, 136 South Fourth street, Philadelphia. Owners, Gloucester County, W. A. Lacey, chairman Building Committee, Richwood, N. J., Gloucester County Commissioners, Woodbury, N. J. Limestone, brick, concrete and steel, 3 stories and basement, 97x117 feet, concrete and slag roof, concrete and maple floors, brick work, vapor or steam heat, electric lighting, tile and marble work. Plans about completed. Will be ready for bids in one month.

**Residence**, Sommerville, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, J. Reger, Gaston Building, Sommerville, N. J. Frame and stucco, 2½ stories, 30x70 feet, shingle roof, hardwood floors, electric light, tile work. Owner ready for bids.

**Residences** (15), Fairview, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, L. H. Young, Fairview, N. J. Cement block, 2 stories, 20x28 feet. Owner taking sub-bids.

**Parochial School**, Sea Isle City, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, St. Joseph's Roman Catholic Church, Monsignor Alexander Pazzi, Sea Isle City, N. J. Reinforced concrete and steel, brick veneer, 2 stories, 70x82 feet, vapor heat, electric light, reinforced concrete, slate and slag roof, reinforced concrete, slag and composition floors. Architect will be ready for bids in two weeks.

**Community House**, Camden, N. J. Architects, Karcher & Smith, 34 South Seventeenth street, Philadelphia. Owners, New Jersey Conference Deaconess' Home, Chairman of Building Committee, 278 Kaighn avenue, Camden, N. J. Brick, cut stone, artificial stone, reinforced concrete, stone, castone, 3 stories, 128x37 feet, slate roof, asphalt, cement and pine floors, hollow tile, roof ventilators, metal window guards, waterproofing, ornamental iron work, hollow metal sash, tile work, metal



lath, electric light, steam heat. Owners taking bids due March 31st.

**Church House Building**, Haddon Heights, N. J. Architect, Edgar Wightman, 1213 Filbert street, Philadelphia. Owners, First Presbyterian Church, Haddon Heights, N. J. Stone, steel, shingle, 2 stories, 59x48 feet, shingle roof, maple floors, electric light, painting and glazing, plumbing, iron work. Architect taking bids due March 29th.

**Building (alts. and add.)**, Salem, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Salem Furniture Co., Salem, N. J. Brick, cut stone, iron work, bond, carpentry and mill work, metal ceiling, plastering, electric work, painting and glazing, hardware, plumbing, steam heating. Architects taking bids due March 28th.

**Junior High and Grade School**, Pensauken, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Pensauken Township Board of Education, Pensauken, N. J. Heating and ventilating system. Owners taking bids due March 31st at 8 P. M.

**Store**, Bridgeton, N. J. Architect, Walter Custer, Bridgeton, N. J. Owner, D. Garfield, Bridgeton, N. J. Brick, limestone and steel, 2 stories and basement, 32x110 feet, alterations to third floor, hot water heat, electric light, tile and marble work, rolled steel skylights, metal bulks, pine and cement floors, slag roof. Architect taking bids due March 31st.

**School (alts.)**, Indiana avenue, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, School Board, H. H. Young, secretary, Atlantic City, N. J. Heating, ventilating, general alterations. Owners taking bids due April 10th.

**Bridge**, over Saddle River, Route 10, Rochelle Park, Bergen County, N. J. Owners, State Highway Commission, A. Lee Grover, secretary, Broad Street Bank Building, Trenton, N. J. Concrete, 2 spans, 42 feet, 4 inches, concrete pier and abutments, 30-foot roadway, 8-foot extension, concrete approach slabs, catch basins, drains, removal of existing bridge. Owners taking bids due March 31st. Deposit of \$10.00 required. Certified check required.

## New Jersey Contracts Awarded

**The Millville National Bank**, Millville, N. J. Architects, Morgan French Co., Inc., 19 West Forty-fourth street, New York City. Owners, Millville National Bank, Millville, N. J. Limestone, 1 story and mezzanine, 60x70 feet, composition roof, concrete floors, hollow tile, roof ventilators, metal window guards, wire work, ornamental iron work, marble bank fixtures, kalamein doors, hollow metal sash and skylights, tile, marble and terrazzo work, electric light, steam heat (mechanical and equipment separate bids). Contract awarded W. J. Stevens, Wyncote, Pa., but not yet signed.

**Junior High School, also Grade School**, Pensauken, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Board of Education, Pensauken Township, N. J. Low bidders: George W. Shaner & Son, Palmyra, N. J., \$299,200; H. John Homan Co., 1705 Chestnut street, \$316,529. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$15,415. Electric, Stang Elec. Co., 214 South Seventh street, Philadelphia, \$8,625. Contracts awarded.

**City Hall**, Northfield, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, City of Northfield, care of architect. Brick, hollow tile and stucco, 2 stories, 35x50 feet, slate roof, hardwood floors, roof ventilators, tile work, rolled steel sash.

Contract awarded to Charles Corson, Linwood, N. J.

**Store and Office**, Sommerville, N. J. Architect, Walter Hankin, 39 East State street, Trenton, N. J. Owner, J. D. Case, care of architect. Brick, terra cotta and steel, 2 stories, 50x50 feet, slag roof, pine and composition floors, hollow tile, roof ventilators, steam heat, electric light, metal lath, tile work, hollow metal sash, plate glass, cast stone, vault lights. Contract awarded to Hall Brothers, Sommerville, N. J.

**Office Building**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, United Clay Mines Corp., American Mechanics' Bank Building, Trenton, N. J. Brick, frame, 2 stories, 30x50 feet, slag roof, hardwood floors, roof ventilators, metal ceilings (electric, plumbing and heating reserved). Contract awarded to S. W. Mather & Son, Greenwood and Canal, Trenton, N. J.

**Office and Storehouse**, 6 and 8 South Fourth street, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, Max Reichman, Jr., care of architects. Brick and cinder block, 2 stories, 30x30 feet, slag roof, plank floors, electric light, rolled steel sash. Contract awarded to T. H. Miller, 1672 Collings street, Camden, N. J.

## Miscellaneous Construction News

**Housing Development**, Cleland Heights, Wilmington, Del. Architects, Gleeson, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, Liberty Housing Co., George H. McGovern, Wilmington, Del. Brick, 2 stories, 22x40 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Owners taking sub-bids.

**Housing Development**, Wilmington, Del. Architects, Gleeson, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, Joyce & Kerrigan, 114 North Broome street, Wilmington, Del. Brick, 2½ stories, 22x40 feet, tile roof, hardwood floors, tile work, hot water heat, electric light. Owner taking sub-bids.

**Gwynn's Falls Park High School**, Baltimore, Md. Architects, Smith & May. Engineer, Henry Adams, all of Baltimore, Md. Owners, Mayor and City Council, H. Jackson, Mayor; R. Garrell, Chairman; H. G. Perring, Supervising Engineer, Public Imp. Com., Baltimore. Low bidder: Sinclair & Grigg, Medical Arts Building, Philadelphia, \$1,219,000.

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del.

Contract No. 42-C, Bridge, Seaford, Del. Structural steel, cast steel, bronze steel shafting, bearings, counterweight, hand rail, flooring, motor electrical equipment, concrete roadway, steel reinforcement, navigation lights, operator's house, 8x12 feet. Engineers, Chicago Bascul Bridge Co., Chicago, Ill. Owners taking bids due April 9th at 2 P. M. Certified check required.

Contract CN 7 A, Marsh Road Underpass, 0.265 mile. Excavation, broken stone base, cement concrete pavement, slag cement concrete, longitudinal metal joint, Class A concrete, R. C. pipe, wood shoulder curb, castings.

Contract CN-18, Hickman Road and Ridge Road, 0.632 mile. Excavation, broken stone base course, cement concrete pavement, slag cement concrete, longitudinal metal joint, Class A concrete reinforcement, R. C. pipe, wire cable guard rail, wood shoulder curb.

Contract SN-19, Summitt Bridge-Kirkwood, 1.925 miles. Excavation, borrow, broken stone base course, cement concrete pavement, slag cement concrete, longitudinal metal joint, Class A concrete, reinforcement, R. C. pipe,

Class A concrete gutter, wire cable guard rail, wood shoulder curb. Owners taking bids due April 9th at 2 P. M. Certified check required.

## Proposals

### PUBLIC NOTICE

Bids for the heating and ventilating system to be installed in the Junior High and Grade School Building about to be erected for the Pennsauken Township Board of Education will be received and opened at the Collins Tract School Building on Monday, March 31st, at 8 o'clock P. M.

Information regarding the requirements and copies of drawings and specifications can be had by application to the office of the Architect, Arnold H. Moses, Temple Building, Camden, N. J.

### SEALED PROPOSALS

Sealed proposals are invited for cleaning down and repointing of entire granite exterior of Camden County Court House, Camden, N. J., in accordance with specifications prepared by Rankin, Kellogg & Crane, 1012 Walnut Street, Philadelphia, Pa.

Bids will be received on Monday, April 7th, 1924, at 11 A. M., Standard Time, and publicly opened and read by the Court House Committee in the meeting room of the Board of Chosen Freeholders, Camden, N. J.

Copies of the specifications for this work can be seen at the office of Rankin, Kellogg & Crane, 1012 Walnut Street, Philadelphia, Pa., and at the office of the Clerk of the Board of Freeholders, Court House, Camden, N. J. Copies of the specifications will be delivered to contractors who certify that it is their intention to submit proposals by applying to Rankin, Kellogg & Crane.

Bids to be in sealed envelopes and addressed to Walter T. Gross, Chairman of the Court House Committee, and endorsed, "Proposal for cleaning and repointing Court House."

The right is reserved to accept or reject any or all proposals or to waive any informality in the proposal presented.

WALTER T. GROSS,

Chairman of Court House Committee.

Dated 3/22/24.

Nelson Pedley Const. Company, Inc., Builders, formerly of 1615 Spruce Street, Philadelphia, have opened new offices in the Corn Exchange Bank Building, 1510 Chestnut Street, Philadelphia. Telephone numbers, Bell Spruce 4839, Keystone Race 7008.

MacKenzie & Wiley, Architects, formerly of Liberty Building, Philadelphia, have moved to a new suite of offices at 517 Bankers' Trust Building, Juniper and Walnut Streets, Philadelphia, where they will continue the practice of architecture.

It is surely an injustice to your workmen as well as a source of loss to yourself to supply poor tools in your shop equipment. No man can do anything approaching good work with tools that take the edge off enthusiasm. In shop management, as in most things, details are the whole cloth. Tools are like men. They do good work or they do not, according to the character which they possess. Character in tools is a matter of good materials, expert making and correct design.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

## CEMENT WORK.

Massiah, Frederick..Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick..Juniper and Cypress Sts., Phila.

## CORK FLOORING.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.  
Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.  
Builders' Specialty Co., Inc..1844 N. Front St., Phila.  
Concrete Waterproof Paint Co..829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## HAULING CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.  
Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.  
Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.  
Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ...19th and Washington Ave., Phila.  
Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....1125 Chestnut St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOLEUM.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.  
Gillingham Co. ...Norris and Richmond Sts., Phila.  
Ketcham, Howard.....3rd and Girard Ave., Phila.  
Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.  
Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.  
Italian Marble Mosaic Co. ....433 Spruce St., Phila.  
Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.  
Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## OIL BURNERS.

Oliver Oil-Gas Burner Co.Oliver Bldg., St. Louis, Mo.

## ORNAMENTAL IRON.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## PAINTS AND VARNISHES.

Truscon Laboratories....1432 S. Penn Square, Phila.

## PAPERHANGING AND DECORATING.

Sukerman, S. ....2958 N. 22nd St., Phila.

## PAVING BRICKS.

Ketcham, O. W. ....121 N. 18th St., Phila.

## PHOTOSTATS.

Weber, F., Co. ....1125 Chestnut St., Phila.

## PLUMBING FIXTURES.

Fleck Bros. Co. ....44 N. 5th St., Phila.

## RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REFRIGERATORS.

Borden Stove Co. ....1026 Arch St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REINFORCING BARS.

Lukens, Lewis N. ...19th and Washington Ave., Phila.  
H. T. Potts & Co. ....Erie Ave. and "D" St., Phila.  
REINFORCED CONCRETE DESIGN AND CONST.  
Jefferson, H. H. ....1519 Lombard St., Phila.

## ROOFING SLATE.

Chapman Slate Co. ....Bethlehem, Pa.

## ROOFING TILE.

Ketcham, O. W. ....121 N. 18th St., Phila.

## SAFETY GUARDS.

Cyclone Fence Co. ....20 S. 15th St., Phila.

## SAND AND GRAVEL.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

## SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## SHEET METAL AND ROOFING.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## SHEETROCK (Wall Board).

Pearce Fireproof Co. ....1345 Arch St., Phila.  
Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

## SHORING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## SOUNDINGS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## STAIRS (Sheet Steel).

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

## STEAM SHOVEL CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## STEAM SPECIALTIES.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## STEEL DOORS.

Bur-Vett Mfg. Co. ....929 Chestnut St., Phila.

## STEEL SASH.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

## STONE.

Brenz, Wm. P. ....5321 Baltimore Ave., Phila.  
John D'Lauro.....55 E. Mermaid Lane, Phila.

## TERRA COTTA (Architectural).

Conkling-Armstrong Terra Cotta Co.,  
Denckla Bldg., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## TERRA COTTA SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## TILE AND TERRAZZO WORK.

Belfi Bros. Co. ....1923 Market St., Phila.  
Italian Marble Mosaic Co. ....433 Spruce St., Phila.  
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**And making it Permanently Hard and Waterproof**

**T**HE addition of "ANTI-HYDRO," a liquid integral compound to the gauging water, lowers the freezing point of concrete from 15 to 18 degrees, allowing you to work right on through the cold weather.

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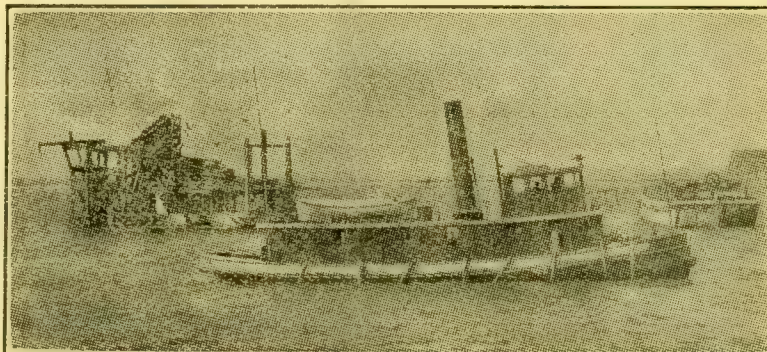
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1000 TONS

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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 14  
April 2, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

Less than One Year  
15 Cents per Copy

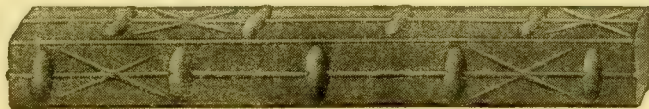
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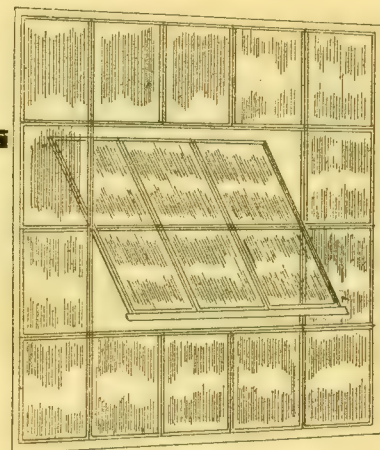
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3000 Lb. Test on Joint Before Indication of  
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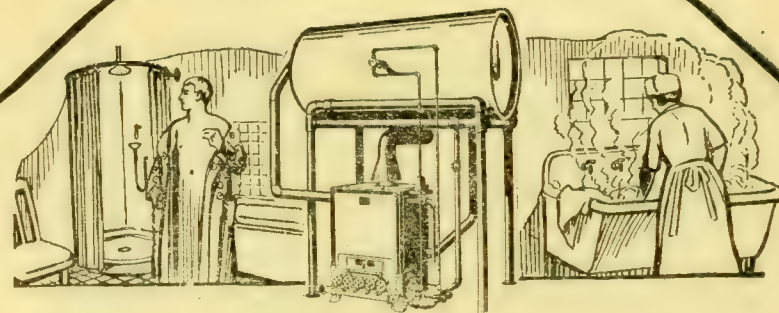
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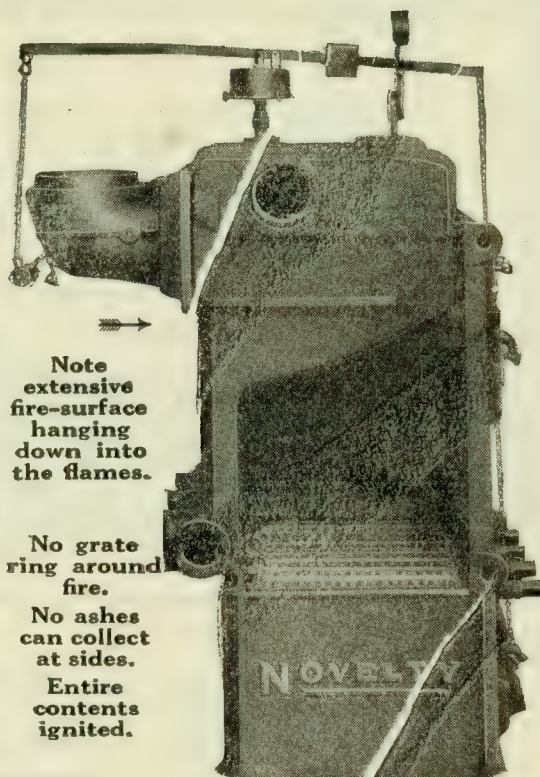
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the flames.

No grate  
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No ashes  
can collect  
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Write or phone for the descriptive booklet, "Let'er Blow!" Convince yourself. Get all the facts about this house-heating boiler TO-DAY.

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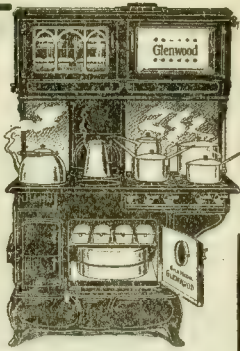


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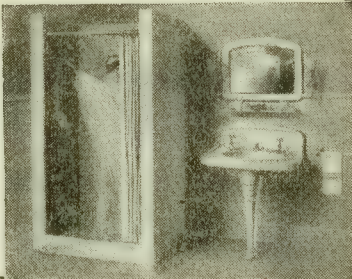


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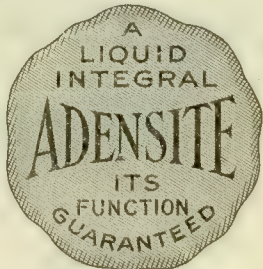
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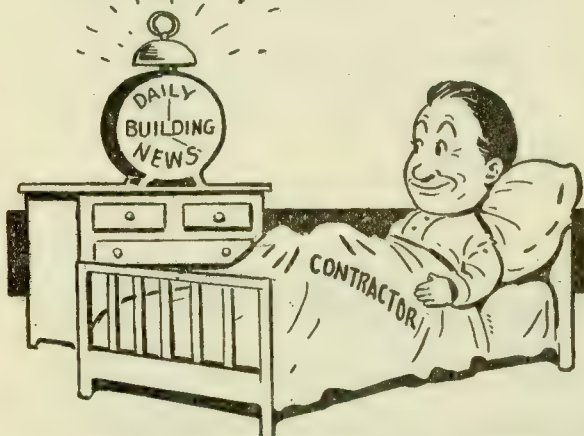
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**Residences (22),** (12) Belfield and Tulpehocken streets, (6) Benner and Rising Sun avenue, (3) Benner and Palmetto streets, (1) Tulpehocken and McMahon streets, \$120,000. Owners, Haney & Hannigan, Belfield and Tulpehocken streets, Philadelphia. Brick, 2 stories, various dimensions, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences and Garages (30),** Brush Road, Haines and Price streets, \$168,000. Architect, private plans. Owner, William D. Wilson, Jr., 243 North Sixty-third street, Philadelphia. Brick, 2 stories, various dimensions, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (34),** Ogontz avenue, Pittville and Andrews avenues, \$196,000. Architect, private plans. Owner, A. Singer, 37 South Fifty-ninth street, Philadelphia. Brick, 2 stories, (2) 18x42 feet, (32) 16x30 feet, 11x11 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4),** 4840-42-44-46 Salmon street, Philadelphia, \$15,400. Architect, private plans. Owner, Howard F. Craig, 2750 Pratt street, Philadelphia. Brick, 2 stories, (2) 14x42 feet and (2) 14x32 feet, 12x10 feet, slag roof, hot air heat, electric light. Owner will build.

**Residences (49),** Horrocks and Orthodox streets, Philadelphia, \$251,000. Architect, private plans. Owner, Carl A. Mayer, 140 Clarkson avenue, Philadelphia. Brick, 2 stories, (3) 18x46 feet, (46) 15x29 feet, 12x11 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (9),** North side Columbia avenue, East of Ruby street, \$55,500. Architect, private plans. Owners, Greenberg & Felintor, 2538 North Thirtieth street, Philadelphia. Brick, 2 stories, 15x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (10),** East side Tampa street, South of Wyoming avenue, \$5,300 each. Owners, Smith, McGowan & Donnelly, 4603 Frankford avenue. Brick, 2 stories, 15x38 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (43),** Fifty-sixth and Diamond streets, Philadelphia, \$297,000. Architect, private plans. Owners, Frank Williams & Son, 5603 Diamond street, Philadelphia. (21) brick, (22) brick and stone, 2 stories, (1) 20x36 feet, (2) 17x50 feet, and (40) 16x31 feet, 12x14 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (36),** Cedar Park avenue, North of Pittville avenue, \$182,000. Architect, private plans. Owner, Isaac J. Miller, 4746 North Tenth street, Philadelphia. Brick, 2 stories, (2) 20x42 feet, (34) 15x30 feet, 11x9 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (5),** D and Bingham street and Loudon street, \$27,000 total. Architect, private plans. Owner, William B. Davenport, 6612 Wayne avenue, Philadelphia. Brick, 2 stories, (3) 18x9 feet, (2) irregular shape, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage,** East side Nice street, North of Pike street, \$15,000. Architect, private plans. Owner, Albert Krebs, 3942 North Broad street, Philadelphia. Brick, 1 story, 27x68 feet. Owner will build.

**Residences (32),** Sixty-seventh and Oxford streets, Philadelphia, \$192,000. Architect, pri-

vate plans. Owner, John H. McClatchey, Land Title Building, Philadelphia. Brick, 2 stories, 16x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence (add.),** 318 Pennsdale street, Philadelphia, \$2,600. Architect, private plans. Owner, James J. Ganey, on premises. Brick, 2 stories add., 12x12 feet. Owner will build.

**Residences (104),** (35) 201-69 Widener street and (69) 201-67 and 200-68 Linton street, Philadelphia, \$333,700. Owner, Charles G. Erny, Broad and Rockland streets, Philadelphia. Brick, 2 stories, 15x35 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (8), (Store (1), Garages (8),** Sixty-first and Lebanon avenue, \$69,200. Architect, private plans. Owner, Samuel Eisenberg, 3849 Cambridge street, Philadelphia. Brick, 2 stories, 16x53 feet, store, 1 story, 25x25 feet, garages, 1 story, 11x19 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric light. Owner will build.

**Residence,** North side Chelwynde avenue, East of Sixty-second street, \$4,500. Architect, private plans. Owner, Charles D. Ruth, Eighty-eighth and Eastwick avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4),** West side Melrose street, North of Buckius, \$4,500 each. Architect, private plans. Owner, John Kazmuseczuk, 4827 Tacony street, Philadelphia. Brick, 2 stories, 14x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2),** West side Rockwell avenue, South of Oxford avenue, \$4,200 each. Architect, private plans. Owners, Riegel & Muller, 916 Walter street, Philadelphia. Brick, 2 stories, 14x38 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Garage,** West side Marshall street, South of Bristol street, 4,000. Architect, private plans. Owners, Bauerle & Nace, 227 West Lindley avenue, Philadelphia. Brick, 1 story, irregular size, hot water heat, electric light, cement floors. Owners will build.

**Residences (4),** North side Marwood Road, East of Westford avenue, \$7,500 each. Architect, private plans. Owner, Elmer V. Phillips, 7202 Oxford avenue, Philadelphia. Brick, 2 stories, 16x38 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage and Office,** 1413-15 South Second street, Philadelphia, \$8,000. Architect, private plans. Owner, A. Siedian, on premises. Brick, 1 story, 32x64 feet, 2 stories, 48x35 feet, slag roof, cement and pine floors, electric work. Owner will build.

**Store and Residence (add. and alts.),** Northeast Corner Eighth and Poplar streets, \$6,000. Owner, J. Levin, on premises. Brick, 1 story, 22x59 feet, second story add., 15x18 feet, general alterations. Owner will build.

**Manufacturing Building (add.),** 2013-17 Watts street, \$3,000. Architect, private plans. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 2 stories add., 40x46 feet. Owner will build.

**Apartment (alts. and add.),** 900 South Forty-eighth street, Philadelphia, \$3,000. Architect, private plans. Owner, Harry Donaghv, 905 South Forty-eighth street, Philadelphia. Brick, 2 stories, 14x12 feet, and 2 stories, 13x11 feet. Owner will build.

**Residences (2),** North side Brewster avenue, East of Eighty-fifth street, \$3,500 each. Architect, private plans. Owner, John Kapeczak, Eighty-fifth and Brewster avenue, Philadelphia. Brick, 2 stories, 16x36 feet, slag roof, hot air heat, electric light. Owner will build.

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**Cedar Falls, Iowa**

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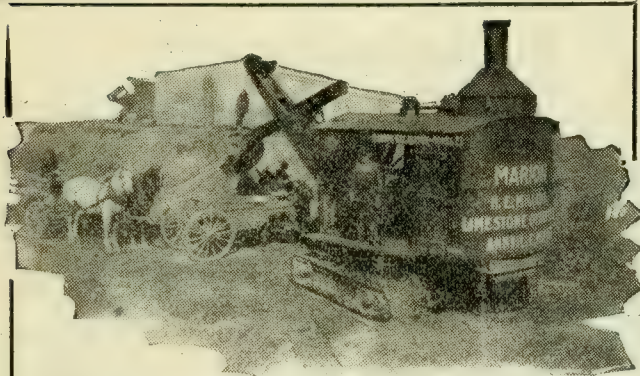
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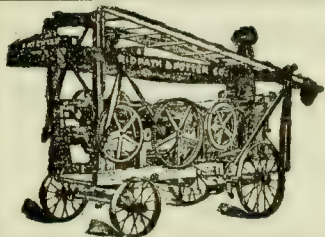
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**Residence (alts. and add.)**, 2939 Ruth street, Philadelphia, \$3,000. Architect, private plans. Owner, Alexander Adair, on premises. Brick, 2 stories add., 12x36 feet, 1 story add., 12x11 feet. General alterations. Owner will build.

**Residence and Store (add.)**, 4934 North Broad street, \$2,000. Architect, private plans. Owner, Robert Carnwath, 4940 North Broad street, Philadelphia. Brick, 1 story add., 20x17 feet. Owner will build.

**Residences (15)**, Jackson and Unruh streets, Philadelphia, \$4,000 each. Architect, private plans. Owners, Louis Laib, 6638 Torresdale avenue, Philadelphia. Brick, 2 stories, 16x38 feet, hot air heat, electric light, slag roof. Owner will build.

**Garage**, North side Orthodox street, West of Frankford avenue, \$50,000. Architect, H. P. Canavan, 7028 Greenway avenue, Philadelphia. Owner, A. Leibovitz, 4045 Baltimore avenue, Philadelphia. Brick, 2 stories, 47x65 feet, 1 story, 47x76 feet, and 1 story, 33x151 feet, steam heat, electric light, cement floors, steel sash. Owner will build.

**Residences (6)**, East side Sixty-ninth street, North of Upland street, \$35,000 total. Architect, private plans. Owners, Quaker City Const. Co., 1803 Spring Garden street, Philadelphia. Brick, 2 stories, 16x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (8)**, North side Robbins street, West of Oakley, \$32,500. Architect, private plans. Owner, M. H. Riegel, 337 East Cheltenham avenue, Philadelphia. Brick, 2 stories, 17 feet, 10 inches x 31 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (6)**, North side Unruh street, East of Jackson street, \$23,200 total. Architect, private plans. Owner, Ray H. Lippincott, 3117 Disston street, Philadelphia. Brick, 2 stories, 15x37 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (21)**, Twenty-fourth, Ritner and Passyunk avenue, \$89,000. Architect, private plans. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 2 stories, (1) 18x40 feet, (20) 15x37 feet, 10x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (6)**, North side Bridge street, East of Ditman, \$4,000 each. Architect, private plans. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 2 stories, 14x32 feet, 10x10 feet, slag roof, hot water heat, electric light. Owner will build.

**Residence and Garage**, South side Byberry Road, West of Bustleton Pike, \$5,700. Architect, private plans. Owner, James A. Everett, 6908 York Road, Philadelphia. Frame and stucco, 2 stories, 31x38 feet, shingle roof, hardwood and pine floors, hot water heat,

electric light, tile work, garage, 1 story, 12x16 feet. Owner will build.

**Residences (2)**, West side Rockwell avenue, South of Oxford Road, \$5,000 each. Architect, private plans. Owner, John H. Bauer, 4938 North Fairhill street, Philadelphia. Brick, 2 stories, 14x40 feet, slag roof, hardwood and pine floors, hardwood floors, hot water heat, electric light. Owner will build.

**Residences (4)**, 5653-5624-5650-5652 Lebanon avenue, \$6,500 each. Architect, private plans. Owner, Henry J. McLean, 521 South Fifty-second street, Philadelphia. Brick, 2 stories, 16x48 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Funfield Recreation Center**, Twenty-second and Sedgley avenue, Philadelphia. Architect, John Molitor, 1211 Chestnut street, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Grading, surfacing, iron fence, drainage. Only bidder: George F. Dobbins, 1020 South Forty-seventh street, Philadelphia, \$26,380.

**Residences (2)**, North side Dicks avenue, West of Seventy-sixth street, \$4,000 each. Architect, private plans. Owners, Malenkz & Peiper, Seventy-sixth and Dicks avenue, Philadelphia. Brick, 2 stories, 16x38 feet, slag roof, hot air heat, electric light. Owners will build.

**Service Station**, Southeast Corner Green and Queen streets, Philadelphia, \$7,500. Owners, Gulf Refining Co., Widener Building, Philadelphia. Brick, 1 story, 15x15 feet, tile roof, cement work. Owners will build.

**Garage (add.)**, 2417 Sedgley avenue, Philadelphia, \$2,000. Architect, private plans. Owner, John Williams, Sedgley avenue and Dauphin street, Philadelphia. Brick, 2 stories add., 16x53 feet. Owner will build.

**Store and Tenement (alts.)**, North side Limekiln Pike, East of Eighteenth, \$5,000. Architect, private plans. Owner, J. J. Kelly, 677 North Broad street, Philadelphia. General alterations. Owner will build.

**Residences (6) (alts. and add.)**, Fifty-second and Poplar streets, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, Fifty-second Street Gardens, care of architect. General renovation. Plans in progress.

**Store and Apartment (alts. and add.)**, 2258 North Broad street, Philadelphia. Architect, William F. L. Koelle, Otis Building, Philadelphia. Owner, Harry W. Garrett, 1518 West Susquehanna avenue, Philadelphia. Plans in progress.

**School (add.)**, Twenty-eighth and Morris streets, Philadelphia. Architect, Irwin T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, steel, granite, 3 stories and basement, 26x26 feet (plumbing, heating, electric

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reserved), composition roof, maple and cement floors, hollow tile, metal ceilings, damp-proofing, ornamental iron work, bond, metal lath. Owners taking bids due April 3rd at noon.

**Clymer School**, Thirteenth and Cambridge streets, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Carpentry and mill work, painting and glazing, plastering, cement work. Owners taking bids due April 3rd at noon.

**Residences (54)**, Widener Terrace, West of Ogontz avenue, Nineteenth and Nedro streets, \$432,800. Owner, Frank J. Peters, 2045 Stenton avenue, Philadelphia. Brick, 2 stories, (3) 16x42 feet and (50) 16x32 feet, 13x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (6)**, 632-42 Locust avenue, Philadelphia, \$31,000. Architect, private plans. Owner, John Uber, 807 Mattison avenue, Ambler, Pa. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, South side Faunce street, West of Lawndale avenue, \$5,000. Architect, private plans. Owner, Mathias Schneider, 1340 North Mascher street, Philadelphia. Frame, 2 stories, 24x34 feet, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (3)**, North side Tineum avenue, West of Eighty-first street, \$4,800 each. Architect, private plans. Owner, John McEnhill, Eighty-third and Tineum avenue, Philadelphia. Brick, 2 stories, 15x32 feet, slag roof, hot air heat, electric light. Owner will build.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Bank Building**, Eighteenth and Fairmount avenue, Philadelphia. Architect, W. Macey Stanton, 1524 Chestnut street, Philadelphia. Owners, Mortgage Security Co., care of architect. Brick, cut stone, limestone, steel, 1 story and basement, 86x39 feet (composition floors, heating, plumbing, electric and drainage reserved), metal lath, tile and marble, rolled steel sash, bond, floor hardener, ornamental iron work, terra cotta, shoring, roof ventilators, painting and glazing, cement floors, slag roof. Contract awarded Turnbull & Cornell, 15 South Twenty-first street, Philadelphia.

**Wister Sub-Station**, Northeast Corner Olney avenue and Wister street, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, 1 story and basement, 116x61 feet, slag roof, steam heat, tile and marble work, floor hardener, painting and glazing, slag roof, cement floors. Contract awarded John N. Gill Const. Co., City Center Building.

**Property (alts.)**, 1707-09 Arch street, Philadelphia, \$12,500. Architect, H. L. Cain; reg. architect, Albert Dobbins, 1709 Arch street. Owners, Philadelphia Conference Tract Society of the Methodist Episcopal Church, Seventeenth and Arch streets, Philadelphia. Plaster block partitions, plumbing, hardware, carpentry, mill work, painting and glazing, floor hardener, electric. Contract awarded Harry S. Barnes, 2080 East Willard street, Philadelphia.

**Power House**, Thirty-fourth and Spruce

streets, Philadelphia. Architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia. Engineers, McClelland & Junkerfeld, Otis Building, Philadelphia. Owners, University of Pennsylvania, Thirty-fourth and Spruce streets, Philadelphia. Brick, cut stone, steel, 1 story, 138x65 feet, tile and slag roof, cement floors, marble work, rolled steel and hollow metal sash, rolled steel doors, bond, ornamental iron work, terra cotta, flag poles. Contract awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Manayunk Sub-Station**, Main and Green Lane, Manayunk, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, 1 story and basement, 114x61 feet, slag roof, cement floors, painting and glazing, waterproofing, ornamental iron work, bond, tile and marble work, rolled steel sash, steam heat. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia.

**Paschall Sub-Station (alts. and add.)**, Sixty-fifth and Paschall avenue, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, 1 story and basement, 93x39 feet, slag roof, cement



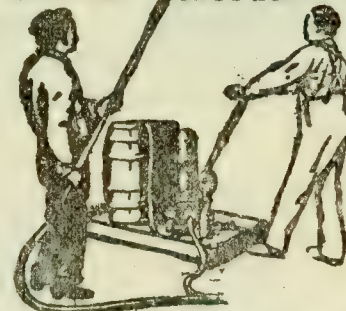
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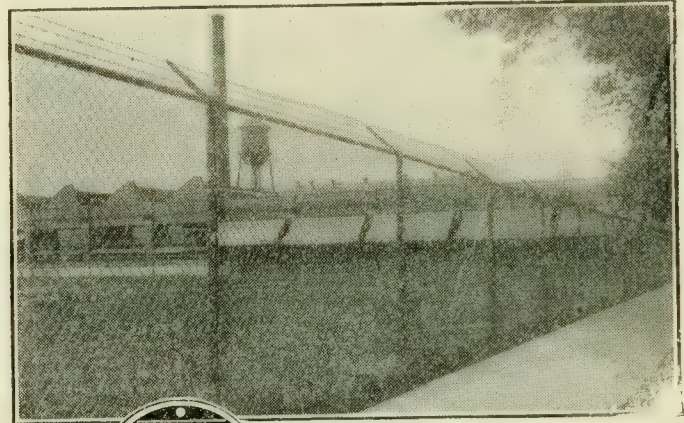
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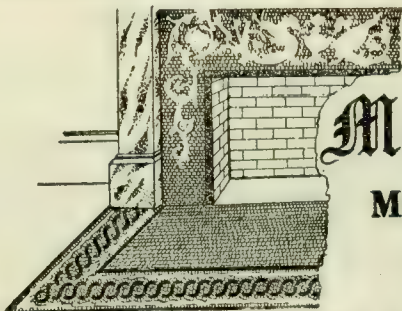
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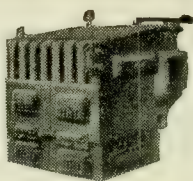
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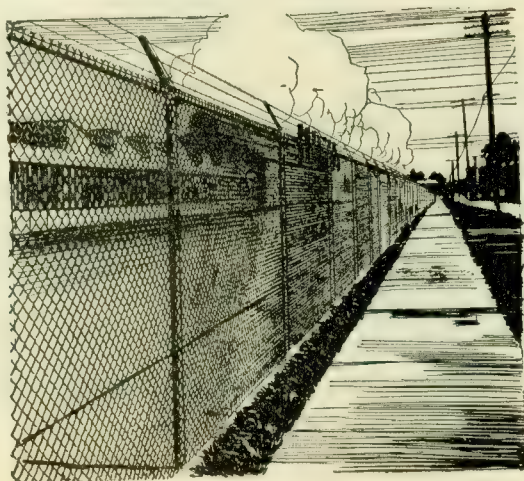
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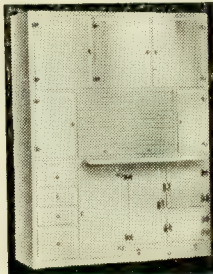
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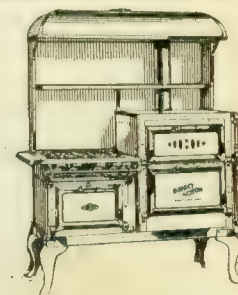
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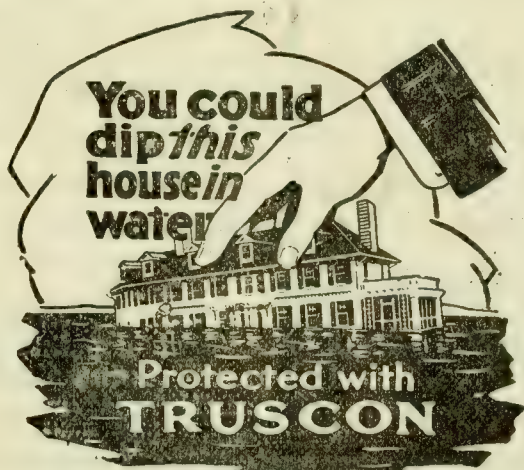
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floors, painting and glazing, plumbing, waterproofing, marble work, steam heat (electric work reserved). Contract awarded Franklin M. Harris Co., 1520 Parrish street, Philadelphia.

**Swimming Pool and Shelter House and Shower House**, Tenth and Mifflin streets. City architect, J. Molitor, 1211 Chestnut street, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, City Hall. Cement floors, brick, reinforced concrete and steel, slag and asphalt shingle, asbestos shingle roof, bond, ornamental iron work, waterproofing, terra cotta. Contract awarded McCormick-Lenham Co., 2403 North Broad street, Philadelphia. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$4,383. Electric, J. F. Buchanan Co., 1904 Sansom street, Philadelphia, \$1,687.

**Alterations**, 673-77 North Fifty-second street, Philadelphia, \$21,800. Architect, private plans. Owner, Morris Weinrach, 675 North Fifty-second street, Philadelphia. Brick work, plumbing, heating, electric repairs, slag roof, oak floors, plastering, granite, painting and glazing, metal ceilings, steel sash, tile work, metal lath, steel work, ornamental iron work. Contract awarded F. B. Dayos & Son, 240 North Sixteenth street, Philadelphia.

**Residence (alts.)**, 535 Church Lane, Philadelphia, \$5,000. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owner, Edward W. Smith, care of architects. Interior alterations, consisting of new electric work, hot water heat, plastering, partitions, mill work, papering, painting, glazing, etc. Contract awarded to I. A. Dunkelberger, 71 East Herman street, Philadelphia.

**Residence and Garage**, North side Cheltenham avenue, West of Seventh street, \$19,000. Architect, private plans. Owner, R. H. Breeding, 510 Sixty-seventh avenue, Philadelphia. Stone, 2 stories, 30x42 feet, aframe, 1 story, 19x21 feet, slate roof, hardwood, pine and cement floors, hot air heat, electric light. Contract awarded to J. Fleischer & Sons, 739 Roosevelt Boulevard.

**Garage**, Northwest Corner Marlborough and Richmond streets, Philadelphia, \$10,000. Architect, private plans. Owner, T. O'Hara, 1115 Marlborough street, Philadelphia. Brick, 1 story, 50x84 feet, slag roof, cement floors, electric work. Contract awarded to James T. Murphy, 1712 North Second street, Philadelphia.

**Residence**, 1431 Cottman street, Philadelphia, \$8,590. Owner, Henry T. Kiesling, 6906 Rising Sun avenue, Philadelphia. Brick, 2 stories, 25x40 feet, tin roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Jacob Gaertner, 8315 Pine Road, Philadelphia.

**Store**, Southeast Corner Twentieth and Cora streets, Philadelphia, \$8,000. Architect, private plans. Owner, David Sarkin, 2003 South Tenth street, Philadelphia. Brick, 1 story, 49x66 feet, slag roof. Contract awarded to Harry Goldberg, 2419 South Fairhill street.

**Residences (2)**, West side Ardleigh street, North of Graver's Lane, \$7,250 each. Architect, private plans. Owner, Catharine S. Sieber, 8405 Germantown avenue, Philadelphia. Stone and brick, 2 stories, 16x51 feet, slate and slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to W. Harold Sieber, 8405 Germantown avenue, Philadelphia.

**Residence**, East side State Road, North of Fidler, \$5,000. Architect, private plans. Owner, W. J. Rau, 1348 North Eighth street, Philadelphia. Frame, 1 story, 28x43 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to John Keenan, 8300 Cottage street, Philadelphia.

**Residence**, East side Richmond street, South of Ontario street, \$5,000. Architect, private plans. Owner, Samuel Dool, 3411 Richmond street, Philadelphia. Brick, 2 stories, 16x45 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Wilbur S. Dool, 3007 Mercer street, Philadelphia.

**Garage**, 146 East Courtland street, Philadelphia, \$5,000. Architect, private plans. Owner, August Schanbacher, 3066 North Tenth street, Philadelphia. Brick, 1 story, 16x113 feet, 18x18 feet, cement floors. Contract awarded to Edward B. Miller, 3945 North Marshall street, Philadelphia.

**Residence**, South side Harmon Road, West of Ridge avenue, \$6,000. Architect, private plans. Owner, Nathan Rambo, Harmon Road, Philadelphia. Frame and stucco, 2 stories, 28x28 feet, hardwood and pine floors, electric lighting. Contract awarded to James S. Batty, 6239 Ridge Avenue, Philadelphia.

**Garage and Shop**, Southwest Corner Sixteenth and Ruffner streets, Philadelphia, \$5,600. Architect, private plans. Owner, B. Kozoil, 1614 Downton street, Philadelphia. Brick, 1 story, slag roof, cement floors. Contract awarded to Joseph Staron, 1839 Juniata street, Philadelphia.

**Workshop**, 2530 Hagert street, Philadelphia, \$3,000. Architect, private plans. Owner, William Peters, 2602 North Twenty-ninth street, Philadelphia. Brick, 1 story, 15½x60 feet, slag roof, electric work. Contract awarded to F. A. Schumacker, 2829 West Harold street, Philadelphia.

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**Garages (2)**, South side Master street, East of Fifth street, \$6,000 total. Architect, private plans. Owner, William Ayerle, 434 West Master street, Philadelphia. Brick, 1 story, 50x32 feet, 1 story, 15x100 feet, slag roof, cement floors, electric light. Contract awarded to Joseph E. Houseworh, Thirtieth and Lehigh avenue.

**Manufacturing Building (repairs)**, 2530 North Broad street, \$15,000. Architect, private plans. Owners, Garlile & Doughty, on premises. General fire repairs. Contract awarded to Henry P. Schneider, 3713 Old York Road.

**Store and Residence (alts.)**, Southwest Corner Eleventh and Diamond streets, \$14,000. Architect, private plans. Owner, Santer M. Santarian, 1102 Diamond street, Philadelphia. General alterations. Contract awarded to L. M. Shestack, 826 Arch street, Philadelphia.

**Garage**, Northeast Corner Fifty-fourth and Media streets, Philadelphia, \$7,000. Architect, private plans. Owner, Edward Fleming, 5134 Thompson street, Philadelphia. Brick, 1 story, 150x19 feet, slag roof, cement floors. Contract awarded to Samuel A. Rogers, 5312 Thompson street, Philadelphia.

**Residence**, North side Murray street, East of Bustleton avenue, \$6,500. Architect, private plans. Owner, W. P. Starkey, 1101 City Center Building, Philadelphia. Brick, 2 stories, 16x42 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to J. C. Funck, 1101 City Center Building, Philadelphia.

**Warehouse (repairs)**, 243 Elbow Lane, Philadelphia, \$5,000. Architect, private plans. Owner, William Hemingway, on premises. General fire repairs. Contract awarded to A. Raymond Raff Cont. Co., 1635 Thompson street.

**Store and Storage Building (alts. and add.)**, 1118 Poplar street, \$4,200. Architect, private

plans. Owner, S. Brint, 1137 Poplar street, Philadelphia. Brick, 1 story add., 11x16 feet, general alterations. Contract awarded to P. Jacobs, 908 North Eighth street, Philadelphia.

**Residence**, East side Maple avenue, North of Wyoming avenue, \$3,800. Architect, private plans. Owner, Stanley Dewees, Rowlandville, Pa. Brick, 2 stories, 24x26 feet, electric lighting. Contract awarded to Lamont & Ginther, Rowlandville, Pa.

**Store and Storage (alts. and add.)**, Southwest Corner Eighth and Somerset streets, \$3,500. Architect, private plans. Owner, David Kline, on premises. Brick, 1 story add., 15x16 feet, general alterations. Contract awarded to F. & S. Const. Co., 554 North Sixteenth street, Philadelphia.

**Garage and Shop**, 116-18 East Sharpnack street, Philadelphia, \$3,500. Architect, private plans. Owner, Harry Richman, 68 East Sharpnack street, Philadelphia. Brick, 2 stories, 32x30 feet, and 1 story, 28x20 feet. Contract awarded to John De Paul & Bro., 80 East Sharpnack street.

**Garage**, 6011 Rising Sun avenue, Philadelphia, \$11,000. Architect, private plans. Owner, Ernest Lenke, on premises. Brick, 1 story, 50x73 feet, 36x14 feet and 8x32 feet, slag roof, cement floors, steam heat, electric light, steel sash. Contract awarded to C. C. Campbell, 6419 Bingham street, Philadelphia.

**Residences (2)**, South side Longshore street, East of Algard, \$4,000 each. Architect, private plans. Owner, Harry T. Oberholtzer, 3318 Howell street, Philadelphia. Brick, 2 stories, 16x43 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to M. S. Oberholtzer, 5524 Pulaski avenue, Philadelphia.

**Garage**, Southwest Corner Fifth and Lycoming avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Carl Seiler, 7006 Rising Sun avenue, Philadelphia. Brick, 1 story, 50x40 feet, cement floors, slag roof. Contract awarded to Frank Adair, Magee street and Martin Mill Road.

**Garage**, 1518 North Fifteenth street, Philadelphia, \$2,400. Architect, private plans.

Owner, A. Jenemons, 1530 North Fifteenth street, Philadelphia. Brick, 1 story add., 21x52 feet. Contract awarded to John J. Gaffney, 5532 North Third street, Philadelphia.

**Twin Residences (3 pairs)**, McCallum, between Mt. Airy and West Mt. Pleasant. Architect, J. W. Keyes, 20 East Johnson street, Philadelphia. Owner, name withheld. Brick, stone, stucco, 2½ stories, irregular size (automatic gas water heaters and gas ranges separate bids), hot water heat, electric light, metal lath, tile work, slate roof, oak and pine floors, cement work. Contract awarded Samuel Harting & Son, 20 East Johnson street, who is taking sub-bids due as soon as possible.

**Garage and Shop (add.)**, 859-63 North Twenty-eighth street, Philadelphia, \$4,000. Architect, private plans. Owner, Harmon Sacks, 865 North Twenty-eighth street, Philadelphia. Brick, second story add., 48x24 feet, 44x36 feet. Contract awarded to Henry C. Dahl, 231 South Eighth street, Philadelphia.

**Store and Residence (alts. and add.)**, 936 South street, \$4,000. Architect, private plans. Owner, Mr. Goodman, on premises. Brick, 2 stories add., 14x14 feet, general alterations. Contract awarded to Meyer Berner, 2415 North Natrona street.

**Garage and Shop (add.)**, Northeast Corner Kip and Tioga streets, \$3,000. Architect, private plans. Owner, Leon Chihasz, 610 East Hilton street, Philadelphia. Brick, second story add., 20x50 feet, slag roof, pine floors. Contract awarded to Silke Contg. Co., 240 East Tioga street, Philadelphia.

**Warehouse (alts.)**, 1638-40 Ludlow street, Philadelphia, \$2,800. Architect, private plans. Owner, Herbert J. Horan, Bourse Building, Philadelphia. General alterations. Contract awarded to George L. Dougherty, 1725 Ludlow street, Philadelphia.

**Residence (alts. and add.)**, 1451 Olney avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Mrs. M. Parris, on premises. Brick, 2 stories add., 10x12 feet, general alterations. Contract awarded to S. S. Billingsley, 1230 East Cheltenham avenue.

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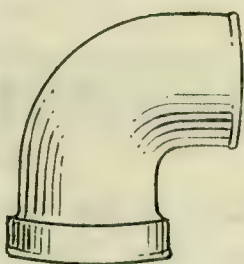
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**Stores (2)**, 3711-13 Princeton avenue, Philadelphia, \$2,900 total. Architect, private plans. Owner, N. Yannuz, 7101 Tulip street, Philadelphia. Brick, 1 story, 15x24 feet. Contract awarded to Charles Doerr, 5350 Tacony street, Philadelphia.

**Garage**, 616 West Upsal street, Philadelphia, 2,800. Architect, private plans. Owner, E. L. Schute, on premises. Stone, 1 story, 18x28 feet, cement floors, electric lighting. Contract awarded to John Roman, 414 East Brighthurst street, Philadelphia.

**Apartment House (alts.)**, 3412 Powelton avenue, Philadelphia, \$2,500. Architect, private plans. Owner, James A. List, on premises. General alterations. Contract awarded to A. Bernoseo, 3804 Lancaster avenue, Philadelphia.

**Residence (add.)**, 914 South Twentieth street, Philadelphia, \$2,500. Architect, private plans. Owner, Joseph Sasso, on premises. Brick, 2 stories add., 12 feet, 8 inches x 30 feet. Contract awarded to A. Pastine & Son, 1333 Wharton street, Philadelphia.

**Store (add.)**, 4626 Frankford avenue, Philadelphia, \$4,000. Architect, private plans. Owner, W. S. Gibson, on premises. Brick, 1 story add., 20x30 feet, general alterations. Contract awarded to Wintz Brothers, 1618 Sellers street, Philadelphia.

**Garage**, 172 Maplewood avenue, Philadelphia, \$2,000. Architect, private plans. Owner, Emily A. Beatty, on premises. Reinforced concrete, 1 story, 18x40 feet, shingle roof, cement work. Contract awarded to Fernwood Const. Co., Fernwood, Pa.

**Residence (alts.)**, 2512 South Edgewood street, Philadelphia, \$2,000. Architect, private plans. Owner, R. Ritter, 1547 North Sixth street, Philadelphia. General alterations. Contract awarded to H. Glazer, 1557 North Sixth street, Philadelphia.

**Residences (6)**, 4019-21-23-25 Mitchell street and 482-84 Kingsley street, Philadelphia, \$27,000. Architect, private plans. Owner, Louis Messimer, 478 Markle street, Philadelphia. Brick, 2 stories, (3) 16x40 feet, (3) 20x30 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Harry Messimer, 478 Markle street, Philadelphia.

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**Manufacturing Plant (alts. and add.)**, 1450 Gray's Ferry avenue, \$5,000. Architect, private plans. Owners, Shallcross Company, on premises. Brick, 3 stories, 18½x12 feet, general alterations. Contract awarded to Woodland Const. Co., 5925 Woodland avenue.

**Apartment (alts.)**, 4903 Cedar avenue, Philadelphia, \$5,000. Architect, private plans. Owner, Robert McCauley, 4937 Catharine street, Philadelphia. General alterations. Contract awarded to F. C. Borel, Jr., 5426 Vine street, Philadelphia.

**Residence and Store (alts.)**, Southeast Corner Thirty-fourth and Mt. Vernon streets, \$3,000. Architect, private plans. Owner, J. Glansberg, 2021 South Eighth street, Philadelphia. General alterations. Contract awarded to S. Yudofsky, 605 Dickinson street, Philadelphia.

**Garage**, Northeast Corner Marshall and Ruscomb streets, Philadelphia, \$3,000. Architect, private plans. Owner, U. Fiandra, 4951 North Fairhill street, Philadelphia. Brick, 1 story, 20x98 feet, slag roof, cement floors. Contract awarded to A. Lamaino, 2031 North Fourth street, Philadelphia.

**Shop**, 2506 G street, Philadelphia, \$2,900. Architect, private plans. Owner, Fred Wallace, 3504 G street, Philadelphia. Brick, 1 story, 15x55 feet, 1 story, 30x20 feet. Contract awarded to Leonard Millard, 3308 E street, Philadelphia.

**Store and Residence (alts. and add.)**, 2815 West Girard avenue, \$2,355. Architect, private plans. Owner, Philip Shalsenitz, on premises. Brick, 1 story add., 13x9 feet, general alterations. Contract awarded to W. E. Edwards, 1724 Wingohocking street, Philadelphia.

**Residence and Store (alts.)**, 2620 Kensington avenue, \$2,000. Architect, private plans. Owner, E. M. Walters, 1804 West Lehigh avenue, Philadelphia. General alterations. Contract awarded to Lockhart & Simon, 1524 Chestnut street, Philadelphia.

**Building (alts. and add.)**, Northeast Corner Eighteenth and Snyder avenue, \$3,000. Architect, private plans. Owner, Frank Schwartz, 1620 Passyunk avenue, Philadelphia. Brick, 1 story add., 16x15 feet, second and third stories add., 16x20 feet, general alterations. Contract awarded to Harry Harod, 1621 Point Breeze avenue, Philadelphia.

**Residence**, West side Eighty-first street, South of Suffolk street, \$7,500. Architect, private plans. Owner, A. Carbona, 2107 Moore street, Philadelphia. Brick, 2 stories, 16x48 feet, hot water heat, electric light. Contract awarded to Seurel & Macrane, 734 South Seventh street, Philadelphia.

**Residence (alts. and add.)**, 609 East Chel-

ten avenue, Philadelphia. Architect, Addison H. Savery, 1300 Locust street, Philadelphia. Owner, James V. Powers, 609 East Cheltenham avenue, Philadelphia. General alterations and additions. Contract awarded W. J. Gruhler Co., 219 East High street, Philadelphia.

**Garage**, Northeast Corner Sixty-third and Media streets, Philadelphia, \$12,500. Architect, private plans. Owner, Hyman Ostroff, care of builder. Brick, 1 story, 58x166 feet, siag roof, steam heat, cement floors. Contract awarded to Ostroff & Shapiro, 6206 Larchwood avenue.

**Stable (repairs)**, 1300 North Forty-fourth street, Philadelphia, \$6,600. Owners, George B. Newton Coal Co., Franklin Bank Building. General fire repairs. Contract awarded to Armstrong & Latta, 1926 Sansom street, Philadelphia.

**Delaware River Bridge (Contracts No. 13, No. 14)**. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract No. 13—Cable bands, suspenders, hand rope to be erected upon main cables of bridge between two anchorages, furnishing material, erection and ready for attachment to suspended structure. Contract awarded Keystone State Const. Co., 210 South Thirteenth street, Philadelphia, \$404,850. Contract No. 14—Stiffening trusses, laterals and floor system of main bridge between two anchorages, carbon steel, two grades of high tensile steel to be used. Contract awarded American Bridge Co., Widener Building, Philadelphia, \$2,888,000.

**Residence (alts. and add.)**, 2254 North Broad street, Philadelphia, \$3,500. Architect, private plans. Owner, Dr. G. L. Harrison, 2301 North Broad street, Philadelphia. Brick, 2 stories add., 16x10 feet, general alterations. Contract awarded to John I. Harrison, 1922 North Broad street.

**Foundations**, Southern Carhouse, Nineteenth and Twentieth streets, from Johnson street, \$200,000. Architect, private plans. Owners, Philadelphia Rapid Transit Co., Eighth and Dauphin streets, Philadelphia. Bond, concrete piles, plain and reinforced concrete, waterproofing. Foundations for the following buildings: Inspection shop, office buildings, sand handling panel, trackless trolley garage, stack foundations, water storage reservoir. Contract awarded H. E. Baton, 1713 Sansom street, Philadelphia.

**Retaining Wall**, North of Pottstown, Pa. Architect, private plans. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Reinforced concrete, 110 feet long. Contract awarded W. G. Riebe, Tamaqua, Pa.

## PENNSYLVANIA Construction News

**Residence**, Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owner, Sylvester Moore, 214 East King street, Lancaster, Pa. Brick, stucco, 2½ stories, hardwood floors, electric lighting, tile and marble work. Too early for details.

**Residences (18)**, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lan-

caster, Pa. Owner, Dr. M. L. Emerick, 207 South Queen street, Lancaster, Pa. Brick, 2 stories, 18x20 feet, slate roof, hardwood floors, electric light. Plans in progress.

**Residence (alts.)**, Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owner, M. F. Goodman, 117 East Lemon street, Lancaster, Pa. Partitions, hardwood

## CHAPMAN SLATE CO.

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floors, electric light, tile work. Plans in progress.

**Residence**, Lancaster, Pa. Architects, Hamme & Witman, City Bank Building, York, Pa. Owner, J. M. Hebrick, Lancaster, Pa. Fireproof, stone, 2½ stories, 30x65 feet, wing 24x35 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light, metal lath, tile and marble work, ornamental iron work. Revised plans in progress.

**Residence and Garage**, Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, Albert Wohlsen, 38 South Marshall street, Lancaster, Pa. Stone, cinder block, 2½ stories, 44x28 feet, 20x22 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Residence**, Drexel Hill, Pa. Architects, Gleason, Mulroney & Burke, 404 South Broad street, Philadelphia. Owner, William M. Burke, 404 South Broad street, Philadelphia. Hollow tile and stucco, 2 stories, 30x57 feet, tile roof, hardwood floors, heating undecided, electric light, tile and marble work, mill work, cement, ornamental iron work. Plans in progress.

**Power House**, Ridgway, Pa. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, Ridgway School Board, J. Schramm, secretary, Ridgway, Pa. Brick, steel, 1 story, 66x45 feet, concrete roof. Owners ready for bids.

**Post Office Building and Business Building**, (5) Stores, Perkasio, Pa. Architect, A. Oscar Martin, 14 Hart Building, Doylestown, Pa. Owners, Perkasio Improvement Co., Perkasio, Pa. Brick, 2 stories, 71x118 feet, slag roof, hardwood floors, plumbing, warm air heat, electric light, plate glass, metal bulks, terra cotta. Ready for bids in two weeks.

**Factory**, Reading, Pa., \$200,000. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Carpenter Steel Co., River Road and Exeter street, Reading. Concrete, structural steel, 1 story, 400x150 feet, composition roof, concrete floors, roof ventilators, steam heat, electric light, rolled steel sash, fire doors. Plans in progress.

**School**, Cheltenham, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Presentation of Blessed Virgin Mary, Rev. J. J. Moran, on premises. Brick, stucco, stone and steel, 2 stories, slag roof, pine and maple floors, hollow tile, metal lath, terrazzo work. Revised plans in progress.

**Residence**, Eagle and Whitby Road, Merwood Tract, Oakmont, Pa. Architect, private plans. Owner, C. H. Compton, Brookline, Pa. Stone, stucco, 2½ stories, hot water heat, electric light, tile work, hardwood floors. Owner will build.

**Residence**, Swarthmore, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Dr. W. W. Speakman, care of architect. Frame, 2 stories, 26x80 feet. Plans in progress. Ready for bids in ten days.

**Residence and Garage**, Lake and Garfield avenue, Wyomissing, Pa., \$12,000. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owner, Wellington P. J. Printz, 1316 Garfield avenue, Wyomissing, Pa. Stone, point wall, 2 stories, 46x30 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Plans in progress.

**Club House**, rear 266-68 South Ninth street, Reading, Pa. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owners,

Knights of St. Casimir, 268 South Ninth street, Reading, care of architect. Brick, 30x40 feet, concrete foundations, slag roof, cement and pine floors, steam heat, electric light. Plans in progress.

**School**, Bloomsburg, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Board of Education, Bloomsburg, Pa. Brick, steel and concrete. Working plans in progress.

**Hotel Building**, Green and Northampton streets, Easton, Pa. Associate architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia; A. D. Chidsey, Easton, Pa. Brick, reinforced concrete, 10 stories. Plans in progress.

**Hotel**, Third and Market streets, Berwick, Pa. Architects, Dreher & Churchman, Otis Building, Philadelphia. Owners, Berwick Hotel Co., W. J. Johnson, Berwick, Pa. Preliminary sketches being drawn.

**Residence**, Evergreen Road, Jenkintown, Pa. Architect, not yet selected. Owner, Leonard C. Pratt, 106 Chestnut street, Philadelphia. Work contemplated.

**Stores and Moving Picture Theatre**, East Greenville, Pa. Architect, Jerome S. Landes, 200 North Broad street, Souderton, Pa. Owners, Blank & Fenstermacher, East Greenville, Pa. Brick, concrete and steel, 1 story, 48x40 feet, 37x104½ feet, built-up roof, cement and pine floors, vapor heat, electric light, roof ventilators, metal ceiling and wainscoting. Architect and owners ready for sub-bids in ten days.

**Residence**, Souderton, Pa. Architect, Jerome S. Landes, 200 North Broad street, Souderton, Pa. Owner, Augustus Fox, Souderton, Pa. Brick, 1 story and basement, heating alterations, electric light, tin roof, hardwood floors, new porches, plumbing, general interior alterations. Architect ready for sub-bids in two weeks.

**Store and Apartment**, Lansdale, Pa. Architect, Jerome S. Landes, 200 North Broad street, Souderton, Pa. Owner, H. S. Cressman, Mt. Vernon street, Lansdale, Pa. Brick, 2 stories, 40x60 feet, built-up roof, cement and pine floors, plumbing, metal ceilings, metal bulks, tile work, vapor heat, electric light. Owner ready for general bids April 15th.

**Store and Office**, North Broad street, Lansdale, Pa. Architect, Jerome S. Landes, 200 North Broad street, Souderton, Pa. Owner, Ambrose Hunsberger, 1600 Spruce street, Philadelphia. Brick, 3 stories and basement, 21x66 feet, built-up roof, pine floors, vapor heat, electric light, tile and marble work, plumbing, copper bulks. Plans in progress.

**Church**, Shippensburg, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Grace Reformed Church, Rev. D. J. Wetzell, Shippensburg, Pa. Brick, 1 story and basement, 45x138 feet, slate roof, maple floors, steam heat, electric light, tile and terrazzo work. Owners taking bids due April 8th, at 6 P. M.

**Residence and Garage**, Sabine and Wynnewood avenues, Wynnewood, Pa. Architect, private plans. Owner, E. O. Shakespeare, Jr., Nineteenth and Walnut streets, Philadelphia. Stone, stucco, 2½ and 1½ stories, 45x30 feet, garage 19x18 feet, oak and pine floors, shingle roof, painting and glazing, plumbing, bond, dampproofing, ornamental iron work. Owner taking bids due April 5th.

**Building** (alts. and add.), 311 Chestnut

street, Harrisburg. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Kroman & Buse, on premises. Concrete floors, tile work, cut stone, general alterations. Architect taking bids due April 4th.

**Parochial School**, Lansford, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. J. B. McGarry, on premises. Brick, 3 stories, 75x80 feet, will contain gymnasium, auditorium and 16 class rooms, steam heat, electric light, slag roof, plumbing. Architect taking bids due April 9th.

**Power House**, Weldon, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, School Board of Abington Township, Abington, Pa. Stone, 1½ stories, 70x40 feet, slate roof, cement floors, rolled steel sash. Owners taking bids April 7th.

**Convent**, Lost Creek, Pa. Architect, G. C. Freeman, Liberyt Bank Building, Reading, Pa. Owners, St. Mary Magdeline Roman Catholic Church, Rev. T. Kelly, Lost Creek. Frame, 2½ stories, 38x70 feet, slate roof, pine floors, hot water heat, electric light, tile work. Architect and owners taking bids due as soon as possible.

**High School**, Rosedale, Muhlenberg Township, Berks County, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Muhlenberg Township School District, A. E. Foust, Temple, Pa. Brick, stone, steel, 2 stories and basement, 76x24 feet, 56x60 feet, Barrett Specification roof, maple floors, hollow tile, roof ventilators (heating, electric work and plumbing reserved), metal lath, tile and marble work, rolled steel sash and skylights, fire doors, bond, iron stairs and work. Owners taking bids due April 15th.

**Factory**, Adamstown, Berks County, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owner, George Bollman, Adamstown, Pa. Brick, steel, 3 stories, 25x89 feet, slag roof, wood floors, steam heat, electric light, rolled steel sash, fire doors. Owner taking bids due April 12th.

**School**, Riverside, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa.

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ing, Pa. Owners, Reading School Board, O. B. Heim, secretary, Reading, Pa. Brick, 2 stories, 100x150 feet, composition roof, maple floors, hollow tile, roof ventilators, waterproofing and dampproofing (heating, plumbing and electric work reserved), metal lath, tile work, rolled steel sash and skylights, fire doors. Owners taking bids due April 24th.

**Residence**, College Heights, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Dr. E. H. Stuckert, Allentown, Pa. Hollow tile, stucco, 2 stories, 35x45 feet, tile roof, hardwood floors, steam heat, electric light, tile work. Architects taking bids due April 4th.

**Store and Apartment (alts. and add.)**, 1810 North Third street, Harrisburg. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, H. J. Formwalt, 1807 North Third street, Harrisburg, Pa. Brick, cut stone, Barrett Specification roof, yellow pine or linoleum floors, metal lath, skylights, general alterations. Architect taking bids due April 4th.

**Machine Shop**, Saint Clair, Pa. Architect, S. T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading Co., Twelfth and Market streets, Philadelphia. Steel frame, corrugated asbestos metal, 1 story, 53x61 feet, Barrett Specification roof, cement and pine floors, plumbing, painting and glazing, steel doors, ornamental iron work, rolled steel sash. Architect taking bids due April 9th.

**Rectory**, Birdsboro, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, Dr. Burns, Birdsboro, Pa. Brick, 2½ stories, 30x40 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Architect taking bids due as soon as possible.

**Residence**, Baird Road, Merion, Pa. Architect, C. E. Schermerhorn, 213 South Fifth street, Philadelphia. Owner, name withheld. Local stone, 48x50 feet, slate roof, oak floors, tile bath rooms, vapor heat, electric wiring, 2 stories. Architect taking bids due April 9th.

**Nurses' Home**, Gettysburg, Pa. Architect, Robert Stair, Jr., Guardian Trust Building, York, Pa. Owners, Anna M. Warner Hospital, S. C. Bingham, president, Biglerville, Pa. Brick, 2 stories, 60x40 feet. Owners taking bids due April 17th.

**Residence and Garage**, Swarthmore, Pa. Architect, John A. Tompkins, 139 East Fifty-third street, New York City. Owner, Henry F. James, care of architect. Stone and brick, 2 stories, 29x39 feet, 13x23 feet, slate roof, steam heat, electric light, hardwood and composition floors. Architect taking bids due April 14th.

**Boiler House**, Altoona, Pa. Architect, William Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad Co., Broad Street Station, Philadelphia. Brick and steel, 1 story, 90x80 feet, cement and tile roof, cement floors, rolled steel sash, ornamental iron work. Architect taking bids due April 8th.

**Residence**, Oakmont, Pa. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owner, Mrs. W. J. Clothier, care of architect. Frame, 2½ stories, 38x30 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work. Architect taking bids due April 17th.

**Residence (alts.)**, Elkins Park, Pa. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, Howard A. Loeb, 431 Chestnut street, Philadelphia. Tile work, tin roof, oak and pine floors, plastering, painting and glazing, carpentry and mill work. Architects taking bids due April 3rd.

**Gymnasium**, Freeland, Pa. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owners, Mining & Me-

chanics' Institute, care of architect. Brick, 4 stories. Architect taking bids due April 10th.

**Easton High School**, Easton, Pa. Architects, Messrs. Michler & Snyder, Drake Building, Easton, Pa. Owners, School District, City of Easton, R. E. Piefer, secretary, Easton, Pa. Reinforced concrete, brick, steel, 3 stories and basement, 250x200 feet, composition roof, maple floors (heating, electric and plumbing reserved), metal lath, tile and marble work, rolled steel sash, safety treads, roof ventilators, iron work, ornamental. Low bidders: T. M. Gibbs Const. Co., 215 South Broad street, Philadelphia, \$587,850; H. E. Stoudt, Bethlehem, Pa., \$588,600. Heating and ventilating, E. P. Saeger & Co., 1401 Turner street, Allentown, \$73,888. Plumbing, E. P. Saeger & Co., 1401 Turner street, Allentown, \$36,888. Electric, Earl Slack, care of Board of Education, Easton, \$21,402.

**Consolidated School**, Chadd's Ford, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, School Board of Birmingham Township, Pa. Low bidders: Griel-McLeister, 1615 Spruce street, Philadelphia, bid 1, \$95,936; bid 2, \$87,936. W. J. Ellitt, Coatesville, Pa., bid 1, \$96,597; bid 2, \$79,597. Heating, American Heating & Ventilating Co., 200 North Fifteenth street, Philadelphia, bid 1, \$7,861; bid 2, \$7,550. Electric, Charles McCaul Co., 1713 Sansom street, Philadelphia, bid 1, \$1,344; bid 2, \$1,229. Plumbing, J. Scott, care of owner, bid 1, \$3,800; bid 2, \$3,800.

**Southern Junior High School**, Reading, Pa. Architect, F. Z. Scholl, Reading, Pa. Owners, School District of Reading, Pa., Adam Leader, superintendent, Reading, Pa. Brick, reinforced concrete, steel, cut stone, 3 stories and basement, 217x172 feet (plumbing, heating, electric reserved), tile roof, hollow tile, asphalt mastic, cement and maple floors, safety treads, waterproofing, terra cotta, ornamental iron work, iron stairs, bond, hollow metal doors, rolled steel skylights and sash, tile and marble work, metal lath. Low bidders: Michael Melody & Son, 1322 Race street, Philadelphia, \$718,500; Wark Co., 1600 Walnut street, Philadelphia, \$786,890. Electric, Charles McCaul Co., 1713 Sansom street, Philadelphia, \$32,975. Plumbing, Wassner & Reddig, Reading, Pa., \$41,458. Heating and ventilating, J. H. Conney, Harrison, N. J., \$96,745.

**Building (alts. and add.)**, Ashland, Pa. Architect, Benjamin Rush Stevens, 1827 Arch street, Philadelphia. Owners, Ashland National Bank, Ashland, Pa. Lowest bid submitted by Barnes Const. Co., 1828 Arch street, Philadelphia.

**Reinforced Concrete Grand Stand**, Norristown, Pa. Architect, J. B. Long, Boyer Arcade Building, Norristown, Pa. Owners, Board of Education, School District, Norristown, Pa. Low bidders: Anthracite Bridge Co., 300 Genot street, Scranton, Pa., \$51,200; Whittier & Gear, Harrisburg, Pa., \$51,917.

**Road Work**, Pennsylvania. Owners, Department of Highways, Capitol Building, Harrisburg, Pa. Owners taking bids due April 7th at 10 A. M.

Allegheny County, R-181, A-1058, Forward Township, 9,731 feet. One course reinforced concrete. Certified check, \$1,500.

Armstrong County, R-203, A-2016, Manor Township, 21,120 feet. One course reinforced concrete. Certified check, \$3,500.

Bradford County, R-343, A-2335, Rome Township, 13,160 feet. One course reinforced concrete. Certified check, \$2,500.

Cambria County, R-62, East Carroll and Cambria Townships, 19,303 feet. One course reinforced concrete. Certified check, \$3,000.

Cameron County, R-105, Gibson and Lumber Townships, 36,103 feet. Grading and drainage. Certified check, \$4,000.

Centre County, R-307, A-2712, State Col-

lege Township, 3,384 feet. One course reinforced concrete. Certified check, \$1,000.

Chester County, A-650, London-Britain Township, 11,524 feet. One course reinforced concrete. Certified check, \$2,000.

Chester County, A-1557, East Bradford Township, 3,042 feet. One course reinforced concrete. Certified check, \$1,000.

Clearfield County, R-234, A-2043, Bigler and Woodward Townships, 9,609 feet. One course reinforced concrete. Certified check, \$1,500.

Greene County, R-325, Washington and Franklin Townships, 25,542 feet. One course reinforced concrete. Certified check, \$4,000.

Greene County, R-268, Jefferson Township, 17,079 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$2,500.

Indiana County, R-223, Blairsville Borough, 2,328 feet. One course reinforced concrete. Certified check, \$1,000.

Indiana County, R-223, Burrell and West Wheatfield Townships, 31,237 feet. One course reinforced concrete. Certified check, \$4,000.

Luzerne County, R-184, A-1219, Conyngham Borough, 6,598 feet. One course reinforced concrete. Certified check, \$1,500.

Somerset County, R-50, A-2639, Lower Turkeyfoot Township and Confluence Borough, 10,756 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Warren County, R-95, Mead Township, Clarendon Borough, 33,000 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Wyoming County, R-232, Tunkhannock Township and Tunkhannock Borough, 23,331 feet. One course reinforced concrete. Certified check, \$4,000.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa. Owners taking bids due April 8th at 10 A. M.

Beaver County, R-76, Centre and Hopewell Townships, 32,391 feet. One course reinforced concrete. Certified check, \$4,000.

Bedford County, R-47, Bedford Township, 23,322 feet. One course reinforced concrete. Certified check, \$4,000.

Berks County, A-2801, A-2802, Maxatawny and Long Swamp Townships, Tipton Borough, 14,424 feet. One course reinforced concrete. Certified check, \$2,500.

Blair County, R-47, Greenfield Township, 10,772 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Cambria County, R-62, Susquehanna Township, 19,202 feet. One course reinforced concrete. Certified check, \$3,000.

Chester County, A-1430, West Nottingham Township, 15,048 feet. One course reinforced concrete. Certified check, \$3,000.

Columbia County, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. Certified check, \$2,000.

Erie County, R-271, Le Boeuf-Union Township, Union City Borough, 13,885 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Erie County, R-88, A-1145, 2679, Wattsburg Borough, Venango Township, 15,672 feet. One course reinforced concrete. Certified check, \$2,000.

Indiana County, R-314, 223, East Wheatfield Township and Armagh Borough, 27,751 feet. One course reinforced concrete. Certified check, \$4,000.

Lawrence County, A-1623, North Beaver Township, 12,375 feet. One course reinforced concrete. Certified check, \$2,000.

Lycoming County, R-355, A-1036, Muncy Township, 5,885 feet. One course reinforced concrete. Certified check, \$1,000.

Monroe County, A-2734, Hamilton and Ross Townships, 14,731 feet. Either bituminous



surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,500.

Monroe County, R-168, Coolbaugh Township, 33,147 feet. One course reinforced concrete. Certified check, \$4,000.

Somerset County, R-50, Spur A, A-2731-32-33, North Centerville Borough, Milford Township and Rockwood Borough, 14,062 feet. Either one course reinforced concrete and hillside vitrified brick or bituminous surface course on concrete foundation and hillside vitrified brick. Certified check, \$3,000.

Venango County, R-208, Polk Borough, 9,302 feet. One course reinforced concrete. Certified check, 1,500.

Washington County, R-268, East Bethlehem Township, 4,178 feet. One course reinforced concrete. Certified check, \$1,000.

Warren County, R-95, Mead and Sheffield Townships, 18,803 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,500.

**Residence and Garage**, Narberth, Pa. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owner, Otto Lang, 1702 North Twenty-eighth street, Philadelphia. Frame, 2½ stories, 19x34 feet, shingle roof, oak and pine floors, painting and glazing, bond, tile work, electric light, hot water heat. Architect taking bids due as soon as possible.

**Senior High School**, Allison Hill District, Harrisburg, Pa. Owners, Harrisburg School Board, D. D. Hammelbaugh, secretary, 121 Chestnut street, Harrisburg, Pa. Competitive plans will be received for Senior High School building, capacity 1,500 pupils. Information may be obtained from the secretary.

**Bridges (14)**, Berks County, Pa. Owners, State Highway Division, Berks County, Wayne M. High, superintendent, Reading, Berks County, Pa. Bridges (3) Route 141, between Strausstown and Lebanon County line; (4) Route 285, between Hamburg and Kempton; (2) Route 97, between Stony Creek and Boyertown; (2) near Geigerstown; (1) near Trap Rock; (1) Route 310, near Rehrersburg; (1) at road junction near Joanna Iron Works. Plans completed.

**School**, Forty Fort, Pa., \$300,000. Architect, Ralph M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, Forty Fort School Board, P. Crosby, secretary, Kingston, Pa. Brick, steel, 2 stories, 200x125 feet, slag roof, hardwood floors, metal lath, cut stone, iron stairs (heating, electric work and plumbing reserved). Owners taking bids due April 14th at 8 P. M.

**Residences**, Sellersville, Pa., \$15,000. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, M. B. Brandt, Sellersville, Pa. Brick, hollow tile and stucco, 2½ stories, tile or shingle roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Residence**, Elkins Park, Pa. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, Mr. Bernard Stern, care of architect. Stone, 2½ stories, 38x48 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Owner taking bids due as soon as possible.

## Pennsylvania

### Contracts Awarded

**Grade and Junior High School**, Coatesville, Pa., \$64,879. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Board of Education, Coatesville, Pa. Brick, cut stone, limestone, steel, 3 stories and basement, 69x69 feet, slag roof, pine, cement and composition floors, hollow tile, shoring, damp-proofing, ornamental iron work, iron stairs, bond, kalamein doors, rolled steel sash, tile

work, metal lath, slate work, lockers. Contract awarded to W. J. Elliott, Coatesville, Pa. Plumbing awarded to James Stott & Son, Coatesville, Pa. Electric work and heating postponed.

**Cold Storage Building**, North George street, York, Pa. Architect, Edward Leber, Hay Building, York, Pa. Owner, P. Tassia, 156 North George street, York, Pa. Fireproof, steel and brick, 3 stories, 36x125 feet, slag roof, concrete floors, freight elevators, roof ventilators, steam heat, electric light, rolled steel sash and skylights, steel doors, cork insulation, refrigeration, floor hardener. Contract awarded to J. Wickersham, Breneman Building, Lancaster.

**Office Building**, Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owners, Fraim-Slaymaker Hardware Co., West End avenue, Lancaster, Pa. Brick, 2 stories, 40x80 feet, Barrett roof, pine floors, steam heat, electric light, cinder block, skylights, waterproofing. Contract awarded to J. Wickersham, Breneman Building, Lancaster.

**Store and Apartments (alts. and add.)**, Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owners, Hiemenz Brothers, Lancaster, Pa. Brick, 2 stories, 20x30 feet, slate roof, hardwood floors, hot water heat, electric light. Contract awarded to William Bentz, 536 East Chestnut street, Lancaster.

**Freight House and Office Building**, Marcus Hook, Pa. Architect, Samuel Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Brick and steel, 1 story, 30x73 feet, office building, 23x30 feet, built-up roof, cement and pine floors, hot water heat, electric light, rolled steel sash, bond, ornamental iron work. Contract awarded C. C. Pace, Cynwyd, Pa.

**Dye House and Storage**, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Noe-Equul Hosiery Co., Twelfth and Bern streets, Reading, Pa. Brick, concrete, steel, 1 story, 50x100 feet, built-up roof, composition floors, electric light, rolled steel sash and skylights, fire doors. Contract awarded to Fink Const. Co., 658 Penn street, Reading, Pa.

**Church and Parsonage**, Lebanon, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Holy Trinity Lutheran Church, Lebanon, Pa. Stone, steel, 1 story and basement, 145x72 feet, 2 stories, 42x59 feet, composition and slate roof, hardwood floors, hollow tile, metal lath, steam heat, electric light, tile work, ornamental iron work. Contract awarded to Rapp Const. Co., Lebanon, Pa.

**Lodge Building**, Shamokin, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Red Men's Home Association, Lodge 528, Shamokin, Pa. Brick, structural steel, 3 stories and basement, 28½x95 feet, 2 inches, slag roof, concrete, pine and maple floors, plumbing, concrete work, dumb waiters, flag pole, metal bulks, ornamental iron work, prest metal joist, metal lath, marble work, hot water heat, electric light. Contract awarded East End Lumber Co., Shamokin, Pa.

**Club House (alts.)**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, P. O. S. of A., Mr. Schaffer, Allentown, Pa. Structural steel, brick, electric work, linoleum, mill work, plumbing. Contract awarded to Ochs Const. Co., 440 Wire street, Allentown.

**Residence**, Villa Nova, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, R. R. Titus, Jeffersonville, Pa. Stone, cut stone, 2½ stories, 101x36 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath, tile. Contract awarded F. R. Heavner, Norristown, Pa.

**Residence**, Wynnewood, Pa. Architect, Richard A. Kerns, Jr., 10 South Eighteenth street, Philadelphia. Owner, Roland C. Evans, Jr., Bailey Building, Philadelphia. Contract awarded Donald M. Love, 2401 Chestnut street, Philadelphia.

**Barn (alts. and add.)**, Ardmore, Pa. Architect, Horace Wells Sellers, Stephen Girard Building, Philadelphia. Owner, Charles Ludington, Ardmore, Pa. Stone. Contract awarded H. H. Burrell, 206 South Quince street, Philadelphia.

**Road Work**, Pennsylvania.

Delaware County, R-133, Newtown and Edgemont Townships, \$137,795.77. Contract awarded to Ambler-Davis Co., Harrison Building, Philadelphia.

Chester County, R-142, Caln Township, \$160,607.70. Contract awarded to Ambler-Davis Co., Harrison Building, Philadelphia.

Butler County, R-79, Butler, Connoquenessing and Franklin Townships. Contract awarded to Fort Pitt Const. Co., Pittsburgh, Pa.

Butler County, R-73, Butler and Centre Townships, \$91,540.30. Contract awarded to Charles Winters Const. Co., Renfrew, Pa.

Armstrong County, South Buffalo Township, \$96,705.70. Contract awarded to Charles Winters Const. Co., Renfrew, Pa.

Erie County, R-271, Waterford and Le Boeuf Townships, \$286,093.10. Contract awarded to Henry W. Horst Co., Rock Island, Ill.

Cambria County, Route 222, Richland and Stoney Creek Townships, Pa., \$85,987.15. Contract awarded to Crissey Const. Co., Johnstown, Pa.

Delaware County, Route 130, Springfield and Nether Providence Townships, \$24,938.69. Contract awarded to Vincenzo di Francesco, Llanerch, Pa.

**Replacement of North Stand of Bridge**, 69-55 South of Cumou Junction. Architect, Samuel T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Contract awarded, steel work, McClintock-Marshall Co., Morris Building, Philadelphia; concrete work, H. Denburger, Bethlehem, Pa.

## New Jersey Construction News

**Sunday School**, Mt. Holly, N. J. Architect, George Savage, Witherspoon Building, Philadelphia. Owners, Mt. Holly Presbyterian Church, Rev. Robert Brothmarkle, 213 Broad street, Mt. Holly, N. J. Stone, 1 story, 60x60 feet. Plans in progress.

**Studio and Apartment (alts. and add.)**, 216 East Hanover street, Trenton. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Jerome H. Fritz, 148 East State street, Trenton, N. J. Brick, steel, 3 stories, 22x70 feet, slag roof, hardwood floors, metal lath, vapor heat, electric light, tile and marble work, rolled steel sash and skylights, ornamental iron work. Architect ready for bids due April 5th.

**Residence**, Belmont Circle, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owner, Senator H. B. Leavitt, State and Warren streets, Trenton. Brick, 2½ stories, 40x30 feet, slate roof, hardwood floors, steam heat, electric light, tile and marble work. Architect taking sub-bids.

**Store (add.)**, Broad street, Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owner, Mrs. Mary M. Fleron, 113 North Broad street, Trenton, N. J. Brick, 1 story, 50x19 feet, slag roof, yellow pine floors, metal lath, electric light. Plans in progress.



**Factory (add.),** Albany, N. Y. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, care of architect. Brick, steel, 1 and 2 stories, 60x108 feet, 80x300 feet, rolled steel sash, fire doors, fireproofing. Plans in progress.

**School,** South River, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Mary's Roman Catholic Church, Rev. J. Budrick, South River, N. J. Brick, stone, 3 stories, 64x154 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators (heating, plumbing and electric reserved), metal lath, floor tile, rolled steel skylights, concrete stairs, ornamental iron work. Plans in progress.

**Store Building,** Trenton, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, Andre Dundalla, care of architect. Brick, 2½ stories, 18x54 feet, slate roof, pine floors, steam heat, electric light, tile work, plate glass, cut stone, metal ceilings. Plans in progress.

**School (alts.),** Smithville, N. J. Architect, H. A. Hill, Broad Street Bank Building, Trenton, N. J. Owners, Eastampton Township, Burlington County, care of J. H. Hinchman, secretary, Smithville, N. J. Partitions, general alterations. Plans in progress.

**Comfort Station,** Trenton, N. J. Architect, H. A. Hill, Broad Street Bank Building, Trenton, N. J. Owners, City of Trenton, George Page, City Hall, Trenton, N. J. Brick, limestone, 1 story, 33x17 feet, Spanish tile roof, tile floors, electric light, plumbing. Owners ready for bids.

**Hotel (add.),** Atlantic City, N. J. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Hotel Dennis, Atlantic City, N. J. Brick, cut stone, limestone and steel, 9 stories, 5 stories, 53x143 feet, 57x185 feet, slag, tile and slate roof, cement, oak and maple floors, elevators, metal weather strip, shoring, bond, waterproofing, hollow metal doors, rolled steel skylights, tile and marble work, metal lath, electric light, steam heat, imitation travertine. Architect taking new bids due April 15th.

**High School,** Delanco, N. J. Architect, Herbert O. Ziegler, 17 Washington street, Riverside, N. J. Owners, Board of Education, Delanco, County of Burlington, N. J. Brick, cut stone, 1 story, 239x104 feet, wing 76x67 feet, slag roof, maple, cement floors, safety treads, ornamental iron work, iron stairs, rolled steel skylights, rolled steel sash, marble work, metal lath. Owner taking bids.

**Bungalow,** Margate City, N. J. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Hollow tile and stucco, 1½ stories, tile roof, hardwood floors, electric light, tile and marble work. Plans in progress.

**High School,** North Plainfield, N. J. Architects, J. T. Simpson and B. Rolston, Newark, N. J. Owners, Board of Education of North Plainfield, N. J. Brick, limestone, steel, reinforced concrete, 2 stories, 178x1x36 feet, slag roof, maple and cement floors, hollow tile, painting and glazing, waterproofing and dampproofing, bond, fire doors, metal lath. Low bidder: T. M. Gibbs Const. Co., 215 South Broad street, Philadelphia, \$248,800.

## Delaware Construction News

**Road Work,** Delaware. Owners, State Highway Department, Dover, Delaware. Low bidders:

Contract No. CN 16, Bear Christiana, 2.18 miles. D. E. O'Connell & Sons, Ridley Park, Pa., \$84,750, \$82,280.

Contract No. CN 17, New Castle, Basin Road, 1.90 miles. D. E. O'Connell & Sons, Ridley Park, Pa., \$71,850, \$69,705.

Contract No. CK 21, Clayton-Smyrna, 0.836 miles. E. Riley Mixner Co., Goshen, N. J., \$37,610.75, \$36,991; Sherman Rhodes, Smyrna, Del., \$37,568.75; \$37,066.25.

## Delaware Contracts Awarded

**Store and Apartment (alts. and add.),** Northeast Corner Seventh and Market streets, Wilmington, Del. Architect, J. D. Thompson, Ford Building, Wilmington, Del. Owner, Max Keil, 2103 Boulevard, Wilmington, Del. Brick, stucco, 4 stories, vapor heat, pine floors, plate glass, rolled steel sash, cement work. Contract awarded to F. G. Kapf, 421 Orange street, Wilmington, Del.

## Miscellaneous Construction News

**College Building Group for Women,** site not yet selected. Architect, not yet selected. Owners, United Lutheran Church of America, Rev. J. Henry Harms, chairman of Board of Trustees, 2111 Sansom street, Philadelphia. Work contemplated.

**Manufacturing Building,** Norfolk, Va. Architect, Albert Kahn, Detroit, Mich. Owners, Ford Motor Co., Detroit, Mich. Brick, cut stone, 1 story, 300x800 feet, built-up asphalt roof, rubber tile, wood block cement floors, metal lath, tile work, marble and terrazzo work, rolled steel skylights, bond, iron stairs, ornamental iron work, waterproofing and dampproofing. Plans completed. Owner ready for bids.

**Church and Sunday School and Parsonage,** Cumberland, Md. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. Luke's Evangelical Lutheran Church, Rev. H. Hall, Sharke, Cumberland, Md. Granite, steel, 1½ stories, 146x70 feet, and 2 stories, 40x50 feet, slate roof, maple floors, metal lath, roof ventilators, tile and marble work. Owners taking bids due April 15th at 6 P. M.

**Grade School,** Le Roy, New York. Architects, Tooke & Marsh, 101 Park avenue, New York. Owners, Board of Education of Le Roy, New York. Brick, reinforced concrete, steel, 2 stories and basement, 167x59 feet, wing 63x43 feet (plumbing, heating and electric separate), built up roof, linoleum, cement and maple floors, hollow tile, safety treads, roof ventilators, metal ceilings, waterproofing and dampproofing, terra cotta, ornamental iron and stairs, bond, hollow metal doors, tile and marble work, metal lath, painting and glazing. Owners taking bids due April 18th.

## Miscellaneous Contracts Awarded

**Sunday School and Chapel,** Winchester, Va. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Grace Lutheran Church, Rev. A. A. Kelly, Winchester, Va. Brick, 1 story and basement, 50x98 feet, slag roof, hardwood floors. Contract awarded to Titzel Const. Co., 520 Market street, Harrisburg.

**Swimming Pool and Recreation Building,** "The Lodge," Farmington, Conn. Architect, Horace Wells Sellers, Stephen Girard Building, Philadelphia. Owner, C. H. Ludington, Ardmore, Pa. Contract awarded Corteus Walker Co., Hartford, Conn.

(Continued from page 211)

States and exceeding by 50% the total exports of this country. Activity in Construction bears a close relation to general business conditions."

S. W. Straus in a recent White House conference, said, "There is potential need for eight billion dollars worth of new buildings in the United States today. The nation's volume of buildings for 1924 will reach five billions, and all of this is just so much new capital created to contribute its share of Federal, State and City taxes."

Secretary of Labor Davis recently stated as follows: "More than eleven millions of our people are dependent for their living upon the construction industry and 22% of all the skilled and unskilled labor of the country is engaged in the building branch alone. Some 250,000 freight cars are required to handle the materials. Our building bill is \$200 per year for each family in the United States." Mr. Davis concluded, "it is truly the chief barometer of the business of the country. When Construction gains, prosperity is with us. It is the great outstanding influence for good or bad in our financial progress."

Another author has recently referred to Construction as the "big tool of mankind," and says "it has always been the best means of expressing the impulses underlying civilization."

Evidently Construction contributes heavily to the tremendous buying power of our people and the savings banks of the country reflect to a remarkable degree the activity of this field. Construction is truly the key industry which unlocks the rest.

The cold facts are impressive. About 30% of the nation's wealth is produced by Construction and it absorbs 60% of our national savings. Some 3,000 other industries are dependent upon it. Over 90% of the iron, copper, lead and zinc we produce is consumed in Construction. It is simple truth to say that Construction precedes and underlies all human development. "Everywhere the spirit of the Builder hovers over the earth." Everywhere he is ceaselessly shaping the amazing structure through which human life functions and finds opportunity and happiness—building the highway over which it is traveling to its ultimate destiny.

Now two fundamental questions next present themselves. First: Has the evolution of this tremendous activity which touches so vitally every human life, developed an adequate specialized ability, either executive or technical? Second, is that ability essential to its orderly progress?

(Continued next week)



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.  
The Van Sciver Corporation,  
The Parkway at 24th St., Phila.  
West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.  
West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

Massiah, Frederick..Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick..Juniper and Cypress Sts., Phila.

## CORK FLOORING.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.  
Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.  
Builders' Specialty Co., Inc..1844 N. Front St., Phila.  
Concrete Waterproof Paint Co..829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## HAULING CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.  
Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.  
Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.

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Weber, F., Co. ....125 S. 12th St., Phila.  
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Gillingham Co. ...Norris and Richmond Sts., Phila.  
Ketcham, Howard.....3rd and Girard Ave., Phila.  
Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

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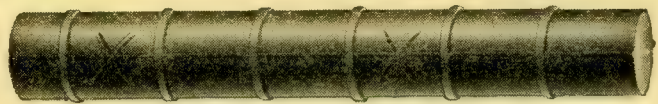
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Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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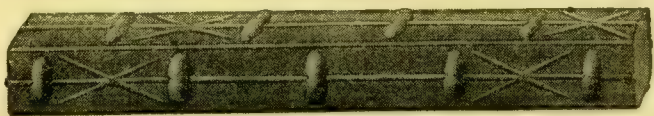
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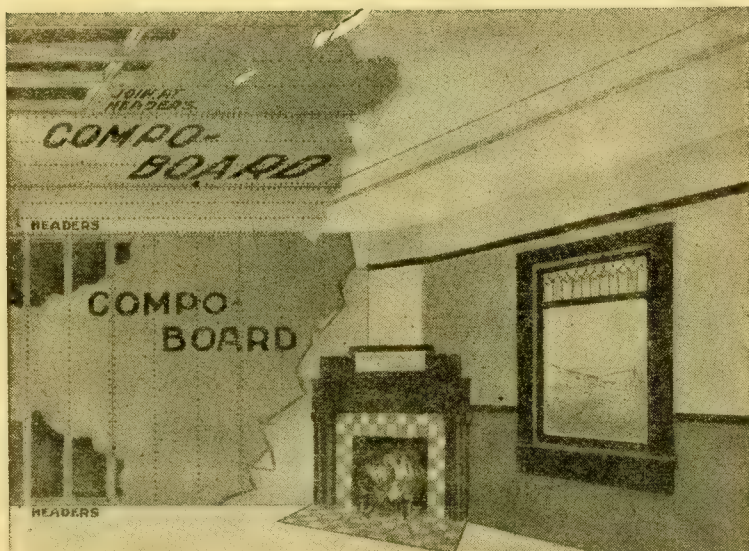
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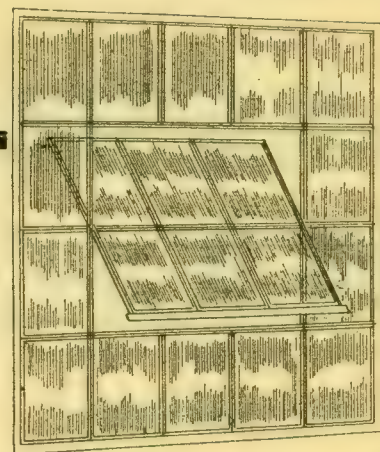
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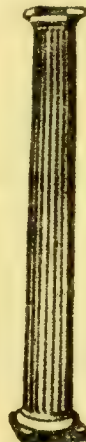
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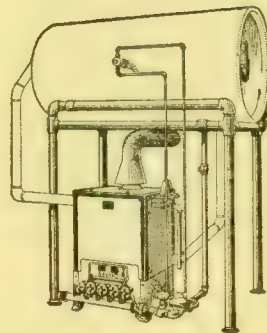
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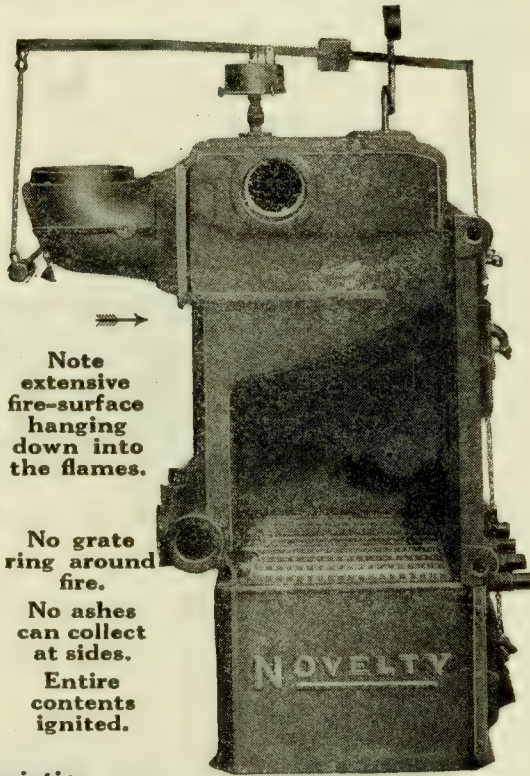
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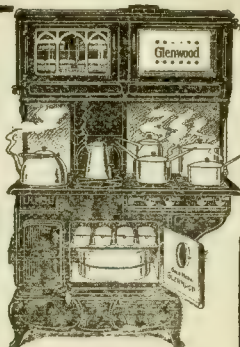


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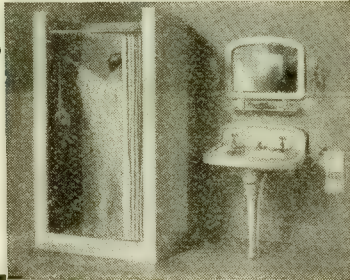


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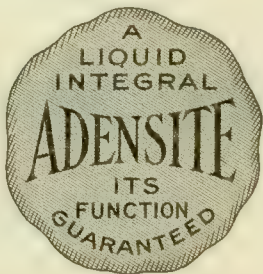
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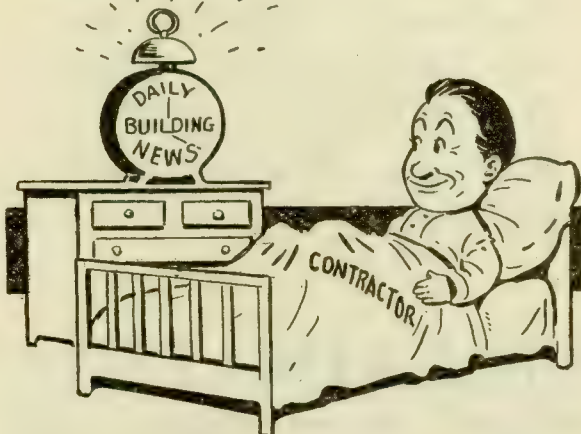
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Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 15

PHILADELPHIA  
April 9, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## As The Editor Sees It



### ECONOMIC ASPECTS OF DAY LABOR CONSTRUCTION

*Address delivered by Arthur S. Bent,  
Partner, Bent Brothers, Los Angeles,  
Cal., at Fifth annual meeting of the  
Associated General Contractors of  
America, January 21, 1924, Chicago.*

(Continued from Last Week)

If I could show you at this very moment in one amazing panorama, merely the physical problems which are being solved right now by the master constructors of the world, what an impressive answer it would be to our first question. What stupendous difficulties are being met, what marvelous works are being wrought. Great subways burrowed beneath the rivers and railways and buildings of New York. Factories whose deep foundations are crowding back the Mississippi river with its tidal sweep of over 30 feet. Concrete chimneys 300 feet high, 20 feet in diameter, built entirely upon the roof of a power house. Huge dams thrown across mountain gorges in the high Sierras while torrential streams flow uninterrupted. Railways hung like spider threads along sheer cliffs and spanning mighty rivers. Docks and seawalls that make good the challenge "thus far and no farther." Subaqueous conduits that lie on the ocean's bed, and towers that pierce the sky. Aqueducts traversing deserts and ranges and

lakes. Highways through swamps and under mountains. Buildings that tower in safety and beauty 50 stories above the city's streets. All of this and much more our flash light would show, and upon the throttle of this mighty engine of modern civilization rests the competent hand of the general contractor.

Let us look him over a bit before we consider whether he is really needed. He is the product of evolution plus personal ability and character. Slowly step by step he has climbed a hard road. He has had many downfalls but he has learned much and paid with his own money for every lesson. Through much experience he has accumulated knowledge which can come in no other way, and he has acquired precedent to guide him through all new difficulties. He knows what tools will best work out his plans and how to use them. He has developed a keen judgment of men and their fitness, and through his acquired ability to guide and inspire them he has built up a specialized and dynamic organization. Along with his skill he has developed integrity and responsibility so that he absorbs within himself the consequences of such mistakes as he may make and even such misfortunes as befall his work, and he is constantly spurred to his maximum efficiency by the necessities of his own financial responsibility. He delivers the goods, the kind he promised at the price he

agreed. He has rightly been called "civilization's big tool."

Now who do the advocates of day labor work ask us to take in his stead for handling the 5,000 million dollars we will put into construction this year? Why, a politician, placed in office by a campaign in which his ability as a construction manager was not even remotely considered. He holds that office for a limited time until a new but similar official may take his place. He has no organization, no plant, no experience and frequently so little executive ability that the business world has passed him by, and public office is the best job he can get.

This official so poorly equipped that he would never undertake the work with his own capital, if he had any, says to the city or to the state, "let me have this ten million bond issue and I'll build the highway or the sea wall or the aqueduct or the city hall, and save you all the contractor's profit! True I have no financial responsibility but I want to try it anyway. I have had no experience. I never undertook an important project of any kind and I admit that probably no contractor would want me as his manager for the job. But there's no reason why I can't hire the same men that he hires and get as good foremen and superintendents as his, and buy the material just as cheap. That's all there is to it. Then too the inspection expense will be nominal because nobody will

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cheat, and the engineering will cost much less because we don't have to get our plans ready in advance, we can start and then work them out as we go along. It is true I only *think* I can do all this, and if I miss my guess you will have to foot the bill. I can't give you any guarantee. Of course I don't propose to put up a bond. I couldn't get one if I wanted to, but—let's go!"

Now does anyone really question the proper choice between these methods from the standpoint of economics, which we are discussing? Can any of us doubt the pernicious effect upon the morale of our people of this phase of socialism. And is anyone really ignorant of the inevitable answer which history has already given?

It is a commonplace to say that we all recognize the propriety and necessity of a certain amount of day labor work. Many emergencies can best be met by this method. Most maintenance work should be so carried on. And there are rare cases where the conditions indicate it for major operations. But in spite of such notable instances of successful construction as the Miami Conservancy District and the Los Angeles Aqueduct, the prosecution of public work by day labor has been a long story of waste of public money and the development of inefficiency. This is such common knowledge that I shall take your time with only a few examples, and moreover shall confine myself to my own observations.

The State of California had a most significant experience in building highways by day labor, which is fairly illustrated by an excerpt from the report of the United States Bureau of Public Roads published in 1920. This shows from a study of twenty California highways, ten of which were done by contract and ten by the State's forces, that the contracted jobs exceeded that engineer's estimates by 39% while the day labor jobs exceeded the engineer's estimates by 193%.

In the joint report of the two great California Automobile Clubs may be found the statement that of 300 highway jobs done by day labor, and amounting to seven millions of dollars, the State's accounts showed unit costs on only five jobs. On two of these five the State first called for bids and rejected them on recommendation of the State Engineer who then undertook the work himself. The record shows the following figures:

Excavating—Engineer's Estimate, .55; Contractor's Bid, 1.10; Actual Cost to State, 1.17 per cu. ft.

Concrete—Engineer's Estimate, 4.50; Contractor's Bid, 7.50; Actual Cost to State, 10.38 per cu. yd.

In totals this means on the first job a bid of \$117,000 and an actual cost of \$160,000 or a loss to the State of over 37%, and on the second job a bid of \$43,-

000 and a cost of \$81,000, or a loss to the State of almost 90%.

With such facts within their knowledge what shall we think were the reasons that led State officials to continue this method to the extent of \$7,000,000 worth of highways; and were their reasons typical? It is gratifying to add that the present California administration went into office under a pledge to stop this reckless waste and to carry on its public construction under public competition and firm contracts protected by surety bonds.

The Gila Dam in Arizona was estimated to cost \$800,000. It was built by day labor, without change of plan at a cost of nearly \$2,000,000.

A County Engineer of Northern California made the statement to me that during his administration practically all of the highways built by day labor ran 20% above the bids received for the same work and moreover that inspection was poor and labor inefficient. Also that in the few cases where cost keeping was attempted at all, nothing was allowed for equipment or its depreciation.

I could fill my allotted time with illustrations, big and little, of the waste of public funds on day labor construction, but every man here could do the same thing. The taxpayer everywhere comments on this waste and has his sarcastic joke about it. The story is written too plainly to be misunderstood. But let me add a word or two from experts who are disinterested.

California State Highway Engineer Morton says: "We have no conviction that day labor work generally offers a means of saving money. We know that it increases the overhead expense and by scattering the energies of the administrative officials detracts from the quality and quantity of supervision given to contracts."

Wm. Mulholland, widely known as the great engineer who built the Los Angeles Aqueduct by day labor, recently wrote, "In the case of ordinary large works where plans can be definitely prepared, it *would be folly* to discard the customary method of employing the contractor. It is my firm belief that the proper method from a business standpoint is to accept the firm offer of the responsible and experienced contractor, thus definitely determining the public's liability and putting the responsibility where it belongs, upon a concern which makes construction its specialized business."

Capt. Herbert Nunn, former State Highway Engineer of Oregon, after handling seventy millions of highway construction in six years, recently said, "I have found it impossible to do day labor work at a saving to the taxpayer."

I make it a rule never to write a grouchy letter—I telephone.

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residences (27)**, Sixty-seventh avenue, Bouvier, Smedley and Seventeenth streets, \$195,000. Architect, private plans. Owners, W. Fisher & Sons, 209 Oak Lane Trust Building, Philadelphia. Brick, 2 stories, 19x36 feet, 17x48 feet, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (6)**, 626-36 North Fifty-second street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. General alterations (heating reserved). Architect taking bids due April 10th.

**Store and Apartment (alts. and add.)**, 1229 Spruce street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Brick, 3 stories, 19x90 feet, hardwood floors, plumbing, plate glass, flush bulks, tile and marble work, electric light. Plans in progress.

**Recreation Pavilion and Auditorium**, Forty-eighth and Westminster streets, Philadelphia. Architect, Peter F. Getz, 1634 North Sixteenth street, Philadelphia. Owners, St. John's Orphanage, on premises. Brick, cut stone, concrete and stone, 1 story and basement, slate roof, maple floors, metal ceilings, shoring, dampproofing, ornamental iron work, bond, rolling steel sash, tile and marble work, metal lath, steam heat, electric light, plumbing, painting and glazing. Architect taking bids due April 10th.

**Store and Apartments**, Fifty-fourth street, North of Columbia avenue. **Residences**, Columbia avenue, East of Fifty-fourth street, and Ruby street, Philadelphia. Architect, private plans. Owner, Louis Green, Fifteenth and Chestnut streets, Philadelphia. Brick, 2 stories, hot water heat, electric light, metal lath, tile and marble work, slate and slag roof, hardwood floors, cement work, plate glass, metal bulks. Garages in the basements. Owner will build.

**Stores, Apartment and Residences**, Germantown and Meehan street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Brick, 3 stories. Plans in progress.

**Moving Picture Theatre, Stores (8) and Apartment**, Fifty-sixth and Lansdowne. Architect, Solman Kaplan, 10 South Eighteenth street, Philadelphia. Owner, name withheld. Sketches being drawn.

**Garage**, West of Memphis, South of Cambria street, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, name withheld. Face brick, steel, concrete, 1 story, 140x120 feet, gypsum and slag roof, cement floors, steam heat, electric light, rolled steel sash, hollow metal skylights. Plans in progress. Ready for bids in 2 weeks.

**Stores (2)**, Southwest Corner Tulpehocken and Belfield avenue, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, name withheld. Brick, 1 story, 30x30 feet, slag roof, pine floors,

plate glass, electric light, flush bulks. Plans in progress.

**Garage**, Sixty-ninth and Market streets, Philadelphia. Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, name withheld. Brick, 1 story, 200xirregular, slag roof, cement floors, steam heat, electric light, rolled steel sash, hollow metal skylight, rolling steel doors, plumbing. Plans in progress.

**Richmond Station**, Delaware River, foot of Wheatsheaf Lane, below Pennsylvania R. R. Bridge. Architect, J. T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, steel, concrete. Capacity (12) 50,000 K. W. Turbo Generators. Plans in progress.

**Building (alts.)**, Sixth and Marshall, North of Dauphin street, Philadelphia. Architect, William Lowenthal, 1208 Chestnut street, Philadelphia. Owners, Joseph Gutman and Joseph Stern, Philadelphia. Brick, converting into manufacturing building, 2 stories, 26x184 feet, garage, 2 stories, 38x58 feet, 1 story, 52x126 feet, slag roof, concrete and pine floors, electric elevators, roof ventilators, wire glass, metal bulks, hollow metal skylights, plumbing, electric light, steam heat. Plans in progress.

**Garage**, Sixty-second and Spruce streets, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Brick, 1 story, 60x100 feet, slag roof, concrete and cement floors, steam heat, electric light, rolling steel sash, hollow metal skylight. Plans in progress.

**Two-Family Apartments (2), Residences (7)**, Sixty-seventh avenue, between Seventeenth and Bouvier streets, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owner, George Ungerer, Seventeenth and Sixty-eighth avenue, Philadelphia. Brick, 2 stories, 22x50 feet, 18x40 feet, slag, tin and tile roof, hardwood floors, cement work, metal lath, tile work, hot water heat, electric light, garages in basement. Owner ready for sub-bids.

**Store and Dwelling**, Forty-sixth and Wyalusing streets, Philadelphia. Architect, William Lowenthal, 1208 Chestnut street, Philadelphia. Owner, David L. Sloan, 2061 North

Sixty-second street, Philadelphia. Brick, 3 stories and basement, 20x30 feet, 9x12 feet, slag roof, wood floors, hot water heat, tile work, electric light. Owner taking sub-bids.

**Residence (alts. and add.)**, 4856 Parkside avenue, Philadelphia. Architect, Solomon Kaplan, 10 South Eighteenth street, Philadelphia. Owner, A. E. Jawer, 604 North Broad street, Philadelphia. Hollow tile, stucco, 2 stories and basement, 27x19 feet, bond, cement work, hollow tile, cut stone, structural steel and iron work, plastering, slate roof, tile work, carpentry and mill work, composition floors, steel sash, painting and glazing, oak floors, heating alts., electric, plumbing. Architect taking sub-bids.

**Sunday School**, Northeast Corner Forty-fifth and Walnut streets, Philadelphia. Architects, Schermerhorn & Phillips, 213 South Fifth street, Philadelphia. Owners, St. Andrew's Methodist Episcopal Church, Rev. A. C. James, on premises. Brick and stucco, 2 stories, 100x38 feet, 40x0 feet, slag and tile roof, pine floors (heating, plumbing, electric reserved). Ready for bids in a few days.

**Alterations**, 1402 Spruce street, Philadelphia. Architect, Gabriel Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Brick work, iron work, plastering, carpentry and mill work, sheet metal work, painting and glazing, tile work, electric wiring, heating and plumbing alterations. Architect taking sub-bids.

**Basement of Church (alts.)**, Fifteenth and Locust streets, Philadelphia. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owners, Calvary Presbyterian Church, on premises. Brick, stone, cut stone, cement work, iron work, roof repairs, composition floors, carpentry and cabinet work, hardware, plastering, painting, shoring, plumbing. Architects taking bids due April 15th.

**Office Building (alts. and add.)**, Southeast Corner Eighth and Chestnut streets, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, name withheld. Brick, steel, 4 stories, 22x98 feet, slag roof, metal lath, hot waer heat, electric light, marble work, demolition, hollow metal skylights, bond, metal bulks, terra cotta,

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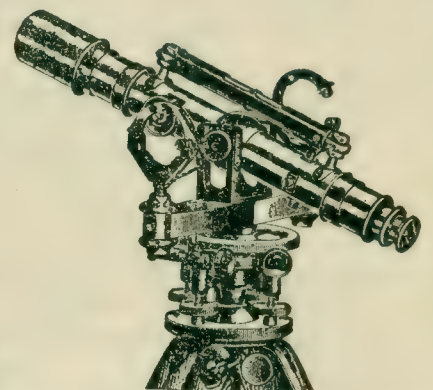
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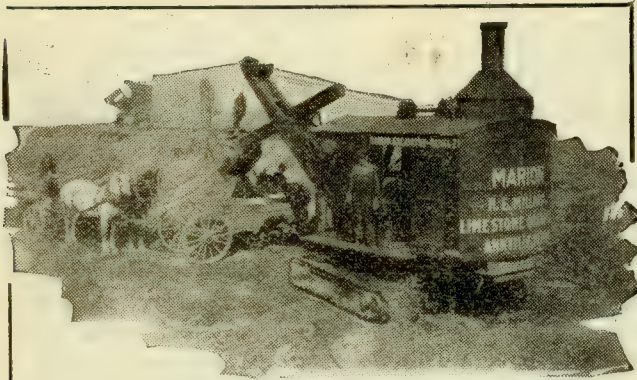
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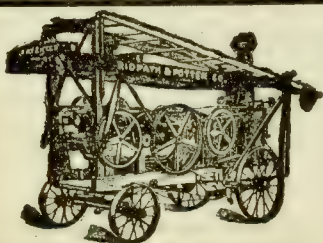
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**Wayne School (add.)**, Twenty-eighth and Morris streets, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, steel, granite, 3 stories and basement, 26x26 feet (plumbing, heating, electric reserved), composition roof, maple and cement floors, hollow tile, metal ceiling, dampproofing, ornamental iron work, bond, metal lath. Low bidders: George F. Dobbins, 1020 South Forty-seventh street, Philadelphia, \$41,990; Mitchell Bros., 2125 Race street, Philadelphia, \$42,222. Heating, McClintock Brothers, 5608 Race street, Philadelphia, \$704. Electric, Walker & Kepler, 531 Chestnut street, Philadelphia, \$2,023.

**Clymer School**, Thirteenth and Cambridge streets, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Carpentry and mill work, painting and glazing, plastering, cement work. Low bidder, Mitchell Brothers, 2125 Race street, Philadelphia, \$790; William Langhorne Co., 304 South Fiftieth street, Philadelphia, \$960.

**Low Bidders on Painting Bids** on following schools: Hama School, Spec. 47, J. Murphy, 1835 Ludlow street, Philadelphia, \$2,433. Belmont, Spec. 50, J. Murphy, 1835 Ludlow street, Philadelphia, \$3,471. Clymer, Spec. 54, H. Ehinger, Sixth and Duncannon streets, \$4,860. Wright, Spec. 55, H. Ehinger, Sixth and Duncannon streets, \$3,530. Poe, Spec. 44, E. Kooperman, Twenty-ninth and Poplar streets, \$3,760. Durham, Spec. 45, J. Murphy, 1835 Ludlow street, \$3,500. Various schools, Spec. 65, J. Murphy, 1835 Ludlow street, \$11,700. Various schools, Spec. 66, E. Kooperman, Twenty-ninth and Poplar streets, \$18,730. Whittier, Spec. 67, H. Kooperman, Twenty-ninth and Poplar streets, \$5,440.

**Residences (79)**, Orthodox street, Naples street and Overington street, \$396,000. Architect, private plans. Owner, August Mignatti, 3510 North Second street, Philadelphia. Brick, 2 stories, (1) 40x31 feet, (78) 18x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (20)**, Knorr street, West of Rising Sun avenue, \$114,000. Architect, private plans. Owners, Lawndale Development Co., 6738 Rising Sun avenue, Philadelphia. Brick and frame, 2 stories, 16x34 feet, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (17)**, Gerry street, North of Sixty-sixth avenue, \$85,800. Architect, private plans. Owner, Walter V. Ashby, 916 Spencer street, Philadelphia. Brick, 2 stories, (13) 15x22 feet, 12x10 feet, (4) 15x32 feet, hot water heat, electric light. Owner will build.

**Residences (12)**, Sixtieth and Springfield avenue, \$80,000. Architect, private plans. Owners, Davidson & Rader, Fifty-fifth and

Baltimore avenue, Philadelphia. Brick, 2 stories, (5) 15x30 feet, 11x20 feet, (6) 16x30 feet, 11x20 feet and (1) 18x50 feet, hot water heat, electric light. Owners will build.

**Residences (24)**, Morris Park Road and Sixty-fourth street, \$194,000. Architect, private plans. Owners, McWilliams & Maloney, 539 South Fifty-second street, Philadelphia. Brick, 2 stories, various dimensions, central heat, electric light. Owners will build.

**Residence**, South side Grant avenue, West of Frankford avenue, \$20,000. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, Mrs. Elizabeth Pendlebury, 4615 Penn street, Philadelphia. Stone and frame, 3 stories, 42x26 feet, 2 stories, 11x19 feet, hardwood and pine floors, steam heat, electric light. Architect will build.

**Garage**, 6326-28 Elmwood avenue, Philadelphia, \$26,000. Architect, private plans. Owner, Frederick Sbroglia, 6001 Elmwood avenue, Philadelphia. Brick, 1 story, 48x200 feet, slag roof, cement floors. Owner will build.

**Residences (2) and Store**, O street and Hunting Park avenue, \$13,000. Architect, private plans. Owner, Harry F. Dinkelacker, 1612 McKean street, Philadelphia. Brick, 2 stories, 17x32 feet, 11x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Apartment**, North side Godfrey avenue, East of Tenth street, \$25,000. Architect, private plans. Owner, Alfred Larzelere, Tenth street and Godfrey avenue, Philadelphia. Brick, 2 stories, 40x70 feet, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residence (alts.)**, East side Frankford avenue, South of Grant avenue, \$7,000. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, Charles C. Davis, Frankford avenue and Grant avenue, Philadelphia. General alterations. Architect will build.

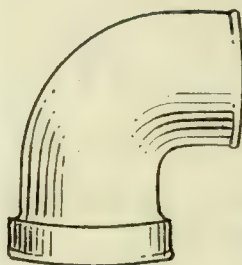
**Residences (5)**, 4440-48 North Reese street, \$4,000 each. Architect, private plans. Owner, Frederick V. Schubert, 4438 North Reese street, Philadelphia. Brick, 2 stories, 15x27 feet, 12x9 feet, slag roof, hot water heat, electric light. Owner will build.

**Office and Show Room (add.)**, 1522 Callowhill street, \$6,000. Owner, Gilbert S. Smith, 1715 Chestnut street, Philadelphia. Brick, 2 stories add., 15x25 feet. Owner will build.

**Residences (2)**, 7317-19 Montour street, Philadelphia, \$5,000 each. Owners, Shoemaker Brothers, 5726 Mascher street, Philadelphia. Brick, 2 stories, 15x39 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2)**, West side Lawndale avenue, North of Benner street, total \$8,200. Architect, private plans. Owner, Charles Claus, Sixth and Lindley avenue, Philadelphia. Brick, 2 stories, 15x42 feet, slag roof, hot wa-

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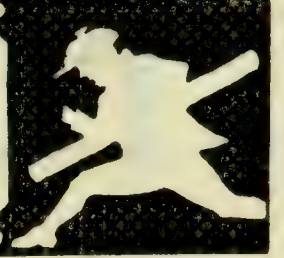
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ter heat, electric light. Owner will build.

**Residences (2)**, South side Levick street, East of Bingham street, total \$8,200. Architect, private plans. Owner, Morris J. Levin, 409 Olney avenue, Philadelphia. Brick, 2 stories, 15x38 feet, slag roof, hot water heat, electric light. Owner will build.

**Factory (add.)**, Southwest Corner Fifty-sixth and Lancaster avenue, Philadelphia, \$5,000. Architect, private plans. Owners, Overbrook Carpet Co., on premises. Brick, 1 story add., 47x100 feet, slag roof. Owners will build.

**Residence (alts.)**, 2128 Delancy street, Philadelphia, \$5,000. Architects, Boyd, Abel & Gugert, Otis Building, Philadelphia. Owner, Miss Frances McCullin, on premises. General alterations. Architects will build.

**Residences and Garages (14)**, (1) West side Gratz street, North of Sixty-eighth avenue, and (13) West side Gratz street, South of Sixty-seventh avenue, \$63,500. Architect, private plans. Owner, Max Chipin, 6741 North Gratz street, Philadelphia. Brick, 2 stories, (1) 16x50 feet, (13) 16x32 feet, 13x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (62)**, Uber street, Sixty-sixth avenue to Sixty-seventh avenue, \$4,800 each. Architect, private plans. Owners, Johnson & Marks, 508 Bailey Building, Philadelphia. Brick, 2 stories, 16x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Garage**, Northeast Corner Gaul and Westmoreland streets, Philadelphia, \$6,000. Architect, private plans. Owners, Hess & Co., 3152 Belgrade street, Philadelphia. Brick, 1 story, 75x29 feet. Owners will build.

**Residence**, 523 South Third street, Philadelphia, \$6,000. Architect, private plans. Owner, Morris Fishman, 523 South Third street, Philadelphia. Brick, 2 stories, 16x19 feet, 12x36 feet, hot water heat, electric light. Owner will build.

**Residences (2)**, Southeast Corner Sixty-ninth and Elmwood avenue, \$10,000 each. Architect, private plans. Owners, McWilliams & Maloney, 539 South Fifty-second street, Philadelphia. Brick, 2 stories, 20x50 feet, 12x19 feet, hot water heat, electric light. Owners will build.

**Residences (2)**, South side Stanwood street, East of F street, \$5,000 each. Architect, private plans. Owner, L. H. Walter, 533 Stanwood street, Philadelphia. Frame, stucco, 3 stories, 14x45 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, North side Tyson street, West of Bingham street, \$5,000 each. Architect, private plans. Owner, George Krewson, 330 Franklin street, Cheltenham, Pa. Frame and stucco, 2 stories, 24x40 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence and Store (alts.)**, 1422 South Fifty-second street, Philadelphia, \$3,600. Ar-

chitect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, Harry Wilkinson, on premises. General alterations. Architect will build.

**Residences (8)**, Durham street, East of Anderson street, \$106,000. Architect, private plans. Owner, A. S. Tourison, 7014 Boyer street, Philadelphia. Stone, 3 stories, 24x40 feet, 24x46 feet and 29x40 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residence**, Southwest Corner Brighton and Frontenac streets, \$11,000. Architect, private plans. Owner, Otis E. White, 5241 North Fairhill street, Philadelphia. Frame, 2 stories, 35x28 feet, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Garage**, 3835 Terrace street, Philadelphia, \$3,000. Architect, private plans. Owner, G. A. Weber, on premises. Brick, 1 story, 35x92 feet, slag roof. Owner will build.

**Residences and Stores (5)**, 3517-25 Kensington avenue, \$36,000. Architect, private plans. Owner, A. Koch, 4284 Parkside avenue, Philadelphia. Brick, 2 stories, 16x55 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

#### Statement of the Ownership, Management, Circulation, etc.

Statement of the ownership, management, circulation, etc., of The Builders' Guide, published weekly at Philadelphia, Pa., required by the Act of August 24, 1912, or April 1, 1924.

Editor, H. L. Sharpe.

Managing Editor, none.

Business Manager, Louis S. DeLone.

Publishers, Building News Publishing Co., Perry Building, Philadelphia.

Owners, Louis S. DeLone, Perry Building, Philadelphia; Samuel R. McDowell, Narberth, Pa.

Known bondholders, mortgages and other security holders holding one per cent. or more of total amount of bonds, mortgages or other securities, none.

(Signed)

Building News Publishing Co.,

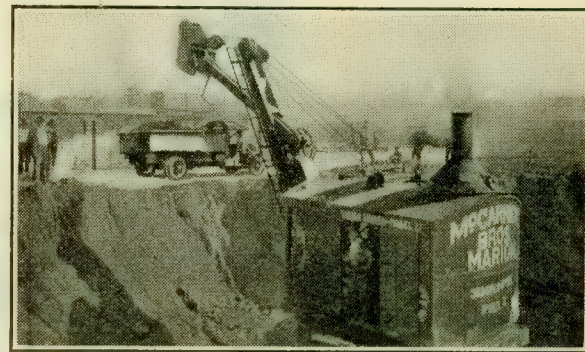
Louis S. DeLone, Business Manager.

Sworn and subscribed before me this 19th day of March, 1924.

Edward J. Toole, Notary Public.

(My commission expires January 21, 1925.)

Heacock and Hokanson, Architects, announce the removal of their offices to 1211 Chestnut Street, Philadelphia, Pa.



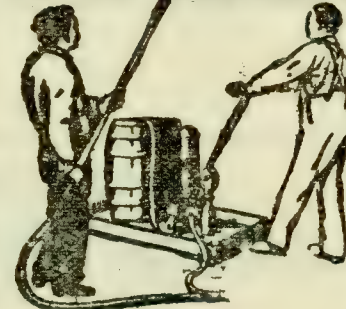
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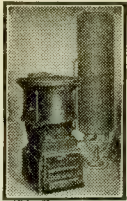
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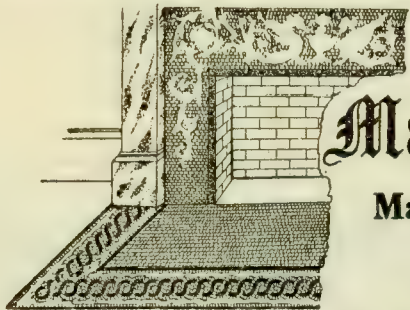
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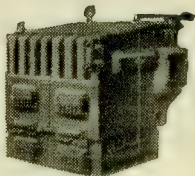
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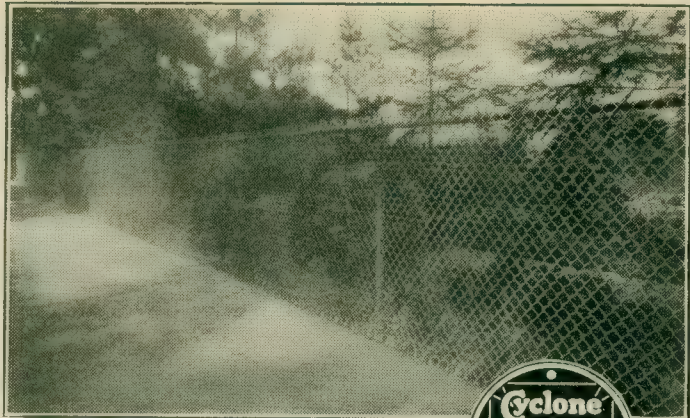
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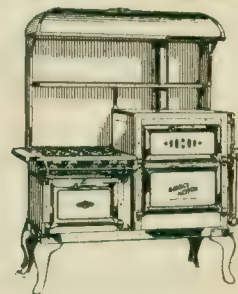
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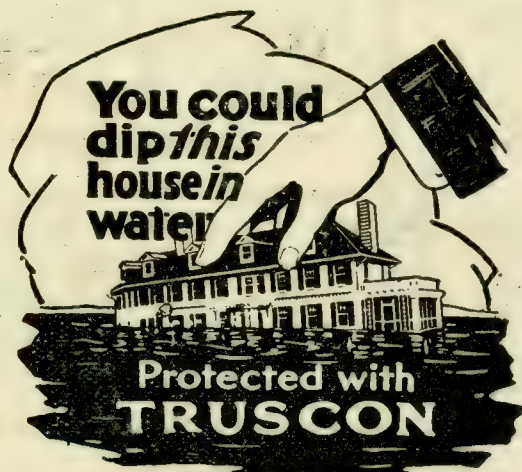
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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Garage**, Twenty-fourth and Brown streets, Philadelphia, \$65,000. Architect, P. M. Sax, Penfield Building, Philadelphia. Owner, Edwin Wolf, 1517 North Sixteenth street, Philadelphia. Brick, cut stone, reinforced concrete, 1 story, 146x129 feet, steam heat, electric light, metal lath, rolling steel sash, kalamein doors, floor hardener, ornamental iron work, shoring, plumbing, painting and glazing, cement floor, slag roof. Contract awarded F. V. Warren Co., 1913 Arch street, Philadelphia.

**Residence**, Chestnut Hill, Pa. Architect, R. R. McGoodwin, 1422 Walnut street, Philadelphia. Owner, Mrs. J. Norton Downs, Chestnut Hill, Pa. Stone, cut stone, brick, 2½ stories, 76x38 feet, (2) wings, 40x20 feet, hot water heat, electric light, tile work, shingle roof, oak and pine floors, bond, ornamental iron work. Contract awarded J. Sims Wilson Co., 1125 Brown street, Philadelphia.

**Sub-Foundations**, Delaware River, foot of Wheatsheaf Lane, below Pennsylvania Railroad Bridge. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Contract awarded Stone & Webster, Real Estate Trust Building, Philadelphia.

**Residence and Garage**, Wakeling and Large

streets, Philadelphia. Architect, Joseph Lowery, Land Title Building, Philadelphia. Owner, John N. Connor, Frankford, Philadelphia. Stone, 2½ stories, 43x28 feet, 18x15 feet, garage, 24x21 feet, slate roof, oak and pine, cement floors, hot water heat (electric reserved), tile, iron work. Contract awarded E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Fire Cleaners' and Hostlers' Building**, Tulip Street Yards, Philadelphia. Architect, S. T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Brick and steel, 1 story, 32x14 feet, asbestos roof, asphalt floors, painting and glazing, bond, ornamental iron work. Contract awarded Curtis Grindrod, 10 South Eighteenth street, Philadelphia.

**Building (alts. and add.)**, 2007 Chestnut street, Philadelphia. Architect, private plans. Owner, Miss Della Flynn, on premises. Brick, 3 stories (rear), 20x70 feet, general alterations. Contract awarded Charles H. Evans Const. Co., 2315 Walnut street, Philadelphia.

**Residences (2)**, Southwest Corner Fifty-eighth and Woodbine avenue, Philadelphia. Architect, A. C. Borzner, 717 Walnut street, Philadelphia. Owner, John Crawford, Land Title Building, Philadelphia. Stone, 2½ sto-

ries, 32x54 feet, steam heat, electric light, tile and marble work, slate roof, hardwood floors. Contract awarded W. S. Gore, Sixty-second and Media streets, Philadelphia.

**Store and Apartment (alts.)**, 3404 Walnut street, Philadelphia. Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, name withheld. Brick, 3 stories, 21x90 feet, hot water heat, electric light, hardwood floors, tile work, metal ceilings, plumbing, general interior alts. Contract awarded Felix Claro, 5439 Webster street, Philadelphia.

**Warehouse (alts.)**, Southeast Corner Thirty-third and Arch streets, \$3,000. Owners, American Railway Express Co., on premises. Brick, 1 story, 7x7½ feet. Contract awarded to Smith-Hardican Co., 1809 Callowhill street.

**Residence and Store (alts. and add.)**, 1813 South Ninth street, \$3,000. Architect, private plans. Owner, S. Monte Calvert, on premises. Brick, 2 stories add., 18x17 feet, general alterations. Contract awarded to Samuel Ciarlanti, 521 Wharton street, Philadelphia.

**Garage**, 308 High street, Philadelphia, \$2,600. Architect, private plans. Owner, George W. Barbin, on premises. Brick, 1 story, 18x42 feet, slag roof, cement floors. Contract awarded to John Roman, 414 East Brighthurst street, Philadelphia.

**Garage**, Northeast Corner Forty-eighth and Cedar avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Mary A. Noel, 3200 Locust street, Philadelphia. Brick, 1 story, 39x19 feet, cement floors. Contract awarded D. A. Pacific, 260 North Simpson street, Philadelphia.

**Apartment House**, Southwest Corner Twenty-first and Walnut streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, 2100 Walnut Street Realty Corporation, North American Building, Philadelphia. Brick, cut

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**Warehouse**, Northeast Corner Germantown avenue and Roy street, \$10,000. Architects, J. W. Thompson and Yocum, 703 South Sixtieth street, Philadelphia. Owner, Robert G. Foster, 1348 West Somerset street, Philadelphia. Brick, 2 stories, 40x32x36 feet, slag roof, cement floors, electric work, rolled steel sash. Contract awarded to Geo. Kessler Cont. Co., 1733 North Marvine street.

**Residence**, West side Byberry Road, South of Academy Road, \$8,000. Architect, private plans. Owner, Frank R. Bradfield, Byberry and Academy Roads, Philadelphia. Frame, 2 stories, 32x45 feet, shingle roof, hardwood and pine floors, hot water heat; electric light. Contract awarded to John E. Miller, Neshaminy, Pa.

**Residence**, 530 Livezey street, Philadelphia, \$6,500. Architect, private plans. Owner, Howard Cantrell, 4415 Manayunk avenue, Philadelphia. Frame, 2 stories, 32x26 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to James S. Batty, 6239 Ridge avenue, Philadelphia.

**Residence (add.)**, North side School House Lane, West of Wissahickon, \$5,000. Architect, private plans. Owner, Tolbert N. Richardson, on premises. Porch addition, 1 story, 31x12 feet, shingle roof. Contract awarded to Stokes Brothers, 6723 Musgrave street, Philadelphia.

**Residence**, 7215 McCallum street, Philadelphia, \$20,000. Architects, Hamilton & Hosser, Greene and Cheltenham avenue, Philadelphia. Owner, H. Paul Barnes, 350 East Upsal street, Philadelphia. Stone, 3 stories, 24x39 feet, 2 stories, 10x16 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to H. A. Hamilton, Greene and Cheltenham avenue, Philadelphia.

**Manufacturing Building**, Southeast Corner Amber and Venango streets, \$15,000. Architect, private plans. Owners, Gill Glass Co., Amber and Venango streets, Philadelphia. Reinforced concrete and brick, 2 stories, 40x100 feet, slag roof, cement floors, electric work, steel sash. Contract awarded to William R. Dougherty, 1610 Sansom street, Philadelphia.

**Boiler House (alts.)**, North side Lehigh avenue, East of A street, \$12,000. Architect, pri-

vate plans. Owners, John Bromley & Sons, on premises. Boiler foundations and coal bunker. Contract awarded to Wilson Ruff Co., Franklin Trust Building, Philadelphia.

**Residences (2)**, West side Claridge street, South of Bleigh, \$4,800 each. Architect, private plans. Owner, Charles Ott, 7324 Claridge street, Philadelphia. Brick, 2 stories, 15x60 feet, slag roof, hot water heat, electric work. Contract awarded to Charles Freeman, 7323 Claridge street, Philadelphia.

**Manufacturing Building**, 1019-23 Appletree street, \$4,500. Architect, private plans. Owner, William Goldstein, Liberty Building, Philadelphia. Brick, 2 stories, 45x24 feet. Contract awarded to S. Yellin & Son, 3125 Montgomery avenue.

**Store and Residence (alts. and add.)**, 126 South Fifty-third street, \$4,500. Architect, private plans. Owner, Harry C. Hesse, on premises. Brick, 2 stories add., 16x8 feet, general alterations. Contract awarded to J. Sklar, 5931 Spruce street, Philadelphia.

**Mill (add.)**, 1111 Westmoreland street, Philadelphia, \$4,000. Architect, private plans. Owners, Westmoreland Mfg. Co., on premises. Brick, second story add., 76 feet, 6 inches x 25 feet. Contract awarded to J. G. T. Miller, 2325 West Allegheny avenue, Philadelphia.

**Residence**, East side Opal street, South of Church Lane, Philadelphia, \$3,750. Architect, private plans. Owner, George R. Kulp, Opal and Church Lane, Philadelphia. Brick, 2 stories, 16x31 feet, hot air heat, electric lighting. Contract awarded to Frank Carr, Limekiln Pike and Ogontz avenue.

**Building (alts. and add.)**, Northwest Corner Clearfield and Frankford avenue. Architect, private plans. Owner, John Gugger, 3100

Frankford avenue, Philadelphia. Brick, 2 stories add., general alterations. Contract awarded to George Poletis, 2623 Kensington avenue, Philadelphia.

**Residence**, East side Mitchell street, North of Cinnaminson, \$7,500. Architect, private plans. Owner, Walter Dearden, 533 East Connarroe street, Philadelphia. Brick, 2 stories, 20x38 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Walter Dearden, 533 East Connarroe street, Philadelphia.

**Residence**, South side Tyson street, West of Cottage street, \$6,000. Architect, private plans. Owner, George T. Scheider, 3212 Tyson street, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light. Contract awarded to C. Day, Holmesburg, Philadelphia.

**Business Building (alts.)**, Northeast Corner Ninth and Arch streets, \$6,000. Owner, Mr. Sulkowitz, 2541 North Thirty-second street, Philadelphia. General alterations. Contract awarded to J. Sosnofsky, 1910 North Napa street, Philadelphia.

**Residences (2)**, North side Tyson street, East of Rising Sun avenue, \$5,000 each. Architect, private plans. Owner, John H. Betz, 3726 Frankford avenue, Philadelphia. Frame, 2 stories, 24x42 feet, hardwood and pine floors, hot water heat, electric light. Contract awarded to Betz Brothers, 3726 Frankford avenue, Philadelphia.

**Garage**, East side Horrocks street, North of Arrott street, \$3,000. Owner, C. M. Horrocks, 1203 Arrott street, Philadelphia. Brick, 1 story, 21x32 feet, cement floors. Contract awarded to F. Crompton & Bro., 4614 Oakland street, Philadelphia.

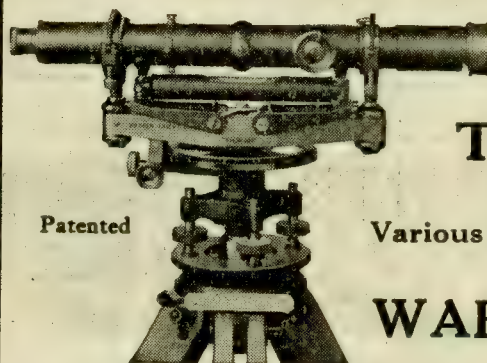
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streets, \$232,000. Architect, private plans. Owner, Harry Roman, 449 Ritner street, Philadelphia. Brick, 2 stories, (52) 14x20 feet, 10x12 feet and (4) 15x37 feet, slag roof, hot water heat, electric light. Contract awarded to H. Hoffman, 2438 South Fourth street, Philadelphia.

**Residence and Garage**, West side Oak Road, North of Midvale avenue, \$25,000. Architect, Mantle Fielding, 28 West Walnut Lane, Philadelphia. Owner, Henry D. Booth, 22 West School Lane, Philadelphia. Stone, 3 stories, 40x25 feet, 16x20 feet, garage, 1 story, 20x20 feet, shingle roof, hardwood and pine floors, hot air heat, electric light, tile work. Contract awarded to William O. Wrigg & Son, 22 Harvey street, Philadelphia.

**Garages (2)**, West side Fifty-ninth street, North of Angora avenue, \$11,000 total. Architect, private plans. Owner, Thomas F. Slattery, Stephen Girard Building, Philadelphia. Brick, 1 story, 37x17 feet, 28x61 feet, 37x17 feet, cement floors. Contract awarded to S. Glover, 3700 Mantua avenue, Philadelphia.

**Building (repairs)**, 1020 Race street, Philadelphia, \$30,000. Owners, Auckers Brothers, 1020 Race street, Philadelphia. General fire

repairs. Contract awarded to F. L. Hoover & Sons, 1023 Cherry street, Philadelphia.

**Store and Residence (alts.)**, 7296-98 Woodland avenue, \$8,000. Architect, private plans. Owner, J. P. Fox, 7037 Paschall avenue, Philadelphia. General alterations. Contract awarded to M. J. Welsh, 7000 Woodland avenue, Philadelphia.

**Store and Residence (alts. and add.)**, 2301 East Somerset street, \$3,500. Architect, private plans. Owner, Jacob Levenson, on premises. Brick, 1 story add., 12x15 feet, general alterations. Contract awarded to Nathan Epstein, 2221 North Franklin street, Philadelphia.

**Residence**, North side Disston street, East of Loretta street, \$4,500. Owner, L. Charbonner, 2727 North Fifth street, Philadelphia. Frame, 2 stories, 30x24 feet, steam heat, electric light. Contract awarded to John S. Peters, 213 Market street, Bristol, Pa.

**Store and Residence (alts.)**, Southeast Corner Fortieth and Locust streets, \$3,000. Owner, Harry Zullinger, on premises. General alterations. Owner will build.

**Office (alts.)**, 2000 Spring Garden street, Philadelphia, \$3,500. Architect, private plans. Owners, Charter Mutual Benefit Association, on premises. General alterations. Contract awarded to Frank L. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Residence**, South side Bartram avenue, East of Seventy-eighth street, \$3,700. Architect, private plans. Owner, A. Zlatkus, Bartram avenue, East of Seventy-eighth, Philadelphia. Brick, 2 stories, 16x640 feet, slag roof, hot air heat, electric work. Contract awarded to J. Priziso, 6130 Wilder street, Philadelphia.

**Store (alts.)**, 523 Market street, Philadelphia, \$3,500. Owners, Shields Brothers, on premises. General alterations. Contract awarded to M. Yellin, 712 North Franklin street, Philadelphia.

**Building (repairs)**, 1416 North Thirty-first street, Philadelphia, \$3,000. Architect, private plans. Owners, Bergner-Engel Brewing Co., Thirty-second and Master streets, Philadelphia. General alterations. Contract awarded to E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Residence and Store (alts. and add.)**, 761 North Twenty-ninth street, \$2,600. Architect, private plans. Owner, Israel Fiddlestein, 734 North Fortieth street, Philadelphia. Brick, 1 story add., 16x9 feet, general alterations. Contract awarded to M. Weinstein, 811 North Thirty-ninth street, Philadelphia.

**Residence (add.)**, 423 Dickinson street, Philadelphia, \$2,525. Architect, private plans. Owner, F. Giamborcaro, on premises. Brick, 2 stories add., 12x25 feet. Contract awarded to C. Disanto, 949 South Sixth street, Philadelphia.

**Residence (add.)**, 835 Ellsworth street, Philadelphia, \$2,500. Architect, private plans. Owner, A. Porcellena, on premises. Brick, hird story add., 15x30 feet. Contract awarded to A. Ciprano, 2326 South Sixteenth street, Philadelphia.

**Residence and Store (alts. and add.)**, Southwest Corner Fifty-first and Chester avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Thomas F. Quigley, Sixty-first and Kingsessing avenue, Philadelphia. Brick, 1 story add., 15x8 feet, general alterations. Contract awarded to William J. Bryan, 235 Spruce street, Philadelphia.

**Store (alts.)**, 534 South street, Philadelphia, \$2,200. Architect, private plans. Owner, Elias Beletsky, Southwest Corner Passyunk avenue and Ellsworth street. General alterations. Contract awarded to Louis Manfredi, 2228 Mifflin street, Philadelphia.

**Garage**, 3400 Baring street (rear), Philadelphia, \$3,000. Owner, Miss Ella R. Frost, 3400 Baring street, Philadelphia. Brick, 1 story, 40x23 feet, slag roof, cement floors. Contract awarded to T. S. Fetter, 1829 Filbert street, Philadelphia.

**Residences (20)**, South side Linmore street, Sixty-fifth to Sixty-sixth streets, \$91,000. Architect, private plans. Owner, Anna Levin, 710 Commonwealth Building, Philadelphia. Brick, 2 stories, 20x31 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Levin Brothers, 710 Commonwealth Building, Philadelphia.

**Manufacturing Building (add.)**, Southeast Corner Amber and Venango streets. Architect, private plans. Owners, Gill Glass Co., on premises. Reinforced concrete and brick, 2 stories, 89x120 feet, slag roof, cement floors, electric work. Contract awarded to William R. Dougherty, 1608 Sansom street, Philadelphia.

**Apartments (2)**, East side Fifty-ninth street, South of Locust, \$30,000 each. Architect, Eugene Gilbert, 5800 Walnut street, Philadelphia. Owner, William Conway, 5800 Walnut street, Philadelphia. Brick, 3 stories, slag roof, hardwood and pine floors, steam heat, electric light, tile work. Contract awarded to H. H. Conway, 5800 Walnut street, Philadelphia.

**Residence**, North side Gates street, East of Lawnton street, \$12,000. Architect, private plans. Owner, Russell C. Keely, 4539 Manayunk avenue, Manayunk, Pa. Frame, 2 stories, 58x28 feet, 21x21 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to C. M. Swartley & Son, 6835 Ridge avenue, Philadelphia.

**Warehouse**, 616-24 Washington avenue, Philadelphia, \$10,000. Architect, private plans. Owner, C. M. Buzby & Son, on premises. Brick, 3 stories, 26x69 feet, slag roof, electric work. Contract awarded to Charles H. S. Zebley, 340 Quince street, Philadelphia.

**Apartment (alts. and add.)**, 2440-42 Cedar avenue, \$5,000. Architects, Penwood Company, 131 North Fifteenth street, Philadelphia. Owner, Mabel P. Shivers, on premises. Brick, second story add., 14x10 feet, general alterations. Contract awarded to L. De Smith, 3072 Agate street, Philadelphia.

**Residence**, North side Tyson street, West of Loretta street, \$5,000. Architect, private plans. Owner, Albert C. Horn, 215 East Fisher avenue, Philadelphia. Frame, 2 stories, 25x36 feet, hardwood and pine floors, hot water heat, electric light. Contract awarded to Barthberger & Buckman, 1621 Brill street.

**Residence**, 222 East Summerville avenue, Philadelphia, \$4,500. Architect, private plans. Owner, Paul Wilson, 221 East Tabor street, Philadelphia. Brick, 2 stories, 16x48 feet, hot water heat, electric light. Contract awarded to U. S. Hunsberger, 429 Chew street, Philadelphia.

**Bins (3)**, Northeast Corner Second and Fisher's avenue, Philadelphia, total \$3,675. Owners, Franz Paving Co., on premises. Concrete, 16x40 feet. Contract awarded to Neff & Fry Co., Camden, Ohio.

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**Residence (alts.),** 2738 Girard avenue, Philadelphia, \$3,000. Owner, Louis Bruckler, on premises. General alterations. Contract awarded to Max Barkan, 2740 Eyre street, Philadelphia.

**Residence and Store (alts. and add.),** 3412 Fairmount avenue, \$3,000. Architect, private plans. Owner, Patrick McCloskey, on premises. Brick, 2 stories add., 12x14 feet, general alterations. Contract awarded to Weiss & Buchanan, 5135 Market street, Philadelphia.

**Garage (add.),** 2004 North Twenty-second street (rear), Philadelphia, \$2,800. Architect, private plans. Owner, Frank Graham, 2004 North Twenty-second street, Philadelphia. Brick, 1 story add., 27x45 feet, cement floors. Contract awarded to L. Leany, 5013 Parrish street, Philadelphia.

**Residence (add.),** Southwest Corner Ridge avenue and Wigard street, \$2,200. Architect, private plans. Owner, L. M. Struse, on premises. Brick, 2 stories, 14x16 feet, slate roof. Contract awarded to C. M. Swartley & Son, 6835 Ridge avenue, Philadelphia.

**Garage,** 3511 York Road, Philadelphia, \$2,000. Architect, private plans. Owner, John Lohr, Jr., on premises. Brick, 1 story, 40x18 feet, slag roof, cement floors. Contract awarded to D. K. Hillebidel, 3840 North Fifteenth street, Philadelphia.

**Business Building (add.),** 2000 Cayuga street, \$2,000. Architect, private plans. Owner, Joseph Zaccardi, on premises. Brick, 2 stories add., 14x17 feet, slag roof, electric lighting. Contract awarded to Joseph Daquile,

4334 Wayne avenue, Philadelphia.

**Store,** Southeast Corner Twenty-seventh and Lehigh avenue, Philadelphia, \$2,000. Architect, private plans. Owner, August Wernert, 2646 West Lehigh avenue, Philadelphia. Brick, 1 story, 12x16 feet, 3x5 feet. Contract awarded to William Cole, 2720 West Lehigh avenue, Philadelphia.

**Shop and Storage Building (add.),** 225½ Montrose street, \$6,100. Architect, private plans. Owner, I. Cooperstein, 224 Christian street, Philadelphia. Brick, 2 stories, 20x40 feet. Contract awarded to Harry Harad, 1621 Point Breeze avenue.

**Residences (2),** 7756-58 Cottage street, Philadelphia. Architect, private plans. Owner, Joseph J. Brimmer, 7754 Cottage street, Philadelphia. Frame, 2 stories, 16x38 feet, hot water heat, electric light. Contract awarded to Ideal House Co., 308 Linden street, Camden, N. J.

**Residence and Store (alts. and add.),** 6724 Torresdale avenue, \$3,500. Architect, private plans. Owner, August Isphording, on premises. Brick, 2 stories, 20x14 feet, general alterations. Contract awarded to George Rimer, 4842 Hawthorne street, Philadelphia.

**Apartments (2) (alts.), Residence and Garage (add.),** Reading, Pa. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owner, Adam J. Makowski, 156 Buttonwood street, Reading, Pa. Plumbing, electric light, metal lath, 2-story brick add., 19x50 feet, concrete footings, hot water heat. Contract awarded to E. T. Seifrit, 359 North Front street, Reading, Pa.

## PENNSYLVANIA

# Construction News

**Apartments and Stores (3),** Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, J. F. Schmidt, 416 Park avenue, Wilkes-Barre, Pa. Brick, steel, 2 stories and basement, 50x80 feet, slag roof, pine floors, vapor heat, electric light, tile and marble work, ornamental iron work. Owner taking bids.

**Church and Sunday School,** Bellefonte, Pa. Architect, J. C. Winter, 1001 Market street, Williamsport, Pa. Owners, Evangelical Cong., Rev. R. O. Steeley, Bellefonte, Pa. Frame and stucco, 1 story and basement, 45x47 feet. Plans completed.

**Residence,** Wayne, Pa. Architect, E. Nelson Edwards, 1012 Walnut street, Philadelphia. Owner, Richard Hawson, Wayne, Pa. Stone, 2½ stories, hot water heat, electric light, slate roof, oak and pine floors. Architect taking bids.

**Residence,** Elkins Park, Pa. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, Mr. Bernard Stern, care of architect. Stone, 2½ stories, 38x48 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Architect will build.

**Garage,** Plymouth, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owner, V. V. Vercoe, Plymouth, Pa. Hollow tile, 2 stories, 30x95 feet, built-up roof, concrete and pine floors, steam heat, electric light, rolled steel sash. Owner taking sub-bids.

**Apartment,** South Franklin street, Wilkes-Barre, Pa., \$40,000. Architects, Schroeder & Schmitt, Weitzenkorn Building, Wilkes-Barre, Pa. Owner, H. McCloskey, care of architects. Brick, 3 stories, 35x70 feet, tile roof, hardwood floors, vapor heat, electric light, tile and marble work, steel work. Architects ready for bids.

**Church (superstructure),** Kingston, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owners, Sts. Syrial and Methodius Church, Rev. Edward A. Bellas, Kingston, Pa. Brick, hollow tile and steel, 1 story, 50x114 feet, slate roof, hardwood floors, hollow tile (heating, plumbing reserved), metal lath, tile work, ornamental iron work. Architect and owners will be ready for bids April 21st.

**Apartment,** Market street, Kingston, Pa. Architects, Cook & Lacey, Miners' Bank Building, Wilkes-Barre, Pa. Owner, W. C. Corey, Kingston, Pa. Brick, frame, 1 story add., 41x40 feet, built-up roof, pine floors, heating extension, electric light. Architects ready for bids.

**Church,** Sayersville, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owners, St. Mary's Polish Church, Rev. Drapiewski, Sayersville, Pa. Brick, hollow tile and stucco, 1 story, 46x100 feet, slate roof, hardwood floors, hollow tile (heating, electric work and plumbing reserved), metal lath, tile work, ornamental iron work. Owners taking bids due April 26th.

**School,** Uniontown, Pa. Architect, Austin Reilly, Bennett Building, Wilkes-Barre, Pa. Owners, Coal Township School District, Mr.

Brennan, secretary, Uniontown, Pa. Brick, 2 stories, 74x158 feet, slag roof, hardwood floors (heating, electric work, plumbing and ventilating reserved), slag roof, roof ventilators, metal lath, tile and marble work, iron stairs. Owners taking bids due April 16th.

**Dormitory Building,** Clark's Summit, Pa. Architect, Edward Langley, Scranton Life Building, Scranton, Pa. Owners, Scranton Poor District, Willard Matthews, Connell Building, Scranton, Pa. Brick, stone, steel, 2 stories and basement, 57x110 feet, slag roof, tile floors, hollow tile, electric light, metal lath, tile and marble work, iron stairs, ornamental iron work. Plans in progress. Owners will be ready for bids next week.

**Residence (alts. and add.),** 118 Parker avenue, Easton, Pa. Architect, A. D. Chidsey, Jr., 341½ Northampton street, Easton, Pa. Owner, Benjamin Haytock, on premises. Brick, 2½ stories, 18x12 feet, slate roof, hardwood floors, hot air heat, electric light. Plans in progress.

**Nurses' Home,** West Side, Scranton, Pa. Architect, Fred A. Nelson, Connell Building, Scranton, Pa. Owners, West Side Hospital, care of architect. Frame and stucco, 3 stories, 36x102 feet, shingle roof, hardwood and tile floors, steam heat, electric light, tile work. Plans in progress.

**Bank,** Mayfield, Pa. Architect, A. Barrett, Bowman Building, Scranton, Pa. Owners, Mayfield State Bank, M. J. Mooney, Mayfield, Pa. Brick, stone, 2 stories, 30x45 feet, hardwood floors, electric light, tile and marble work, bronze work, bank fixtures. Plans in progress.

**School,** Newton Square, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owners, School Board of Newtown Square, T. Campbell, Newtown Square, Pa. Stone, 2 stories. Ready for bids.

**Sand Washing Plant,** Morrisville, Pa., \$500,000. Architect, William Steele & Sons Co., 219 North Broad street, Philadelphia. Owners, Charles Warner Co., Wilmington, Del. Concrete. Plans in progress.

**Church and Convent,** Easton, Pa. Architects, Folson, Stanton & Graham, 10 South Eighteenth street, Philadelphia. Owners, St. Jane Frances de Chantel, Rev. M. A. Bennett, 1855 Hay Terrace, Easton, Pa. Architect selected. Plans in progress.

**Residence,** Fourteenth street, Easton, Pa., \$30,000. Architect, A. D. Chidsey, Jr., 341½ Northampton street, Easton, Pa. Owner, Morris Williams, Easton, Pa. Brick, frame, 2½ stories, 30x50 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress. Architect ready for bids.

**School (consolidated),** near Fogelsville, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Upper Macungie Township School Board, Mr. Stauffer, secretary, Macungie, Pa. Brick, steel, concrete, 2 stories and basement, 62x88 feet, built-up roof, composition or maple floors (heating, electric work and plumbing reserved), metal lath, cast stone, hollow tile, safety treads, roof ventilators, rolled steel and wood sash, fire doors, bond, iron stairs, iron work, terra cotta trim. Plans in progress.

**Rectory,** Wissinoming, Pa. Architects, Hoff-

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man-Henon, Finance Building, Philadelphia. Owners, St. Bartholomew's Roman Catholic Church, Rev. Joseph J. Scanlon, Wissinoming, Pa. Brick, stone, steel. Plans in progress.

**Twin Residences (4), Residences (8), Norristown, Pa.** Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, C. R. Fadley, Norristown, Pa. Brick, 2 stories, 18x30 feet, hot water heat, hardwood floors, tile and marble, 2 stories, 16x27 feet, slag roof, pine floors, 1-pipe steam heat, electric light. Plans completed. Owner ready for sub-bids.

**Residence, Kirklyn, Delaware County, Pa.** Architect, Charles C. Schweiker, 29 Garfield avenue, Monaca Heights, Delaware County, Pa. Owner, D. F. Ryan, 5916 Market street, Philadelphia. Frame, stucco, 2 stories, 22x27 feet, hot water heat, electric light, tile bath, shingle roof, oak and pine floors. Owner will take bids.

**Garage, Norristown, Pa.** Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, H. I. Borgman, Norristown, Pa. Frame, 2 stories, 26x30 feet, shingle roof, cement floors, electric light. Plans completed. Architect ready for bids.

**John Smith Memorial for Boys, Elizabethtown, Pa.** Architect, Edgar A. Wightman, Bankers' Trust Building, Philadelphia. Owners, R. W. Grand Lodge, F. and A. Masons, Elizabethtown, Pa. Stone, cut stone, brick, steel, 3 stories and basement, 106x64 feet, steam heat, electric light, metal lath, tile and marble work, bond, ornamental iron work, waterproofing, metal weather strips, painting and glazing, cement, maple and composition floors, Carey built-up asbestos roof. Certified check for \$1,000. Ready for bids due Masonic Homes, Elizabethtown, Pa., April 18th, at noon.

**Residence, Woodcrest, Pa.** Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, C. W. Nuss, care of architects. Brick, 2 stories, 28x30 feet, slate roof, hardwood floors, hot water heat, electric light. Architects taking bids due April 14th.

**Bull Barn, Devon, Pa.** Architects, Jamesway Farm Eng. Service, Elmira, N. Y. Owner, Frank Graham Thomson, Devon, Pa. Hollow tile, stucco, 1½ stories, 54x18 feet, asbestos shingle roof, concrete and pine floors, hollow tile, metal lath, waterproofing. Owner taking bids due as soon as possible.

**Power Plant, Ridgway, Pa.** Architects, M. E. Kressley Co., Harrisburg, and Howalt & Moffatt, Ridgway, Pa. Owners, School District, Borough of Ridgway, Ridgway, Pa. Brick, concrete, 1 story, 77x60 feet, composition roof, cement floors, elevators, electric light, steel sash, bond, iron stairs. Owners taking bids due April 16th.

**Residence (alts. and add.), Flourtown, Pa.** Architect, R. Brognard Okie, 306 South Smedley street, Philadelphia. Owner, name withheld. Bond, stone, cut stone, cement and concrete, carpentry and mill work, oak and pine floors, plastered tile work, iron work (plumbing, heating and electric and weather strip reserved). Architect taking bids due April 11th.

**Telephone Exchange Building, Hazleton, Pa.** Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick and steel, 2 stories, 150x80 feet, slag roof, cement floors, steam heat, electric light, metal lath, tile work, bond, ornamental iron work. Architect taking bids due April 15th.

**Residence, Kirklyn, Delaware County, Pa.** Architect, C. C. Schweiker, 29 Garfield avenue, Monaca Heights, Pa. Owner, D. F. Ryan, 5916 Market street, Philadelphia. Stone, frame, stucco, 2 stories, 25x31 feet, shingle roof, oak and pine floors, hot water heat,

electric light, tile baths. Owner taking bids.

**Grade Schools (alts. and add.) (3), Leeperville, Woodlyn and Kerdon, Pa.** Architects, Ritter & Shay, North American Building, Philadelphia. Owners, School District for Ridley Township, Delaware County, Pa.

Leeperville School—Brick, cut stone, steel, 2 stories (4 class rooms), 77x25 feet (plumbing, heating, electric separate bids), composition roof, cement and maple floors, hollow tile, roof ventilators, plumbing, painting and glazing, dampproofing, ornamental iron work, bond, metal lath. Low bidders: F. J. Kerr, Eddystone, Pa., \$21,745; Ward Lumber Co., Eighteenth and Edgemont, Chester, Pa., \$25,700. Electric, Enterprise Elec. Co., 239 South Tenth street, Philadelphia, \$225.

Woodlyn School—Brick, cut stone, steel (plumbing, heating, electric reserved), 2 stories and basement (4 class rooms), 23x33 feet, cement and maple floors, composition roof, hollow tile, roof ventilators, plumbing, painting and glazing. Low bidders: Ward Lumber Co., Eighteenth and Edgemont avenue, Chester, Pa., \$28,500; F. J. Kerr, Eddystone, Pa., \$28,646. Electric, Pelson Brothers, Rutledge, Pa., \$160. Plumbing, Turner Plumbing Co., Fifth and Bridge streets, Chester, \$1,550. Heating and ventilating, Turner Plumbing Co., Chester, Pa., \$3,350.

Kerdon School—Brick, cut stone, steel, 2 stories and basement (4 class rooms), 60x35 feet (plumbing, heating, electric reserved), composition roof, cement and maple floors, hollow tile, roof ventilators, plumbing, painting and glazing. Low bidders: F. J. Kerr, Eddystone, Pa., \$19,800; J. M. Yardley, 1716 Sansom street, Philadelphia, \$24,702. Electric, Pelson Brothers, Rutledge, Pa., \$160. Heating and ventilating, Turner Plumbing Co., Chester, Pa., \$1,850.

**Church, Norristown, Pa.** Architect, C. J. Mitchell, 15 South Twenty-first street, Philadelphia. Owners, St. Francis' Roman Catholic Church, Norristown, Pa. Stone. Architect taking bids due April 22nd.

**Building (alts. and add.), Camp Hill, Pa.** Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Manufacturers' Country Club, Camp Hill, Pa. Architects taking revised bids due April 14th.

**Road Work, Pennsylvania.** Low bidders on road work opened March 31st:

Clearfield-Jefferson Counties, R-338, Sykesville Borough, Winslow and Brady Townships, 19,205 feet. Either bituminous surface course on concrete foundations or one course reinforced concrete. Avery & Bailey, Philipsburg, Pa., \$193,040.35.

Beaver County, R-1952, Hopewell Township. One course reinforced concrete. J. B. Reed Co., McKees Rocks, Pa., \$83,214.75.

Luzerne County, R-170, Ashley Borough. One course reinforced concrete. M. J. Malloy, Sugar Notch, Pa., \$40,608.10.

Schuylkill County, R-185, Sec. No. 1, Tamaqua Borough, Ruan and Rush Townships. One course reinforced concrete. John A. Rudolph, Tamaqua, Pa., \$252,921.65.

Butler County, R-79, Prospect Borough, Franklin and Muddy Creek Townships, Portersville Borough. One course reinforced concrete. Garvey-Weyenberg Const. Co., Appleton, Wis., \$417,995.89.

Westmoreland County, R-68, Sec. 4, Hempfield Township. One course reinforced concrete. J. C. Hickey, Latrobe, Pa., \$116,779.45.

Venango County, R-65, Cranberry Township. One course reinforced concrete. Woods & Golder, New Castle, Pa., \$230,831.95.

Erie County, R-86, Springfield Township. One course reinforced concrete. C. M. Spiller, Erie, Pa., \$36,892.80.

Armstrong County, R-189, Rayburn and Valley Townships. One course reinforced concrete. L. H. Hileman Const. Co., \$282,824.95.

Clarion County, A-2577, Beaver Township. One course reinforced concrete and hillside vitrified brick. Joe Wiesner, St. Mary's, Pa., \$92,991.25.

Fayette County, R-247, Dunbar Township. One course reinforced concrete. A. G. Rothery, Elizabeth, Pa., \$85,367.15.

Montgomery County, R-146, Collegeville Borough. One course reinforced concrete. McNichol Paving & Const. Co., Philadelphia, \$78,844.94.

Washington County, R-325, Amwell Township. One course reinforced concrete. Donora Const. Co., Donora, Pa., \$402,258.60.

McKean County, R-211, Ott Township. Bituminous surface course on concrete foundation or one course reinforced concrete. Earl C. Jones, Great Valley, N. Y., \$118,242.93.

Venango County, R-208, Mineral and French Creek Townships. One course reinforced concrete. Jamieson & Narlee, Fredonia, Pa., \$219,890.38.

Opened April 1st:

Bridge, Franklin County, R-37, over West Branch of Conococheague Creek, Station 432. Mason & Savage, Warren, Pa., \$21,025.65.

Bridge, Armstrong County, over Crooked Creek, Bethel and Manor Townships. Standard Eng. & Contg. Co., Toledo, O., \$42,612.60.

Bridge, Northumberland County, R-25, over West Branch of Susquehanna River. McLean Const. Co., Baltimore, Md., \$383,390.77.

**Road Work.** Opened April 1st. Low bidders:

Venango County, A-200, Sugar Creek Township. One course reinforced concrete. Meredith, McVaugh & Webb, Erie, Pa., \$70,570.30.

Erie County, R-272, West Mill Creek Township. One course reinforced concrete. McDermott Const. Co., Niles, Ohio, \$78,544.70.

Venango County, A-2276, Oil Creek Township. Either bituminous surface course on concrete foundation or one course reinforced concrete. Standard Paving & Contg. Co., Chicago, Ill., \$202,360.70.

Bradford County, R-212, Sec. 5, Troy and West Burlington Townships. Horn and Devling, Athens, Pa., \$371,332.75.

Mercer County, R-74, Hickory Township. Either bituminous surface course on concrete foundation or one course reinforced concrete. Meredith, McVaugh & Webb, Erie, Pa., \$98,754.50.

Warren County, R-68, Pittsfield and Broken Straw Townships, Youngsville Borough. Either bituminous surface course on concrete foundation or one course reinforced concrete. J. C. Devine Co., Alliance, O., \$176,165.82.

Montgomery County, R-146, Limerick and Lower Pottsgrove Townships. One course reinforced concrete. McNichol Paving & Const. Co., Philadelphia, \$197,297.87.

Tioga County, A-31, Jackson Township, 18,375 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Allison-Harris Const. Co., East Liverpool, O., \$35,444.40.

Berks County, R-141, A-1926, Strausstown Borough, Tulpehocken and Upper Bern Townships. One course reinforced concrete. D. L. Risser, Lebanon, Pa., \$197,177.35.

Butler County, R-214, A-2758, Fairview Township. One course reinforced concrete. A. R. Cooper, Idamar, Pa., \$142,067.27.

Cameron County, R-99, Shippen Township. Either bituminous surface course on concrete foundation or one course reinforced concrete. W. A. Palmer, East Bethlehem, Pa., \$209,441.80.

John L. Connor, Plastering Contractor, has moved to new offices in the Schaff Building, 15th and Race streets, Philadelphia, Pa.



## Pennsylvania Contracts Awarded

**Garage**, Forty Fort, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owner, D. O. Coughlin, Sr., Luzerne, Pa. Concrete block, 2 stories, 23x33 feet, slate roof, concrete floors, electric light. Contract awarded to R. M. Rossell, Forty Fort, Pa.

**Office (alts.)**, Union and Franklin streets, Wilkes-Barre, Pa. Architect, Austin Reilly, Bennett Building, Wilkes-Barre, Pa. Owners, Central Poor District, on premises. Plumbing, tile and concrete floors, electric light, marble work, kalamein doors. Contract awarded to A. D. Thompson, Wilkes-Barre, Pa.

**School**, Pittston, Pa. Architects, Schroeder & Schmitt, Weizenkorn Building, Wilkes-Barre. Owners, St. Mary of the Assumption Church, George T. Schmidt, Pittston, Pa. Brick, steel, 3 stories, 55x110 feet, slag roof, pine floors, roof ventilators (heating, electric, plumbing reserved), tile work, waterproofing. Contract awarded to J. J. Gibbons, Avoca, Pa.

**School (add.)**, Shabertown, Pa. Architects, Schroeder & Schmidt, Weizenkorn Building, Wilkes-Barre. Owners, Kingston Township School Board, J. Schooley, Truckville, Pa. Contract awarded to J. J. Gibbons, Avoca, Pa.

**Residence (alts. and add.)**, Bryn Mawr, Pa. Architects, Stewardson & Page, 315 South Fifteenth street, Philadelphia. Owner, Mrs. C. C. Perkins, on premises. Brick, cut stone, reinforced concrete and cement floors, iron work, metal lath, plastering, plumbing, marble and tile work, roof repairs, carpentry and mill work, painting and glazing. Contract awarded H. P. Wolfe & Sons, Bryn Mawr, Pa.

**Residence and Garage**, Wynnewood, Pa. Architect, Richard R. Kerns, Jr., 10 South Eighteenth street, Philadelphia. Owner, Bruce Maguire, Ardmore, Pa. Hollow tile and stucco, 2½ stories, 30x40 feet, garage, 12x18 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded Donald M. Love, 2401 Chestnut street, Philadelphia.

**Distributing Station**, Cynwyd, Pa. Architect, Frank V. Nickels, 15 South Twenty-first street, Philadelphia. Owners, Glen Willow Ice Co., Cynwyd, Pa. Brick, 1 story, 20x40 feet, slag roof, cement floors, electric light, ornamental iron work, insulation. Contract awarded W. H. Eddleman & Son, 453 Green Lane, Philadelphia.

**School (add.)**, Pennsburg, Pa. Architect, Jerome S. Landes, 200 North Broad street, Souderton, Pa. Owners, Board of Education, Pennsburg, Pa. Brick, steel, 2 stories, 49x50 feet, slate and slag roof, maple floors, ornamental iron work. Contracts awarded: Stonebach & Nace, Quakertown, Pa., \$36,142. Plumbing, Hillegas & Renninger, Pennsburg, Pa., \$4,390. Heating and ventilating, American Heating & Ventilating Co., 200 North Fifteenth street, \$4,963. Electric, H. J. Lipsham, Creamery, Pa., \$720.

**Chapel and School**, Upper Darby, Pa. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Alice's Roman Catholic Church, Rev. William L. Hayward, on premises. Brick, cut cast stone, 2 and 1 stories, 160x56 feet, slate roof, vapor heat, electric light, tile and marble work, metal lath, bond, ornamental iron work, iron stairs, painting and glazing, metal ceiling, waterproofing and dampproofing, gypsum pine floors. Contract awarded John McShain, Inc., 1610 North street, Philadelphia.

**Garage**, North Prince street, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, Enos Miller, North Charlotte street, Lancaster, Pa. Brick,

1 story, 75x150 feet, built-up asphalt roof, concrete floors, metal lath, electric work (steam heating reserved), roof ventilators, cold water painting, metal skylights, rolled steel sash. Contract awarded to D. S. Warfel, 39 East Grant street, Lancaster.

**Garage**, Wyncote Manor, Glenside, Pa. Architect, C. S. Rabenold, 1524 Chestnut street, Philadelphia. Owner, Henry Thompson, care of builder. Stone, 2½ stories, 38x36 feet, slate roof, cement floors, hot water heat, electric light, ornamental iron work. Contract awarded A. Zellfelder, 1324 Walnut street, Philadelphia.

**Residence**, Webster street, Scranton, Pa. Architects, E. H. Davis & George M. D. Lewis, Union Bank Building, Scranton. Owner, Dr. S. Friedman, 501 Adams avenue, Scranton, Pa. Frame, 2½ stories, 30x40 feet, shingle roof, hardwood floors, tile work, electric light, metal lath. Contract awarded to Washburn & Williams, Scranton, Pa.

**Residence**, Scranton, Pa. Architect, Lewis Hancock, Mears Building, Scranton, Pa. Owner, Dr. J. J. Lonsdorf, Jr., Pittston avenue and Beech street, Scranton, Pa. Brick, 2 stories, 32x65 feet, green slate roof, yellow pine and white oak floors, steam heat, electric light, tile work. Contract awarded to Boland Brothers, 427 Spruce street, Scranton, Pa.

**Residence**, Glenside, Pa. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owner, Edwin N. Johnson, Glenside, Pa. Hollow tile and dash, 2½ stories, 30x50 feet, slate roof, tile and marble work, hardwood floors, undecided heating, electric light. Contract awarded Leonard Schneider, 3516 North Judson street, Philadelphia.

**Consolidated Vocational School**, Chadd's Ford, Pa. Architect, V. T. Ritter, North American Building, Philadelphia. Owners, Board of Directors, Townships Birmingham and Pennsburg, Chester and Birmingham Counties, Pa. Brick, cut stone, concrete steel, 2 stories and basement, 145x70 feet, composition roof, maple and cement floors, hollow tile, roof ventilators, waterproofing, ornamental iron work, bond, metal lath, electric light, steam heat, painting and glazing. Contracts awarded: W. J. Elliott, Coatesville, Pa., \$19,597. Heating, American Heating & Ventilating Co., 200 North Fifteenth street, Philadelphia, \$7,550. Electric, Charles McCaul Co., 1713 Sansom street, Philadelphia, \$1,229.

**Road Work**, Pennsylvania (March 17th letting). Owners, State Highway Department, Harrisburg, Pa.

Dauphin County, Route 1, Halifax and Upper Paxton Townships, \$46,533.40. Contract awarded to Continental Const. Co., Baltimore, Md.

McKean County, R-95, Jewett Borough and Hamlin Township, \$209,720.06. Contract awarded to Fred W. Knickenberg, Buffalo, N. Y.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. (March 31st letting).

Westmoreland County, Route 68, Hempfield Township, \$116,779.45. Contract awarded to J. C. Mickey, Latrobe, Pa.

Erie County, Route 86, Springfield Township, \$36,892.80. Contract awarded to C. M. Spiller, Erie, Pa.

**Easton High School**, Easton, Pa. Architects, Messrs. Michler & Snyder, Drake Building, Easton, Pa. Owners, Board of Education, R. E. Piefer, secretary, Easton, Pa. Reinforced concrete, brick, steel, 3 stories and basement, 250x200 feet, composition roof, maple floors (heating, electric and plumbing reserved), metal lath, tile and marble work, ornamental iron work. Contract awarded T. M. Gibbs Const. Co., 215 South Broad street, \$587,850. Heating and ventilating, E. P. Saeger & Co., 1401 Turner, Allentown, \$73,888. Plumbing,

E. P. Saeger & Co., 1401 Turner street, Allentown, \$36,888. Electric, Earl Slack, care of owner, \$21,402.

## New Jersey Construction News

**Stores and Apartments (3) and Lodge**, Phillipsburg, N. J. Architect, E. H. Wenzelberger, 3 Center Square, Easton, Pa. Owners, Patriotic Sons of America, George Smith, Phillipsburg, N. J. Brick, 3 stories, 50x67 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Plans in progress. Architect will be ready for bids next week.

**Residence and Garage**, Chestnut Ridge, N. J. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, A. W. Garrison, Elmer, N. J. Frame, 2½ stories, 22x36 feet, shingle roof, pine floors, red oak trim, hot water heat, electric light. Architect has received bids.

**Church (alts.)**, Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owners, Methodist Church of South Jersey, care of architect. Steel work, general interior and exterior alterations. Plans in progress.

**Store and Apartment**, 709 Broadway, Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Philip Glassman, care of architect. Cement block and brick, 2 stories, 15x96 feet, slag roof, pine floors, hot water heat, electric light, plate glass. Plans in progress. Will be ready for bids in a week.

**Hospital Building—Power House, Boiler House**, Bridgeton, N. J. Architects, Stearns & Woodnutt, 920-23 Stephen Girard Building. Owners, Bridgeton Hospital Association, Bridgeton, N. J. Brick, cut stone, steel, granite and limestone, 3 stories and basement, 140x39 feet, power house, 2 stories, 90x42 feet, slag roof, cement floors, elevators, plumbing, painting and glazing, metal ceilings, shoring, waterproofing, ornamental iron work, iron stairs, bond, kalamein doors, rolled steel skylights, tile, marble and terrazzo work, metal lath, steam heat, electric light, metal lumber. Architects taking bids due April 14th.

**Pacard Sales and Service Building (alts.)**, 2714-16-18 Atlantic avenue, Atlantic City, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, Kelly-Hughes, Inc., Atlantic City, N. J. Brick and stucco, front, hot water heat, electric light, tile work, hollow metal skylights, metal bulks, treadlite terrazzo and slate floors, plate glass, plumbing. Architect taking bids due April 14th.

**Studio and Apartment (alts. and add.)**, 216 East Hanover street, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Jerome H. Fritz, 148 East State street, Trenton, N. J. Brick, stucco, 3 stories, 22x70 feet, slag roof, hardwood floors, metal lath, vapor heat, electric light, tile and marble work, rolled steel sash and skylights, ornamental iron work. Architect taking bids due April 10th.

**Residence**, Haddon Heights, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owner, F. M. Underkuffler, Haddon Heights, N. J. Brick, tile, 2½ stories, 35x79 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Architect taking bids due April 14th.

**Kuser School (add.)**, Hamilton Township, Mercer County, N. J. Architect, William A. Klemann, First National Bank Building, Trenton, N. J. Owners, Hamilton Township School Board, care of Mr. Robbins, Greenwood School, Greenwood avenue, Trenton, N. J. Brick, 1 and 2 stories, 8 rooms and



auditorium, slag roof, hardwood floors, hollow tile, roof ventilators (heating, electric work and plumbing reserved), metal lath, cut stone, rolled steel skylights, bond, iron stairs. Owners and architect taking bids due April 14th.

**Residence**, West Madison street, Mt. Holly, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owner, W. F. Eddleman, Mt. Holly, N. J. Brick, 2½ stories, 57x32 feet, slate roof, hardwood floors, tile work, electric light. Architect taking bids due April 12th.

**Apartment (alts.)**, 232-36-40 South Connecticut avenue, Atlantic City. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, B. Friedberg, care of architect. Limestone entrances, electric light, tile and marble work, general alterations, electric fixtures. Architect taking bids.

**Manufacturing Plant**, Trenton, N. J. Architect, W. E. S. Dyder, Land Title Building, Philadelphia. Owners, Thomas Maddock Sons Co., Trenton, N. J. Steel and concrete, steel sash, plant, 1 story, 1600x450 feet, power plant, 40x150 feet, office building, 2 stories, 50x125 feet. Architect taking bids due April 15th.

## New Jersey

### Contracts Awarded

**Bank Building (interior finish)**, Eighth and Ashbury avenue, Ocean City, N. J. Architects, Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owners, Ocean City Title & Trust Co., Ocean City, N. J. Terra cotta partitions, cement work, metal lath, plastering, iron work, bronze work, kalamein doors, hollow metal work, sheet metal work, marble, tile and terrazzo, cabinet work, carpentry and mill work, bank fixtures, bronze work, painting and glazing, linoleum floors, hardware. Contract awarded J. S. Rogers Co., Drexel Building, who will take sub-bids.

**Sunday School**, Palmyra, N. J. Architects, Arnold H. Moses and C. A. Mohrheld, Camden, N. J. Owners, First Lutheran Church, Palmyra, N. J. Stone, steel, 1 story and basement, 45x70 feet, slate roof, maple floors, steam heat, electric light. Contract awarded to George Anderson, 6219 Spruce street, Philadelphia.

**Junior High and Grade School**, Pensauken, N. J. Architect, Arnold Moses, Temple Building, Camden, N. J. Owners, Board of Education, Pensauken, N. J. Brick, reinforced concrete, steel, cut stone, granite, limestone, 2 stories, 258x156 feet, slag roof, linoleum, cement and maple floors, safety treads, painting and glazing, ornamental iron work, bond, kalamein doors, rolled steel sash, tile, marble and terrazzo work, metal lath (heating and electric separate). Contract awarded H. John Homan, 1703 Chestnut street, Philadelphia, \$318,529. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$15,415. Electric, Stang Elec. Co., 214 South Seventh street, Philadelphia, \$8,625.

## Delaware

### Construction News

**Apartment and Store**, location withheld. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, name withheld. Brick, 3 stories, 22x70 feet, slag roof, pine floors, metal ceilings, plate glass, hot water heat, electric light. Plans in progress.

**Residence (alts. and add.) to Apartments**, location withheld. Architect, J. A. McKibbin, Industrial Trust Building, Wilmington, Del. Owner, name withheld. Rear addition, 3 stories, general alterations. Plans in progress.

## Delaware

### Contracts Awarded

**Store (alts. and add.)**, 628 West Second street, Wilmington, Del., \$5,000. Architect, John McKibbin, Industrial Trust Building, Wilmington. Owner, Jacob Ostro, Second and Madison streets, Wilmington, Del. Brick, 1 story, 60x20 feet, slag roof, pine floors, metal ceilings, heating extension, electric lighting, skylights. Contract awarded to Michael Capaldi, 3503 Market street, Wilmington, Del.

## Miscellaneous

### Construction News

**Stadium (2 stands)**, Morgantown, W. Va. Engineers, Osborne Eng. Co., Cleveland, Ohio. Owners, West Virginia University, Stadium Committee, Morgantown, W. Va. Reinforced concrete, 36x102 feet, 360x82 feet. Owners taking bids due April 15th.

**Residence**, Ossining, N. Y. Architect, Joseph F. Lowery, Land Title Building, Philadelphia. Owner, J. Olsen, care of architect. Stone, 2½ stories, 50x30 feet, Spanish tile roof, hardwood floors, electric light. Plans in progress.

## DEPARTMENT OF COMMERCE, WASHINGTON

As a result of surveys made in 1922 of sizes and types of metal laths by the Associated Metal Lath Manufacturers, and a conference under the auspices of the Division of Simplified Practice, Department of Commerce at which manufacturers, architects, builders and builders' supply representatives and labor union officials were present, an official publication is about to be issued by the Government Printer covering the simplification of this product. More than 80 per cent. of all groups concerned have adopted the simplification recommended reducing from 125 varieties to 24 flat expanded, ¾ inch expanded and flat rib expanded metal lath, and have been putting the reductions into force for some time.

The recommendations officially adopted were as follows:

### SECTION. I. Flat Expanded Metal Lath.

Weights in lbs. per sq. yard of		Gauges of sheet (U. S. Standard)		
Painted Steel	Special Metals	Sheets galv.	Minimum	Maximum
2.2	2.2		28	26
2.5	2.5	2.5	28	26
3.0	3.0		28	24
3.4	3.4	3.4	26	24

### SEC. II. ¾ inch Rib Expanded Metal Lath.

Weights in lbs. per sq. yard of		Gauges of sheet (U. S. Standard)		
Painted Steel	Special Metals		Minimum	Maximum
2.5			28	26
3.0	3.0		28	26
3.5	3.5		27	24
4.0			26	24

### SEC. III. Flat Rib Expanded Metal Lath.

Weights in lbs. per sq. yard of		Gauges of sheet (U. S. Standard)		
Painted Steel	Special Metals		Minimum	Maximum
2.75	2.75		30	28
3.20	3.20		30	28
3.75	3.75		29	24
4.00	4.00		28	24

SEC. IV. Sheet Lath—Painted steel lath is to weigh not less than 4.5 pounds per square yard, with corresponding minimum weights in this type of lath made from special metals or from sheets galvanized before fabrication.

SEC. V. Expanded and Sheets—Metal lath in all types and weights galvanized after fabrication is to be eliminated.

SEC. VI. The industry is to make every effort to direct practice to a consolidation of the pairs of bracketed sizes, Sections I and II in a single weight to replace each pair; this is to be made effective if possible at the 1924 conference.

SEC. VII. All types of lath are to be specified and sold by weight per square yard.

SEC. VIII. Manufacturers accepting this recommendation and who so desire, may stamp or tag their product "Made in accordance with U. S. Department of Commerce and Simplified Practice Recommendation No. 3."

The action of the makers and users of metal laths forms one of an important group connected with the construction industry who have adopted simplification since Secretary of Commerce Hoover organized the movement for a reduction of excess variety as a measure of increased efficiency, lower costs, more stability of labor, and better service. Among the other groups were makers of rough face brick, smooth face brick, hollow building tile, prepared roofing, range boilers and a number of household articles. Savings of millions of dollars have been effected by simplifications, and more than a hundred other industries are planning similar action.

### WE ASK YOU

Isn't it funny?  
THAT A MAN WHO CONSIDERS  
HIMSELF A BUSINESS MAN  
Will get up in the morning  
From an advertised mattress,  
And put on advertised underwear,  
Advertised hose, shirt, collar, tie and shoes.  
Seat himself at a table and  
Eat advertised breakfast food,  
Drink advertised coffee or substitute,  
Put on an advertised hat,  
Light an advertised cigar,  
Go to his place of business and  
TURN DOWN ADVERTISING ON THE  
GROUND THAT ADVERTISING DOESN'T  
PAY!



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.  
The Van Seiver Corporation,  
The Parkway at 24th St., Phila.  
West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Seiver Corporation,  
The Parkway at 24th St., Phila.  
West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3133 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F.....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.  
Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

## FIRE-PROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc., 1844 N. Front St., Phila.  
Concrete Waterproof Paint Co., 829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co., Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## HAULING CONTRACTORS.

McCarrick Bros. ....3133 N. 24th St., Phila.  
Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.  
Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.  
Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ...19th and Washington Ave., Phila.  
Wood, Alan, Iron & Steel Co., Widener Bldg., Phila.

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Housel, J. W. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

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1505 N. Mascher St., Phila.

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## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.  
Gillingham Co. ...Norris and Richmond Sts., Phila.  
Ketcham, Howard.....3rd and Girard Ave., Phila.  
Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.  
Italian Marble Mosaic Co. ....433 Spruce St., Phila.  
Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

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Gillingham Co. ...Norris and Richmond Sts., Phila.  
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Oliver Oil-Gas Burner Co., Oliver Bldg., St. Louis, Mo.

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Weber, F., Co. ....125 S. 12th St., Phila.

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REINFORCED CONCRETE DESIGN AND CONST.  
Jefferson, H. H. ....1519 Lombard St., Phila.

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Chapman Slate Co. ....Bethlehem, Pa.

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American Piston & Castings Co....Jenckintown, Pa.

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## SHEETROCK (Wall Board).

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John D'Lauro.....55 E. Mermaid Lane, Phila.

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Denckla Bldg., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

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Roman Mosaic & Tile Co. ....435 Green St., Phila.

## TRANSITS.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

## UNDERPINNING.

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Ketcham, Howard .....3rd and Girard Ave., Phila.

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Pearce Fireproof Co. ....1345 Arch St., Phila.  
Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## WALL COPING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## WATER HEATERS.

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Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.

## WATER PAINT.

Southern, Wm. B. N. W. Cor. 12th and Spruce, Phila.

## WATERPROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.  
Builders' Specialty Co., Inc., 1844 N. Front St., Phila.  
Concrete Waterproof Paint Co., 829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## WHITEWASHING.

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N. W. Cor. 12th and Spruce Sts., Phila.

## WINDOW GUARDS (Wire).

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GEORGE A. SINN, Bridge Street and Frankford Creek, Phila.  
Bell, Frankford 0309 Keystone, East 8980

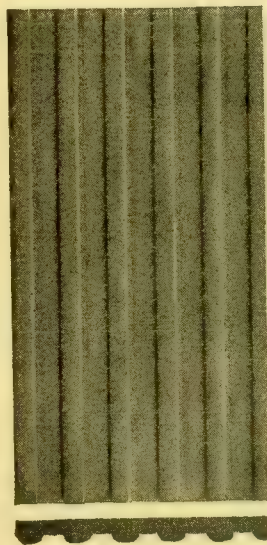
TACONY COAL & LIME CO., State Road and Unruh Street, Tacony, Phila.  
Bell, Tacony 1460

CAMDEN LIME COMPANY, 412 Federal Street, Camden, N. J.  
Bell, Camden 3240 Keystone, Camden 256

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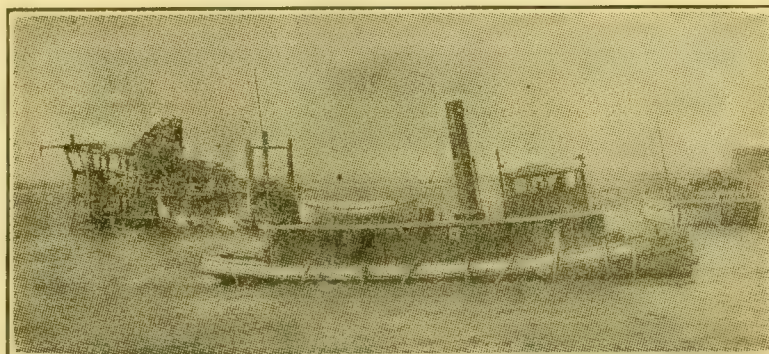
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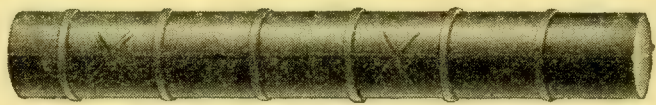
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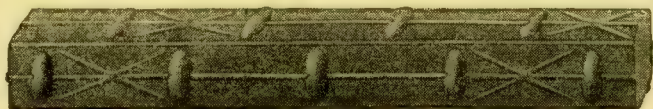
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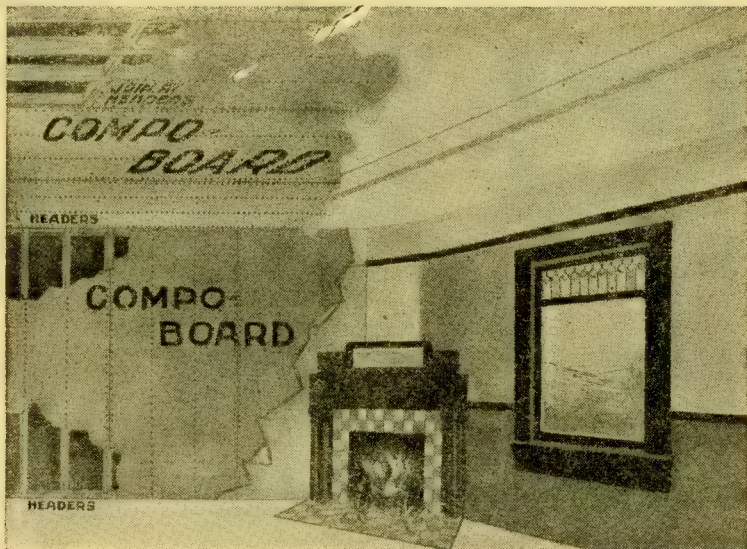
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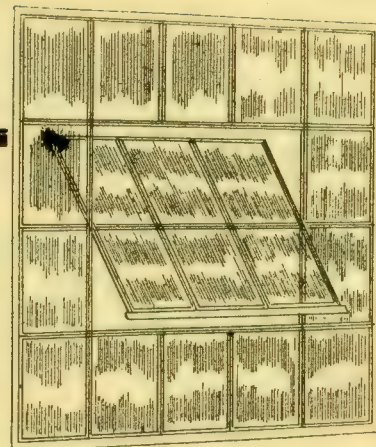
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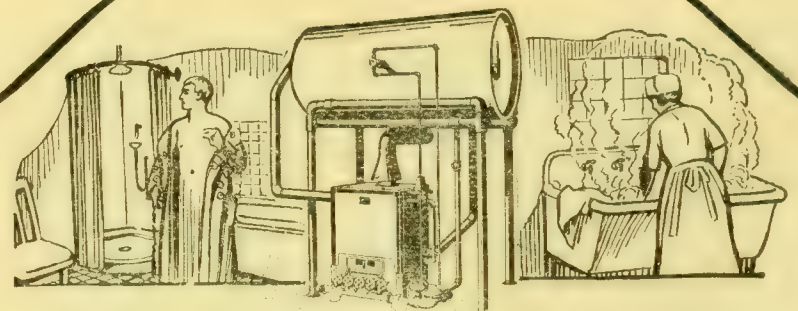
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
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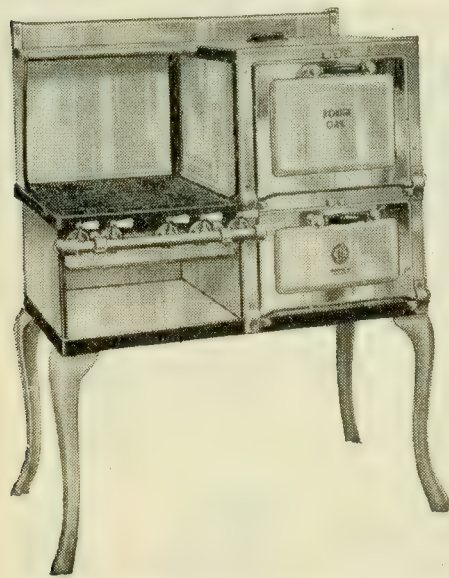
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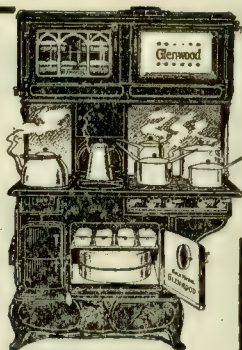


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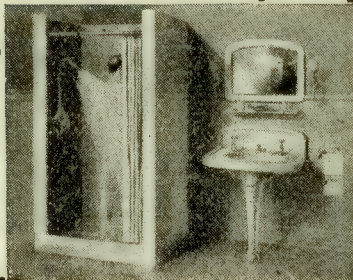


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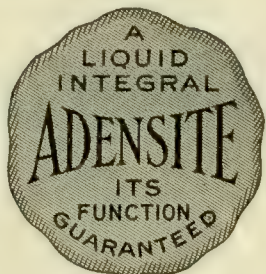
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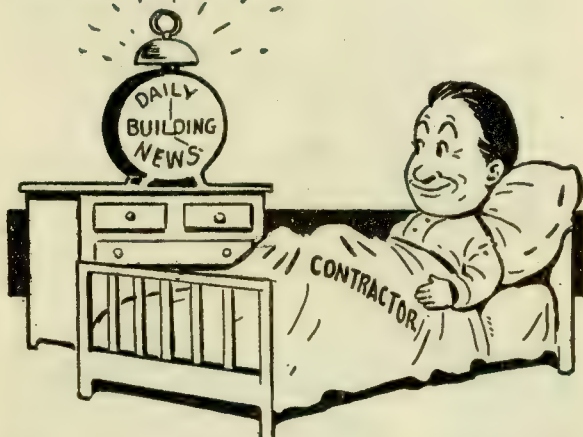
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**Operation of Residences**, Sixteenth, between Fisher and Somerville avenue, Philadelphia. Architect, private plans. Owner, Michael Rock, Jr., 3148 North Broad street, Philadelphia. Brick, 2 stories, 20x30 feet, 20x43 feet, slag, Spanish tile roof, hardwood floors, hot water heat, electric light, metal lath, tile work, cement work, Kerner incinerator, combination dishwasher and sink, fireless gas cookers, garages in basement. Owner will build.

**Residences (21)**, Haworth, between Horrock and Large streets, Philadelphia. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owners, Theodore Beechwood, Jr., and J. P. McDevitt, 5337 Frankford avenue. Brick, 2 stories, 25x27 feet, hot water heat, electric light, tile work, slag roof, hardwood floors. Owners will build.

**Residences (24)**, Sixty-sixth and Ogontz avenue, Philadelphia. Architect, Karl F. Otto, 1829 Arch street, Philadelphia. Owner, F. D. Williams, on site. Brick, 2 stories, 20x37 feet, slag and tile roof, hardwood floors, hot water heat, electric light, tile work, garages in the basement, cement work. Owner ready for sub-bids.

**Stores (2), Apartment and Garage**, Sixty-ninth and Elmwood avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, McWilliams & Maloney, 6308 Sherwood avenue, Philadelphia. Brick, 2 stories, 20x60 feet, slag and tile roof, hardwood floors, plate glass, cement work, hot water heat, electric light, tile work, metal lath, flush bulks. Owners taking sub-bids.

**Store and Residence (alts. and add.)**, 5927 Lansdowne avenue, Philadelphia. Architect, C. C. Schweiker, 29 Garfield avenue, Monaca Heights, Delaware County. Owner, William J. Shields, 5795 Stewart avenue, Philadelphia. Brick, 2 stories, 15x22 feet, slag roof, pine floors, hot water heat, electric light. Owner will take bids.

**Building**, Byberry. Architect, P. H. Johnson, 1713 Sansom street, Philadelphia. Owners, City of Philadelphia, Department of Public Health, Dr. W. Krusen, Philadelphia. Hollow tile and stucco, 2 stories. Plans about completed. Architect will be ready for bids in a few days.

**Deaconess' Home**, Sixth and Vine streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Methodist Episcopal Deaconess' Home, care of W. H. Gould, 1701 Arch street, Philadelphia. Brick, 4 stories. Architects will be ready for bids in a few days.

**Furnish and Erect Partitions**, 1724 Cherry street, Philadelphia. Owners, Department of Public Health, Bureau of Health, 584 City Hall. Owners taking bids due May 2nd at noon.

**Buildings, Cottages, Connecting Corridors, Extension to Dining Room and Kitchen Building and Power House**, Byberry, Pa. **Dormitory Building, Boiler House Extension**, Byberry, Pa. Architect, P. H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Health, Bureau of Health, 584 City Hall. General construction, plumbing, heating, electric, bond, painting of plastered walls and ceilings, of women's tubercular building, Thirty-fourth and Pine streets. Owners taking bids due May 2nd at noon.

**Store and Dwelling (2)**, Sixty-second and

Wheeler streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Daniel McNichol, 7006 Paschall avenue, Philadelphia. Brick, 2 stories, 17 feet, 10 inches x 56 feet each, slag and tile roof, pine floors, hot water heat, electric light, metal lath, tile work, cement work, plate glass, flush bulks. Architect taking bids due April 22nd.

**New Store Building**, 1019-21-23 Arch street, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Elgin Realty Co., Eighth and Locust streets, Philadelphia. Brick, 2 stories, 167x75 feet, slag roof, pine floors, elevators, painting and glazing, metal ceilings, shoring, terra cotta, ornamental iron work, bond, tile work, metal lath, steam heat, electric light, automatic sprinkler system. Architect taking bids due April 18th.

**Residence**, Chestnut Hill, Pa. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owner, Charles Brinley, Mermaid Lane, Chestnut Hill, Pa. Stone, 2½ stories, 65x54 feet, slate roof, oak and pine floors, electric light, metal lath, tile work, ornamental iron work. Architect taking bids due April 21st.

**Miscellaneous Work and Supplies**, Philadelphia. Owners, Department of Public Works, Bureau of Highways, City Hall, Philadelphia. Owners taking bids due April 21st at noon, Room 216. Asphalt repaving, redress granite block repaving, curb and footway work, reconstruction of bridge, asphalt paving mixture, furnishing and applying bituminous material, crushed stone, crushed slag, oil for mosquito elimination.

**Garage**, 29 Springfield avenue, Philadelphia, \$2,000. Architect, private plans. Owner, E. Dufrop, on premises. Brick, 1 story, 42x20 feet, slag roof, cement work. Owner will build.

**Residences (27)**, Rosehill street, South of Wyoming avenue and North of Courtland street, Philadelphia, \$137,000. Architect, private plans. Owner, Frank Schilling, 170 Northeast Boulevard, Philadelphia. Brick, 2 stories, (2) 16x38 feet, (25) 15x28 feet, 13x10 feet, hot water heat, electric light. Owner will build.

**Residence and Garage**, Northwest Corner Midvale avenue and Stokley street, \$27,500. Architect, private plans. Owner, G. H. English, Mt. Airy avenue and Emlen street, Philadelphia. Stone, 3 stories, 28x37 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work, garage, 1 story, 20x21 feet. Owner will build.

**Apartment**, Southeast Corner Twentieth and Ontario streets, Philadelphia, \$30,000. Archi-

tect, private plans. Owner, Benjamin Linker, 204 South Seventh street, Philadelphia. Stone and brick, 4 stories, 39x24 feet, 31x72 feet, slag roof, hardwood and pine floors, steam heat, electric light. Owner will build.

**Residences (17)**, Eastburn, Gerry and Louber streets, Philadelphia, \$68,500. Architect, private plans. Owner, S. A. Buckman, 1126 Somerville avenue, Philadelphia. Brick, 2 stories, (1) 31x18 feet, 16x12 feet, (16) 15x28 feet, 12x12 feet, hot water heat, electric light. Owner will build.

**Residence**, North side Graver's Lane, West of Navahoe street, \$16,000. Architect, Samuel W. Marshall, 1524 Chestnut street, Philadelphia. Owner, F. Kimball Hagar, 3110 West Penn street, Philadelphia. Stone, 3 stories, 38x28 feet, 2 stories, 16x6 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (5), Garage (1)**, West side Front street, South of Courtland street, \$25,500. Architect, private plans. Owner, William Ingham, 5533 North American street, Philadelphia. Brick, 2 stories, 15x26 feet, 13x12 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric light, garage, 1 story, 90x18 feet. Owner will build.

**Residences (15)**, Sixty-second and Yocum streets, Philadelphia. Architect, private plans. Owners, Woodland Const. Co., Sixty-fifth and Chester avenue, Philadelphia. Brick, 2 stories, 16x45 feet, hot water heat, electric light, slag roof, pine floors. Owners taking sub-bids.

**Residence**, West side Third street, South of Sixty-sixth avenue, \$7,500. Architect, private plans. Owner, A. E. Esler, 4446 North Seventh street, Philadelphia. Brick, 2 stories, 36x42 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Service Station**, Northeast Corner Delaware avenue and Manderson street, \$7,500. Architect, private plans. Owners, Gulf Refining Co., Widener Building. Brick and stone, 1 story, 14x14 feet. Owners will build.

**Manufacturing Building**, 912-14 South Front street, Philadelphia, \$15,000. Architect, private plans. Owner, Harry Epstein, 912 South Front street, Philadelphia. Brick, 2 stories, 28x80 feet, 18x10 feet, steam heat, electric light. Owner will build.

**Residence**, West side Tenth street, North of Lindley avenue, \$5,500. Architect, private plans. Owner, Harry Melcher, 1107 Roy street, Philadelphia. Brick, 2 stories, 15x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (8)**, 1209 to 1223 Overington street, \$5,000 each. Owner, Wilfred Robin-

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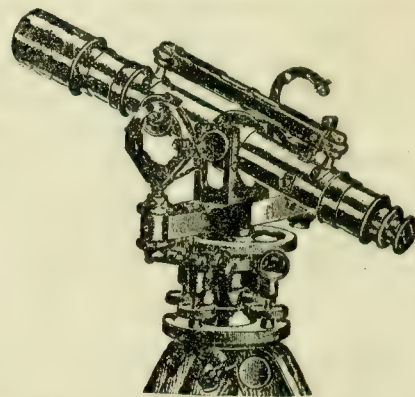
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Devoted to the Advancement of American Architecture, Structural  
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VOLUME XXXIX  
Number 16

PHILADELPHIA  
April 16, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Sunday School (add.)**, Northeast Corner Forty-fifth and Walnut streets, Philadelphia. Architect, C. E. Schermerhorn, 213 South Fifth street, Philadelphia. Owners, St. Andrew's Methodist Episcopal Church, C. Howard Schermerhorn, chairman of Building Committee, Manufacturers' Club, Philadelphia. Brick, hollow tile, steel, cut stone, stucco, 2 stories and basement, 80½x40 feet (steam heat, electric light, plumbing reserved), slag roof, pine floors, painting and glazing, tile work, terra cotta. Owners taking bids due April 25th.

**Residences (9)**, Sixty-seventh avenue, Seventeenth and Bouvier streets, Philadelphia. Architect, K. F. Otto, 1829 Arch street, Philadelphia. Owner, George Ungerer, Seventeenth and Sixty-eighth avenue, Philadelphia. Brick, 2 stories, hot water heat, electric light, metal lath, tile work, garages in basement, hardwood floors, slag and tile roof. Revised plans in progress.

**Apartment House**, Nineteenth and Panama streets, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owner, name withheld. Brick, stone, concrete and limestone, 8 stories, 50x60 feet. Revised plans in progress.

**Temple**, Seventeenth and Summer streets, Philadelphia. Architect, not yet selected. Owners, Eastern Star Association, Fred C. Boyer, president, 1610 Diamond street, Philadelphia. Work contemplated.

**Store and Apartment**, Northeast Corner Fifty-fourth and Columbia avenue, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, A. M. Greenfield, Fifteenth and Chestnut streets, Philadelphia. Brick, 2 stories. Preliminary plans in progress.

**Residence and Garage**, Jenkintown Manor, Philadelphia. Architect, H. Rex Stackhouse,

1120 Locust street, Philadelphia. Owner, name withheld. Stone and frame, 2½ stories and 1 story, 50x30 feet, 20x24 feet, slate or shingle roof, hardwood and cement floors, hot water heat, tile work, electric light. Plans in progress.

**Office Building**, 312-22 Walnut street, Philadelphia. Architect, not yet selected. Owners, Maryland Casualty Co., 324 Walnut street, Philadelphia. Work contemplated.

**Manufacturing Building**, Seventeenth and Indiana avenue, Philadelphia. Architect, private plans. Owners, Pittsburgh Plate Glass Co., Eleventh and Arch streets, Philadelphia. Reinforced concrete, 3 stories, 72x46 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash and skylights, ornamental iron work, elevators, rolling steel shutters. Contract awarded William Steele & Sons, 219 North Broad street, Philadelphia. Plans in progress.

**Grain Elevator**, Port Richmond, Philadelphia, \$2,500,000. Engineers, Fegles Construction Co., Minneapolis, Minn. Owners, Philadelphia & Reading Railway Co., Twelfth and Market streets, Philadelphia, care of Mr. Samuel T. Wagner. Reinforced concrete, steel, capacity 2,500,000 bushels. Plans in progress. Owners will take bids.

**Vare Recreation Center**, Twenty-sixth and Morris streets, Philadelphia. Architect, P. H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, Philadelphia, Pa. Brick, steel, stone and concrete, 3 stories and basement. Plans in progress.

**Residences (20)**, West side Bouvier, between Sixty-seventh and Sixty-eighth avenue, Philadelphia. Architect, Karl F. Otto, 1829 Arch street, Philadelphia. Owner, George Ungerer, Seventeenth and Sixty-eighth avenue, Philadelphia. Brick, 2 stories, 16x40 feet,

slag and tile roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Garage**, 715 Fairmount avenue, Philadelphia. Architect, I. W. Levin, Victory Building, Philadelphia. Owner, Joseph Malendowicz, care of Dresser Realty Co., Southeast Corner Fifth and Green streets. Brick, steel, 1 and 2 stories, 40x200 feet, slag roof, cement floors, elevators, steam heat, electric light. Owner ready for bids.

**Twin Residences (40)**, Princeton avenue, Tacony, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Walter Costello, on job, and Commercial Trust Building, Philadelphia. Concrete foundations, brick and concrete, hot water heat, tile work, electric light, metal lath, slag and tin roof, hardwood floors, cement work, galvanized iron bays. Owner ready for sub-bids.

**Residences (27), Stores and Residences (3)**, Ottens avenue and Edna street, Philadelphia. Architect, I. W. Levin, Victory Building, Philadelphia. Owners, Middleman & Feinstein, 410 East Rockland street, Philadelphia. Brick, (3) 2 stories, 50x60 feet, irregular, residences, (27) 2 stories, 16x48 feet, slag and tile roof, hardwood and composition floors, hot water heat, electric light, tile work, hollow metal skylights, metal ceilings, flush bulks. Owners will be ready for sub-bids at once.

**Residence (alts. to Apartment)**, 5234 Sansom street, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, J. Donovan, 132 South Fiftieth street, Philadelphia. Rear addition, brick, 2 stories, 20x30 feet, porch additions, brick and concrete, slag roof, hardwood floors, steam heat, electric light, tile and marble work, plumbing, general interior alterations. Owner ready for general bids.

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son, 7319 Rising Sun avenue, Philadelphia. Brick, 2 stories, 19x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, Northeast Corner Gaul and Commissioner streets, Philadelphia, \$3,500. Architect, private plans. Owner, D. J. Poths, 6932 Dittman street, Philadelphia. Brick, 1 story, 51x15 feet, 32x80 feet, slag roof, cement floors. Owner will build.

**Residences (2) (alts. and add.)**, 145-147 North Farson street, \$2,000 each. Architect, private plans. Owners, Gordy Brothers, 5525 Race street, Philadelphia. Brick, 2 stories add., 12x22 feet, general alterations. Owners will build.

**Residence**, 4746 North Twelfth street, Philadelphia, \$5,000. Architect, private plans. Owner, Max Friedman, 411 Snyder avenue, Philadelphia. Brick, 2 stories, 16x60 feet, hot water heat, electric light. Owner will build.

**Boiler House**, Northeast Corner Eighty-second and Bartram avenue, Philadelphia, \$4,300. Architect, private plans. Owners, Quaker City Industrial Alcohol Co., on premises. Steel and iron, 1 story, 44x50 feet. Owners will build.

**Residences (24)**, Southwest Corner Sixty-third and Gray's avenue, Philadelphia, \$4,500 each. Architect, private plans. Owner, Rufus C. Mitchell, 6409 Buist avenue, Philadelphia. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Office**, 1139 North Front street, Philadelphia, \$2,500. Owners, Robbins Cont. Co., 1137 North Front street, Philadelphia. Brick, 2 stories, 16x40 feet. Owners will build.

**Dairy (alts.)**, 3875 Terrace street, Philadelphia, \$2,000. Architects, Stuckert & Co., 1420 Chestnut street, Philadelphia. Owners, Penn Dairies, on premises. General alterations. Architects will build.

**Store (add.)**, 5542 Ridge avenue, Philadelphia, \$2,000. Architect, private plans. Owner, Harry L. Will, 5546 Ridge avenue, Philadelphia. Brick, 2 stories, 29x10 feet, slag roof. Owner will build.

**Garage and Ice House**, Northeast Corner Jackson and Garnet streets, \$13,500. Engineers, William F. Koelle & Co., 2601 Ox-

ford street, Philadelphia. Owners, Morganthaler Brothers, Second and Jackson streets, Philadelphia. Brick, 1 story, 92x33 feet, 50x34 feet, ice house, 22x34 feet, slag roof, cement floors. Architects will build.

**Residence and Store**, Southwest Corner Fillmore and Large streets, \$12,000. Architect, private plans. Owner, B. Zarchoff, 7048 North Broad street, Philadelphia. Brick, 2 stories, 25x72 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, South side Princeton avenue, East of Frontenac street, \$7,500. Architect, private plans. Owner, George W. Habgood, 4717 Wakeling street, Philadelphia. Brick, 2 stories, 30x40 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences and Garages (2)**, West side Oxford avenue, South of Rockwell avenue, \$6,500 each. Architect, private plans. Owner, Frank H. Grinwald, 455 East Wyoming avenue, Philadelphia. Brick, 2 stories, 15x50 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Store and Residence (add.)**, 701 North Forty-third street, Philadelphia, \$6,000. Architects, The Penwood Co., 131 North Fifteenth street, Philadelphia. Owner, Reuben Salkever, 628 South Twenty-first street, Philadelphia. Brick, 1 story, 5x28 feet, 10x40 feet, and 1 story, 21x20 feet. Owner will build.

**Garage**, 724 North Front street, Philadelphia, \$3,500. Architect, private plans. Owner, Samuel Klein, 512 North Second street, Philadelphia. Brick, 1 story, 15x125 feet, and 2 stories, 18x25 feet. Owner will build.

**Garage**, 7519-21 Ridge avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Thomas S. Pugh, on premises. Stone, 2 stories, 35x50 feet, and 1 story, 8x10 feet. Owner will build.

**Residence (add.)**, 518 Christian street, Philadelphia, \$2,500. Architect, private plans. Owner, Vincent Di Stefano, 1226 Ellsworth street, Philadelphia. Brick, 2 stories add., 17x45 feet. Owner will build.

**Garage and Residence (alts.)**, 133 East Mermaid Lane, \$2,500. Architect, private plans. Owner, P. Marcolina, on premises. General alterations. Owner will build.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Alterations**, 1425-27 Chestnut street, Philadelphia. Owners, Dennison & Hiron, 288 Lexington avenue, New York. Owners, Childs Co., 200 Fifth avenue, New York. Brick, cut stone, steel concrete, 2 add. stories, 95x39 feet, slag roof, cement floors, shoring, waterproofing, kalamein doors, copper skylights, tile, marble and terrazzo work, metal lath, rolling steel sash, imitation travertine. Contract awarded to George A. Fuller Co., Morris Building, Philadelphia, who are taking sub-bids.

**Church (alts.)**, Thirty-eighth and Spring Garden streets, Philadelphia. Architects, McGinnis & Walsh, 1010 Boylston street, Boston, Mass. Owners, St. Agatha's Roman Catholic Church, Rt. Rev. Monsignor M. C. Donovan, on premises. Brick, steel, cut stone, Indiana limestone, carpentry and mill work, plastering, cement and oak floors, painting and glazing, interior decorating. Contract awarded W. H. Gissell Co., Thirty-fourth and Broadway, N. Y.

**Residence**, North side Brighton street, West of Frontenac street, \$6,500. Architect, private

plans. Owner, J. Callahan, care of builder. Frame, 2 stories, 28x36 feet, shingle roof, hardwood and pine floors, hot air heat, electric light, tile work. Contract awarded to Daniel Carter, Hatboro, Pa.

**Warehouse**, West side Almond street, South of Ash street, Philadelphia, \$4,000. Architect, private plans. Owners, Behn & Wolff Co., on premises. Brick, 1 story, 32x82 feet, slag roof, cement work, electric work. Contract awarded to F. Crompton & Bro., 4614 Oakland street, Philadelphia.

**Garage**, 7425 Bingham street, Philadelphia, \$2,600. Architect, private plans. Owner, William N. Gould, on premises. Brick, 1 story, 75x18 feet, slag roof, cement floors. Contract awarded to Jacob Hansen, Afton street, Fox Chase, Philadelphia.

**Hospital (service wing)**, Broad and Ontario street, Philadelphia, \$300,000. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Samaritan Hospital, on premises. Brick, cut stone, steel, reinforced concrete, 3 and 4 stories and basement, 41x224 feet, wing 30x50 feet, Barrett's roof, lino-

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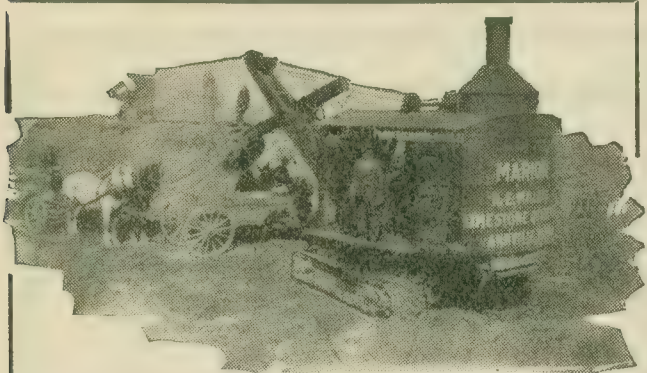
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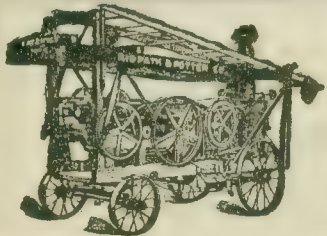
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leum and cement floors, hollow tile, painting and glazing, terra cotta, ornamental iron work, copper skylights, tile and marble work, rolling steel sash (plumbing, heating and electric work reserved). Contract awarded Wark Co., 1600 Walnut street, Philadelphia.

**Office Building**, Fifth and Walnut streets, Philadelphia. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Independence Realty Co., Third and Walnut streets, Philadelphia. Brick, steel, concrete, 8 stories, 180x100 feet, slag roof, cement floors, hollow tile, elevators, terra cotta, ornamental iron work, tile and marble work, metal lath, electric light, steam heat. Contract awarded Thompson Starrett Co., 49 Wall street, New York. Note builders.

**Garage Building**, North side Cambria, East of Twelfth street, Philadelphia. Architect, private plans. Owner, J. W. Vandergrift, 1017 Cambria street, Philadelphia. Brick, steel, concrete and reinforced concrete, cement floors, metal lath, glazed terra cotta coping, cut stone, ornamental iron work, iron stairs, rolled steel sash, slag roof, kalamein doors, oil system heating, ventilators, galvanized iron skylights, fuel oil burner. Size 63x225 feet, 10 inches. Contract awarded Robbins Cont. Co., 1137 North Front street, Philadelphia.

**Office and Apartment**, 5909 North Broad street, Philadelphia, \$20,000. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, Doyle & Tegan, care of architects. Brick, cut stone, steel, limestone, 3 stories and basement, 52x20 feet, slag roof, oak floors, painting and glazing, metal lath, tile and marble work, rolled steel sash, galvanized iron skylights, bond, ornamental iron work. Contract awarded J. J. Bateman, 6715 North Seventeenth, Philadelphia.

**Residence (alts.)**, School Lane, Germantown, Philadelphia. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, Dr. M. J. Karpless, 146 West Cheltenham avenue, Philadelphia. Brick, 3 stories, vapor heat, electric light, slate roof, hardwood floors, plastering, mill work, plumbing. Contract awarded G. H. English, Mt. Airy and Emlen streets, Philadelphia.

**Chapel and School**, Cottman and Torresdale avenue, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owner, St. Hubert's, Rev. John Ludwig, on premises. Stone, reinforced concrete, 2 stories and basement, 57x120 feet, slate roof, pine floors, vapor heat, electric light, tile work, metal ceilings, iron stairs. Contract awarded H. J. Sadler, Jr., 1117 Broadway, Quakertown, Pa.

**Garage**, 258-66 North Clarion street, Philadelphia. Architect, private plans. Owner, Alfred D. Wiler, Lincoln Building, Philadelphia. Brick, 1 story, 54x76 feet, wood and slag roof, cement floors, electric light (heat-

ing reserved)), rolled steel sash, hollow metal skylights, rolling steel doors. Contract awarded H. G. Walters, 412 North Fortieth street, Philadelphia.

**Residence and Garage**, West side Eleventh street, North of Cheltenham avenue, \$14,000. Architect, private plans. Owner, Samuel Smoke, 5026 North Eleventh street, Philadelphia. Stone and tile, 2 stories, 24x38 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work, garage, 1 story, 19x20 feet, cement floors. Contract awarded to C. L. Hemmerly & Son, 102 Melrose avenue, Philadelphia.

**School (alts. to fire tower)**, Second and Jefferson, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Michael's School, Second and Jefferson streets, Philadelphia. Contract awarded John McShain, Inc., 1610 North street, Philadelphia.

**Garage**, North side Foulkrod street, West of Duffield street, \$45,000. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, Eli Merevish, 739 South Sixtieth street, Philadelphia. Brick, 1 story, 118x100 feet, 52x99 feet, slag roof, cement floors, steel sash, electric light. Contract awarded to Terminal Const. Co., 6019 Market street.

**Store and Apartments (alts.)**, 3404 Walnut street, Philadelphia, \$10,000. Architects, R. R. Neely and E. William Martin, 2301 Spruce street, Philadelphia. Owner, D. Porreca. Brick, 3 stories, 21x90 feet, hot water heat, electric light, hardwood floors, tile work, metal ceilings, plumbing, general interior alts. Contract awarded Felix Claro & Co., 1700 Morris Building, Philadelphia.

**Church (alts. and add.)**, Mulberry and Meadows streets, Frankford, \$53,000. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owners, Second Baptist Church, Frankford, Philadelphia. Stone and stucco, 50x50 feet, slate roof, maple floors, steam heat, electric light, mill work. Contract awarded Felix Claro Co., 1700 Morris Building, Philadelphia.

**Garage**, Sixty-ninth and Market streets, Philadelphia, \$90,000. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owner, Alex. Millville, care of builder. Brick, 1 story, 200 x irregular, slag roof, cement floors, steam heat, electric light, rolled steel sash, hollow metal skylights, rolling steel doors, plumbing. Contract awarded Felix Claro Co., 1700 Morris Building, Philadelphia.

**Store and Apartment (alts. and add.)**, northeast corner 62nd and Girard avenue, \$12,800. Architects, R. R. Neely & E. Wm. Martin, 2301 Spruce street, Philadelphia. Owner, William J. McConnell, 5236 Larchwood street, Philadelphia. Brick, 3 stories, 24x18 feet, 10x10 feet, composition floors, electric light, general interior alterations, plumbing

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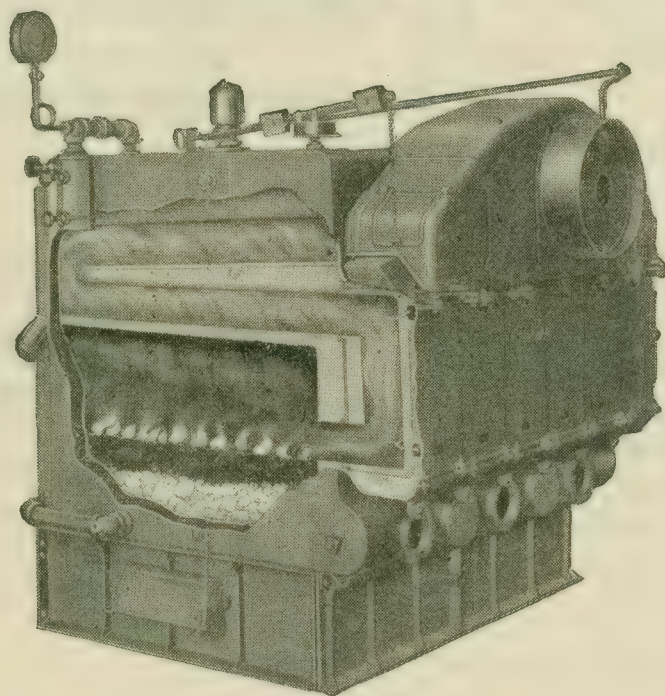
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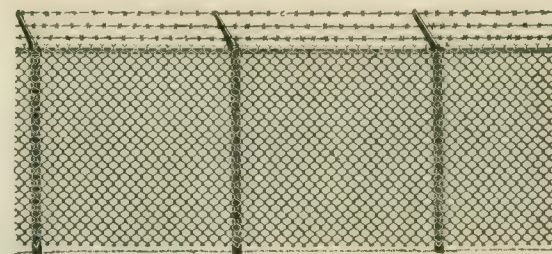
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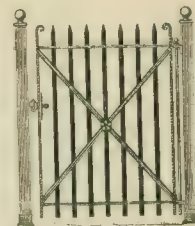
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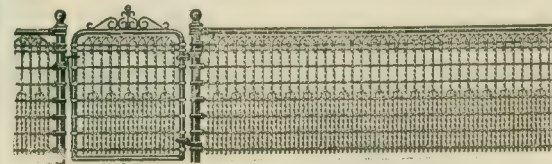
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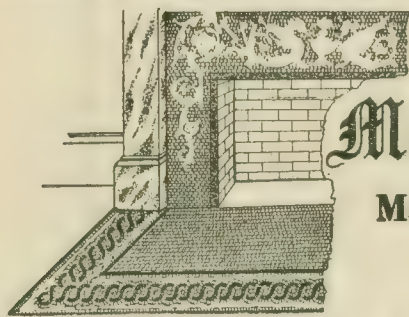
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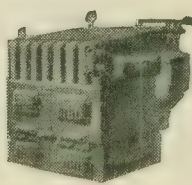
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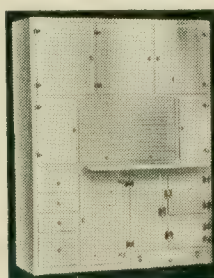
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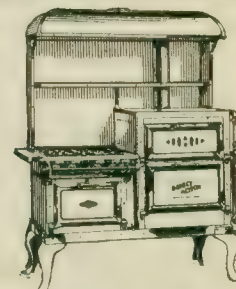
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**Wayne School (add.)**, Twenty-eighth and Morris streets, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, steel, granite, 3 stories and basement, 26x26 feet (plumbing, heating and electric reserved), composition roof, maple and cement floors, hollow tile, metal ceiling, dampproofing, ornamental iron work, metal lath, bond. Contracts awarded: G. B. Dobbins, 1020 South Forty-seventh street, Philadelphia, \$41,990. Heating, McClintock Brothers, 5608 Race street, Philadelphia, \$704. Electric, Walker & Kepler, 531 Chestnut street, Philadelphia, \$2,023.

**Clymer School**, Thirteenth and Cambridge streets, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Carpentry and mill work, painting and glazing, plastering, cement. Contract awarded Mitchell Brothers, 2125 Race street, Philadelphia, \$790.

**Contracts Awarded on Painting Bids** on following schools: Hama School, Spec. 47, J. Murphy, 1835 Ludlow street, Philadelphia, \$2,433. Belmont School, Spec. 50, J. Murphy, 1835 Ludlow street, Philadelphia, \$3,471. Clymer School, Spec. 54, H. Ehinger, Sixth and Duncannon streets, \$4,860. Wright School, Spec. 55, H. Ehinger, Sixth and Duncannon streets, \$3,560. Poe School, Spec. 44, E. Kooperman, Twenty-ninth and Poplar streets, \$3,760. Durham School, Spec. 45, J. Murphy, 1835 Ludlow street, Philadelphia, \$3,500. Various schools, Spec. 65, J. Murphy, 1835 Ludlow street, \$11,700. Various schools, Spec. 66, E. Kooperman, Twenty-ninth and Poplar

streets, \$18,730. Whittier School, Spec. 67, E. Kooperman, Twenty-ninth and Poplar streets, \$5,440.

**Residences (4)**, North side Sixty-seventh avenue, West of Fifth street, total \$35,000. Architect, private plans. Owner, A. V. Turner, Cheltenham avenue and Fairhill street, Philadelphia. Stone and brick, 2 stories, 16x46 feet, slag and slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Turner Brothers, 577 Cheltenham avenue, Philadelphia.

**Residences (2)**, South side Lincoln Drive, West of McCallum street, \$16,500 each. Architect, R. W. Mecaskey, Otis Building, Philadelphia. Owner, R. S. Dietz, 1315 Arch street, Philadelphia. Stone, 2 stories, 10x10 feet, 3 stories, 25x35 feet, and 1 story, 12x5 feet, slate roof, hardwood and pine floors, electric light, tile work. Contract awarded to J. W. Moffley, 515 West Mt. Airy avenue, Philadelphia.

**Store and Residence (alts. and add.)**, Southwest Corner Twenty-third and Lombard streets, Philadelphia, \$21,000. Owner, B. Feinstein, 1236 South street, Philadelphia. Brick, 4 stories add., 20x10 feet, general alterations. Contract awarded to A. Laub, 812 West Wyoming street, Philadelphia.

**Residence**, 5550 Baltimore avenue, Philadelphia, \$18,000. Architect, private plans. Owners, George & S. Fett, Southeast Corner Sixty-third and Webster streets, Philadelphia. Brick, 2 stories, 17½x100 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Charles R. Davis & Son, 1500 Ellsworth street.

**Manufacturing Building (alts.)**, West side Thompson street, North of Cumberland street, \$15,000. Architect, private plans. Owners, J. T. Lewis & Bro., Lafayette Building, Philadelphia. Carpentry, mill work, concrete work, cement work. Contract awarded to Turner Const. Co., 1713 Sansom street, Philadelphia.

**Boiler and Engine House (alts.)**, 233 North Third street (rear), \$9,000. Architect, private plans. Owners, H. O. Wilbur & Sons Co., 233 North Third street, Philadelphia. Steel and iron, new slag roof. Contract awarded to Turner Const. Co., 1713 Sansom street, Philadelphia.

**Store (alts. and add.)**, 2734 West Girard avenue, Philadelphia, \$10,000. Architect, private plans. Owner, Charles Schwartz, 6238 Spruce street, Philadelphia. Brick, 1 story, 3x34 feet, general alterations. Contract awarded to Frank I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Manufacturing Building (alts.)**, 28 North Third street, Philadelphia, \$8,500. Architect, private plans. Owner, Morris Mandell, 3237 Kensington avenue, Philadelphia. Fire escape and tower. Contract awarded to Joseph Cichiny, 2135 North Howard street, Philadelphia.

**Garages (2)**, East side Chatham street, North of Allegheny avenue, \$7,500. Architect, private plans. Owner, Peter Decker, 2418 East Allegheny avenue, Philadelphia. Brick, 1 story, 25x18 feet each, slag roof, cement floors. Contract awarded to John F. Delmar, 2429 East Allegheny avenue.

**Residence**, 7810 Buist avenue, Philadelphia, \$5,000. Architect, private plans. Owner, D. Becker, 7808 Buist avenue, Philadelphia. Brick, 2 stories, 16x36 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to I. Kaplan, 7904 Eastwick avenue, Philadelphia.

**Residence (alts.)**, 7552 Ridge avenue, Phila-

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Philadelphia, \$7,000. Architect, private plans. Owner, M. E. Dunlap, 1805 Walnut street, Philadelphia. General alterations. Contract awarded to William H. Eddleman & Son, 453 Graver's Lane, Philadelphia.

**Store (alts.),** 2645-47 Germantown avenue, Philadelphia, \$2,000. Architect, private plans. Owner, Charles W. Shelmire, on premises. General alterations. Contract awarded to H. P. Werner & Co., 3245 Germantown avenue, Philadelphia.

**Residences (2),** Rhawn street, West of Rowland avenue, Philadelphia, \$4,500 each. Architect, private plans. Owners, William Murphy and Mrs. George Atkinson, Holmesburg, Pa. Brick, 2 stories, 16x45 feet, hot water heat, electric lighting. Contract awarded to F. J. Blankenham, Bustleton, Philadelphia.

**Residence and Store,** 6081 Stenton avenue, Philadelphia, \$8,000. Architect, private plans. Owner, William Jaffi, 6079 Stenton avenue, Philadelphia. Brick, 2 stories, 18x52 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Maurice C. Manchey, 802 East Washington Lane.

**Store and Storage Building (alts. and add.),** 1505 Locust street, \$7,500. Architect, private plans. Owner, A. Edward Paussera, Bellevue Court Building, Philadelphia. Brick, 2 stories add., 6x50 feet, general alterations. Contract awarded to W. M. Manuel, 5849 Ellsworth street, Philadelphia.

**Residence,** North side Rowland avenue, South of Welsh Road, \$5,100. Architect, private plans. Owner, Harry L. Griffith, 8094 Fairview avenue, Philadelphia. Frame, 2 stories, 22x32 feet, shingle roof, hardwood and pine floors, hot air heat, electric light. Contract awarded to Alfred Darrah, Andalusia, Pa.

**Dye House (alts.),** North side Howard street, North of Allegheny avenue, \$5,000. Architect, private plans. Owners, Philadel-

phia Tapestry Mills, on premises. New roof. Contract awarded to A. L. Carhart, 1328 Chestnut street, Philadelphia.

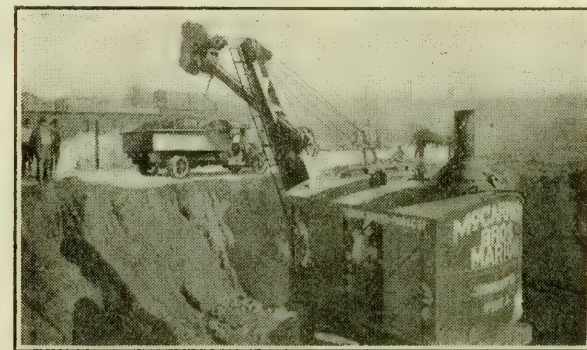
**Residence (add.),** 38 North Thirty-seventh street, Philadelphia, \$2,350. Architect, private plans. Owner, George F. Chapman, on premises. Brick, second story, 10x9 feet, third story, 16x21 feet. Contract awarded to Craftsmen Building Co., 8101 Erdrick street.

**Store and Residence (alts.),** 1822 South street, Philadelphia, \$2,000. Architect, private plans. Owner, A. Troopen, on premises. General alterations. Contract awarded to S. Milkufsky, 605 Morris street, Philadelphia.

**Apartment House (alts.),** 3627 Powelton avenue, \$4,375. Architect, private plans. Owner, C. E. Miller, on premises. General alterations. Contract awarded to P. Glasshoffer, 529 Morris street, Philadelphia.

**Residences (14),** West side Eighty-sixth street, between Harley and Gibson avenue, \$2,800 each. Architect, private plans. Owner, Joseph Becker, Eighty-sixth and Eastwick avenue, Philadelphia. Brick, 2 stories, 14x25 feet, slag roof, hot air heat, electric light. Contract awarded to Henry M. Williams, Eighty-sixth and Gibson avenue.

**Store and Residence (add.),** 704 North Thirty-ninth street, Philadelphia, \$2,500. Architect, private plans. Owner, R. Ores, 704 North Thirty-ninth street, Philadelphia. Brick, 1 story add., 14x15 feet, slag roof. Contract awarded to Mantua Building Co., 3218 Mantua avenue, Philadelphia.



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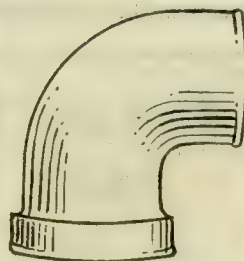
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**Residence**, North side Magee street, West of Charles street, \$4,500. Architect, private plans. Owner, Milard Haines, 4510 Tackawanna street, Philadelphia. Concrete block, 2 stories, 27x47 feet, pipeless heating, electric lighting. Contract awarded to Bartberger & Buckman, 1621 Brill street.

**Manufacturing Building (add.)**, 417 North Third street, \$5,000. Architect, private plans. Owners, Oehrle Brothers, on premises. Steel tank tower. Contract awarded to Reliance Tower & Steel Co., 94 Mangin street, New York.

**Store and Residence (alts.)**, Northwest Corner Eighth and Bainbridge streets, \$3,250. Architect, private plans. Owner, Michael Green, Northeast Corner Eighth and Bainbridge streets, Philadelphia. General alterations. Contract awarded to Thomas E. Bressi, 744 South Sixth street, Philadelphia.

**Office (alts. and add.)**, 841 East Allegheny avenue, \$2,500. Architect, private plans. Owner, Dr. Robert Clayton, 859 East Allegheny avenue, Philadelphia. Brick, 2 stories add., 10x12 feet, general alterations. Contract awarded to Clayton & Davison, 2030 East Westmoreland street.

**Club (alts. and add.)**, 1905 Buckius street, Philadelphia, \$2,500. Architect, private plans. Owners, Frankford German Club, on premises. Brick, 2 stories add., 16x20 feet, general alterations. Contract awarded to Bartberger & Buckman, 1621 Brill street, Philadelphia.

**Garage**, 1114 South street (rear), Philadelphia, \$2,000. Architect, private plans. Owner, Frank Campo, 118 South street, Philadelphia. Brick, 1 story, 19x42 feet, slag roof, cement floors. Contract awarded to V. Mangranelo, 1646 South Sixteenth street, Philadelphia.

**Garage**, 3710 North Sixth street, Philadelphia, \$2,500. Architect, private plans. Own-

er, Max Goldberg, 3714 North Sixth street, Philadelphia. Brick, 1 story, 13½x66 feet, cement floors. Contract awarded to Edward B. Miller, 3935 North Marshall street, Philadelphia.

**Manufacturing Building (add.)**, 1750 North Front street, \$2,000. Architect, private plans. Owners, Henry Siemon & Son, on premises. General alterations. Contract awarded to Frank L. Martindale, 2216 Chestnut street.

**Garage**, 891 Preston street, Philadelphia, \$2,000. Architect, private plans. Owner, F. G. Carr, on premises. Brick, 1 story, 18x33 feet, cement floors. Contract awarded to Albert Dell, 1532 East Berks street, Philadelphia.

**Bank (alts. and add.)**, Southeast Corner Sixty-fourth and Vine streets, \$6,500. Architect, private plans. Owner, Frank De Berardino, on premises. Brick, 1 story add., 16x30 feet, general alterations. Contract awarded to

D. J. Carmito, 319 North Sixty-fourth street, Philadelphia.

**Residence**, 1162 Passyunk avenue, Philadelphia, \$4,800. Architect, private plans. Owner, S. Cingham, 1162 Passyunk avenue, Philadelphia. Brick, 2 stories, 15x30 feet, 12x23 feet, hot water heat, electric. Contract awarded to D. Magletto, 1122 South Seventh street, Philadelphia.

**Store and Residence (add.)**, 2511 Germantown avenue, \$4,000. Architect, private plans. Owner, William Shue, on premises. Brick, 3 stories, 14x10 feet, and 2 stories, 14x11 feet. Contract awarded to John W. Bauer, 2723 North Twenty-sixth street, Philadelphia.

**Stores and Residences (2) (alts.)**, 2223-25 North Twenty-ninth street, \$2,000 each. Architect, private plans. Owner, S. Seidman, 2325 North Twenty-ninth street, Philadelphia. General alterations. Contract awarded to Basch & Co., Ruan and Tackawanna streets, Philadelphia.

## PENNSYLVANIA Construction News

**Store and Apartment**, Glenside, Pa. Architect, H. Trumbauer, Land Title Building, Philadelphia. Owner, Edwin N. Johnson, Glenside, Pa. Brick, cut stone and stucco, 2 stories, irregular, slate roof, oak and pine floors, hot water heat, electric light, tile work, metal lath, bond. Architect taking bids due April 22nd.

**Sewer**, South and Ridgeway avenue, Glenolder, Pa. Engineer, A. F. Damon, Jr., Upper Darby P. O. Building, Upper Darby, Pa. Owners, Borough of Glenolder, F. H. Bonsall, secretary, Upper Darby, Pa. Constructing 8-inch terra cotta pipe sewer. Owners taking bids due April 18th, 8 P. M.

**Manufacturers' Building and Dye House**, Bloomsburg, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Magee Carpet Co., Bloomsburg, Pa. Architects taking bids due April 25th at 10 A. M.

**Cottage No. 4 and Nurses' Cottage and Dairy Building**, Laurelton, Pa. Architect, G. S. Idell, 1705 Chestnut street, Philadelphia. Owners, Laurelton State Village, care of Mrs. L. M. McClure, Laurelton. Stone, 2½ stories, vapor heat, electric light, plumbing, macite partitions, plastering, cement work, painting interior, mill work, kitchen equipment, hardware. Architect taking bids due May 9th, 9.30 A. M.

**Hospital**, Ridley Park, Pa. Architect, W. Macy Stanton, 1524 Chestnut street, Philadelphia. Owners, Taylor Hospital, Ridley Park, Pa. Steel, stone, concrete, brick, 4 stories. Ready for bids in a week.

**High School**, Port Allegheny, Pa., \$75,000. Architects, M. E. Kressley Co., 13 North

Fourth street, Harrisburg, Pa. Owners, Port Allegheny School Board, L. C. Ralzer, secretary, Port Allegheny, Pa. Brick and steel. Too early for details.

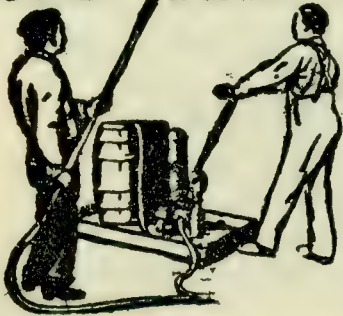
**Office**, Lewistown, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Penn Sand & Glass Co., Lewistown, Pa. Brick, 2 stories, 50x100 feet, slag roof, hardwood floors, electric light, tile work, safety treads, waterproofing and dampproofing, tile work, rolled steel skylights, iron stairs and work. Plans in progress.

**Store and Apartment**, Carlisle, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, Charles Berg, Carlisle, Pa. Brick, steel, limestone, 3 stories, 34x150 feet, slag roof, hardwood floors, hollow tile, steam heat, electric light, metal lath, tile work, marble work, plate glass. Plans in progress.

**Garage and Show Room**, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, St. Stephen's Protestant Episcopal Church, Dr. Sawyer, Harrisburg, Pa. Reinforced concrete, 4 stories, 50x75 feet, slag roof, concrete floors, city heat, electric light. Revised plans in progress.

**School (grade) (add.)**, South Renova, Pa. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, South Renova School District, H. M. B. Weikel, South Renova, Pa. Brick, 2 stories and basement, 71x40 feet, slag roof, yellow pine floors, hollow tile, ventilating system, heating extension, electric lighting, bond, iron stairs. Plans in progress. Owner will be ready for bids in 2 weeks.

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**High School (add.),** Sixth street, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, Harrisburg School Board, Harrisburg, Pa. Brick, steel, concrete, fireproof, 2 and 3 stories, 420x470 feet, composition roof, composition, concrete and maple floors, hollow tile, safety treads, waterproofing and dampproofing, terra cotta (heating, plumbing and electric work reserved), metal lath, tile and marble work, rolled steel sash, bond, iron stairs, ornamental iron work. Owners ready for bids, due May 9th.

**High School,** Fifteenth and Oley streets, Reading, Pa., \$300,000. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Reading School Board, Oscar B. Heim, secretary, Reading, Pa. Brick, 3 stories, steam heat, electric light. Architects selected.

**Sand and Gravel Plant,** Tullytown, Pa. Architect, private plans. Owners, Charles Warner Co., Wilmington, Del. Hollow tile, steel, 3 stories, 160x40 feet, wing 40x40 feet, slag roof, cement floors, steam heat, electric light, conveying machinery. Contract awarded W. Steele & Son, 219 North Broad street, Philadelphia. Plans in progress.

**Swimming Pool,** Jenkintown, Pa. Architects, De Armond, Ashmead & Bickley, 21 South Fifteenth street, Philadelphia. Owner, H. C. Gebson, Jenkintown, Pa. Reinforced concrete, steel and cement, reinforced iron, excavation, plumbing. Architects will build.

**Central Power Plant,** Greensburg, Pa. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, Greensburg School District, Greensburg, Pa. Brick, steam system, ventilating system. Owners about ready for bids due May 13th.

**Southern Junior High School,** Reading, Pa. Architect, E. Z. Scholl, 136 East Robeson street, Reading, Pa. Owners, Reading School District, J. N. Roads, president, Reading, Pa.; E. Heim, secretary. Heating, ventilating and electric work. To be revised.

**Twin Residence,** Spring City, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Frank L. Walley, Broad street, Spring City, Pa. Cement block, 2½ stories, 36x34 feet, asbestos roof, yellow pine floors, plumbing, pipeless heating, electric lighting. Plans completed.

**Residence,** Spring City, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Harry R. Burgoyne, 410 New street, Spring City, Pa. Brick and stone, 2 stories, 28x32 feet, asbestos roof, yellow pine floors (heating, plumbing and lighting reserved), tile work, Morgan doors, bond. Plans completed. Owner will take bids.

**Church and Sunday School,** Williamsport, Pa. Architect, W. D. Shollenberger, 1522 Scott avenue, Williamsport, Pa. Owners, Lutheran Church of the Redeemer, Rev. C. H. Brosius, chairman Building Committee, Williamsport, Pa. Brick and stone, 1 story and basement. Preliminary plans in progress.

**Residences (6),** Media, Delaware County, Pa. Architect, Frank C. Watson, Wallingford, Pa., and Chester, Pa. Owner, William Reynolds, Media, Pa. Stone, brick and shingle, 2½ stories, hardwood floors, plumbing, electric lighting, heating. Plans in progress.

**Residence and Store (alts. and add.),** Edgemont avenue and Eighth street, Chester, Pa. Architect, Frank C. Watson, Wallingford, Pa.

Owner, name withheld. Brick, terra cotta, hardwood and tile floors, plumbing, heating, etc. Architect ready for bids.

**Residences,** Springfield, Delaware County, Pa. Architect, Frank C. Watson, Wallingford, Pa. Owner, name withheld. Stone, brick, terra cotta and shingle, 3 stories, slate roof, hardwood floors, plumbing, heating, electric lighting. Plans in progress.

**Station,** Bethlehem, Pa. Architect, Kenneth M. Murchison, 101 Park avenue, New York City. Engineer, C. C. Hurlberte, 101 Park avenue, New York City. Owners, Lehigh Valley Railroad, E. Loomis, 143 Liberty street, New York, and Philadelphia & Reading Railroad, A. T. Dice, Twelfth and Market streets, Philadelphia. Brick, 2 stories, 100x164 feet, steam heat, electric light, marble floors, safety treads, tile and marble work, ornamental iron work. Plans in progress.

**Residence and Garage (4),** Hansome Lane, McClenachon's Mill Road, Wynnewood, Pa. Architects and owners, Albert F. and H. D. Dagit, 34 South Seventeenth street, Philadelphia. Stone, frame, stucco, 2½ stories, 24x36 feet, 10x20 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work, cement work. Owner will build.

**Residence,** Womelsdorf, Pa. Architect, Calvin J. Young, 226 North Sixth street, Reading, Pa. Owner, Irwin Heller, 233 North Thirteenth street, Reading, Pa. Brick, 2 stories, 30x28 feet, composition roof, pine floors, electric light. Owner ready for bids.

**Residence,** Muhlenberg Park, Reading, Pa. Architect, Calvin Young, 226 North Sixth street, Reading, Pa. Owner, H. H. Kline, 715 North Fourth street, Reading, Pa. Brick, stucco, 2½ stories, 40x27 feet, shingle roof, hardwood floors, electric light, tile work. Owner taking bids.

**School,** Jersey Shore, Pa., \$200,000. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, School Association, Borough of Jersey Shore, C. E. Peterson, secretary, Jersey Shore, Pa. Brick, 2 stories, flat asphalt roof, maple floors, hollow tile, roof ventilators, metal weather strips, damp-proofing (heating, electric work and plumbing reserved), metal lath, rolled steel sash, skylights, kalamein doors, bond, iron stairs, ornamental iron work. Owners taking bids due May 5th.

**Residence,** Ashland, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owner, H. W. Laubenstein, Ashland, Pa. Hollow tile and stucco and concrete, 3 stories, 35x46 feet, slate, tin, canvas roof, hardwood, composition and tile floors, hot water heat, electric light, tile work, limestone, plumbing, incinerator. Architect taking bids due April 18th.

**Memorial Hall Building,** Willow Grove, Pa. Architect, T. Frank Miller, 1012 Walnut street, Philadelphia. Owners, Willow Grove Community Memorial Building, care of J. Dyre Moyer, Willow Grove, Pa. Stone, brick, cut stone, 2 stories and basement, 95x114 feet, slag roof, maple floors, steam heat, painting and glazing, bond, ornamental iron work, iron stairs, terra cotta. Owners taking bids due April 18th.

**Public School,** Newton Square, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owners, Board of Education School District of Newton Square, Pa. Brick, steel, concrete, cut stone, 2 stories, 115x64 feet, asphalt built-up roof, cement

and maple floors, painting and glazing, waterproofing, dampproofing, ornamental iron work, metal lath, tile work. Owners taking bids due April 21st.

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due April 23rd at 10 A. M.

Allegheny County, Route 187, Patton, Penn and Wilkins Townships, 19,423 feet. One course reinforced concrete. Certified check, \$3,500.

Butler County, R-73, Butler and Center Townships, 11,202 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

Erie County, R-88, A-1145 and 2679, Wattsburgh Borough and Venango Township, 15,672 feet. One course reinforced concrete. Certified check, \$2,000.

Fayette County, R-116, Georges and South Union Township, 9,718 feet. One course reinforced concrete. Certified check, \$1,500.

Lackawanna County, Route 9, South Abington Township and Clark's Summit Borough, 8,199 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$1,500.

Luzerne County, Route 4, Plymouth Borough, 5,914 feet. One course reinforced concrete. Certified check, \$1,500.

Montgomery County, R-146, West Norriton and Lower Providence Townships, 33,080 feet. One course reinforced concrete. Certified check, \$4,000.

Northampton County, Route 175, Walnutport Borough, Lehigh Township, 12,571 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

Potter County, R-101, A-2595, Coudersport Borough, 2,271 feet. One course reinforced concrete. Certified check, \$1,500.

Susquehanna County, R-14, Jessup and Bridgewater Townships and Montrose Borough, 27,214 feet. One course reinforced concrete. Certified check, \$4,000.

Somerset County, R-52, Conemaugh Township, 7,393 feet. One course reinforced concrete. Certified check, \$1,500.

Westmoreland County, R-187, Franklin Township and Export Borough, 10,089 feet. One course reinforced concrete. Certified check, \$2,000.

Owners taking bids due April 24th at 10 A. M.:

Beaver County, A-1951, Greene Township, 12,303 feet. One course reinforced concrete. Certified check, \$2,500.

Bradford County, R-15, A-2340, Rome Township and Rome Borough, 10,700 feet. One course reinforced concrete. Certified check, \$2,000.

Butler County, R-71, Clearfield and Summit Townships, 34,306 feet. One course reinforced concrete. Certified check, \$4,000.

Carbon County, A-2623-2624, Lansford and Summitt Hill Borough, 3,495 feet. Vitrified brick. Certified check, \$1,500.

Huntingdon County, R-121, Shirleysburg Borough, Shirley Township, 22,164 feet. One course reinforced concrete. Certified check, \$4,000.

Indiana County, R-63, White and Rayne Townships, 38,642 feet. One course reinforced concrete. Certified check, \$4,000.

Lehigh County, R-226, A-1926, Heidelberg and Lynn Townships, 20,283 feet. One course

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reinforced concrete. Certified check, \$4,000. Montgomery County, R-146, Trappe Borough, 7,167 feet. One course reinforced concrete. Certified check, \$2,000.

Washington County, R-108, North Strabane Township, 7,268 feet. One course reinforced concrete. Certified check, \$1,500.

Westmoreland-Allegheny Counties, Route 187, Patton and Franklin Townships, 22,552 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$4,000.

York County, Route 216, Springgarden and York Townships, 28,478 feet. One course reinforced concrete. Certified check, \$4,000.

**Church and Parsonage**, York, Pa. Architect, H. E. Yessler, Rupp Building, York, Pa. Owners, Grace Methodist Episcopal Church, Rev. A. C. Shue, 611 West Philadelphia street, York, Pa. Stone, 1 and 2½ stories, 50x70 feet, 28x50 feet, slate roof, hardwood floors, steam heat, electric light. Plans in progress. Will be ready for bids April 20th.

**Stores and Apartments**, 24-26 South Second street, Harrisburg, Pa. Architects, Kast & Kelker, 222 Market street, Harrisburg, Pa. Owners, Harrisburg Electrical Supply Co., on premises. Fireproof, brick, Indiana limestone, 5 stories, 136x100 feet, steam heat, electric light, metal lath, tile work, plate glass, iron stairs, ornamental iron work, fireproof roof, hardwood and concrete floors, hollow tile, elevators. Owners will build.

**Residences (10)**, Harrisburg, Pa., \$40,000. Architect, private plans. Owner, J. R. Wilson, 2418 Reel street, Harrisburg, Pa. Brick, 2½ stories, 30x26 feet, pine floors, electric lighting. Owner will build.

**School**, Westlampeter Township, Lancaster County, Pa. Architect, H. Y. Shauh, 20½ North Queen street, Lancaster, Pa. Owners, Westlampeter Township School District, Mr. Musser, secretary. Brick, 1 story and basement, 40x140 feet, slag roof, composition floors, hollow tile, ventilating system (heating, electric and plumbing reserved), rolled steel sash. Ready for bids next week.

**Warehouse**, Seventeenth street, Harrisburg, Pa., \$30,000. Architect, private plans. Owners, C. Lynch and William Jennings, Harrisburg, Pa. Brick, 1 story, slag roof, concrete and wood floors, electric light. Owners will build.

**New Coal Pockets and Office**, Lansdowne, Pa. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, George B. Newton Coal Co., Trenton and Lehigh avenues, Philadelphia. Metal lath and stucco, concrete, 1 story office, 30x16 feet, coal pockets, 50x60 feet, slag roof, hollow tile, carpentry, plumbing, painting and glazing, electric light, ornamental iron work, reinforced concrete driveway. Architect taking bids due April 18th.

**Warehouse and Garage**, State Road, Arlington Station, Upper Darby Township. Engineer, Ralph N. Priest, 1627 Sansom street, Philadelphia. Owners, Mason Adams Builders' Supply Co., on premises. Brick, hollow tile, steel, stucco, 1 story, 134x50 feet, slag roof, plumbing, cement and plank floors, ornamental iron work, bond, rolling steel doors, rolling steel sash. Engineer taking bids due April 21st.

**Residence**, Wynnewood, Pa. Architect, E. S. Matthewson, 101 South Juniper street, Philadelphia. Owner, Dr. Mervyn Ross Taylor, 1823 Spring Garden street, Philadelphia. Architect taking bids due April 21st.

**Convent**, Columbia, Pa. Architect, Paul Monaghan, 1713 Sansom street, Philadelphia. Owners, Holy Trinity Roman Catholic Church, Rev. P. H. Brueggeman, Columbia, Pa. Stone, 1 story. Architect taking bids due April 28th.

**Hall**, Shamokin, Pa. Architect, Paul Monaghan, 1713 Sansom street, Philadelphia. Own-

ers, St. Edward's, Shamokin, Pa. Architect taking bids due April 21st.

**Road Work**, Pennsylvania. Low bidders on road work opened April 7th:

Indiana County, R-223, Blairsville Borough. One course reinforced concrete. M. Bennett & Sons, Indiana, Pa., \$44,248.30.

Warren County, Route 95, Mead Township, Claendon Borough. Either bituminous surface course on concrete foundation or one course reinforced concrete. W-B Const. Co., Erie, Pa., \$315,278.27.

Indiana County, R-223, Burrell and West Wheatfield Townships. One course reinforced concrete. Rood Const. Co., Butler, Pa., \$321,475.63.

Cameron County, Route 105, Gibson and Lumber Townships. Grading and drainage. M. Bennett & Sons, Indiana, Pa., \$197,387.60.

Allegheny County, R-181, A-1058, Forward Township. One course reinforced concrete. A. G. Rothery, Elizabeth, Pa., \$104,769.95.

Clearfield County, R-234, A-2043, Bigler and Woodward Townships. One course reinforced concrete. George I. Thompson Co., Bradford, Pa., \$74,749.57.

Cambria County, R-62, East Carroll and Cambria Townships. One course reinforced concrete. Clark Brothers Const. Co., Hastings, Pa., \$164,486.10.

Chester County, A-650, London-Brittain Township. One course reinforced concrete. Lincoln Const. Co., Strafford, Pa., \$90,872.10.

Centre County, R-307, A-2712, State College Borough. One course reinforced concrete. P. B. Colgan Co., Inc., Lewistown, Pa., \$51,550.97.

Greene County, R-268, Jefferson Township. One course reinforced concrete and hillside vitrified brick. Jones Const. Co., Salem, Ohio, \$231,925.70.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Low bidders on road work opened April 8th, 1924:

Columbia County, R-183, A-2118, Locust Township. One course reinforced concrete. James Christiano, Shamokin, Pa., \$132,952.10.

Bedford County, R-47, Sec. 1, Bedford Township. One course reinforced concrete. W. C. Guncheon & Co., Harrisburg, Pa., \$239,402.14.

Somerset County, R-50, Spur A, A-2731-2-3, North Centerville Borough, Milford Township and Rockwood Borough. Either one course reinforced concrete and hillside vitrified brick or bituminous surface course on concrete foundation and hillside vitrified brick. M. F. McCabe & Co., Fairmount, W. Va., \$165,441.

Monroe County, A-2734, Hamilton and Ross Townships. Either bituminous surface course on concrete foundation or one course reinforced concrete. T. M. Gibbs Const. Co., 215 South Broad street, Philadelphia, \$140,085.03.

Washington County, R-268, Sec. 3, East Bethlehem Township. One course reinforced concrete. Jones Const. Co., Salem, Ohio, \$55,260.75.

Monroe County, R-168, Coolbaugh Township. One course reinforced concrete. Souder Const. Co., Lancaster, Pa., \$256,915.55.

Venango County, R-208, Polk Borough. One course reinforced concrete. Jamieson & Narlee, Fredonia, Pa.

Cambria County, R-62, Sec. 4, Susquehanna Township. One course reinforced concrete. McClure & Bigner Co., Inc., Johnstown, Pa., \$194,351.11.

Indiana County, R-314-223, East Wheatfield Township, Armagh Borough. One course reinforced concrete. Booth & Flinn, Pittsburgh, Pa., \$332,513.50.

Chester County, A-1430, West Nottingham Township. One course reinforced concrete. Sutton & Corson Co., Ocean City, N. J., \$112,646.96.

Lawrence County, A-1623, North Beaver Township. One course reinforced concrete.

E. A. Freshwater & Sons, Chester, W. Va., \$110,323.21.

Warren County, R-95, Sec. 2, Mead and Sheffield Townships. Either bituminous surface course on concrete foundation or one course reinforced concrete. J. C. Devine Co., Alliance, O., \$165,348.53.

Beaver County, R-76, Centre and Hopewell Townships. One course reinforced concrete. D. W. Challis & Sons, Inc., \$368,032.15.

Erie County, R-271, Sec. 2, Le Boeuf-Union Township, Union City Borough. Either bituminous surface course on concrete foundation or one course reinforced concrete. Joseph McCarty Const. Co., Bessemer, Pa., \$138,492.73.

Berks County, A-2801-2802, Maxatawny and Long Swamp Townships, Tipton Borough. One course reinforced concrete. General Paving Co., Allentown, Pa., \$101,325.70.

Lycoming County, R-355, A-1036, Muncy Township, length 3,867 feet. One course reinforced concrete. R. C. Fiss & Ira T. Fiss, Shamokin, Pa., \$55,247.50.

**Road Work**, State of Pennsylvania. Owners taking bids due April 28th at 10 A. M.

Bedford County, R-47, St. Clairsville Borough, King and East St. Clair Townships, 28,309 feet. One course reinforced concrete. Certified check, \$4,000.

Clearfield County, R-234, A-2042, Decatur and Woodward Townships, 12,080 feet. One course reinforced concrete. Certified check, \$2,000.

Erie County, R-304, Union, Wayne and Concord Townships, 27,100 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Fayette County, A-1468, Luzerne Township, 6,565 feet. One course reinforced concrete. Certified check, \$1,500.

Franklin County, A-585, Quincy Township, 13,400 feet. One course reinforced concrete. Certified check, \$2,500.

Jefferson County, R-61, A-2660, Warsaw Township, 13,400 feet. One course reinforced concrete. Certified check, \$2,500.

Jefferson County, A-2735, Washington Township, 10,560 feet. One course reinforced concrete. Certified check, \$2,000.

Lackawanna and Wyoming Counties, R-365, Falls Township and Newton Township, 39,192 feet. One course reinforced concrete. Certified check, \$4,000.

Lebanon County, R-376, West Cornwall and South Londonderry Township, 15,050 feet. One course reinforced concrete. Certified check, \$2,500.

Lehigh County, A-2497, Catasauqua Borough, 8,884 feet. One course reinforced concrete. Certified check, \$1,500.

Luzerne County, R-4, Plymouth Township, 7,888 feet. One course reinforced concrete. Certified check, \$1,500.

Owners taking bids due April 29th at 10 A. M.:

Armstrong County, R-189, Valley and Cowanshannock Townships, 29,036 feet. One course reinforced concrete. Certified check, \$4,000.

Bucks County, A-2659, Hulmeville Borough, 6,550 feet. One course reinforced concrete. Certified check, \$1,500.

Butler County, R-79, Prospect and Portersville Borough, Franklin and Muddy Creek Townships, 37,503 feet. One course reinforced concrete. Check, \$4,000.

Clarion County, A-2577, Sec. 1, Beaver Township, 15,840 feet. One course reinforced concrete. Certified check, \$3,000.

Erie County, R-88, Wayne and Concord Townships, 25,300 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Fayette County, R-117, North Union Town-



ship, 8,374 feet. One course reinforced concrete. Certified check, \$1,500.

Fayette County, A-563, Connellsville Township, 4,900 feet. One course reinforced concrete. Certified check, \$1,000.

Monroe County, A-2018, Polk Township, 6,705 feet. One course reinforced concrete. Certified check, \$1,500.

Westmoreland County, A-143, Rostraver Township, 13,100 feet. One course reinforced concrete. Certified check, \$2,500.

Schuylkill County, R-140, Pine Grove Borough, Pine Grove, Washington and Wayne Townships, 29,410 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

York County, A-523, Fawn Township, 13,113 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,500.

## Pennsylvania Contracts Awarded

**Southern Junior High School**, Reading, Pa. Architect, E. Z. Scholl, Reading, Pa. Owners, School District of Reading, Pa., Adam Leader, superintendent, Reading, Pa. Brick, reinforced concrete, steel, cut stone, 3 stories and basement, 217x172 feet (plumbing, heating, electric reserved), tile roof, hollow tile, asphalt mastic, cement and maple floors, safety treads, waterproofing, terra cotta, ornamental iron work, iron stairs, bond, hollow metal doors, rolled steel skylights and sash tile and marble work, metal lath. Contracts awarded. M. Melody & Son, 1322 Race street, Philadelphia, \$718,500.

**Grade Schools (alts. and add.) (3)**, Leeperville, Woodlyn and Kerdon, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Scholl District of Ridley Township, Delaware County, Pa.

Leeperville School—Brick, cut stone, steel, 2 stories, 77x25 feet (4 class rooms) (plumbing, heating and electric separate), cement and maple floors, composition roof, hollow tile, roof ventilators, plumbing, painting and glazing, dampproofing, ornamental iron work, bond, metal lath. Contracts awarded: F. J. Kerr, Eddystone, Pa., \$21,745. Electric, Enterprise Elec. Co., 238 South Tenth street, \$225.

Woodlyn School—Brick, cut stone, steel (plumbing, heating, electric separate), 2 stories and basement (4 class rooms), 23x33 feet, cement and maple floors, composition roof, hollow tile, roof ventilators, plumbing, painting and glazing. Contracts awarded: Ward Cont. Co., Eighteenth and Edgmont avenue, Chester, Pa., \$28,500. Electric, Pelson Brothers, Ruthledge, Pa., \$160. Plumbing, Turner Plumbing Co., Fifth and Bridge streets, Chester, \$1,550. Heating and ventilating, Turner Plumbing Co., Chester, Pa., \$3,350.

Kerdon School—Brick, cut stone, steel, 2 stories and basement (4 class rooms), 60x35 feet (plumbing, heating, electric separate), composition roof, cement and maple floors, hollow tile roof ventilators, plumbing, painting and glazing. Contracts awarded: F. J. Kerr, Eddystone, Pa., \$19,800. Electric, Pelson Brothers, Ruthledge, Pa., \$160. Heating and ventilating, Turner Plumbing Co., Chester, Pa., \$1,850.

**Rectory**, Wilkes-Barre, Pa. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, St. Mary's Roman Catholic Church, Rev. J. H. Curran, Wilkes-Barre, Pa. Brick, cut stone, reinforced concrete and stone, 3 stories and basement, 46x75 feet, slate roof, linoleum composition, pine and cement floors, electric light, metal lath, tile and marble work, bond, iron work, waterproofing, terra

cotta. Contract awarded M. L. Roth, 127 South Wells street, Wilkes-Barre, Pa.

**Building (alts. and add.)**, Ashland, Pa. Architect, Benjamin Rush Stevens, 1827 Arch street, Philadelphia. Owners, Ashland National Bank, Ashland, Pa. Brick, cut stone, cast stone, steel, 1 story and mezzanine, 43x42 feet, slag roof, cork and cement floors, hollow tile, painting and glazing, roof ventilators, metal window guards, metal ceilings, shoring, bond, rolled steel sash and skylights, tile work, metal lath, electric light, steam heat. Contract awarded to Barnes Const. Co., 1828 Arch street, Philadelphia.

**Moving Picture Theatre**, Main and Donaldson streets, Doylestown, Pa. Architect, A. Oscar Martin, Hart Building, Doylestown, Pa. Owners, I. O. O. F. of Pennsylvania Hall Association, Aquatong Lodge, No. 193. Brick, 1 story and mezzanine, 140x53 feet, slag roof, concrete, pine and mineral floors, roof ventilators, metal ceilings, dampproofing, ornamental iron work, floor hardener, metal bulks, bond, rolled steel sash, metal lath, painting and glazing. Contract awarded Barnes Const. Co., 1828 Arch street, Philadelphia.

**Garage, Show Room and Accessory Shop**, Quarry and Chester Pike, Darby. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. Foster, on premises. Brick, steel, concrete, 2 stories, 70x100 feet, slag roof, maple floors, plate glass, steam heat, electric light, metal lath, fire doors, hollow metal skylights, metal bulks. Contract awarded Gotshall & Ralston, Darby, Pa.

**Store, Residence and Garage**, 308 North Fifth street, Reading, Pa. Architect, Calvin Young, 226 North Sixth street, Reading, Pa. Owners, M. E. Lorish & Son, 225 North Fifth street, Reading, Pa. Brick, 3 and 1 stories, 18x75 feet, 18x40 feet, built-up roof, pine and concrete floors, electric light (heating reserved), plate glass, rolled steel sash. Contract awarded to William E. Spatz, American Cas. Building, Reading, Pa.

**Church**, York, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Memorial Reformed Church, Rev. E. O. Keen, York, Pa. Interior finish, metal lath, stucco, ornamental plaster, general interior alterations. Contract awarded to Hess Brothers, York, Pa.

**Residence**, Front street, Harrisburg, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owner, S. G. McNeese, 315 Walnut street, Harrisburg, Pa. Frame, 2½ stories, 40x75 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Contract awarded to Charles Bushong, 1713 Boas street, Harrisburg.

**High School**, Bradford, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, School Board of Bradford, C. W. Charlton, Bradford, Pa. Brick, steel, semi-fireproof, 2 stories and basement, 250x300 feet, slag roof, slate roof, pine floors, hollow tile. Contract awarded to Havens Const. Co., Olean, N. Y., \$333,142.

**Cold Storage Building**, Biglerville, Pa. Architect, private plans. Owners, Biglerville Cold Storage Association, Biglerville, Pa. Reinforced concrete, 3 stories, 100x100 feet, slag roof, concrete floors, hollow tile, roof ventilators, waterproofing and dampproofing, electric work, rolled steel sash, floor hardener, iron stairs. Contract awarded to Quigley Hafer, Chambersburg, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. April 1st letting:

Franklin Bridge, Route 37, Peters Township, \$21,025.65. Contract awarded to Mason & Savage, Warren, Pa.

Armstrong Bridge, Jacob Heilman Bridge between Bethel and Manor Townships, over Crooked Creek, \$42,612.60. Contract awarded to Standard Eng. & Cont. Co., Toledo, Ohio.

Warren County, Route 88, Pittsfield and Broken Straw Townships, Youngsville Borough, \$176,165.82. Contract awarded to J. C. Devine Co., Alliance, O.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. March 31st letting:

Luzerne County, Route 170, Ashley Borough, \$40,608.10. Contract awarded M. J. Malloy, Sugar Notch, Pa.

McKean County, Route 211, Otto Township, \$118,242.92. Contract awarded to Earl C. Jones, Great Valley, N. Y.

April 1st letting:

Erie County, Route 272, West Mill Creek Township, \$78,544.70. Contract awarded to McDermott Const. Co., Niles, Ohio.

Berks County, R-141, Strausstown Borough, Tulpehocken and Upper Bern Townships, \$197,177.35. Contract awarded to D. L. Risser, Lebanon, Pa.

**Road Work**, Pennsylvania (April 1st letting. Owners, State Highway Department, Harrisburg, Pa. Montgomery County, R-146, Limerick and Lower Pottsgrove Townships, \$197,297.87. Contract awarded to McNichol Paving & Const. Co., 1923 Cherry street, Philadelphia.

**Bank**, Jenkintown, \$400,000. Architect, H. Trumbauer, Land Title Building, Philadelphia. Owners, Jenkintown Bank & Trust Building, Jenkintown, Pa. Brick, cut stone, steel, 1 story and mezzanine, 151x57 feet, slag and tile roof, cement and oak floors, elevators, painting and glazing, shoring, waterproofing, kalamein doors, bond, ornamental iron work, iron stairs, tile and marble work, metal lath, electric light, steam heat, mineralized flooring. Contract awarded F. L. Hoover & Sons, 1023 Cherry street, Philadelphia.

**Convent**, Shamokin, Pa. Architect, Paul Monaghan, 1713 Sansom street. Owners, St. Stanislaus', Rev. Albert Topolinski, Shamokin, Pa. Brick, cut stone, steel, 3 stories, 68x78 feet, vapor heat, electric light, metal lath, tile and marble work, hollow metal sash, bond, roof ventilators, painting and glazing, oak and pine floors, composition roof. Contract awarded East End Lumber Co., Shamokin, Pa.

**Store (alts. and add.)**, Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, M. Garvin, 31 East King street, Lancaster, Pa. Brick, steel, 5 stories, 30x250 feet, slag roof, pine floors, hollow tile, roof ventilators, heating extension, electric light, metal lath, tile and terrazzo work, terra cotta, rolled steel sash and skylights, fire doors, fire escapes. Contract awarded to H. Stumpf, Lancaster, Pa., care of architect.

**Residence**, Red Lion, Pa. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owner, Dr. Trout, care of architects. Frame and stucco, 2½ stories, shingle roof, hardwood floors, electric light. Contract awarded to William Thompson, Red Lion, Pa.

**School (alts. and add.)**, Strasburg, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Strasburg School Board, Mr. B. Anment, secretary, Strasburg. Brick, 2 stories, 40x60 feet, slate roof, maple floors (heating, electric light, plumbing reserved). Contract awarded to L. Wohlson, Breneman Building, Lancaster, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Clearfield County, Jefferson County, R-338, Sykesville Borough, Winslow and Brady Townships, \$193,040.35. Contract awarded to Avery & Bailey, Philipsburg, Pa.

Cambria County, R-62, East Carroll and Cambria Townships, \$164,486.10. Contract awarded to Clark Brothers Const. Co., Hastings, Pa.

Chester County, A-650, London-Britian



Township, \$90,872.10. Contract awarded to Lincoln Const. Co., Strafford, Pa.

#### Road Work, State of Pennsylvania.

Venango County, R-65, Cranberry Township, \$230,831.95. Contract awarded to Woods & Golder, New Castle, Pa.

Washington County, R-325, Amwell Township, \$402,258.60. Contract awarded to Donora Const. Co., Donora, Pa.

Armstrong County, Rayburn & Valley Townships, \$282,824.95. Contract awarded to L. H. Hileman Const. Co., New Kensington, Pa.

Clearfield County, R-234, Bigler and Woodward Townships, \$74,749.07. Contract awarded to George I. Thompson Co., Clearfield, Pa.

Greene County, R-268, Jefferson Township, \$231,925.70. Contract awarded to Jones Const. Co., Salem, Ohio.

Washington County, R-268, East Bethlehem Township, \$55,260.75. Contract awarded to Jones Const. Co., Salem, Ohio.

## New Jersey Construction News

**Apartment**, Atlantic City, N. J. Architect, J. R. Ogden, 143 South South Carolina avenue, Atlantic City. Owner, name withheld. Semi-fireproof, 3 stories, 52x185 feet, slag roof, hardwood floors, steam heat, electric light, metal lath, tile and marble work. Plans in progress.

**Apartment**, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owner, Dr. P. Marvell, 1616 Pacific avenue, Atlantic City, N. J. Brick, steel, 5 stories, 33x105 feet, slag roof, hardwood floors, hot water heat, electric light, tile and marble work, plate glass, waterproofing. Plans in progress.

**Display Room and Office (alts.)**, St. Charles Place and Boardwalk, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City. Owners, International Business Machine Corp., care of architect. General alterations, plumbing, composition and tile floors, electric light, tile and marble work, electric fixtures, ornamental plaster. Plans in progress.

**Residence (alts. and add.)**, Stenton avenue and Boardwalk, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, Mrs. G. H. Ralston, care of architect. Brick, stucco, frame, 2 stories, 125x30 feet, slate roof, hardwood floors, metal lath, tile work, plumbing, general alterations. Plans in progress.

**Residence (alts.)**, Newton and Beach, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, care of architect. Brick, frame, stucco, 2 stories, slate roof, hardwood floors, 60x20 feet, slate roof, hardwood floors, general alterations. Plans in progress.

**Church**, Pleasantville, N. J. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City. Owners, Baptist Church of Pleasantville, Rev. J. Thornton, 114 Harrison street, Pleasantville, N. J. Stucco, concrete block, 2 stories, 30x80 feet, slate roof, hardwood floors, electric lighting. Plans in progress.

**Single and Twin Residences (10)**, Pitman, N. J. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Brick and frame, 2½ stories and 2 stories, hot water heat, electric light, shingle and asphalt shingle roof, hardwood floors, tile work. Plans in progress.

**Convent**, Perth Amboy, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, Holy Trinity Roman Catholic Church, Rev. Joseph Szuchy, Perth Amboy. Brick, stone, 3 stories, 40x60 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Hospital Group (reception building, dining hall, employees' houses (3) and convalescent buildings (2))**, Morris Plains, N. J., \$2,000,000. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, New Jersey State Hospital for Insane, Dr. Curry, on premises. Plans in progress. Will be ready for bids about May 1st.

**Tuberculosis Hospital**, Asyla, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Board of Chosen Freeholders, Court House, Camden, N. J. Plans and specifications will be ready April 12th. Bids due May 6th. Plans and specifications may be seen at architect's office. Owners will take bids.

**Residences (5)**, Thirty-second and Westfield avenue, Camden, N. J. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, Hitchner & Todd, Thirty-second and Westfield streets, Camden, N. J. Brick and stucco, 2 stories, 20x35 feet, slag and tin roof, hardwood floors, cement work, garages in basement, metal lath, tile work, hot water heat, electric light. Owners ready for sub-bids.

**Pump House**, Morris Plains, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, New Jersey State Hospital for Insane, Morris Plains, N. J. Brick, 1 story, 20x20 feet, slate roof, concrete floors, electric light, (2) electric pumps. Architects taking bids due April 17th.

**Building (alts.)**, Morris Plains, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, New Jersey State Hospital for Insane, Morris Plains, N. J. Interior alterations, shower baths. Architects taking bids due April 17th.

**Theatre (alts. and add.)**, Toms River, N. J. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Traco Theatre, Inc., Toms River, N. J. Brick, hollow tile, steel, 52x25 feet, Barrett's Specification roof, cement and pine floors, rolling steel sash, iron frame skylights, hollow metal doors, bond, ornamental iron work, shoring, sheet metal work, painting and glazing, ornamental plastering. Architect taking bids due April 17th.

**Public School Building**, Woodbury Heights, N. J. Architect, John H. Mowere, Phoenixville, Pa. Owners, Board of Education, Alexander Beith, Jr., president; Andrew J. Stewart, District Clerk, Woodbury Heights, N. J. Brick, Indiana limestone, 1 story and basement, 8 rooms, metal ceilings and side walls, wood and composition floors, metal windows, polished wire glass, steam heat, plumbing, electric wiring (heating, plumbing and electric work reserved). Owners taking bids due April 28th.

**Residences (twin)**, South side Ripley street, Castor Highlands, Philadelphia. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoa Heights, Delaware County. Owner, Edward G. Mueller, Charmounex West Park, Philadelphia, Pa. Frame and asbestos shingle walls, 2 stories, 16½x44 feet, 9 inches, asbestos roof, oak and pine floors, hot water heat, electric light, tile. Owner taking bids.

**Service Stations (3)**, Atlantic City, N. J. (various locations). Architect, J. R. Ogden, 143 South South Carolina avenue, Atlantic City. Owners, Service Station Co., care of architect. Brick, frame, 1 story, 22x32 feet, slag roof. Plans in progress.

**Residence (alts. and add.)**, 26 South Stenton avenue, Chelsea, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City. Owner, Mr. Levy, care of architect. Brick and frame, 2 stories, various sizes, shingle and tile roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress. Architect ready for bids.

**School**, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. Young, secretary, Atlantic City, N. J. Brick, reinforced concrete, 3 stories, 43x125 feet, reinforced concrete roof, hardwood floors (heating, plumbing and electric work reserved), rolled steel sash and skylights, roof ventilators. Owners about ready for revised bids.

**School**, Delanco, N. J. Architect, H. Ziegler, Delanco, N. J. Owners, Board of Education, W. L. Holt, Delanco, N. J. Brick, cut stone, 1 story, 239x104 feet, wing 76x67 feet, slag roof, maple and cement floors, safety treads, ornamental iron work, iron stairs, rolling steel skylights and sash, marble work, metal lath. Low bidders: Wills Bill, 1706 Sansom street, Philadelphia, \$138,831; George W. Shaner & Son, Palmyra, N. J., \$142,673. Plumbing, G. H. Orfe, Riverside, N. J., \$13,995. Electric, Mercer Elec. Co., Trenton, N. J., \$5,242. Heating, Mechanical Equipment Co., 214 South Twelfth street, Philadelphia, \$23,333.

**High School**, Orange, N. J. Architect, Ernest Sibley, Palisade, N. J. Owners, Board of Education, City of Orange, N. J. Brick, reinforced concrete, artificial stone, steel, terra cotta, 3 stories and basement, 265x205 feet (plumbing, heating, electric separate), slate and composition floors, cement, oak, maple and linoleum floors, safety treads, painting and glazing, shoring, waterproofing and dampproofing, ornamental iron work, metal lumber, imitation limestone, iron stairs, floor hardener, bond, kalamein doors, rolling steel skylights, tile and marble work, metal lath. Architect taking bids due April 19th.

**Sales and Service Station, (18) Garages and Repair Shop**, Haddon Heights, N. J. Architect, T. Stephens, Temple Building, Camden, N. J. Owners, Jordon Motors Co., 718 Wright street, Camden, N. J. Stucco, concrete block, 1 story, 150x85 feet, slag roof, cement floors, steam heat, electric light. Owners taking bids due April 21st.

## Delaware Construction News

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del. Low bidders: Contract No. 42-C, steel superstructure, Seaford Bridge. A. S. Fox, Dayton, Ohio, \$29,690.

Contract CN-7A, Marsh Road, underpass, 0.265 miles. Vanauken & Robbins, Thendara, N. Y., \$27,943.

Contract No. CN-18, Hickman Road, 0.337 miles. Juniata Company. Empire Building, Philadelphia, \$17,391.60, \$17,081.60.

Contract No. CN-19, Summit Bridge-Kirkwood, 1.925 miles. Sutton Cont. Co., Philadelphia, \$76,452.60, \$73,973.60; William Eisenberg, Camden, N. J., \$75,156, \$75,156.

## Proposals

### NOTICE TO BIDDERS

Sealed Bids will be received by the Camden County Board of Chosen Freeholders for a group of buildings for the Camden County Tuberculosis Hospital.

Drawings and Specifications can be seen and all information obtained by application to the office of Arnold H. Moses, A. I. A. Architect, or Frank H. Schaefer, Consulting Mechanical Engineer, Temple Building, Camden, N. J.

Bids will be received on Tuesday, May 6th, 1924, at two o'clock P. M., Daylight Saving Time (three o'clock P. M., Standard Time).



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

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Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

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The Van Sciver Corporation,  
The Parkway at 24th St., Phila.  
West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

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The Parkway at 24th St., Phila.  
West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

Massiah, Frederick..Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

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## COMPOSITION FLOORING.

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Gramm, Price, Turner, Inc.,  
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Massiah, Frederick..Juniper and Cypress Sts., Phila.

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Gillingham Co. ...Norris and Richmond Sts., Phila.

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Cosenza Albert,  
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## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

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Warren-Knight Co. ....136 N. 12th St., Phila.  
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Weil, J. H., Co. ....1315 Cherry St., Phila.

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## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

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McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F.....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
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Potts, Horace T., & Co. ..Erie Ave. & "D" St., Phila.

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Builders' Specialty Co., Inc..1844 N. Front St., Phila.  
Concrete Waterproof Paint Co..829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## FLUE LINING.

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Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

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Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

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Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

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## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Gillingham Co. ...Norris and Richmond Sts., Phila.  
Ketcham, Howard.....3rd and Girard Ave., Phila.  
Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

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Chas. H. Reeder.....2401 Chestnut St., Phila.

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Morrissey Bros. ....4345 N. 7th St., Phila.

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Roman Mosaic & Tile Co. ....435 Green St., Phila.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 17  
April 23, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

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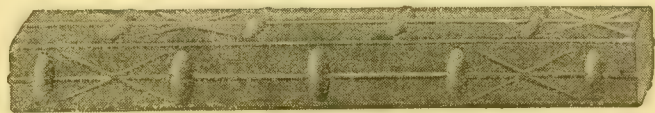
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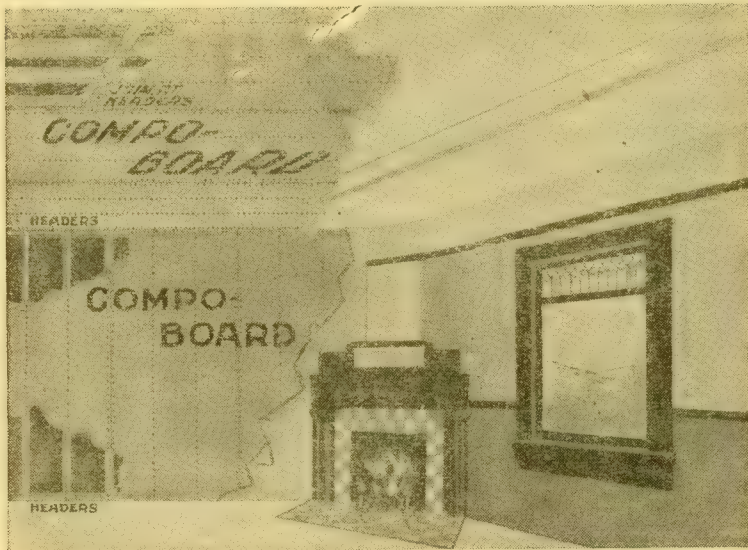
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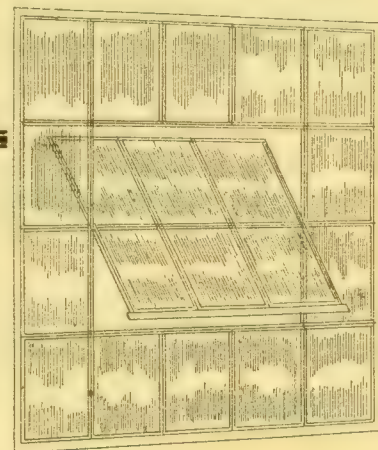
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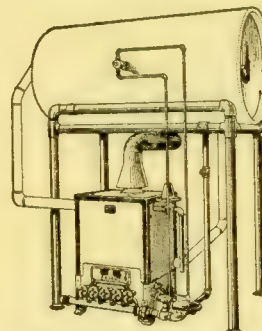


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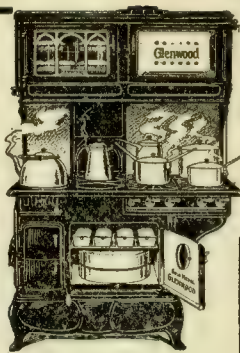


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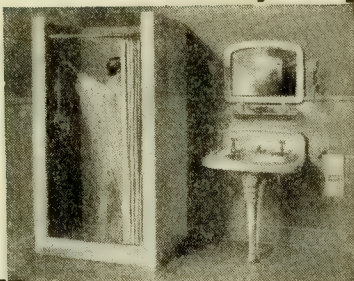


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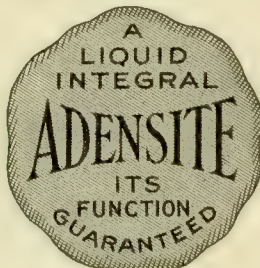
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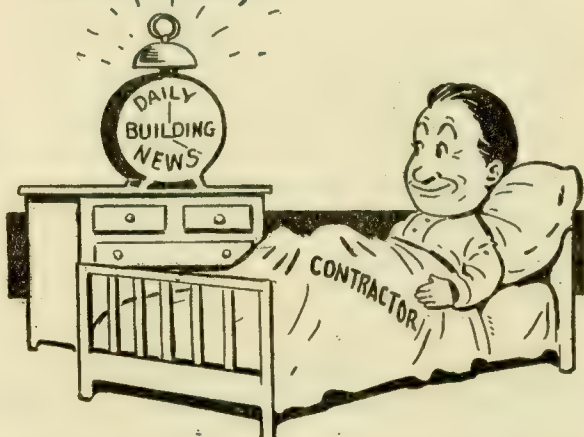
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Philadelphia, Pa.



# BUILDERS' GUIDE

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Engineering and the Building Trades

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## BUILDERS' GUIDE

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## As The Editor Sees It



### A NEW HOTEL IN YOUR TOWN

#### VII. The Contract with the Lessee

The last in this interesting series of articles on the successful planning and completion of the new hotel. The author is indebted to Mr. J. R. Newell of Pease and Elliman for collaboration on some of the technicalities mentioned in the text.

BY W. L. STODDART  
*Architect*

Reprinted through the courtesy of  
"Hotel Management"

The last, but by no means, least important consideration in the planning, construction and completion of the new hotel project is that of arriving at an understanding with the lessee or manager which will prove satisfactory both to him and to the owners. Nor does the making of this arrangement come last in the steps that are aimed to bring the new hotel to the point where it can open its doors to the public.

As has already been stated in this series of articles, the lessee should be consulted when it comes to selecting the new hotel's site, determining its size and character, raising funds for its construction, estimating its costs and in the carrying on of the negotiations with the architect and contractors—all of which means that at least the preliminary negotiations regarding the manager's lease should be going on while these other phases are being developed. It is only when the owners take

the lessee fully into their confidence right from the start that he can bring the necessary amount of enthusiasm and knowledge to his part of the work.

As a preliminary to what follows, I wish to again make the point that this discussion is confined to what might be called a typical American hotel—that is, the 100 to 300 room establishment that is primarily commercial in character, located in a city of from 20,000 to 50,000 inhabitants. Naturally, this discussion will also be limited to the lease that is made when a new hotel is to be opened—the letting or sub-letting of an old hotel is an entirely different story.

For hotels of this character, there are three chief methods of procedure, all of which, however, are in the last analysis based on the same fundamental and all-important principal—namely, that the capital invested in the enterprise is entitled to a fair return. In other words, any and every lease on a new hotel of the kind we are here considering should be based on its total cost at the time of completion. "Total cost" is sometimes a misleading term, and in order to make it perfectly clear as to the items that go to make up this figure, I am listing them below:

Cost of the real estate  
Construction cost of the building  
Cost of the mechanical equipment, including:  
Electrical fixtures

Vacuum cleaning system  
Mail chute.

Bath accessories and mirrors  
Ice and refrigerating machinery and refrigerators

Time and watchman's clock systems  
Telephone and telautograph systems  
Screens and weather stripping  
Papering and decorating

Architect's fees

Cost of financing

All overhead expenses incurred during construction.

#### The Basis of Lease "A"

The first of the three plans on which the lease is generally negotiated is simply for the lessee to guarantee to the owners a fixed annual sum which in his and their judgment constitutes a fair return on the entire investment arrived at by totaling the above items. In most cases this return on the investment is fixed at from 6% to 7% and when the lease extends over a period of 20 years or more, it is frequently considered a good plan to base it on a graduating scale which takes into consideration the fact that the hotel's earning capacity will be somewhat lower at the start but that it will increase as time goes on. (In this connection, note the accompanying financial table.)

This kind of lease is usually entered into when all the indications point to the fact that the new hotel is a public necessity and that it will enjoy a good earning capacity from the start. In other words, it

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is most desirable in cities where competition from other hotels is not a serious factor and where a better-than-average volume of business from travelers, local inhabitants, store and sub-rentals may be anticipated.

With the above form of lease it is customary for the lessee to furnish the hotel as a guarantee to the owners that he will fulfill his obligations. Many misunderstandings have arisen as to just what items should be included in the furniture supplied by the lessee. As a general rule these are as follows:

Kitchen and lunch room equipments complete (except refrigerators)

Linens, bedding and the like

Silverware, glassware, chinaware, and kitchen ware

Carpets and rugs

Draperies and all decorations other than plastered walls

All movable furniture and other accessories

#### *Lease "B"*

The second general form of agreement between the owners of a new hotel property and the lessee has developed as a result of those cases where none of the interested groups could fairly estimate or agree as to the probable volume of present patronage and future growth that the hotel would fall heir to. In such a case, it is frequently more desirable and conservative from all viewpoints to agree on an approximate 5% guarantee to the owners (and based on the total cost as arrived at above), with provision for a maximum rental return up to 7%, after which the net returns over and above the 7% is divided equally between the lessee and the stockholders of the operating company, the latter being entirely independent from the owners of the hotel property. New hotels are now under construction in many cities where the patronage is far from established, and in these cases the lessee should not be expected to pay the owners more than 5% guaranteed rental for the first few years. If the promoters of a new hotel project cannot find an experienced lessee who is willing to assume this degree of responsibility, they had better postpone the project temporarily or until conditions warrant a satisfactory lease with a responsible hotel operator.

When an understanding as above outlined is arrived at, the procedure in carrying it out is usually as follows:

An operating company (entirely independent of the owners of the property but made up of the same stockholders) is formed for the purpose of furnishing and operating the new hotel, the funds for these aims being raised by stock subscription. The stock is usually divided equally, but in some cases the lessee's interests hold 51% and the owner's interests 49%.

The chief advantage in this form of lease lies in the fact that the lessee is better assured of the co-operation and patronage of the local business men, and that he and the owners, because they are business partners, are more apt to pull together in the effort to make the hotel successful. In my opinion this form of lease is the only proper one for cities of less than 50,000 population where the conditions do not warrant the first form of lease due to uncertain future business conditions.

A conspicuously successful illustration of the actual working out of a lease of this kind is furnished by the new George Washington Hotel of Washington, Pa. In this case the lessees offered to pay 7% of the total cost of the property but I advised the owners that in my opinion better and more satisfactory results would be obtained both for the lessee and the business men of the city if an operating company were formed on a 5% guaranteed rental, 7% as and when earned with the result that this form of lease was agreed upon. The hotel opened in February (a bad time of year) and in the course of 7 months all the preliminary expenses had been met, the guaranteed rental had been paid, and a substantial bank balance remains to the credit of the operating company.

#### *The Provisions of Lease "C"*

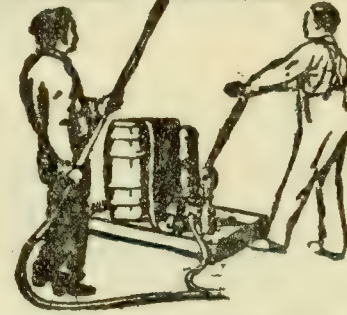
The third form of understanding between the owners and managers of a new hotel property cannot in reality be called a lease, but it is, nevertheless, a desirable form of agreement in cities where the new hotel's future appears so bright that there is little or no question as to its earning capacity. I refer to the plan whereby the hotel's owners themselves furnish it and employ a manager on a fixed salary to operate it. In this case, the manager's contract usually carries a clause to the effect that after the earnings have reached 7% or 8%, he shares in a certain percentage of the profits. In an arrangement of this kind the manager is often financially interested, with the result that he is more concerned about the hotel's success than would otherwise be the case.

I have frequently seen cases where, because of carelessly drawn leases, misunderstandings occurred as a result of the lessee's or owner's obligations not being clearly stated. The accompanying digest of an unusually thorough and carefully drawn lease gives the principal points that such an agreement should embrace—and it naturally goes without saying that once the terms have been settled, it is extremely important to see to it that they are all fully covered in the lease.

As I said above, the only sound and tangible basis on which a lease for a

(Continued on Page 271)

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**Residences (21)**, Pratt and Ditman streets, Philadelphia, \$5,500 each. Architect, private plans. Owner, John J. McHugh, 1617 Race street, Philadelphia. Brick, 2 stories, 18x29 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (15)**, South side Harrison street, East of Large, \$5,000 each. Architect, private plans. Owner, George Edel, Jr., Harrison and Large streets, Philadelphia. Brick, 2 stories, 16x30 feet, 11x12 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Twin Residences**, South of Ripley, West of Lorretto avenue, Castor Heights, Philadelphia. Architect, Charles C. Schweiker, 29 Garfield avenue, Monaca Heights, Delaware County. Owner, Edward G. Mueller, Chamounia, West Park, Philadelphia. Frame, asbestos, shingle covered, 2 stories, 45 feet, 6 inches x 16 feet, 6 inches, hot water heat, electric light, asbestos shingle roof, oak and pine floors, tile baths. Owner taking bids.

**Church (add.)**, Lancaster avenue and City Line, Philadelphia. Architects, Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owners, Overbrook Presbyterian Church, Rev. George Emerson Barnes, on premises. Stone. Plans in progress. Too early for details.

**Stores and Apartments (alts. and add.)**, 600 South Fifty-second street, Philadelphia. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoca Heights, Delaware County. Owner, V. S. Arslanian, 600 South Fifty-second street, Philadelphia. Brick, 3 stories, 30x27 feet, slag roof, oak and pine floors, hot water heat, electric light, tile baths. Owners taking bids.

**Bank**, South Fifth street and Passyunk avenue, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Stone, 2 stories, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, bank fixtures, floor hardener, ornamental iron work, iron stairs, safety treads, slag roof, composition floors. Preliminary plans in progress.

**Residences (12), Store (1)**, Cemetery avenue and Yocum street, Philadelphia. Architect, William L. Charr, 129 South Fourth street, Philadelphia. Owner, name withheld. Brick, steel, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, store fixtures, bond, flush bulks, metal ceilings. Plans completed.

**Stores and Apartments (7)**, Southwest Corner Thirty-ninth and Walnut streets, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 3 stories, hot water heat, electric light, metal lath, tile and marble work, slag roof, hardwood and pine floors, metal ceilings, hollow metal skylights,

store fixtures, bond, flush bulks. Revised plans in progress.

**Mechanical School (add.)**, Corinthian and Girard avenues, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Girard College, care of F. O. Sessinger, Corinthian and Girard avenues, Philadelphia. Stone, 2 stories add. Plans in progress.

**Boys' Building and Chapel**, Germantown avenue, Cresheim road and Sedgwick avenue. Architect, Herman Miller, Crozer Building, Philadelphia. Owners, Lutheran Orphans' Home, 6950 Germantown avenue, Philadelphia. Preliminary plans in progress. Too early for details.

**Residence and Garage**, Castor and Herbert streets, Frankford, Philadelphia. Architect, K. F. Otto, 1828 Arch street, Philadelphia. Owner, Dr. Alfred P. Gray, 4923 Penn street, Philadelphia. Stone, 3 stories, 46x28 feet, 16x23 feet, anaconda copper shingle roof, hardwood floors, hot water heat, electric light, tile work, cement work. Plans in progress.

**Residence (alts.)**, 2008 Walnut street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Dr. John Bower, 2024 Walnut street, Philadelphia. Plans in progress.

**Apartment House (add.)**, Cheltenham avenue, Germantown, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, name withheld. Brick, 2 story rear add., 16x37 feet, hot water heat, electric light, tile work, copper bay windows, plastering, carpentry. Plans in progress. Ready for bids in one week.

**Residence**, 500 East Haines street, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, S. Cichelli, on premises. Stone, 2 stories, 19x45 feet, slag roof, pine floors, hot water heat, electric light, mill work, carpentry, plastering, plumbing, painting and glazing, iron work. Architect taking sub-bids due as soon as possible.

**House (add.)**, 407 Titan street, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, B. Pilla, on premises. Lumber, mill work (heating reserved), slag roof, pine floors, plastering, car-

penry. Architect taking sub-bids due as soon as possible.

**Garage**, 513 East High street, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, A. Fruncci, on premises. Stone, 1 story, 60x65 feet, slag roof, cement floors, steam heat, electric light, steel sash, rolling steel doors. Architect taking sub-bids due as soon as possible.

**Stores (2)**, Southwest Corner Tulpehocken and Belfield avenue, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, A. F. Quinn, 2619 Kensington avenue, Philadelphia. Brick, 1 story, 30x30 feet, slag roof, pine floors, plate glass, electric light, flush bulks. Owner will build.

**Furniture Sales Building**, 624-26-28 Market street, Philadelphia. Architect, Louis Levy, Real Estate Trust Building, Philadelphia. Owners, Walters Furniture & Carpet Co., care of architect. Brick, 5 stories, 58 feet, 6 inches x 117 feet, new front, copper bars, plate glass, caen stone, heating additions, cabinet work, mill work and carpentry, painting and glazing, electric work, interior remodeling. Plans about completed. Architect will be ready for bids in a week.

**Alteration and Addition**, Sixtieth and Market streets, Philadelphia. Architect, private plans. Owners, Haddington Title & Trust Co., Sixtieth and Market streets, Philadelphia. Brick, reinforced concrete, steel, 3 stories, 36x48 feet, slag roof, cement and oak floors, painting and glazing, shoring, ornamental iron work, fire doors, copper skylights, tile and marble work, metal lath, electric light, steam heat. F. G. Stewart, 1520 Locust street, Philadelphia, taking sub-bids due as soon as possible.

**Store and Residence and Residences (4)**, Lebanon avenue and Edgemore street. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, Kollough & Stuetz, care of Fred C. Stuetz, Land Title Building, Philadelphia. Brick, 2 stories, 16x36 feet, slag and tin roof, hardwood floors, cement work, flush bulks, hollow metal skylights, tile work, metal lath, hot water heat, electric light. Owner ready for sub-bids.

**Factory Building**, Third and Wingohocking streets, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia.

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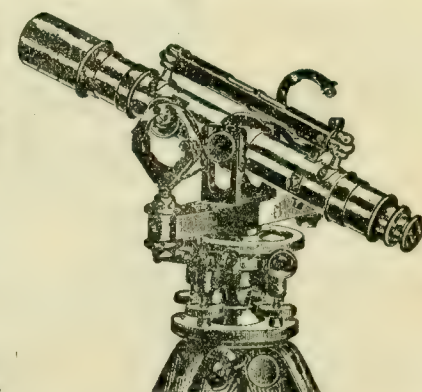
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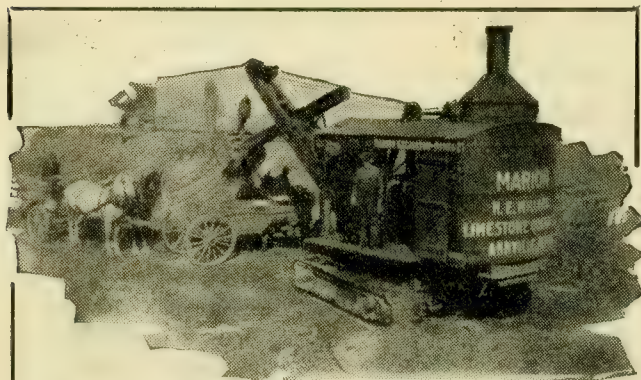
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Owners, Columbia Steel Equipment Co., on premises. Brick, steel, 2 stories, 63x97 feet (plumbing, heating, electric and elevators reserved), slag roof, painting and glazing, plank and cement floors, galvanized iron skylights, rolling steel sash, metal toilet partitions. Architect has received sub-bids. Owners will build.

**Alterations (first floor)**, Fifteenth and Market streets, Philadelphia. Architect, private plans. Owners, D. A. Schulte, Inc., 384 Broadway, New York City. Heating and lighting (alts.), tile and pine floors, carpentry and mill work, painting and glazing, plate glass. Owners taking bids due as soon as possible.

**Residence**, 3122 West Courtland street, Philadelphia. Architect, private plans. Owner, Albert Knecht, 1734 Market street, Philadelphia. Stone, 2½ stories, hot water heat, electric light, slate roof, oak and pine floors, tile work. Owner taking bids due April 24th.

**Bath House (alts. and add.)**, 436-42 Lombard street, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owners, Carners Baths, 440 Lombard street, Philadelphia. Brick, 3 stories add., 40x30 feet, slate and slag roof, mineral floors, mill work, painting and glazing, (5) galvanized iron skylights, tile, marble and terrazzo, metal lath, electric, steam heat. Architect taking bids due April 30th.

**Philadelphia Supplies**. Purchasing agent, E. J. Lafferty, 312 City Hall, Philadelphia. Owners taking bids due April 25th at noon. Vitified red shale or fire clay block.

**Apartment House and Cafe (alts. and add.)**, 3657 Woodland avenue, Philadelphia. Architect, W. W. Donohoe, 1120 Locust street, Philadelphia. Owner, Mr. Rubin Miller, on premises. Entire front, brick, ornamental tile and plaster (new), 3 stories and basement, 36x100 feet, steam heat, electric light, hardwood, composition and pine floors, carpentry and mill work, stone work, concrete, tile and marble work, cut stone, slag roof, kalamein doors, metal ceilings, iron and steel, plastering, painting and glazing, plumbing. Architect taking bids due April 24th.

**Sales and Service Building**, Stenton avenue and Wister street, Philadelphia. Architect, Philip S. Tyre, 1509 Arch street, Philadelphia. Owner, Henry W. Pletcher, care of architect. Brick, concrete and steel, 2 and 1 stories, 70x60 feet, slag roof, cement floors, elevators, fire and rolled steel doors, rolling steel sash, metal lath. Architect taking bids due April 28th, 4 P. M.

**Church**, Cobb's Creek Boulevard and Cedar avenue, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, St. Carthage Roman Catholic Church, Rev. P. F. O'Neill, on premises. Stone, steam

heat, electric light, slate roof, tile and marble work. Architects taking bids due April 28th.

**Moving Picture Theatre**, Fifty-fourth and Wynnefield avenue, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Stanley Company of America, 1916 Race street, Philadelphia. Brick, stone, 3 stories, electric light, metal lath, tile and marble work, steel concrete, cement floors, fan intake and exhaust, roof ventilators, waterproofing and dampproofing, fire doors, ornamental plaster, ornamental iron work, iron stairs. Architects taking sub-bids due April 28th.

**Store and Apartments (alts. and add.)**, East side of Sixtieth, North of Girard avenue. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Harry Jennings, care of architects. Architect taking bids due April 28th.

**Building**, 1020 Walnut street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, S. Jacob & Son, 820 West Columbia avenue, Philadelphia. Brick, 2 stories and basement. Architect taking bids due April 29th, 10 A. M.

**Apartment House**, Nineteenth and Panama streets, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owner, name withheld. Architects taking sub-bids on revised plans due April 28th.

**Buildings**, Byberry, Pa. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Health, Dr. Krusen, 584 City Hall. Brick, alberene stone, cut stone, steel (plumbing, heating, electric reserved), slate, slag and tile roof, cement and composition floors, metal lath, tile and terrazzo, rolled steel sash, iron work, iron stairs, shoring, waterproofing and dampproofing, painting and glazing. Deposit, \$100. Refund, \$70. Building E, 2 stories and basement, 42x80 feet, 2 wings, 111x43 feet. Building F, 1 story and basement, 43x105 feet, boiler house, 1 story and basement, 30x42 feet. Buildings L, M, N, O and connecting corridors, 158x27 feet, 2 stories and basement, dining room and kitchen, 1 story and basement, 49x88 feet, 2 wings, 49x43 feet, power house, 1 story and basement, 42x48 feet. Owners taking bids due May 2nd.

**Warehouse**, East side Stokley, North of Westmoreland street, Philadelphia. Architect, Clarence Wunder, 1520 Locust street, Philadelphia. Owners, Riter Brothers & Co., 1022 Race street, Philadelphia. Brick and reinforced concrete, 2 stories and basement, 300x70 feet, slag roof, cement floors, rolling steel sash (plumbing, heating and electric reserved). Architect taking bids due April 28th.

**Residences (6)**, Fifth and Luray streets,

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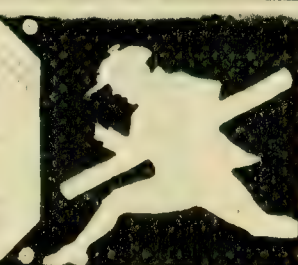


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Philadelphia. Architect, private plans. Owner, George I. Oberholtzer, 2629 North Reese street, Philadelphia. Brick, 2 stories, (1) 15x48 feet and (5) 15x31 feet, 12x17 feet, slag roof, hardwood and pine floors, hot water heat, electric work. Owner will build.

**Residences (19)**, Markle and Mitchell streets, Philadelphia, \$80,600. Architect, private plans. Owner, John Sherman, 4938 Parkside avenue, Philadelphia. Brick, 2 stories, 17x30 feet, steam heat, electric light. Owner will build.

**Residences (4) (alts. and add.)**, 1705-07-09-11 North Thirteenth street, \$32,500 total. Architect, private plans. Owners, Gourley Const. Co., Twenty-first and Ridge avenue, Philadelphia. Brick, (1) 3 stories, 16x24 feet, and (3) 2 stories, 16x24 feet, general alterations. Owners will build.

**Residences (32)**, Meridan street, Erdrick to Walker street, \$6,000 each. Architect, private plans. Owner, H. Roy Whittaker, 6949 Torresdale avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (3)**, East side Algard street, North of Benner, Philadelphia, \$4,500 each. Architect, private plans. Owner, William K. De Victor, 818 Real Estate Trust Building, Philadelphia. Brick, 2 stories, 16x30 feet, 11x10 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Residences (93)**, Seventieth, Elmwood avenue and Reedland street, \$450,500. Architect, private plans. Owners, Woodland Realty Co., 6433 Woodland avenue, Philadelphia. Brick, 2 stories, (29) 18x32 feet, (64) 16x30 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (39)**, Morse street, Montgomery avenue and Georges lane, \$231,500. Architect, private plans. Owners, Steinman & Losse, 25 South Fifty-ninth street, Philadelphia. Brick, 2 stories, various sizes, hot water heating, electric lighting. Owners will build.

**Residences (10)**, West side Marsden street, South of Friendship street, \$5,000 each. Architect, private plans. Owner, E. S. Geroke, Montague street, North of Tyson street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (16)**, South side Durham street, West of Lincoln Drive. Architect, private plans. Owner, M. J. McCrudden, 1134 Real Estate Trust Building, Philadelphia. Concrete block and stucco, 2 stories, 16x32 feet, hot water heating, electric lighting. Owner will build.

**Residence**, 242 North Fifty-seventh street, Philadelphia, \$9,000. Architect, private plans. Owner, A. Duva, Southwest Corner Fifty-sev-

enth and Vine streets, Philadelphia. Brick, 3 stories, 24x22 feet, and 2 stories, 30x16 feet, hot water heat, electric light, hardwood and pine floors, slag roof. Owner will build.

**Residences (2)**, East side Bermuda street, North of Duncan street, \$4,600 each. Architect, private plans. Owner, Felix Tatko, on premises. Brick, 2 stories, 14x49 feet, slag roof, electric lighting. Owner will build.

**Store and Residence**, Southwest Corner Sixty-first and Lebanon avenue, \$15,000. Architect, private plans. Owner, S. Eisenberg, 3849 Cambridge street, Philadelphia. Brick, 3 stories, 35x53x15 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Bright street, East of Frontenac street, \$4,000. Architect, private plans. Owner, Benjamin Moore, 848 East Westmoreland street, Philadelphia. Frame, 2 stories, 28x26 feet, and 1 story, 12x8 feet, shingle roof, hot water heat, electric light. Owner will build.

**Auto Show Room (add.)**, Southwest Corner Fiftieth and City avenue, Philadelphia, \$4,000. Architect, private plans. Owner, T. T. Reilly, Fiftieth and Overbrook avenue, Philadelphia. Brick, 1 story, 30x50 feet, 20x40 feet. Owner will build.

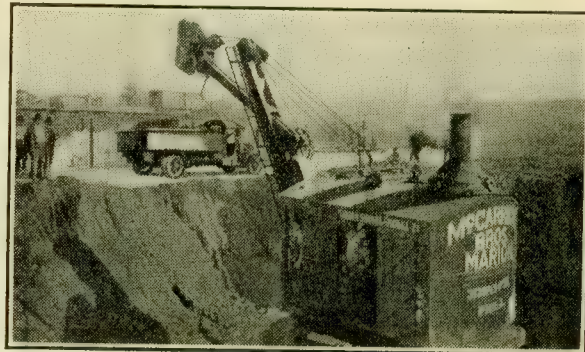
**Residence**, Southwest Corner Bell Mills and Green Tree Roads, \$24,000. Architect, Samuel D. Hawley, 30 South Seventeenth street, Philadelphia. Owner, Harold B. Gaylord, Bulletin Building, Philadelphia. Stone, 2 stories, 51 feet, 8 inches x 43 feet, 6 inches, slate roof, hardwood and pine floor, hot water heat, electric light, tile work. Owner will build.

**Residences (15)**, Sixty-seventh avenue, Gratz and Eighteenth streets, Philadelphia, \$78,000. Architect, private plans. Owner, Max Chipin, 6741 North Gratz street, Philadelphia. Brick, 2 stories, (12) 2 stories, 20x50 feet, (3) 2 stories, 20x50 feet, and 1 story, 20x11 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, Fifteenth and Chew streets, Philadelphia. Architect, private plans. Owners, John Loughran & Son, Park avenue and Cambria street, Philadelphia. Brick, 2 stories, 16x43 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residence**, North side Fleming street, East of Fowler street, Philadelphia, \$5,000. Architect, private plans. Owner, Joseph Heise, 919 West Butler street, Philadelphia. Frame, 2 stories, 26x48 feet, hot air heating, electric lighting. Owner will build.

**Residence**, North side Cinnaminson street, East of Mitchell street, \$5,000. Architect, private plans. Owner, Carl F. Hirsch, 410 Spring Mill avenue, Philadelphia. Stone, 2 stories, 24x27 feet, shingle roof, hardwood and pine



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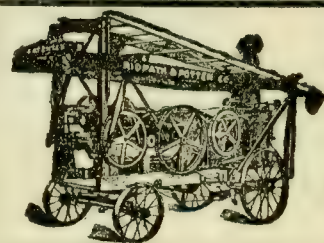
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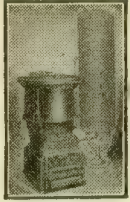
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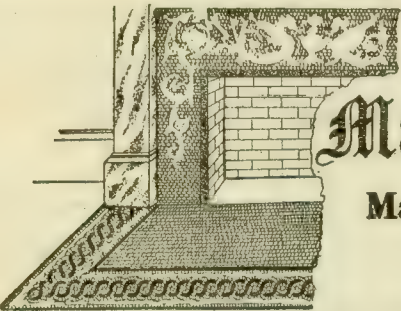
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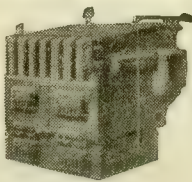
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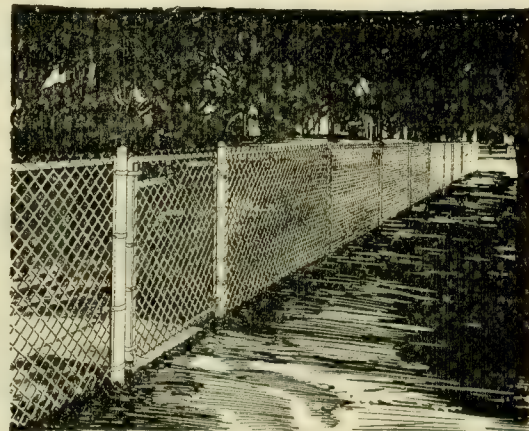
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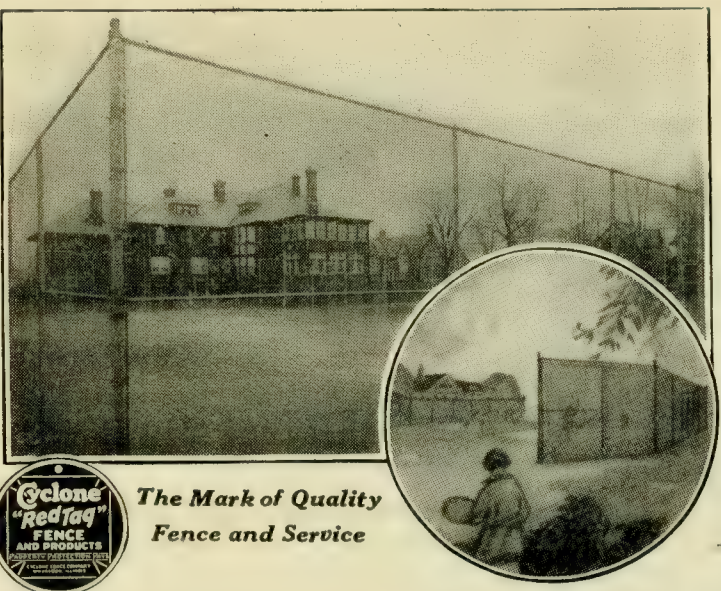


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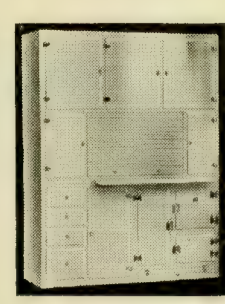
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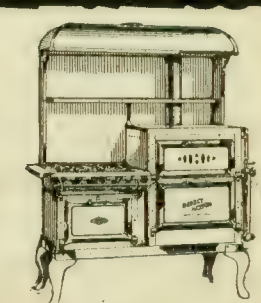
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**Residence (add.)**, 618 North Forty-sixth street, Philadelphia, \$3,500. Architect, private plans. Owner, A. Middleton, on premises. Brick, third story add., 12x28 feet. Owner will build.

**Locker Building**, Northeast Sewage Treatment Works, Philadelphia. Architect, private plans. Owners, Department of Public Works, Bureau of Surveys, Philadelphia. Hollow tile, brick, steel, limestone, stucco, 1 story, 43x28 feet, asbestos roof, tile and gronlithic floors, metal lath, rolled steel sash, steel doors (plumbing, heating, electric reserved). Low bidders: Kober Const. Co., 34 South Seventeenth street, Philadelphia, \$22,950; Penn Eng. & Const. Co., Real Estate Trust Building, \$22,998. Electric, W. V. Pangborn Co., 1927 West Montgomery avenue, Philadelphia, \$448. Plumbing, Bullman Brothers, Fifth and Cumberland streets, Philadelphia, \$4,966. Heating, Mechanical Equipment Co., 214 South Twelfth street, \$1,445.

**Heating Plant**, Northeast Sewage Treatment Works. Brick, steel, limestone, 1 story and mezzanine, 114x65 feet (plumbing, heating and electric and mechanical equipment separate), asbestos roof, wood block and granolithic floors, quarry tile, rolling steel sash, iron stairs, shoring. Low bidders: Kober Const. Co., 34 South Seventeenth street, Philadelphia, \$86,000; Ketcham & McQuade, 1029 Brown street, \$99,842. Mechanical equipment, Roberts Fidler Mfg. Co., Darby, Pa., \$87,490. Electric, W. V. Pangborne Co., 1927 West Montgomery avenue, \$448. Plumbing, Bulman Brothers, Fifth and Cumberland streets, Philadelphia, \$4,966. Heating, Mechanical Equipment Co., 214 South Twelfth street, Philadelphia, \$1,445.

**Curbing and Paving**, Delaware avenue, between Porter street and Oregon avenue. Architect, private plans. Owners, Department of Public Works, Bureau of Surveys, Room 216, City Hall. Macadam paving, asphalt paving, granite block paving. Low bidders: Achione & Canuso Paving Co., 804 North Twelfth street, Philadelphia, \$166,430.88.

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## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Residence (2-family) and Store (alts. and add.)**, 714 South Fifty-second street, \$6,000. Architect, private plans. Owner, A. Massey, on premises. Brick, 2 stories, 16x16 feet, general alterations. Contract awarded to Clarence Ramos, 5233 Rodman street, Philadelphia.

**Nurses' Home**, Fifth and Reed, Philadelphia, \$231,000. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owners, Mt. Sinai Hospital, S. Hyman, superintendent, on premises. Brick, cut stone, limestone, 5 stories and basement, 37x60 feet (plumbing, heating, electric reserved), slag roof, linoleum, cement and oak floors, metal lath, tile and marble work, rolling steel sash, hollow metal and kalamein doors, bond, floor hardener, iron work, elevators, safety treads, waterproofing, terra cotta. Contract awarded William Linker Co., 735 Cherry street, Philadelphia.

**Storage Building**, Northeast Corner Snyder and Swanson street, Philadelphia, \$25,000. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Publicker Commercial Alcohol Co., on premises. Brick and steel, 2 stories and basement, 35x35 feet, slag roof, cement floors, painting and glazing, waterproofing, ornamental iron work, fire doors, rolling steel sash. Contract awarded Murphy Quigley Co., 1524 Sansom street, Philadelphia.

**Residence and Garage**, Wynnefield, Pa., \$45,000. Architects, Boyd, Abel & Gugert, Otis Building, Philadelphia. Owners, Mr. and Mrs. Neuman, care of architect. Stone, 2½ and 1½ stories, 53x40 feet, garage 21x19 feet, slate roof, oak, pine and cement floors, hot water heat, electric light, tile. Contract awarded W. D. & H. T. Smedley, Narberth, Pa.

**Residence and Garage**, McCallum and Allen's lane, Philadelphia. Architects, Boyd, Abel & Gugert, Otis Building, Philadelphia.

Owner, Louis Wiederhold, care of architect. Stone, 2½ and 1½ stories, 42x41 feet, garage 29x21 feet (plumbing, heating, tile, electric light, cork floors, painting reserved), slate roof, oak and pine floors, ornamental iron work. Contract awarded E. Allen Reeves, Abington, Pa.

**Factory (add.)**, Sixteenth and Hamilton streets, Philadelphia. Architect, private plans. Owners, William Sellers, Inc., on premises. Brick, cut stone, steel, 5 stories and basement, 35x60 feet, slag roof, cement floors (plumbing, heating and electric reserved). Contract awarded Fred A. Havens, 845 North Nineteenth street, Philadelphia.

**Garage**, North side Locust street, West of Forty-eighth street, Philadelphia, \$75,000. Architects, Neubauer & Supowitz, 926 Chestnut street, Philadelphia. Owners, Locust Garage Co., on premises. Brick, 2 stories, 65x196 feet, slag roof, cement floors, steam heat, electric light. Contract awarded to Rose Const. Co., North American Building, Philadelphia.

**Residence and Garage**, 6440 Overbrook avenue, Philadelphia, \$24,300. Owner, Charles E. Mees, 6355 Lancaster avenue, Philadelphia. Stone, 3 stories, 31x41 feet, 2 stories, 19x17 feet, garage, 1 story, 21x23 feet, slate roof, hardwood, pine and cement floors, steam heating, electric lighting. Contract awarded to William J. Carlson, 711 Schaff Building, Philadelphia.

**Alterations and Additions**, 2043 Montrose street, Philadelphia. Architect, private plans. Owner, Mrs. Malley Moroney, 2043 Montrose street, Philadelphia. Brick, 2 stories, 16x28 feet, slag roof, oak and pine floors, hot water heat, electric light, metal lath, tile work. Contract awarded Penn Building Co., 2029 Stenton avenue, Philadelphia.

**Garage**, 5219 Newhall street, Philadelphia. Architect, private plans. Owner, Mary Copeland, 5219 Newhall street, Philadelphia. Brick

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and stucco, 1 story, 12x22 feet, hot water heat, electric light, tin roof, cement floors. Contract awarded Penn Building Co., 2029 Stenton avenue, Philadelphia.

**Interior Alterations**, 2411 North Broad street, Philadelphia. Architects, Penwood Co., 131 North Fifteenth street, Philadelphia. Owners, Pilgrim Trust Co., 2411 North Broad street, Philadelphia. Alterations into bank, partitions, bank screens, interior alts. Contract awarded Robbins Cont. Co., 1137 North Front street, Philadelphia.

**Electric Light**, on Free Library, Twentieth, Vine, Nineteenth and Wood, Philadelphia. Architect, H. Trumbauer, Land Title Building, Philadelphia. Owners, Department of Public Works, Board of Trustees, Free Library, J. Ashurst, librarian, 216 City Hall. Contract awarded W. V. Pangborne Co., 1927 West Montgomery avenue, Philadelphia, \$188,000.

**Warehouse (alts. and add.)**, Second and Indiana avenue, Philadelphia, \$35,000. Architect, private plans. Owners, William Scholes & Son, on premises. Contract awarded Albert Dunlap, 7223 Oak avenue, Oak Lane, Pa.

**Shop (alts.)**, North side Merion avenue, West of Forty-eighth street, \$30,000. Architect, private plans. Owners, Supplee-Wills-Jones Co., 1523 North Twenty-sixth street, Philadelphia. General fire repairs. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street, Philadelphia.

**Apartment**, South side Fanshawe street, East of Oakley street, \$11,000. Architect, private plans. Owner, Mary O. Howarth, 1908 Kinsey street, Philadelphia. Brick, 3 stories, 18x52 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Louis Ahlers, Jr., 4433 Salmon street, Philadelphia.

**Residence**, South side Fanshawe street, East of Oakley street, \$6,600. Architect, private plans. Owner, Mary O. Howarth, 1908 Kinsey

street, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Louis Ahlers, Jr., 4433 Salmon street, Philadelphia.

**Residences (2)**, North side Levick street, East of Palmetto street, \$5,500 each. Architect, private plans. Owner, T. Volkert, Rising Sun avenue and Hellerman street, Philadelphia. Brick, 2 stories, 16x42 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Frank A. Adair, Martin's Mills road and Magee street.

**Residences (3)**, West side Montour street, North of Cottman street, \$5,000 each. Architect, private plans. Owner, James Buchanan, 7326 Montour street, Philadelphia. Brick, 2 stories, 14x48 feet, slag roof, hot water heat, electric work. Contract awarded to Henry Kuhn, 1223 Cottman street, Philadelphia.

**Garage and Shop**, 3047 North Fifth street, Philadelphia, \$4,000. Architect, private plans. Owners, Newman & Logan, 3115 North Seventh street, Philadelphia. Brick, 2 stories, 18x36 feet, 1 story, 18x32 feet, slag roof, cement and pine floors, hot water heat, electric light. Contract awarded to A. Newman, 3115 North Seventh street, Philadelphia.

**Residences (add.)**, 413 Dickinson street, Philadelphia, \$2,875. Architect, private plans. Owner, M. Scarpoto, on premises. Brick, 2 stories add., 13x26 feet. Contract awarded to C. Di Santo, 949 South Sixth street, Philadelphia.

**Store and Residence (add.)**, 2640 North Front street, Philadelphia, \$2,200. Architect, private plans. Owner, William Smith, 2640 North Front street, Philadelphia. Brick, 2

stories add., 14x10 feet, 6 inches. Contract awarded to Joseph Heaton, 622 Luzerne street, Philadelphia.

**Residence (alts.)**, 703 Cheltenham avenue, Philadelphia, \$3,500. Architect, private plans. Owner, Ray M. Puckes, 215 South Fifth street, Philadelphia. General alterations. Contract awarded to Leonard Will, 651 North Frazier street, Philadelphia.

**Store and Residence (alts. and add.)**, 3163 Richmond street, \$4,250. Architect, private plans. Owner, T. Kempisty, 2716 East Allegheny avenue, Philadelphia. Brick, 2 stories add., 15x15 feet, slag roof, general alterations. Contract awarded to Nagenski & Chippik, 3168 Richmond street.

**Residences (2)**, South side Stanwood street, East of Loretta avenue, \$6,250 each. Architect, private plans. Owner, William C. Goetsch, Jr., 5751 Delaney street, Philadelphia. Frame, 2 stories, 32x42 feet, hardwood and pine floors, electric light. Contract awarded to John E. Miller, Neshaminy Falls, Pa.

**Laundry**, East side Bodine street, North of Bristol street, \$3,200. Architect, private plans. Owner, Thomas O'Brien, 233 West Sheldon street, Philadelphia. Brick, 1 story, 16x60 feet, 6x7 feet. Contract awarded to Willart Co., 262 West Sheldon street, Philadelphia.

**Garage**, 555-57 North Sixteenth street (rear), Philadelphia, \$2,900. Architect, private plans. Owner, T. B. Smith, on premises. Brick, 1 story, 39x17 feet, slag roof, cement floors. Contract awarded to J. Jones Davies, 652 North Seventeenth street, Philadelphia.

**Store and Residence (add.)**, 50 West Cheltenham avenue, \$2,500. Architect, private plans. Owner, F. Maurer, on premises. Brick, 1 story

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add, 18x56 feet add. Contract awarded to J. Y. Loux, Fifteenth and Hunting Park avenue.

**Garage**, 2409 North Fifty-third street, Philadelphia, \$2,500. Architect, private plans. Owner, William Park, on premises. Stone, 1 story, 16x18 feet, cement floors. Contract awarded to George Kessler Const. Co., 1733 North Marvine street.

**Store and Residence (alts.)**, Southeast Corner Lambert and Ritner streets, \$2,200. Architect, private plans. Owner, Luigi Valeriani, on premises. General alterations. Contract awarded to Bennett-McLaughlin Co., 17 South Seventeenth street.

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## PENNSYLVANIA

# Construction News

**Store and Office Building (alts. and add.)**, 7 West Main street, Norristown, Pa. Architect, H. G. McMurtie, 1012 Walnut street, Philadelphia. Owner, J. B. McDevitt, 507 West Main street, Norristown, Pa. Brick, 2 stories. Revised plans in progress.

**Residence**, Jeffersonville, Pa. Architect, Harry G. McMurtie, 500 Stanbridge street, Norristown, Pa. Owner, William R. Van Skite, care of architect. Stone, 2½ stories, 35x36 feet, hot water heat, electric light, tile work, slate roof, oak and pine floors, ornamental iron work. Revised plans in progress.

**Sanatorium**, Neversink, Berks County, Pa., \$300,000. Architects, Alex. F. Smith & Son, Berks County Trust Building, Reading, Pa. Owners, Berks County Tuberculosis Sanatorium, care of County Commissioners, Reading, Pa. Stone and reinforced concrete, 3 stories and basement. Plans in progress.

**Residence**, Merion, Pa. Architects, P. A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owner, name withheld. Plans in progress.

**Residence**, Noble Vista, Montgomery County, Pa. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, Mr. William H. Dewar, care of architect. Preliminary plans in progress.

**Residence (alts. and add.)**, Huntingdon, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, F. W. Fisher, care of architect. Plans in progress.

**Residence**, Gulf Mills, Pa. Architect, E. T. Boggs, 136 South Fourth street, Philadelphia. Owner, A. K. Althouse, Liberty Building, Philadelphia. Hollow tile, concrete block and stucco, 2½ stories, 25x40 feet, hardwood floors, electric light. Plans completed.

**Bakery, Laundry and Cold Storage Room**, Loysville, Pa. Architect, G. C. Baum, 1511 Arch street, Philadelphia. Owners, Tresler Orphans' Home, E. E. Neff, treasurer, York, Pa. Brick, 3 stories. Sketches in progress. Work contemplated.

**Store and Apartment**, Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, Mr. Malon, care of architect. Brick, 2 stories, 24x40 feet, slate roof, pine floors, hot water heat, electric light. Plans in progress.

**Church**, Ephrata, Pa. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Clement's Mission, Rev. J. J. Lunch, Ephrata, Pa. Brick, 1 story and basement, 35x70 feet. Plans in progress.

**Stores (10) and Apartment House**, West

Chester road and Gulf road, Darby. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owners, Levin Brothers, 710 Commonwealth Building. Brick, steel, 3 stories, 18x90 feet, slag roof, hardwood and composition floors, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, store fixtures, bond, metal bulks, floor hardener, ornamental iron work, waterproofing and dampproofing, metal ceilings. Revised plans in progress.

**Theatre, Stores and Office Building**, Pine and Church streets, Williamsport, Pa. Architect, William H. Lee, 1508 Race street, Philadelphia. Owners, Majestic Theatre, G. H. Bulb, manager, Williamsport, Pa. Cast stone, electric light, composition floors, plumbing, mill work, plate glass, copper bars, terra cotta, miscellaneous iron work, ornamental plastering, structural steel. Architect taking sub-bids due as soon as possible.

**Gymnasium**, Shamokin, Pa. Architect, Paul A. Monaghan, 1713 Sansom street, Philadelphia. Owners, St. Edward's Parish, Rev. Mgr. M. McHassett, on premises. Reinforced concrete, brick, steel, 2 stories and basement, 52x79 feet, maple floors, composition roof, painting and glazing, plumbing, ornamental iron work, copper skylights, metal lath, tile work, electric light. Architect taking bids due April 28th.

**Bank**, Bethlehem, Pa. Architects, Tilghman Moyer Co., 824 Hamilton street, Allentown. Owners, Gasttonyi Bank, R. Gasttonyi, president, Bethlehem, Pa. Fireproof, 1 story and mezzanine, 30x35 feet, Johns Manville roof, hollow tile, roof ventilators, metal window guards, waterproofing and dampproofing, vapor heat, electric light, metal lath, tile, marble and terrazzo work, kalamein doors, ornamental iron work. Architects will build.

**Residence**, Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, John Beysher, 429 Pawnee street, Bethlehem, Pa. Brick, 2 stories, 32x28 feet, hardwood floors, hot water heat, electric light. Architect ready for bids.

**Residences (4)**, Bangor, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, Ely Reimer, Bangor, Pa. Stone, 1½ stories, slate roof, hardwood floors, electric light. Plans in progress.

**Residence**, Allentown, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owner, J. J. Yingling, 1348 Walnut street, Allentown, Pa. Brick, 2½ stories, 42x49 feet, tile roof, hardwood floors, hot water heat,

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electric light, tile and marble work. Architect ready for sub-bids.

**Y. M. H. A. Building**, Easton, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owners, Y. M. H. A., care of architect. Brick, steel, 2 stories, 40x130 feet, slag roof, maple floors, vapor heat, electric light, tile work. Architect ready for sub-bids.

**Community Building**, South Side, Bethlehem, Pa. Architect, D. Levy, 949 Hamilton street, Allentown, Pa. Owners, Bethlehem Jewish Community Center Association, Aaron Polruch, Wyandotte Hotel, Bethlehem, Pa. Brick, steel, 3 stories, 130x100 feet, slag roof, hardwood floors, electric light, tile and marble work, rolled steel sash. Architect ready for bids.

**Residence**, Swarthmore, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Dr. W. W. Speakman, care of architect. Frame, 2½ stories, 89x46 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work. Architect taking bids due April 26th.

**Porch Add.**, Administration Building, Schuylkill Haven, Pa. Architect, Benjamin Rush Stevens, 1827 Arch street, Philadelphia. Owners, Schuylkill County Hospital for Mental Diseases, on premises. Brick, concrete, steel, stucco, 2 stories, 39x17 feet, tin roof, cement floors, painting and glazing, steam heat, electric light, metal lath, bond, ornamental iron work. Owners taking bids due as soon as possible.

**Residence**, Jenkintown, Pa. Architect, private plans. Owner, Charles Harer, Southeast Corner Seventeenth and Sansom streets, Philadelphia. Frame, 2½ stories, 40xirregular, shingle roof, oak and pine floors. Owner taking bids due April 24th.

**Residence**, Moylan, Pa. Architects, Price & Walton, 119 South Fourth street, Philadelphia. Owner, F. W. Pennell, Media, Pa. Hollow tile, stucco, 2½ stories, 28x40 feet, hot air heat, electric light, slate roof, pine floors. Architects taking bids due April 25th.

**Station**, Bethlehem, Pa. Architect, Kenneth M. Murchison, 101 Park avenue, New York City. Engineer, C. C. Hurlberte, 101 Park avenue, New York City. Owners, Lehigh Valley Railroad, E. Loomis, 143 Liberty street, New York City, and Philadelphia & Reading Railroad, A. T. Dice, Twelfth and Market streets, Philadelphia. Brick, 2 stories, 100x164 feet, steam heat, electric light, metal marble floors, safety treads, tile and marble work, ornamental iron work. Architect taking bids due May 5th.

**Building**, Fifth street, Chester, Pa. Architect, private plans. Owners, Salvation Army, Brigadier D. B. Hughes, 701 North Broad street, Philadelphia. Brick and stucco, 2 stories, 60x66 feet, pine floors, electric light. Owners taking bids.

**Supplies**, Harrisburg, Pa. Owners, State of Pennsylvania, Secretary of Property and Supplies, Capitol Building, Harrisburg, Pa. Owners taking bids due May 13th at noon. Laboratory and engineer supplies, hardware supplies, lumber and general repairs, electric, plumbing and heating supplies. Certified check or bond.

**School**, Forty Fort, Pa. Architect, R. M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, Forty Fort School Board, P. Crosby, secretary, Kingston, Pa. Brick, steel, 2 stories, 200x125 feet, slag roof, hardwood floors. Lowest bidders: E. J. Corcoran, Plains, Pa., \$217,351.77. Plumbing, J. H. Campbell, Wilkes-Barre, Pa., \$11,979. Heating, J. B. & F. C. Schreiber, Wilkes-Barre, Pa., \$36,974. Electric, A. B. Dungan, Wilkes-Barre, Pa., \$10,311.86.

**High School**, Rosedale, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Muhlenberg Township School District, Temple, Pa. Lowest bidders: F. H.

Keiser, Pottstown, Pa., \$209,585; Charles McCaul Co., 1713 Sansom street, Philadelphia, \$210,999. Electric work, Reading Electric Co., Reading, Pa., \$7,485.

**Power House, etc.**, Weldon, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, School Board of Abington Township, Abington, Pa. Stone, 1½ stories, 70x40 feet, slate roof, cement floors, rolled steel sash. Low bidders on general: Roy Randall, Jenkintown, Pa., bid on square chimney, \$25,031; J. H. Wells, 34 South Sixteenth street, Philadelphia, bid on square chimney, \$25,167; J. H. Wells, 34 South Sixteenth street, Philadelphia, bid on radial chimney, \$21,488; C. C. Eddleman, 1627 Sansom street, bid on radial chimney, \$21,586. Contracts awarded: Electric, Bryn Mawr Elec. Co., Bryn Mawr, Pa., \$580. Plumbing, W. J. Magee, 2040½ East Cheltenham avenue, Philadelphia, \$1,918. Heating, J. H. Hutchinson, 1020 Callowhill street, Philadelphia, Bid No. 1, \$44,941; Bid No. 2, use of cast iron boiler, \$39,591.

**Sunday School and Auditorium Parsonage**, Frackville, Pa. Architects, Schell & Richardson, Reading, Pa. Owners, First Methodist Episcopal Church, of Frackville, Pa. Brick, 1 and 2 stories, 80x37 feet, Sunday School, 37x47 feet, Parsonage, 36x32 feet, slag roof, pine floors, steam heat, electric light. Architects taking bids.

**Residence and Garage**, Meadowbrook, Pa. Architect, H. Trumbauer, Land Title Building, Philadelphia. Owners, Herkness & Stetson, Land Title Building, Philadelphia. Architect taking bids due April 30th.

## Pennsylvania Contracts Awarded

**Bank**, Ardmore, Pa. Architect, John T. Brugger, 505 Chestnut street, Philadelphia. Owners, Ardmore National Bank, Ardmore, Pa. Brick, cut stone, reinforced concrete steel, 1 story and mezzanine, 93x40 feet, slag roof, cement and cork floors, painting and glazing, metal window guards, shoring, ornamental iron work, iron stairs, copper skylights, hollow metal doors, metal lath, tile and marble work. Contract awarded F. G. Stewart, 1520 Locust street, Philadelphia.

**Signal Bridge**, Oley street, Reading, Pa. Owners, Philadelphia & Reading Railroad, Twelfth and Market streets, Philadelphia. Contract awarded McClintock-Marshall, Morris Building, Philadelphia.

**Chapel and Caretaker's Residence**, Darby, Delaware County. Architect, William L. Charr, 149 South Fourth street, Philadelphia.

Owners, Mt. Lebanon Cemetery, 313 South Fifth street, Philadelphia. Stone, 2½ stories, 40x125 feet, shingle roof, hot air heat, electric light, metal lath, tile and marble work, bond, ornamental iron work, wire work, waterproofing and dampproofing. Contract awarded to H. Cox, Collingdale, Pa.

**School (alts.)**, Ashland, Pa. Architects, Savery & Scheetz, Stephen Girard Building, Philadelphia. Owners, Ashland School, Ashland, Pa. Brick, 1 story and basement, 30x40 feet (plumbing, heating, electric separate), slag roof, maple floors, painting and glazing, ornamental iron work, terra cotta, metal lath. Contract awarded E. J. Tierman, Bryn Mawr, Pa.

**Residence**, College Heights, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Dr. E. H. Stuckert, Allentown, Pa. Hollow tile and stucco, 2 stories, 35x45 feet, tile roof, hardwood floors, steam heat, electric light, tile work. Contract awarded to Ritter & Smith, 1227 Gordon street, Allentown, Pa.

**Bridge**, line of Susquehanna street, Allentown, Pa. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Sub-structure contract awarded, Bennet & Randall, Lebanon, Pa. Superstructure contract awarded, American Bridge Co., Widener Building, Philadelphia.

**Reconstruction of Overhead Bridge**, No. 61-87, South of Tuckerton, Pa. Owners, Philadelphia & Reading Railroad, Twelfth and Market streets, Philadelphia. Contracts awarded: Superstructure, Shoemaker Bridge Co., 4 South Fifteenth street, Philadelphia. Grading and masonry, Bennett & Randall, Lebanon, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Indiana County, R-223, Burrell and West Wheatfield Townships. One course reinforced concrete. \$321,475.63. Contract awarded to Rood Const. Co., Butler, Pa.

Beaver County, R-76, Centre and Hopewell Townships. One course reinforced concrete. \$368,032.15. Contract awarded to D. W. Chellis & Sons, Sewickley, Pa.

Erie County, R-271, Sec. 2, Le Boeuf-Union Townships, Union City Borough. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded to Joseph McCarthy Co., Bessemer, Pa.

Venango County, R-208, Polk Borough. One course reinforced concrete. Contract awarded to Jamieson & Narlee, Fredonia, Pa. \$81,080.98.

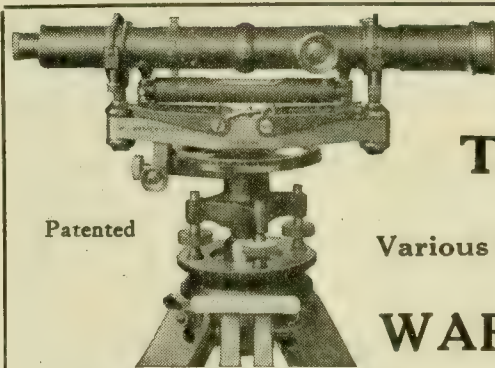
Mercer County, Route 74, Hickory Township. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded to Meredith,

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McVaugh & Webb, Erie, Pa. \$98,574.50.

Warren County, Route 95, Mead Township and Clarendon Borough. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$315,278.27. Contract awarded to W-B Const. Co., Erie, Pa.

Cambria County, Route 62, Susquehanna Township. One course reinforced concrete. \$194,351.11. Contract awarded to McClure & Bingner Co., Johnstown, Pa.

Lawrence County, R-1623, North Beaver Township. One course reinforced concrete. \$110,323.21. Contract awarded to E. A. Freshwater & Sons, Chester, W. Va., and Painesville, Ohio.

Warren County, Route 95, Sec. 2, Mead and Sheffield Townships. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$165,348.53. Contract awarded to J. C. Devine Co., Alliance, Ohio.

Cameron County, Route 105, Gibson and Lumber Townships. Grading and drainage. \$197,387.60. Contract awarded to M. Bennett & Sons, Indiana, Pa.

Indiana County, Route 223, Blairsville Borough. One course reinforced concrete. \$44,248.30. Contract awarded to M. Bennett & Sons, Indiana, Pa.

## New Jersey Construction News

**Residence**, West Collingswood, N. J. Architect, T. Stephens, Temple Building, Camden, N. J. Owner, W. Hurley, Camden, N. J. Architect ready for bids.

**Water Works**, laying of main, etc., Maple Shade, Chester Township, N. J. Engineers, Remington & Vosbury, 609 Cooper street, Camden, N. J. Owners, Township Commissioners of Chester Township, S. Willis, Clerk, School No. 2, Maple Shade, N. J. Owners taking bids due April 30th, 8 P. M. (daylight saving). Construction of water works, building, rapid sand filters, inside piping, motor-drawn pumping equipment and appurtenance. Pumping capacity, 800 G. P. M. Certified check, 5 per cent. of bid must accompany each bid. Contract No. 1, deposit \$15, refund \$5. Labor, tools, materials necessary to lay approximately 39,000 lineal feet of 4-inch, 6-inch, 8-inch, 10-inch C. I. B. Q. S. pipe and appurtenance. Deposit \$5, refund \$2. Certified check 5 per cent. of amount of bid must accompany each bid. Contract No. 3.

**Police Station (alts. and add.)**, Trenton, N. J., \$70,000. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, City of Trenton, George La Garre, Commissioner, Trenton. Brick, steel, 3 stories, 60x120 feet, slag roof, hardwood floors, hollow tile, safety treads, roof ventilators, vapor heat, electric light, metal lath, tile, marble and terrazzo work, rolled steel skylights, ornamental iron work. Plans in progress.

**Apartment**, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owner, care of architect. Reinforced concrete, steel, brick, 8 stories and basement, 82x92 feet, slag roof, hollow tile, roof ventilators, terra cotta, steam heat, electric light, metal lath, tile, marble and terrazzo work, hollow metal sash and skylights, iron stairs, iron work. Plans in progress.

**Apartment**, Bellevue avenue, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Dr. C. J. Slack, 230 West State street, Trenton, N. J. Brick, 4 stories and basement, 38x95 feet, slate roof, hardwood floors, vacuum heat, electric light, metal lath, tile work, waterproofing and dampproofing, iron work. Architects ready for bids.

**Residences (2)**, Woodbury, N. J. Architect, W. Macy Stanton, 1524 Chestnut street, Phila-

delphia. Owner, name withheld. Frame and stucco, 2½ stories, 23x29 feet, shingle roof, hardwood and pine floors, electric light. Plans in progress.

**Club House (add.)**, Absecon, N. J. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, Seaview Golf Club, C. H. Geist, president, 215 South Broad street, Philadelphia. Brick, hollow tile and stucco, 2 stories, 50 rooms, steam heat, electric light, tile and marble work, waterproofing, slate roof, hardwood floors. Plans in progress.

**Theatre**, Belmar, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owners, Hildinger Enterprise Co., care of architects. Architects selected.

**Hotel (add.)**, Lakewood, N. J., \$50,000. Architect, H. Aitken, American Mechanics' Building, Trenton, N. J. Owner, name withheld. Frame, 3 stories, 50x80 feet. Too early for details.

**School**, South River, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Mary's Roman Catholic Church, Rev. J. Budrick, South River, N. J. Brick, stone, 3 stories, 64x154 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators (heating, plumbing and electric work reserved), metal lath, tile work, rolled steel skylights. Architect ready for bids due May 5th.

**Residence**, Woodbury, N. J. Architect, private plans. Owner, Donald Flannigan, 1502 Locust street, Philadelphia. Frame, 2½ stories, 34x27 feet, hot air heat, electric light, tile work, shingle roof, oak and pine floors. Owner ready for sub-bids.

**Post Office**, Woodbury, N. J. Architect, James A. Wetmore, supervising architect, Treasury Department, Washington, D. C. Owners, United States Treasury Department, Washington, D. C. Brick and tile, 1 story, 61½x69 feet. Owners ready for bids due May 14th.

**Packard Sales and Service Building (alts.)**, 2714-18 Atlantic avenue, Atlantic City, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, Kelly-Hughes, Inc., Atlantic City, N. J. Brick and stucco, front, hot water heat, electric light, tile work, hollow metal skylights, metal bulks, treadlite, terrazzo and slate floors, plate glass, plumbing. Owners taking sub-bids.

**Camden County Tuberculosis Hospital**, Asyla (near Blackwood), N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Camden County Board of Chosen Freeholders, T. B. Kidner, institution secretary, Camden, N. J. Brick, limestone, steel, cut stone (plumbing, heating, electric separate), slate and built-up roof, cement linoleum, rubberstone, oak and pine floors, elevators, safety treads, painting and glazing, waterproofing, ornamental iron work and iron stairs, steel lockers, metal partitions, rolling steel sash, tile, marble and terrazzo work, metal lath. Main hospital building, 3 and 2 stories and basement, 382x38 feet, wings (5) 26x19 feet. Ambulant pavilions, 1 story, 70x38 feet, 2 wings 59x31 feet. Children's hospital, 2 stories and basement, 203x57 feet, wing 89x28 feet, wing 50x22 feet. Shelter pavilion, 1 story, 20x20 feet. Dining hall, kitchen and service building, 2 stories, 79x71 feet, wing 60x38 feet. Community and vocational building, 2 stories and basement, 96x94 feet, wing 42x58 feet. Nurses' home, 60x24 feet, wing 30x38 feet, 2 stories. Garage and transformer house, 1 story, 21x28 feet, 22x21 feet. Laundry building, 1 story, 95x39 feet. Owners taking bids due May 6th at 2 P. M.

**Stores and Apartments (3) and Lodge**, Phillipsburg, N. J. Architect, E. H. Wenzelberger, 3 Center Square, Easton, Pa. Owners, Patriotic Order Sons of America, Phillipsburg, N. J. Brick, 3 stories, 50x67 feet, slate

roof, hardwood floors, steam heat, electric light, tile work. Architect ready for bids.

**Garage**, Camden, N. J. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, name withheld. Stone, 1 story, 60x100 feet, steam heat, electric light, slag roof, cement floors. Plans in progress.

## New Jersey Contracts Awarded

**Residence**, Merchantville, N. J. Architect, Dale Truscott, care of Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street. Owner, Dale Truscott, 1713 Sansom street, Philadelphia. Frame, 2½ stories, 27x41 feet, hot water heat, electric light, tile work, shingle roof, hardwood floors. Contract awarded Carl E. Widell, Woodlynne, N. J.

**Manufacturing Plant**, Trenton, N. J. Architect, W. E. S. Dyer, Land Title Building, Philadelphia. Owners, Thomas Maddock's Sons Co., Trenton, N. J. Brick, concrete, slag roof, cement floors, safety treads, painting and glazing, waterproofing, terra cotta, bond, fire doors, hollow metal sash. Building No. 1, 2 stories, 202x225 feet; No. 2, 1 story, 497x225 feet; No. 3, 2 stories, 164x59 feet; No. 4, 2 stories, 164x145 feet; No. 5, 1 story, 497x100 feet; No. 6, 1 story, 164x228 feet; No. 7, 2 stories, 164x114 feet. Contract awarded C. J. Smith Const. Co., 202 Academy street, Trenton, N. J.

**Factory**, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Charles A. Reynolds Leather Co., Camden, N. J. Cinder block, 1 story, 52x100 feet, slag roof, cement floors, roof ventilators. Contract awarded Bennett-McLaughlin, 17 South Seventeenth street, Philadelphia.

**Church**, Rutherford, N. J. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, St. Mary's Roman Catholic Church, Rev. J. J. Smith, Rutherford, N. J. Brick and stucco, 3 stories, 36x58 feet, copper, shingle or slate roof, hardwood and composition floors, steam heat, electric light, tile and marble work. Contract awarded Carleton Co., 151 West Forty-second street, New York City.

**Church House Building**, Haddon Heights, N. J. Architect, Edgar A. Wightman, Bankers' Trust Building, Philadelphia. Owners, First Presbyterian Church of Haddon Heights, Haddon Heights, N. J. Stone, steel, single 2 stories, 59x48 feet, shingle roof, maple floors, electric light, painting and glazing, plumbing, ornamental iron work. Contract awarded William Congezer, Haddon Heights, N. J.

**Church**, New Brunswick, N. J. Architects, Charles W. Bolton & Son, Schaff Building, Philadelphia. Owners, Livingston Street Church, New Brunswick, N. J. Contract awarded Highland Park Building Const. Co., Highland Park, New Brunswick, N. J.

**Community House**, Camden, N. J. Architects, Karcher & Smith, 34 South Seventeenth street, Philadelphia. Owners, New Jersey Conference Deaconess' Home, chairman of Building Committee, 278 Kaighn avenue, Camden, N. J. Brick, cut stone, art stone, reinforced concrete, stone, 3 stories, 128x37 feet, slate roof, asphalt, cement, pine floors, steam heat, electric light, metal lath, tile work, hollow metal sash, roof ventilators, metal window guards, ornamental iron work. Contract awarded J. S. Rogers Co., Drexel Building, Philadelphia.

The man who doesn't advertise, these days, is forgotten. The world is too busy to look up dead ones.



## Delaware Construction News

**Club House**, Wilmington, Del., \$200,000. Architect, E. William Martin, 2301 Spruce street, Philadelphia. Owners, Wilmington Country Club, N. H. Fenn, Jr., chairman of Building Committee, Dupont Building, Wilmington, Del. Plans in progress. Too early for details.

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del. Owners taking bids due April 30th at 2 P. M.

Contract CN-14, Walker-Deakynville, 1,903 miles. Excavation, borrow, Class A concrete, reinforcement, R. C. pipe, concrete gutter, guard rail, shoulder curb, stone or slag, concrete pavement, stone base course, center joint, slag, stone, macadam surface course, amiesite surface course, penetration macadam.

Contract CS-25, Peppers-Lowes X Roads, 3.314 miles. Excavation, borrow, Class A concrete, reinforcement, pipe, guard rail, shoulder curb, timber bulkhead, slag concrete pavement, stone base course, slag base course, macadam surface course, penetration macadam.

## Miscellaneous Construction News

**Tubercular Hospital**, site not selected. Architect, not yet selected. Owners, Montgomery County Commissioners, Dan Stout, Court House, Norristown, Pa. Work contemplated.

**Gwynn's Falls Park High School**, Hoffman Lane, Baltimore, Md. Architects, Smith & May; engineer, H. Adams, all of Baltimore, Md. Owners, Mayor and City Council, H. E. Jackson, Mayor; Robert Garrell, chairman; H. G. Herring, supervising engineer, Public Improvement Comm., Baltimore, Md. Revised plans in progress.

**Hotel, Parkersburg**, W. Va. Architects, Pleasants Penington & Albert Lewis, 477 Fifth avenue, New York City. Owners, Hotel Brost, Ed Brost, Parkersburg, W. Va. Brick, reinforced concrete, cut stone, steel, 6 stories and basement, 175x60 feet, composition roof, cement, oak and pine and linoleum floors, steam heat, electric light, tile, marble and terrazzo work, metal lath, rolling steel sash and skylights, kalamein doors, bond, ornamental iron work, shoring, waterproofing and damp-proofing, plumbing. Architects taking bids due April 27th.

**Hotel, Perry**, New York. Architects, Dreher & Churchman, Otis Building, Philadelphia. Owners, Community Hotel Co., Perry, N. Y. Plumbing, heating and electric reserved. Architects taking bids due May 1st.

**Bank**, Rising Sun, Md. Architects, Tilghman Moyer Co., 824 Hamilton street, Allentown, Pa. Owners, National Bank of Rising Sun, Mr. Pyle, president, Rising Sun, Md. Brick, 1 story and mezzanine, 35x60 feet, Johns Manville roof, roof ventilators, waterproofing and damp-proofing, terra cotta, ornamental iron work, vapor heat, electric light, tile, marble and terrazzo work, bronze work. Architects will build.

## Miscellaneous Contracts Awarded

**Group of Buildings**, St. Louis, Mo., \$2,000,000. Architects, Day & Klauder, 21 South Fifteenth street, Philadelphia. Owners, Concordia Luther Seminary, St. Louis, Mo. Will contain dormitories, library, assembly hall, dining halls, administration building, hospital,

power house, chimney stack, 2 and 3 stories, various sizes, slate roof, oak, pine, composition, marble, cement, linotile floors, roof ventilators, terra cotta, ornamental iron work, plumbing, tile and marble work, heating, electric. Contract awarded Kellerman Const. Co., St. Louis, Mo.

**Sunday School (add.)**, Dover, Del., \$27,500. Architect, Wallace E. Hance, 2301 Spruce street, Philadelphia. Owners, First Baptist Church of Dover, Del., Rev. C. A. Walker, Dover. Brick and steel, 1 story and basement, 40x60 feet, composition roof, maple floors, steam heat, electric light. Contract awarded Bennett McLaughlin, 17 South Seventeenth street, Philadelphia.

**Residence**, 1007 Rodney street, Wilmington, Del. Architect, C. R. Hope, Dupont Building, Wilmington, Del. Owner, R. McMullen, care of architect. Brick, 2½ stories, 38x34 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to Stephen Jackson, 531 Orange street, Wilmington, Del.

## Proposals

### NOTICE TO BIDDERS

Sealed Bids will be received by the Camden County Board of Chosen Freeholders for a group of buildings for the Camden County Tuberculosis Hospital.

Drawings and Specifications can be seen and all information obtained by application to the office of Arnold H. Moses, A. I. A. Architect, or Frank H. Schaefer, Consulting Mechanical Engineer, Temple Building, Camden, N. J.

Bids will be received on Tuesday, May 6th, 1924, at two o'clock P. M., Daylight Saving Time (three o'clock P. M., Standard Time).

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., April 16, 1924.—Sealed Proposals will be opened in this office at 3 P. M., May 14, 1924, for the construction of a one-story brick and tile non-fireproof Post Office building, approximately 61½ by 69 feet in size, at Woodbury, N. J. Drawings and specifications may be obtained from the Custodian of the site at Woodbury, N. J., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from Page 260)

new hotel of the kind we are here concerned with can be drawn up, is that of its total cost at the time of completion. Its anticipated earning capacity will in most cases affect the specific nature of the lease. But the first and foremost consideration the owners should keep in mind is the one that they are entitled to a fair return on their investment and that a well operated hotel will be a pride to them and to their city. They should further realize that the greater profit a lessee makes, the better will he manage their hotel, and because of this fact it should not be their policy to contend that as a result of their financing the undertaking they are entitled to a big return on their investment. This, after all, (if the hotel is properly operated) is due more to the business ability of the experienced hotel man they have chosen than to their efforts in building it.

## A Typical Financial Statement of a Hotel of from 250 to 300 Rooms

The following statement is more or less typical of those issued by landlord corporations—namely, companies which build hotels and lease them out to hotel operating companies. In most such cases the sole business of the landlord corporation is to receive the monthly rental and distribute it as mortgage interest amortization payments and dividends on the stock—the operating company paying all real estate taxes, fire insurance and upkeep.

These statistics are based on a total investment of \$1,000,000 which is raised by an issue of \$550,000 common stock, \$100,000 preferred stock and a 6% mortgage of \$450,000. As Column II shows, the operating company pays 7% rental on this investment for the first 10 years of its lease and 8% for the second 10 years. Note that before the end of the 20 years the common stock holders will be the sole owners of the property, the mortgage and preferred stock having been retired before then.

In connection with Column V, it should be understood that the per cent. earned on the common stock each year will be higher than the actual dividend declared, for the annual sum which is set aside for amortization purposes and income tax charges must be deducted before dividends can be declared.

Year:

	Total Annual Net Earnings— Rental:	Paid as Mort- gage Interest:	Paid as Dividend on Pfd. Stock:	Per cent Earned on Com. Stock:	Paid Yearly to Cancel Mortgage:
1st:	70,000	27,000	7,000	6.5	10,000
2nd:	70,000	26,400	7,000	6.7	11,500
3rd:	70,000	25,710	7,000	6.8	13,000
4th:	70,000	24,930	7,000	7.0	14,500
5th:	70,000	24,060	7,000	7.1	16,000
6th:	70,000	23,100	7,000	7.3	17,500
7th:	70,000	22,050	7,000	7.4	19,000
8th:	70,000	20,910	7,000	7.7	20,500
9th:	70,000	19,680	7,000	7.9	22,000
10th:	70,000	18,360	7,000	8.1	23,500
11th:	80,000	16,950	7,000	10.0	30,000
12th:	80,000	15,150	7,000	10.5	32,000
13th:	80,000	13,280	7,000	10.9	34,000
14th:	80,000	11,190	7,000	11.2	36,000
15th:	80,000	9,030	7,000	11.6	38,000
16th:	80,000	6,750	7,000	12.0	*56,250
17th:	80,000	3,375	7,000	12.7	*56,250
18th:	80,000	None	7,000	13.2	**50,000
19th:	80,000	None	3,500	13.9	**50,000
20th:	80,000	None	None	14.5	None

\*Refunded 15th year.

\*\*Retires Preferred Stock.

## A Digest of the Important Clauses in a Typical Hotel Lease

1. Complete description of property's location.
2. The lessors agree to construct a modern fireproof hotel building complete, with the approximate number of bed rooms stated, and further agree to submit the plans and



specifications and the contract for its erection to the lessees for their approval.

3. The lessees agree to furnish and fully equip the building as soon as delivered to them in a manner in keeping with the building itself, to maintain the furniture, fittings and equipment in good order, to renew the same as necessary and to pay a minimum stated total sum for the original purchase of the furniture and equipment.

4. At the termination of the lease, the lessees agree to turn the building over to the lessors in as good repair and condition as when delivered to them, fire and other casualty and ordinary wear and tear excepted. It is further agreed that the lessees keep the roof, exterior, walls, frame work, windows, entire interior and every part of the building in first-class repair and good condition during the term of the lease at their own expense.

5. The lessees are to pay all taxes, assessments and other charges of every kind which may be required of the lessors in connection with the operation of the property as a hotel, and also such other charges as are contingent to the ownership of the real estate and improvements, with the one exception that the lessees be not required to pay income or similar tax assessed against the lessors by reason of any income received by them.

It is further agreed that the lessees pay all lighting, water and heating charges incurred in the hotel's operation, and also all premiums on insurance policies that may be maintained on the property during the life of the lease by the lessors in such insurance companies as they may elect. It is further agreed that such insurance be placed in an amount not less than a stated sum.

6. The duration of the lease and the method of paying rent is next stated, and in connection with the percentage plan of basing the rental charge, it is made clear that in this figure be included the cost of the land, plus taxes, insurance, interest on borrowed money, brokerage and attorneys' fees incurred in the purchase of the land, other carrying charges and cost of the building, including architects' fees and interest charges on money borrowed up to the time of its completion.

It is further stated that payment of rental shall start at the time when the architect certifies to the building's being ready for occupancy by the lessees.

7. This a 30-day default clause, at the end of which period the lessors have the option of declaring the lease forfeited, ejecting the lessees, and also have recourse to remedies, hereinafter provided for, such as taking up the lien on the furniture. It is further agreed that should the lessors take possession of the premises by reason of default, this action does not relieve the lessee's liability for damages or breach of contract.

8. At the time of the execution of the lease, the lessees deliver a bond (the sum of which is stated) to the lessor as a guarantee of the faithful performance of their agreements, which bond must be passed on by the lessor's board of directors. The lessees' liability on this bond shall continue through the entire term of the lease and an assignment of the lease shall in no way discharge this obligation except when the assignees of the lease furnish a similar bond, which is accepted in the same way by the lessors' board of directors.

9. After the first five years of the lease have expired, the lessors may at their option require the lessees to withdraw their bond and substitute a chattel mortgage on the furniture and equipment, with the further provision that such furniture and equipment must be fully paid for and free of all incumbrances at the time of the execution of

the mortgage, which mortgage shall be kept as a first lien on the property.

10. This clause states that if the building should be rendered totally unfit for hotel use by fire or other casualty, the lessees shall not be required to pay rent during such period, it being further agreed that the lessors shall use as much of the insurance money as necessary to again place the building in proper operating condition. In the event of the building's being partially damaged by fire, it is understood that the lessees shall pay rent in proportion to the number of usable bedrooms until the balance have been repaired.

11. The lessees agree to conduct the premises as a hotel and to keep the property open during the full period of the lease; not to use it for any other purpose, with the exception that they may sublet the stores and other concessions. They further agree to manage the property in a proper and orderly manner and also to conduct the hotel under the name as stated in the lease.

12. The lessees agree to insure the furniture, fittings and equipment against loss or damage by fire to 75% of its value and that as soon as the chattel mortgage above referred to has been executed, this insurance shall be conditioned so that the loss, if any, shall be paid by the lessors as its interest may appear and that the insurance policies shall be delivered by the lessees to the lessors upon the execution of the chattel mortgage.

13. The lessors shall not be liable to make any improvements to the property or to repair the hotel during the term of the lease. The lessees shall at their own expense make all internal and external improvements and keep the building first class in every respect. It is further agreed that if the lessees fail to keep the premises in good repair and condition, the lessors are entitled to make such repairs and charge them to the lessees' account which charges, if not paid promptly, shall be classed as rent and thus made recoverable by the lessors in the same manner as if the lessees had defaulted in their rental payments.

14. The lessors have the right to inspect the premises and its furniture and equipment during reasonable hours, and if the furniture or equipment is not maintained in good repair, they may at their option have them repaired at the lessee's expense, as explained in the preceding clause.

15. The lessees shall pay all property taxes, rates, charges and assessments levied by properly constituted authority on the property in or pertinent to the building, and they shall also pay all license and business taxes which are assessable on the property in connection with its conduct as a hotel or other business operated therein by the lessees.

16. No material or structural alterations to the property shall be undertaken by the lessees without the lessors' consent, the extent of such alterations to be designated in writing, and with the further provision that such improvements, alterations or additions shall, when completed, become the property of the lessors and pass to them with the real estate upon the termination of the lease.

17. If, for any reason, the lessors are unable to build the hotel on the lot as described or on any other lot satisfactory to both parties, the indenture shall not be binding on either party.

18. The lessors shall use their best endeavors to push the hotel's construction to completion and deliver it to the lessees at as early a date as practicable.

I make it a rule never to write a grouchy letter—I telephone.

## GIVES DIRECTIONS FOR PLASTERING

A circular telling how plastering is done, and in many cases why it is done in a certain way, has recently been published by the Bureau of Standards. It is the result of a three years' study of the plastering industry, during which many experts on the different phases of the subject have been consulted.

The practical part of the paper gives directions for preparation of a masonry wall to receive plaster, specifications for lath, directions for erecting lath, specifications for the ingredients of plaster, and directions for their mixing and application.

The properties of plastering are discussed in detail, and conclusions drawn as to the best kind of plaster to be used for a given purpose. Some of the common defects are explained and their remedies suggested.

These directions are embodied in Circular 151 of the Bureau of Standards entitled "Wall Plaster: Its Ingredients, Preparation and Properties." Copies may be obtained from the Superintendent of Documents, Government Printing Office, Washington D. C. The price is 15 cents cash.

## WE ASK YOU

Isn't it funny?  
THAT A MAN WHO CONSIDERS  
HIMSELF A BUSINESS MAN  
Will get up in the morning  
From an advertised mattress,  
And put on advertised underwear,  
Advertised hose, shirt, collar, tie and shoes.  
Seat himself at a table and  
Eat advertised breakfast food,  
Drink advertised coffee or substitute,  
Put on an advertised hat,  
Light an advertised cigar,  
Go to his place of business and  
TURN DOWN ADVERTISING ON THE  
GROUND THAT ADVERTISING DOESN'T  
PAY!

Don't crowd your space, Mr. Advertiser  
Better play up one selling point at a time  
than to try to get everything into one ad.  
and kill every possible chance for display.  
An ad. should stand out. It should be easily  
read. It should draw the attention of the  
reader. A carload of detail can't be crowded  
into a few inches of space and still retain  
the quality of sticking out as all good advertising should.

The valuable man in any business is the man who can and will co-operate with other men. The foreman who opposes the introduction of a new man into an institution and fights every innovation which he himself does not suggest, is doomed to a gradual and creeping defeat. Men succeed only as they utilize the services and ideas of other men. Co-operate!



# Reference Directory for Architects, Builders and Owners

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Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

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Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
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Weil, J. H., Co. ....1315 Cherry St., Phila.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

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Ketcham, O. W. ....121 N. 18th St., Phila.

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## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
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The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

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Gramm, Price, Turner, Inc.,  
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Morrissey Bros. ....4345 N. 7th St., Phila.

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Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

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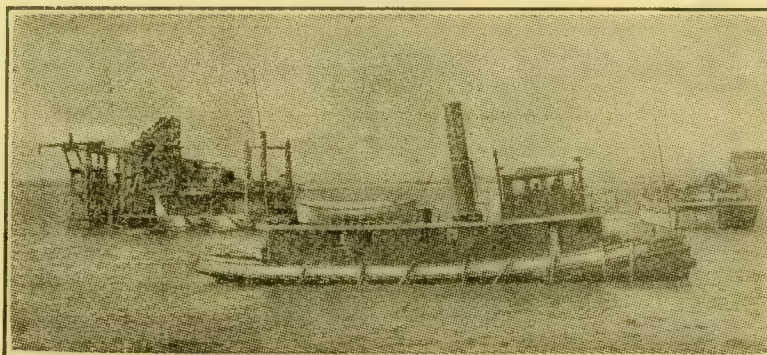
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# Builders' Guide

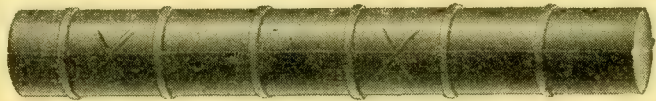
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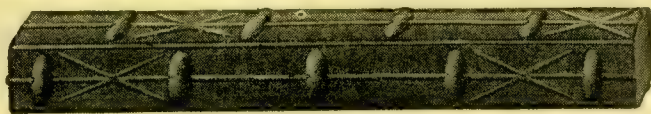
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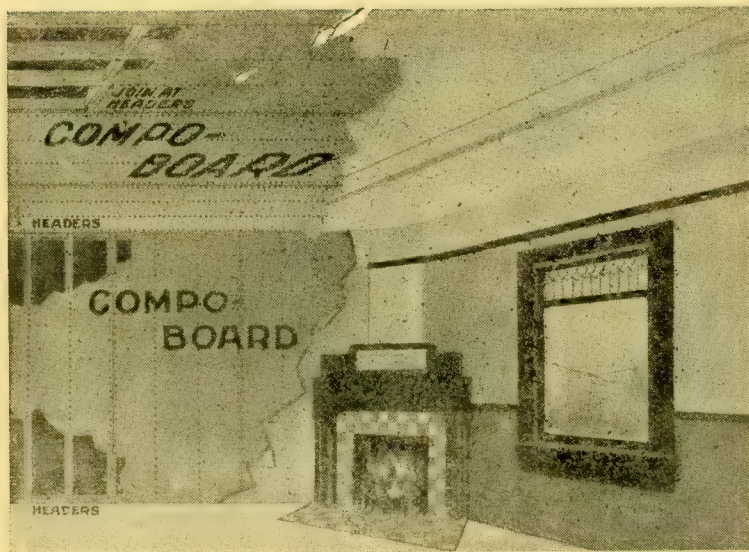
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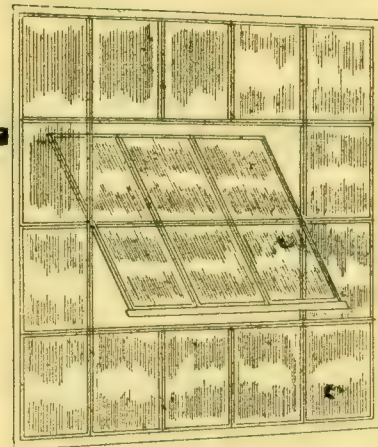
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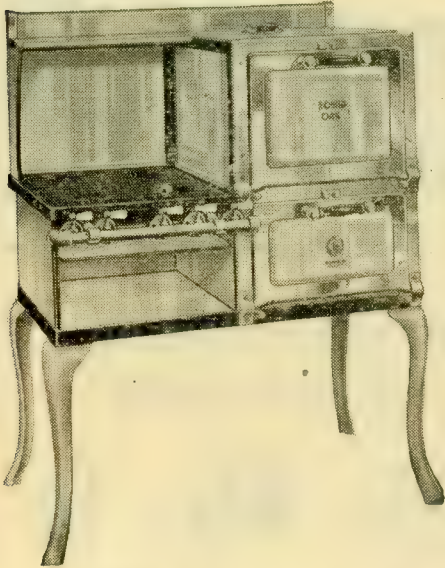
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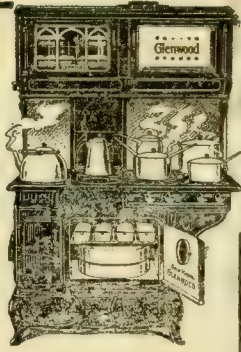


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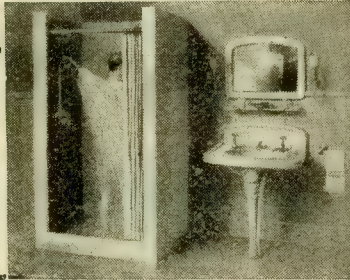


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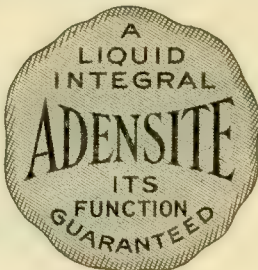
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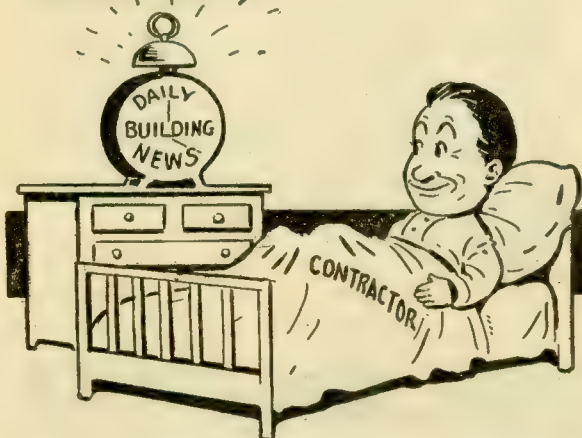
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Devoted to the Advancement of American Architecture, Structural  
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VOLUME XXXIX  
Number 18

PHILADELPHIA  
April 30, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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## As The Editor Sees It



F. H. Joyner, for many years Highway Engineer of Massachusetts, and later Chief Engineer for the Los Angeles County Highway Commission, was called in by Arizona to study and advise upon its great road building program. I condense from his report: "Whether it is best for a State to do its work with State owned equipment and State employed superintendents and laborers, is a question which in its broadest significance extends into the very foundations of our government. But considering only its economical aspects, a few facts stand out clearly. The average man expects an easy job when working for the State. It takes months under good supervision before he can be made to give the State the same service he would have given the contractor on the first day. Politics in some form is ever present in public work, and many men are employed not because of fitness but because of hidden pressure which cannot be denied. It is almost certain that day labor work will exceed the contractor's price by more than his profit and furthermore there is always present the danger that the engineer will close his eyes to defects in his own work which he would never permit from a contractor. There are examples of that sort in your Arizona roads today. From many years of direct supervision of public work I feel that public bodies face *certain fundamental handicaps* that make it practically impossible for them to compete with the

contractor in either cost or quality and I unqualifiedly recommend to you contract work."

The Los Angeles County Board of Supervisors.

After much experience under honest administration and conditions more favorable than the average, has disapproved the day labor method of doing public work and the chairman of the Board recently wrote

"Our policy is to let all of our important work by contract wherever it is possible to prepare plans for bidders. We believe it is the sound and economical way to handle construction because it definitely fixes the obligations and responsibilities of the owner. If the work is let to responsible and experienced bidders backed by surety bonds the interests of the owners and the taxpayers are fully and definitely protected. We do not believe it is economical to handle large works by day labor because of the impossibility of getting the same efficiency the contractor does out of his trained organization and his specialized equipment."

Louis C. Hill, the widely known Reclamation Engineer, who built the Roosevelt and other great dams writes: "We generally follow the policy of recommending to our clients that work be done by some contracting firm. Any first-class experienced contractor should be able to do the work for a price, including his profit, less than it can be done by

force account, provided all the proper charges are made against the job in the latter case."

Now these important testimonials gathered only from my own limited experience are the expression of a situation which has been demonstrated over and over again. Day Labor work never has and never will develop the full efficiency close economy which are the very heart of every successful contractor's history. And moreover I make the assertion, not carelessly, that competent examination of even the most conspicuous examples of apparently successful day labor undertakings in this country, would probably reveal not only an unnecessary cost but the further fact that the engineers did not hold themselves to the methods or standards they would have demanded of the contractor. On a certain well known important construction, my own firm was specifically instructed by the Chief Engineer that our bid must be based upon aggregates obtained by opening up a remote quarry and crushing both rock and sand, because the aggregates along the job were not suitable. But when he decided to do the job himself he used the forbidden material exclusively and on completion announced in public print a saving which as a matter of fact was much less than the amount we had added for the quarrying and hauling. His answer to me was "well I could safely do things that I could never permit under

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a contract." The maintenance gang that has been kept upon that particular piece of work ever since, is another story.

I also emphatically deny the soundness of the familiar argument for day labor, that it removes the incentive for slighting and insures better quality of work and assert from my observations that just the opposite is true. We contractors in all lines of construction are constantly held up to the details of meticulous standards and specifications which no engineer or architect imposes upon himself. The engineer has no higher authority to criticize his own work. This is not a proper basis for public construction.

Neither will the public mind concede much favor to the other chief argument, that day labor permits the engineer to enter upon the work without the necessity of first fully preparing his plans. Great emergencies may occasionally justify such procedure, but as a method it is improper and unsound and leads to careless estimates and increased costs. It would be as proper to allow a contractor to plant the job one tool at a time as his need arose at it is for an engineer to enter upon it before he has made the fullest possible study and worked his plans out to completion.

But the fundamental and glaring unsoundness in the day labor method of expending public funds lies in the utter lack of responsibility back of the estimates and hopes of the officials in charge. It seems axiomatic that the taxpayer is entitled to assurance as to the ultimate cost of public work. The best of intentions and the most honest efforts on the part of officials are a poor substitute for guaranteed costs, and financial responsibility. The taxpayers of the country would not knowingly put this option into the hands of the evershifting stream of politicians who pass through our public offices.

Recently a large irrigation district dam was financed by a bond issue, and the trustees, persuaded by their engineer that he could "save them the contractor's profit," turned the construction over to him on a percentage basis. But when they went into the market with their bonds, the underwriters refused the issue until the district had rescinded its deal with the engineer and had left the work to an experienced contractor whose firm offer was backed by a surety bond.

Within three months the State Bond Commission of California has gone on record as looking with disfavor upon the application of irrigation districts for bond issues, when they contemplate spending the revenue of such issues in day labor construction. Why? Why because it is manifestly unsound economics to create a public loan for which the security or collateral is not definitely set up. When a bond issue is expended on day

labor construction, the purchasers of the bonds have no assurance whatever that the money they are providing will create the promised collateral and our history is notorious with wrecks in proof of this.

Furthermore, when public works are built by day labor the taxpayer very rarely knows the actual cost. Such statements as are made in public demand are seldom a true picture. Overhead is not fully charged. Equipment is shifted from other departments without charge. Automobiles are used without charge. Equipment is credited at the close of the job at a price above its actual salvage value. Repairs of equipment are charged elsewhere. Telephones, telegrams, trips, postage, automobile supplies, general office work, depreciation are omitted or charged to general accounts. If public officials really do make savings in construction work why are they not eager to publish full reports which will stand the test of expert auditing? Why is it so universally difficult to dig out the real costs of such work from your city hall or your state capitol? Why do public officials always resist the adoption of state laws which would bring their construction costs fairly into public contrast with contractor's bids? It was only after years of struggle and defeat that in California we finally secured quite recently the adoption of a law which requires public officials to file upon completion sworn statements of their day labor construction costs and to include therein repairs, insurance, transportation, rentals, depreciation, and all other costs entering into the work. Also to set forth the original estimate of cost, together with the bids, if any were taken, and a list of the publicly owned equipment used on the work and any changes in the original plans and specifications. Why was this wise, wholesome bill strenuously resisted? Isn't it certain that any public official, who really effected savings by his construction department, would eagerly welcome publicity therefore? Yet quite generally they oppose all efforts to check their costs—costs which are nearly always hopelessly buried in books of general accounts.

May I digress a moment to illustrate what we mean when we talk about the value to the public of responsibility? A few years ago a middle west city voted a bond issue of about three million for a new water supply, and after some opposition from day labor advocates, let the work to six different contractors. The entire work was efficiently put through without default or delay, and within the money, but everyone of the contractors lost heavily. The work actually cost three and a quarter millions. Was the contractor in this case a liability, or was his guaranteed cost an asset of vital importance to that community?

(Continued on page 288)

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CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Rectory (new entrance)**, Seventh above York street, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Edward's Roman Catholic Church, Rev. T. J. McCarthy, on premises. Granite, limestone, concrete, tile work, metal rails. Architect sub-letting.

**Residence (alts.)**, Lincoln Drive, Philadelphia. Architects, Willing, Sims & Talbut, 129 South Eighteenth street, Philadelphia. Owner, William C. Schoettle, Lincoln Drive, Philadelphia. Repairs to roof, linoleum floors, plumbing, plastering, painting and glazing, carpentry and mill work, tile work (heating, electric reserved). Architects taking bids.

**Store and 2-Family Residence (alts. and add.)**, 6407 Woodland avenue, Philadelphia. Architect, C. C. Schweiker, Manoa Heights, Delaware County, Pa. Owners, D. K. & M. K. Borjajian, 6407 Woodland avenue, Philadelphia. Brick, 2 stories, 48 feet, 9 inches x 15 feet, 3 inches, slag roof, oak and pine floors, hot water heat, electric light, tile baths, marble show window base, metal bulks. Owners taking bids.

**Garage and Show Room**, Southeast Corner Thirty-eighth and Poplar streets, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Steel, brick, stone, 2 stories, 67x100 feet, slag roof, concrete floors, roof ventilators, metal ceilings, gasoline storage, floor hardener, metal bulks, bond, kalamein doors, hollow metal skylights, rolling steel sash, steam heat, electric light, stone foundations. Plans in progress.

**Store and Residence (alt. and add.)**, 403 East Haines street, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, John Pianticoi, on premises. Brick, stone, 2 and 3 stories, 19x65 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work, plate glass, metal bulks. Plans in progress.

**Residence and Garage**, Wakeling and Large streets, Philadelphia. Architect, Edward Schoeppe, 316 South Fifteenth street, Philadelphia. Owner, name withheld. Brick and stucco, 2 stories, 40x40 feet, tile roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Stores (3) and Apartments**, Chew and Cheltenham avenues, Philadelphia, \$25,000. Architect, Edward Schoeppe, 316 South Fifteenth street, Philadelphia. Owner, name withheld. Brick, 3 stories, 90x89 feet, slag roof, hardwood floors, electric light, metal bars, plate glass. Plans in progress.

**Lodge Building and Store**, Sixteenth and Oxford, Philadelphia. Architect, Edgar A. Weightman, Bankers' Trust Building, Philadelphia. Owners, Central Hall Association of I. O. O. F., Harry W. Rommell, chairman, 555 North Seventeenth street, Philadelphia. Brick, 5 stories and basement, 40x157 feet. Plans in progress. Ready for bids in 3 weeks.

**Residence and Garage**, Mt. Pleasant and Anderson avenues, Philadelphia, \$50,000. Ar-

chitect, William C. Prichett, 225 South Sixth street, Philadelphia. Owner, J. A. Short, 1420 North Sixteenth street, Philadelphia. Stone, 2½ stories, slate roof, hardwood floors, electrick taking bids due May 3rd.

**Residences (12)**, Overington and Oakland streets, Philadelphia. Architect, C. S. Parker, 5018 Schuyler street, Philadelphia. Owner, Wilfred Robinson, 7311 Rising Sun avenue, Philadelphia. Brick, 2 stories, 19x32 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Apartment House**, 478 North Fifth street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, A. Budman, 478 North Fifth street, Philadelphia. Brick, 3 stories, 20x82 feet, slag roof, hardwood and pine floors, iron stairs, bond, hollow metal skylights, tile work, metal lath, hot water heat, electric light. Plans completed. Owner will build.

**Residences (29)**, Howell and Charles streets, Frankford, Philadelphia. Architect, W. H. Wooters, 816 West Allegheny avenue, Philadelphia. Owners, Brinkeman & Hoover, Inc., 2617 Frankford avenue, Philadelphia. Brick, 2 stories, 16x38 feet, hot water heat, electric light, slag roof, hardwood floors. Owners ready for sub-bids.

**Store and Rooming House (alts. and add.)**, 13 South Sixteenth street, Philadelphia. Architect, Gabriel B. Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. General alterations, 4 stories and basement. Architect taking sub-bids.

**Stores (12), Efficiency Apartments (16) (alts. and add.)**, Southeast Corner Eleventh and Spruce. Architect, Charles F. Schaef, 11 South Sixteenth street, Philadelphia. Owner, A. S. Shafer, Northeast Corner Thirty-sixth and Ludlow streets, Philadelphia. Tapestry brick, 4 stories and basement, 25x165 feet, metal roof, pine, hardwood and composition floors, vapor heat, electric light, metal lath, tile and marble work, skylights, metal bulks, iron stairs, metal ceiling, shoring, excavating, lowering floors, structural iron, plastering, painting and glazing, carpentry and mill work, plumbing. Architect taking sub-bids.

**Stores (2)**, 1731-33 Chestnut street, Philadelphia. Engineer, W. G. Gravell, Otis Building, Philadelphia. Owner, name withheld.

Brick, concrete, 2 stories and basement, 40x115 feet, slag roof, pine floors, painting and glazing, steam heat, electric light, metal lath, tile and marble work, kalamein doors. Revised plans in progress for larger building. Engineer will be ready for bids in two weeks.

**Apartment Houses (2)**, Bryn Mawr and City Line avenue, Philadelphia. Owners, J. R. & J. A. Whelan, Seventeenth and Summer streets, Philadelphia. Brick, cast stone, steel, 3 stories, 45x100 feet, slag roof, oak floors, elevators, ornamental iron work, hot water heat, electric light, tile work, metal lath. Owners will build, taking sub-bids.

**Deaconess' Home and Settlement Welfare Building**, Sixth and Vine streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Women's Home Missionary Society of the Methodist Episcopal Church, care of W. H. Gould, 1701 Arch street, Philadelphia. Brick, cut stone, steel, 2 stories, 198x65 feet, slag roof, cement and composition and maple floors, hollow tile, safety treads, painting and glazing, ornamental terra cotta, ornamental iron work, iron stairs, floor hardener, rolling steel skylights, tin clad and kalamein doors, sheet metal sash, metal lath, steel partitions. Architects taking bids due May 1st.

**Residence**, Percy Simpson Tract, Overbrook, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, Mrs. Innes Lloyd, care of architect. Brick, 2½ stories, 28x60 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Architects taking bids due May 1st at noon.

**Alterations and Addition**, 6811 Germantown avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Andrew Knoff, on premises. Brick, cut stone, steel, plaster (heating reserved), slag roof, plumbing, carpentry and mill work, plastering, painting and glazing, hardware, ornamental iron work, electric light. Architect taking bids due May 2nd.

**Office and Lodge Building**, 1523 Girard avenue, Philadelphia. Architect, private plans. Owners, Great Council of Pennsylvania, I. O. R. M., 1523 Girard avenue, Philadelphia. Brick, cut stone, steel, limestone, 3 stories, 133x35 feet, slag roof, composition and maple

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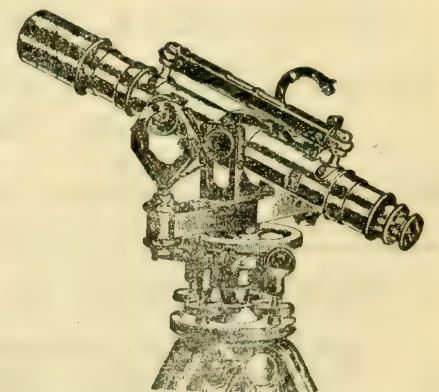
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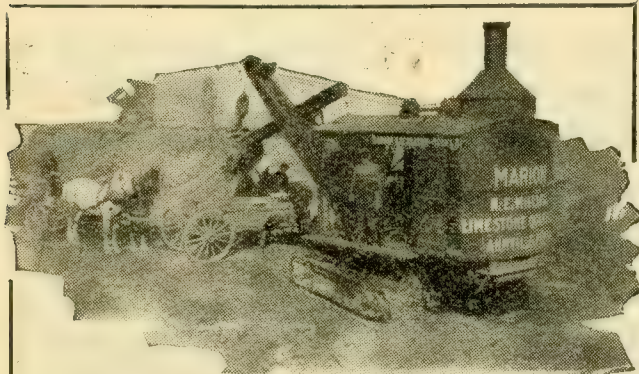
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**Residences (2)**, South side Lyon avenue, East of Seventy-ninth street, \$5,000 each. Architect, private plans. Owner, Louis Pacikong, 7901 Laycock avenue, Philadelphia. Brick, 2 stories, 16x45 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, North side Harlan street, West of Fifty-first street, Philadelphia, \$5,000. Architect, private plans. Owner, Samuel Elgart, 5230 Parkside avenue, Philadelphia. Brick, 1 story, irregular size, slag roof, cement floors. Owner will build.

**Store and Residence (alts.)**, 5203-05 Germantown avenue, \$5,000. Architect, private plans. Owner, L. Buchanan, on premises. General alterations. Owner will build.

**Garage**, Northeast Corner Thirtieth and Reed streets, Philadelphia, \$2,500. Architect, private plans. Owner, Irvin Armstrong, 1809 South Twenty-second street, Philadelphia. Brick, 1 story, 30x63 feet, slag roof, cement floors. Owner will build.

**Residences (19)** West side St. Bernard street, South of Locust, \$145,000. Architect, private plans. Owner, Charles E. Biddle, 730 South Fifty-second street, Philadelphia. Brick, 2 stories, (4) 16x44 feet, (15) 16x33 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (61)**, Bridge and Charles streets, Scattergood, Charles and Hawthorne streets, Philadelphia, \$305,800. Architect, private plans. Owner, George Schwinn, 1220 Lindley avenue, Philadelphia. Brick, 2 stories, (4) 16x38 feet, (57) 16x27 feet, 13x10 feet, hot water heat, electric light. Owner will build.

**Garage**, South side Chestnut street, East of Forty-ninth street, \$30,000. Owner, Edward V. Holland, 124 South Fiftieth street, Philadelphia. Brick, 1 story, 50x215 feet, slag roof, cement floors, electric lighting. Owner will build.

**Garage**, East side Cedar street, South of Somerset street, Philadelphia, \$20,000. Architect, private plans. Owner, B. W. Glover, 5300 Chestnut street, Philadelphia. Brick, 1 story, 170x50 feet, 60x30 feet, slag roof, cement floors. Owner will build.

**Garage**, Northeast Corner Bustleton avenue and Warwick street, \$10,000. Architect, private plans. Owner, Joseph Tomlinson, Somerton, Philadelphia. Brick, 1 story, 45x100 feet, slag roof, cement floors. Owner will build.

**Residences (39)**, 2241 to 2277 East Cambria street and 2238-76 East Monmouth street,

Philadelphia, \$187,000. Owner, Nelson C. Rowley, 2101 South Nineteenth street, Philadelphia. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, East side Clearview street, South of Sedgwick street, \$14,000. Architect, Franklin R. Fow, Plymouth Meeting, Pa. Owner, John W. Whiting, National Security Bank, Franklin and Girard avenues, Philadelphia. Stone, 2 stories, 30x40 feet, hot water heat, electric light, hardwood and pine floors, tile work. Architect will build.

**Residences (10)**, South side Chandler street, West of Barnes street, \$5,000 each. Architect, private plans. Owner, Gus Weber, 7159 Lawndale avenue, Philadelphia. Frame, 2 stories, 18x40 feet, hot water heat, electric light. Owner will build.

**Residences (12)**, West side Penn street, South of Van Kirk street, \$60,000. Architect, private plans. Owner, G. Roscoe Heap, 4210 Osage avenue, Philadelphia. Brick, 2 stories, 18x32 feet and 19x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (26) and Stores and Residence (1)**, Garages (22), Abbottsford and Wissahickon avenues, Philadelphia, \$178,500. Architect, private plans. Owner, H. P. Anderson, 1420 Chestnut street, Philadelphia. Brick, 3 stories, 20x39 feet, 16x30 feet, (26) 2 stories, 16x40 feet, garages, 1 story, 10x20 feet, hot water heat, electric light. Owner will build.

**Residences (41)**, Roosevelt Boulevard, East of "F" street, \$352,000. Architect, private plans. Owner, B. Zorochoff, 7048 North Broad street, Philadelphia. Brick, 2 stories, (3) 16x55 feet, (38) 16x34 feet, 13x20 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences and Stores (2)**, 4162-64 North Marshall street, Philadelphia, \$12,000. Architects, Penwood Company, 131 North Fifteenth street, Philadelphia. Owner, David Barrist, 3209 Clifford street, Philadelphia. Brick, 2 stories, 31x32 feet, 28x47 feet, hot water heating, electric lighting, hardwood and pine floors. Owner will build.

**Apartment**, East side Forty-seventh street, South of Parrish street, \$10,000. Architect, private plans. Owner, M. R. Davis, 4646 Parrish street, Philadelphia. Brick, 2 stories, 94x20 feet, slag roof, hardwood and pine floors, steam heat, electric light. Owner will build.

**Residences (8)**, South side Adams avenue, East of Wyoming avenue, \$6,500 each. Architect, private plans. Owner, J. D. Fotheringham, 1000 Arrott street, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and

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pine floors, hot water heat, electric light. Owner will build.

**Garage and Shop**, West side Sixty-second street, South of Locust street, \$20,000. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, Simon Kaplan, 243 South Sixty-second street, Philadelphia. Brick, 1 story, 60x100 feet, slag roof, cement floors, electric lighting. Owner will build.

**Residence and Store (alts. and add.)**, 6407 Woodland avenue, \$5,000. Owner, M. K. Boyajian, on premises. Brick, 2 stories, 15x12 feet, 1 story, 15x32 feet, general alterations. Owner will build.

**Manufacturing Building (alts.)**, Southeast Corner Fourth and Montgomery avenue, Philadelphia, \$3,000. Architect, J. Oliver Potts, Fourth and Montgomery avenue, Philadelphia. Owners, John B. Stetson Co., on premises. General alterations. Owners will build.

**Residences (2)**, North side Gibson avenue, East of Eighty-sixth street, \$1,700 each. Architect, private plans. Owner, Louis Lasensky, 8308 Eastwick avenue, Philadelphia. Brick, 1 story, 16x44 feet, slag roof. Owner will build.

**Building Equipment**, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Owners taking bids due May 8th at noon. Gymnasium equipment, junior high schools. Sanitary improvements, including plumbing and heating, repairs to fire escapes, iron flag poles, painting inside and out, ventilator, electric, forced draft equipment, wire screens, general repairs, etc. Various schools.

**Schedule A, Main Sewers**, Philadelphia. Courtland street, Ninth to Twelfth street; Mifflin street, Thirty-sixth to Thirty-second street; Oakland, Van Kirk to Roosevelt Boulevard; Ogontz, Seventy-second, North to Cheltenham avenue; Sanger street, Southeast to Northwest of Philadelphia & Trenton Railroad; Venango, Edgemont to Aramingo avenue; Cottman, Walker to Frankford avenue.

**Schedule B**, sewage treatment project. Portable air compressors. Certified check 5 per cent. of bid. Owners taking bids due May 1, 11 A. M. (standard time), 216 City Hall. Owners, Department of Highways, City Hall, Philadelphia.

**Miscellaneous**, Philadelphia. Owners, Department of Public Works, Bureau of Water, 216 City Hall. Owners taking bids due May 6th, 11 A. M. (standard time). Pipe and fittings for high pressure fire system, laying high pressure fire mains, safety device for pumping stations, Duplex strainers, auxiliary heating coils, sand washing machines, engine cylinders, water meters, parts, single nozzle fire hydrants, 6-inch, 8-inch, 12-inch stop valves. Certified check 5 per cent. of bid.

**Supplies**, Philadelphia. Owners, Board of Education, W. Dick, secretary and business manager, Nineteenth above Chestnut street, Philadelphia. Wood, book cases, pianos, shop benches, machine tools, book mats, stationery and educational supplies, curtains for auditorium stages, paints, etc. Owners taking bids due May 8th at 12 M.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Alterations and Addition**, Sixtieth and Market streets, Philadelphia. Architect, private plans. Owners, Haddington Title & Trust Co., Sixtieth and Market streets, Philadelphia. Brick, reinforced concrete, steel, 3 stories, 36x48 feet, slag roof, cement and oak floors, painting and glazing, shoring, ornamental iron work, fire doors, copper skylights, tile and marble work, metal lath, electric light, steam heat. Contract awarded F. G. Stewart, 1520 Locust street, Philadelphia.

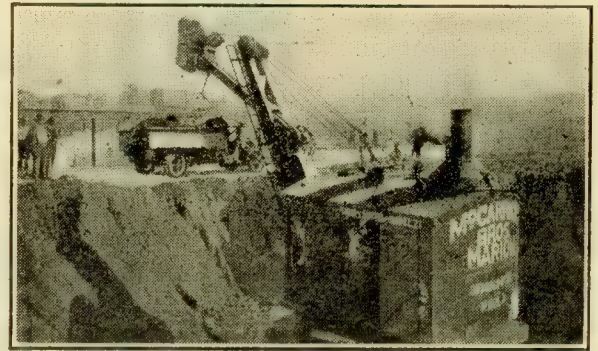
**Bake House and Laundry (alts. and add.)**, Chestnut Hill, Pa. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Joseph's Academy, on premises. Stone, 1 story, 22x50 feet (plumbing, heating reserved), slag roof, composition and cement

floors, electric light, tile and marble floors. Contract awarded John McShain, 1610 North street, Philadelphia.

**Loading Platform**, 612 Locust street, Philadelphia, \$7,500. Architect, private plans. Owners, Central News Co., 612 Locust street, Philadelphia. Steel, concrete and brick. Contract awarded to Turnbull & Cornell, 15 South Twenty-first street.

**Residence (alts. and add.)**, 325 South Smedley street, \$3,000. Architect, private plans. Owner, Janet C. McAllister, Media, Pa. Brick, 1 story add., 9x10 feet, general alterations. Contract awarded to John A. Codori, 1235 Arch street, Philadelphia.

**Bridge**, Glenwood avenue near Penn Branch, Philadelphia. Architect, private



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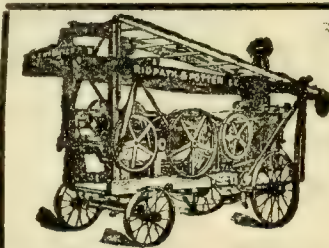
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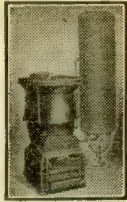
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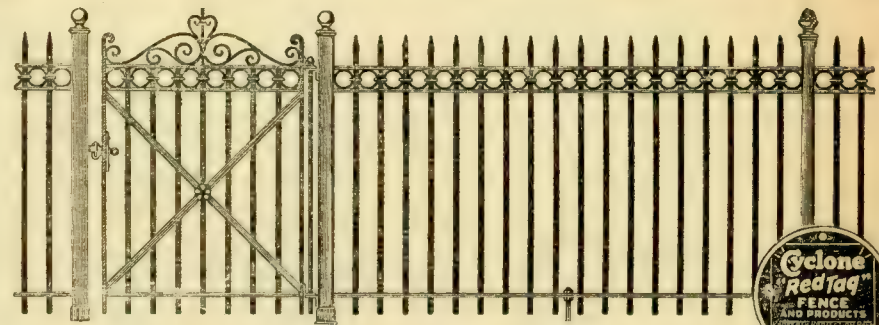
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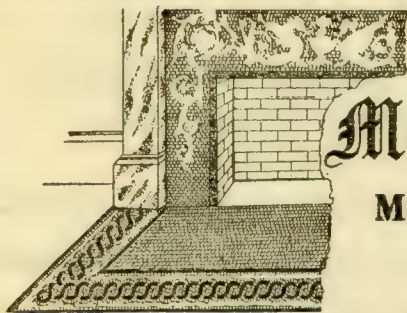
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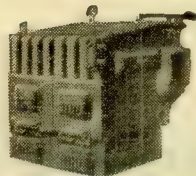
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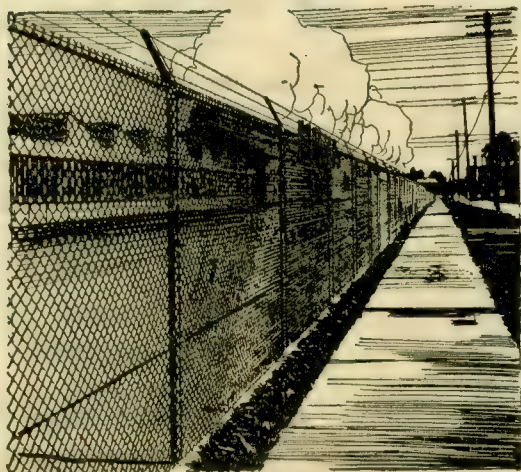


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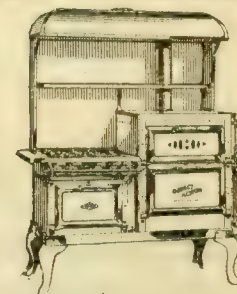
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plans. Owners, Bureau of Highways, Department of Public Works, City Hall. Concrete and steel bridge. Contract awarded to Kaufman Const. Co., North American Building, Philadelphia, \$9,866.

**Office Building**, Northeast Corner Sydenham and Locust streets, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Charles Kahn, Morris Building, Philadelphia. Reinforced concrete, brick, steel, cut stone, 10 stories and basement, 57x90 feet (plumbing, heating, electric, elevators separate), slag roof, cement floors, terra cotta, ornamental iron work, tile and marble. Contract awarded Wark Co., 1600 Walnut street, Philadelphia.

**Alterations**, 1320 Chestnut street, Philadelphia. Architect, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Thresher Brothers, 1322 Chestnut street, Philadelphia. Brick, bronze, concrete, cut stone, steel, steam heat, electric light, metal lath, marble work, rolling steel skylights, tin-clad and hollow metal doors, bond, metal fronts, mosaic work, slag roof, cement floors, plastering, carpentry and mill work, painting and glazing, shoring, dampproofing. Contract awarded to F. V. Warren, 1913 Arch Street, Philadelphia, Pa.

**Office Building**, Northwest Corner Sixteenth and Jefferson streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, limestone, 3 stories, 127x109 feet, steam heat, electric light, metal lath, tile and marble work, shoring, waterproofing, painting and glazing, cement floors, slag roof, kitchen equipment. Contract

awarded J. N. Gill Const. Co., City Center Building, Philadelphia.

**Two-Family Residence**, Medary and Park avenue, Philadelphia. Architects, Sol Kaplan & D. D. Weitz, 10 South Eighteenth street, Philadelphia. Owner, John Goldman, care of architect. Brick, cut stone and steel, 2 stories and basement, 32x70 feet, slag roof, pine, oak and composition floors, painting and glazing, shoring, ornamental iron work, bond, tile and marble work, vapor heat, electric. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

**Residences (6) (alts. and add.)**, 626-36 North Fifty-second street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Louis H. Goettelman, care of architect. Painting and glazing, mill work, brick work, oak floors, slag roof, plumbing, plastering, electric light. Contract awarded George Sherm & Son, 709 South Fifty-ninth street, Philadelphia.

**Drexel Bank (alts.)**, Fifth and Chestnut streets, Philadelphia, \$5,000. Architects, Harris & Richards, Drexel Building, Philadelphia. Owners, Drexel Bank, on premises. Linoleum, brick work, metal work, wood work, painting. Contract awarded Keystone Struc. Co., 1516 Summer street, Philadelphia.

**Garage**, 3-car, 6157 Ridge avenue, Philadelphia. Architect, private plans. Owner, George Blumennauer, 6157 Ridge avenue, Philadelphia. Brick, 1 story, 32x23 feet (plumbing, heating reserved), slag roof, cement floors, electric light, galvanized iron skylights, ornamental iron work. Contract awarded C. C. Eddleman, 1627 Sansom street, Philadelphia.

**Residence**, Montgomery avenue, Chestnut

Hill, Pa. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owner, Charles Brinley, Mermaid Lane, Chestnut Hill, Pa. Stone, 2½ stories, 65x54 feet, slate roof, oak and pine floors, electric light, metal lath, tile work, ornamental iron work. Contract awarded E. R. Hall, 34 South Seventeenth street, Philadelphia.

**Apartment (alts. and add.)**, 4521-31 Walnut street, \$60,000. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owners, French & Brierly Co., 117 South Forty-sixth street, Philadelphia. Brick, 4 stories add., 86x20 feet, general alterations. Contract awarded to Bratton Co., 416 South Forty-first street, Philadelphia.

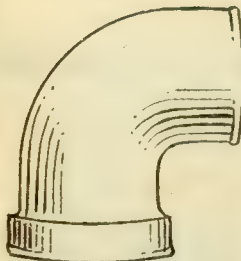
**Residence**, 531 East Gates street, Philadelphia, \$16,000. Architect, Ralph J. Lawrence, 527 East Gates street, Philadelphia. Owner, James J. Jellett, care of architect. Brick, 3 stories, 28x38 feet, slate and tin roof, hardwood and pine floors, steam heat, electric light, tile work. Contract awarded to William H. Eddleman & Son, 453 Green street, Philadelphia.

**Cold Storage Building (repairs)**, 906 Noble street, \$8,500. Owners, Swift & Company, on premises. General repairs. Contract awarded to McNeill Const. Co., 1505 Race street, Philadelphia.

**Garage**, 1132-34 East Columbia avenue, Philadelphia, \$7,600. Architect, private plans. Owners, Isadore Rosenberg Estate, on premises. Brick, 1 story, 34x57 feet, 16x23 feet, slag roof, cement floors. Contract awarded to Edward C. Sherry, 188 West Girard avenue, Philadelphia.

**Store and Residence (alts. and add.)**, 2233 Fairmount avenue, \$6,000. Architect, private plans. Owner, L. Dobole, on premises. Brick, 2 stories add., 13x32 feet, general alterations. Contract awarded to M. Wolf, care of owner.

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**Apartment (add.),** 5128 Master street, Philadelphia, \$5,000. Architect, private plans. Owner, J. M. Fenton, on premises. Brick, 3 stories add., 9x24 feet, 2 stories, 15x14 feet. Contract awarded to J. M. Fenton Const. Co., 5128 Master street.

**Store (alts.),** 1853 Germantown avenue, Philadelphia, \$5,000. Architect, H. H. Kline, 717 Bulletin Building, Philadelphia. Owner, Mrs. Lena Rick, 1855 Germantown avenue, Philadelphia. General alterations. Contract awarded to S. Rosen, 1318 South Fairhill street, Philadelphia.

**Factory (alts.),** Northeast Corner Ninth and Jefferson streets, \$4,000. Architect, private plans. Owner, William Toll, 1241 Filbert street, Philadelphia. General alterations. Contract awarded to J. C. Klass, 3425 Market street, Philadelphia.

**Residence (alts. and add.),** 1128 Seventieth avenue, Philadelphia, \$4,000. Architect, private plans. Owner, Morris M. Gibb, on premises. Brick and hollow tile, 2 stories add., 10x12 feet, general alterations. Contract awarded to Stewart Brothers, 2526 North Orkney street, Philadelphia.

**Store and Residence (alts. and add.),** 4324-26 Frankford avenue. Architect, private plans. Owner, J. A. Sidebotham, on premises. Brick, 1 story add., 14x25 feet, general alterations, steam heat, electric work, cement and composition floors, slag roof. Contract awarded to E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Residence and Store (add.),** 6117 Dittman street, Philadelphia, \$2,700. Architect, private plans. Owner, Robert Hamilton, on premises. Brick, 2 stories, 16x15 feet. Contract awarded to H. C. Lightfoot, 1660 Foulkrod street, Philadelphia.

**Garage,** 708 Sixty-fourth avenue, Philadelphia, \$2,250. Architect, private plans. Own-

er, E. M. Abbott, on premises. Stone, 1 story, 22x24 feet, cement floors. Contract awarded to John A. Bradford, 7202 North Broad street, Philadelphia.

**Residence and Store (add.),** 1917 Orthodox street, Philadelphia, \$2,000. Architect, private plans. Owner, J. Tomkiewicz, 1917 Orthodox street, Philadelphia. Brick, 2 stories, 11x14 feet. Contract awarded to S. Pietrykowski, 3416 Richmond street, Philadelphia.

**Store and Office (alts. and add.),** Southwest Corner Lansdowne avenue and Robinson street, Philadelphia, \$5,000. Architect, private plans. Owner, Max Starr, Southeast Corner Sixtieth and Spruce streets, Philadelphia. Brick, 1 story add., 16x16 feet, general alterations. Contract awarded to M. A. Greene, 1607 North Thirteenth street, Philadelphia.

**Store and Residence (add.),** Northeast Corner Thirteenth and Ogden streets, \$5,000. Architect, private plans. Owner, S. Gilman, 6326 North Broad street, Philadelphia. Brick, 3 stories add., 16x14 feet. Contract awarded to P. Savar, 718 Snyder avenue, Philadelphia.

**Residence,** 7222 Montour street, Philadelphia, \$3,500. Architect, private plans. Owner, Mabel Craighead, 549 West Roosevelt Boulevard, Philadelphia. Frame, 1 story, 24x31 feet, 6 inches, pipeless heat, electric light. Contract awarded to Smith Craighead, 549 West Roosevelt Boulevard.

**Building (alts. and add.),** 2028 North Seventeenth street, Philadelphia, \$2,500. Architect, private plans. Owner, I. Yellin, 2013 North Seventeenth street, Philadelphia. Brick, 1 story add., 13x11 feet, general alterations. Contract awarded to Frank Cohen, 907 Vine street, Philadelphia.

**Residences and Stores (2) (alts.),** 1735-37 South street, \$2,400 each. Architect, private plans. Owner, J. Bodie, on premises. General alterations. Contract awarded to L. Rubin, 421 Jackson street, Philadelphia.

**Store and Storage Building (add.),** 1730 Chestnut street, \$9,000. Architect, private plans. Owner, Theodore Seiffert, 1426 Walnut street, Philadelphia. Brick, second story add., 18x29 feet, built-up asphalt roof, heating extension, electric light, yellow pine floors. Contract awarded to A. F. Henricks, 319 Market street, Philadelphia.

**Residence (alts. and add.),** Southeast Corner Limekiln Pike and Medary avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Walter Kirk, on premises. Brick, 2 stories front add., 15x7 feet, second story rear add., 15x7 feet, general alterations. Contract awarded to S. S. Billingsley, 1230 East Cheltenham avenue, Philadelphia.

**Manufacturing Building (add.),** 28 North Third street, Philadelphia, \$10,000. Architect, private plans. Owner, Morris Mandell, 3237 Kensington avenue, Philadelphia. Brick fire tower, 5 stories, 8x24 feet. Contract awarded to Roland Bale, Jr., 802 East Allegheny avenue.

**Residence and Store,** 1173 South Ninth street, Philadelphia, \$9,000. Owner, Anthony Rugger, Ninth and Ellsworth streets, Philadelphia. Brick, 3 stories, 15x32 feet, 12x28 feet, slag roof, hot water heat. Contract awarded to James Miraldi, 726 Morris street, Philadelphia.

**Residences (6),** Murray street, East of Bustleton avenue, Philadelphia. Architect, Charles S. Parker, 5018 Schuyler street, Philadelphia. Owner, W. P. Stackey, 1101 City

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## PENNSYLVANIA

## Construction News

Center Building, Philadelphia. Brick, 2½ stories, 41x71 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Contract awarded J. C. Funk, 1101 City Center Building, Philadelphia.

**Manufacturing Building (add.),** 202-06 South Darien street, \$5,000. Architect, private plans. Owners, Lambeth Real Estate Co., 207 South Ninth street, Philadelphia. Brick, 2 story add., 37x44 feet. Contract awarded to American Paving & Const. Co., 207 South Ninth street.

**Garage,** Northwest Corner Allison and Master streets, Philadelphia, \$2,800. Architect, private plans. Owner, T. Taylor, 5525 Master street, Philadelphia. Brick, 1 story, 58x16 feet, slag roof, cement floors. Contract awarded to W. R. Smithwick, 1409 North Allison street, Philadelphia.

**Residences (31),** Sixty-seventh and Paschall avenue, Philadelphia, \$165,000. Architect, private plans. Owner, Timothy Gallagher, Fifty-fifth and Springfield avenue, Philadelphia. Brick, 2 stories, 18x38 feet and 16x39 feet, hot water heat, electric light, slag roof, hardwood and pine floors. Contract awarded to John W. Gallagher, Fifty-fifth and Springfield avenue.

**Garage,** 8037 Seminole avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Norman W. Cramp, St. Martin's, Philadelphia. Brick, 1 story, 26x34 feet, 9x12 feet, cement floors. Contract awarded to Cramp & Co., Denckla Building, Philadelphia.

**Residence (alts.),** 714 Fitzwater street, Philadelphia, \$5,000. Architect, private plans. Owner, P. Corzzo, on premises. General alterations. Contract awarded to Scurci & Macrame, 734 South Seventh street, Philadelphia.

**Residence,** 628 Strahle street, Philadelphia, \$5,000. Architect, private plans. Owner, Charles Miller, 626 Strahle street, Philadelphia. Frame, 1 story, 28x39 feet, electric lighting. Contract awarded to Wintz Brothers, 1618 Sellers street, Philadelphia.

**House,** Stenton and Meadowbrook avenue, Philadelphia. Architects, Folsom, Stanton & Graham, 10 South Eighteenth street, Philadelphia. Owner, Charles Gibbons Davis, care of architect. Contract awarded Ralph C. Borthwick, 6511 Woodstock street, Philadelphia.

Man and the giraffe are the only two living things that can't swim naturally. Throw a day-old kitten into the Mississippi and it will paddle its way to shore. The giraffe can't swim because he's not built that way. Man can't swim, just because he is afraid. The chances are that the reason you are not in the swim—financially or otherwise—is because you are afraid.—Glen Buck.

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**Alterations and Additions,** Oakmont, Pa. Architect, private plans. Owners, Grace Chapel, Mr. C. A. Lobb, Oakmont, Pa. Stone, 1 story, 50x40 feet, shoring, stone work, concrete block, pine floors, waterproofing, slate roof, metal lath, leaded glass, hardware, plumbing, electric wiring, tile floors. Owners taking bids due May 1st.

**Bank (alts. and add.),** Bridgeport, Montgomery County, Pa. Architect, William George Chryst, 1154 South Wilton street, Philadelphia. Owners, Bridgeport National Bank, Bridgeport, Montgomery County, Pa. Hollow tile, concrete, cast stone, 1 story and basement and sub-basement, 30x25 feet (vault doors reserved), steam heat, electric light, slag roof, bonded floors, plumbing, bank screens. Architect taking bids due May 6th.

**Residence,** Swarthmore, Pa. Architects, Savery & Scheetz, Stephen Girard Building, Philadelphia. Owner, William C. Taylor, care of architects. Stucco, caststone, cement building block, 2½ stories, 36x26 feet, shingle roof, oak and pine floors, plumbing, tile work, ornamental iron work. Architects taking bids.

**Hospital (Taylor Community Hospital),** Ridley Park, Pa. Architects, W. Macy Stanton & Stanley P. Stewart, 1524 Chestnut street, Philadelphia. Owners, Taylor Hospital, Ridley Park, Pa. Reinforced concrete and stone, 6 stories, 40x80 feet, slag roof, cement, composition, tile and rubber floors, elevators, signal system, plumbing, metal doors, rolling steel sash, tile and marble work, electric light, vacuum high and low pressure steam heat, ornamental iron work. Drawings will be ready for bids April 29th, 2 P. M. Contractors desiring to secure plans may do so upon deposit of \$25. Refund, \$20. Bids due May 10th.

**Residence,** Cynwyd Gardens, Lower Merion Township, Montgomery County, Pa. Architect, C. C. Schweiker, Manoa Heights, Delaware County, Pa. Owner, John A. Doryles, 132 Washington avenue, Manoa Heights, Pa. Frame and brick veneer, 3 stories with garage, 35 feet, 6 inches x 32 feet, shingle roof, oak and pine floors, hot water heat, electric tile baths. Owner taking bids.

**Store and Apartment,** Carlisle, Pa. Architect, H. A. Lackey, Carlisle, Pa. Owner, Charles Berg, Carlisle, Pa. Brick, steel, limestone, 3 stories, 34x150 feet, slag roof, hardwood floors, hollow tile, steam heat, electric light, metal lath, tile and marble work, plate

glass. Plans in progress. (Note architect.)

**School (alts. and add.),** Hamburg, Pa. Architect, Fred Muhlenberg, Ganster Building, Reading, Pa. Owners, School Board of Hamburg, Hamburg, Pa. Brick, steel, 2 stories, 4 rooms. Plans in progress.

**Church (alts.) and Sunday School,** Farmersville, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. John's Lutheran Church, Rev. J. A. Kleck, Farmersville, Pa. Brick, general alterations, new heating system. Plans in progress.

**Church (alts.) and Sunday School,** Frackville, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. Peter's Reformed Church, R. P. Hicks, chairman Building Committee, Frackville, Pa. Frame and stucco, general alterations. Plans in progress.

**Church and Parsonage,** Lansdale, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. John's Reformed Church, Rev. A. N. Sayres, Lansdale, Pa. Brick. Plans in progress.

**Church and Sunday School,** Schuylkill Haven, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. John's Reformed Church, Rev. E. S. Noll, Schuylkill Haven, Pa. Stone and brick. Plans in progress.

**High School,** Rosedale, Berks County, Pa. Architects, Ritcher & Eisler, 147 North Fifth street, Reading, Pa. Owners, Muhlenberg Township School District, Temple, Pa. All bids rejected. Revised plans in progress.

**Office Building,** Third and Cranberry streets, Harrisburg, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Pennsylvania State Chamber of Commerce, care of G. F. Foss, secretary, Telegraph Building, Harrisburg, Pa. Stone, 3 stories, 29x95 feet. Plans in progress.

**Factory (alts.) to Apartments (8),** Lancaster, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, C. V. Adams, Woolworth Building, Lancaster, Pa. Partition work, plumbing, vapor heating, hardwood floors, tile work, general alterations. Plans in progress.

**Residence,** Clark's Green, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, G. B. Tiffany, 1607 Pine street, Scranton, Pa. Frame and stucco, 2½ stories, 30x32 feet, asphalt shingle roof, oak and pine floors (heating and plumbing reserved), elec-

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tric light, metal lath, tile work. Plans in progress.

**Residence**, Quincey avenue, Scranton, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, Abraham Rarich, 1613 Pine street, Scranton, Pa. Frame and stucco, 2½ stories, 26x34 feet, asphalt shingle roof, oak and pine floors (heating and plumbing reserved), electric and gas lighting, tile work, leaded glass. Architect taking bids.

**Garage (alts. and add.)**, Prescott avenue, Scranton, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, Frank Snell, Prescott avenue, Scranton, Pa. Brick, steel, 1 story, 40x70 feet, prepared roof, concrete floors, roof ventilators, waterproofing, terra cotta (plumbing and heating reserved), electric light. Architect taking bids.

**School**, Elkins Park, Pa. Architects, Paul A. Davis, 3rd, & Dunlap, 1713 Sansom street, Philadelphia. Owners, School Board of Cheltenham Township, Pa. Architects selected. Too early for details.

**Parsonage**, Cynwyd, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owners, Cynwyd Methodist Episcopal Church, Rev. L. H. Kettels, Cynwyd, Pa. Frame, 2½ stories, 30x55 feet, hardwood floors, electric light, tile and marble work. Ready for bids in one week.

**High School**, Mechanicsburg, Pa., \$125,000. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Mechanicsburg School Board, Forest Mercer, president, Union Trust Building, Harrisburg, Pa. Brick, 2 stories and basement, 86x65 feet, slag roof, hardwood and composition floors, hollow tile, roof ventilators (heating, electric work and plumbing reserved), metal lath, rolled steel skylights. Owners ready for bids.

**Residence**, Second and Manor streets, Harrisburg, Pa., \$20,000. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, D. Lucas, 302 Market street, Harrisburg, Pa. Stone, stucco and brick, 2 stories, tin and slate roof, cement, tile and pine floors, electric light, tile work, cast stone. Architect ready for bids.

**Filling Station**, Sunbury, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Jewel Oil Co., Shamokin, Pa. Brick and concrete, 1 story, 30x40 feet, tile roof, concrete floors, plumbing, rolling steel sash, hot water heat, electric light. Plans completed. Owners will take bids.

**Residence (alts. and add.)**, Elkins Park, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, David Kirschbaum, Oak Lane, Philadelphia. General alterations and additions. Plans in progress. Will be ready for bids in 2 weeks.

**Garage and Show Room**, North Liberty street, Harrisburg, Pa., \$60,000. Architect, private plans. Owners, Gomery Schwartz Motor Car Co., Harrisburg, Pa. Brick, steel, 1 story, 87x170 feet, slag roof, concrete floors, roof ventilators, steam heat, electric light, rolled steel sash and skylights, fire doors, iron stairs. Owners will build.

**Lancaster County Memorial Building**, Elizabethtown, Pa. Architect, Edgar A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Masonic Homes, Elizabethtown, Pa. Architect selected. Plans in progress.

**Bids on Hardware**, Norristown School, Norristown, Pa. Architect, Oliver Randolph Parry, 1524 Sansom street, Philadelphia. Owners, Board of Education, Norristown, Pa. Hardware. Owners taking bids due May 16th, 8.15 P. M.

**Concrete Mixer and Paver**, Lansdowne, Pa. Owners, Borough of Lansdowne, F. B. Titus, Borough Manager, Lansdowne, Pa. Concrete paver, capacity 2 bag batch; mixer, 2 bag batch. Certified check \$50 to accompany each bid. Owners taking bids due May 1st, 9 P. M.

**Nurses' Home and Sun Parlor**, Gettysburg,

Pa. Architect, Robert Stair, Guardian Trust Building, York, Pa. Owner, Anna M. Warner Hospital, S. C. Bingham, president, Board of Directors, Biglerville, Pa. Brick, 2 stories, 60x40 feet. Owners taking revised bids.

**Riverside School**, Center avenue and Pike street, Reading, Pa. Architect, Fred Muhlenberg, Reading, Pa. Owners, School District of Reading, Pa. Brick, cast stone, steel, 3 stories and basement, 92x61 feet, wing 24x36 feet, wing 37x30 feet, wing 24x36 feet, composition roof, cement, composition and duraflex floors, hollow tile, painting and glazing, plumbing, roof ventilators, steam heat, electric light, kalamein and hollow metal doors, bond, floor hardener, iron stairs, ornamental iron work. Owners taking bids due May 19th.

**School**, Jersey Shore, Pa., \$200,000. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, School Association of Borough of Jersey Shore, C. E. Peterson, secretary, Jersey Shore, Pa. Brick, 2 stories, 250x200 feet, flat asphalt roof, maple floors, hollow tile, roof ventilators, metal weather strips, dampproofing (heating, electric and plumbing reserved), metal lath, rolled steel sash, kalamein doors, skylights, bond, iron stairs, ornamental iron work. Owners taking bids due May 12th.

**Garage**, 17 and 19 Sellers avenue, Millbourne, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, Dr. Hugh W. Close and John S. Bechtel, Esq., on premises. Brick, 1 story, 17x25 feet, slag and slate roof, cement floors, stone walls and grading, electric light. Plans in progress.

**High School (add.)**, Sixth street, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, Harrisburg School Board, Harrisburg, Pa. Brick, steel, concrete, fireproof, two and three stories, 420x470 feet, composition roof, composition, maple and concrete floors, hollow tile, safety treads, waterproofing, dampproofing, terra cotta trim (heating, plumbing and electric work reserved), metal lath, tile, marble work, rolled steel sash, bond, iron stairs, ornamental iron work. Owners taking bids due May 9th.

**School (grade)**, Westlampeter, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Westlampeter Township School District, Mr. Musser, secretary, Westlampeter, Pa. Brick, 1 story and basement, 40x140 feet, slag roof, composition floors, hollow tile, ventilating system (heating, electric work and plumbing reserved), rolled steel sash. Architect taking bids due May 7th.

**Store (alts. and add.)**, 652 Penn street, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owner, David A. Harris, on premises. Brick, concrete, 2 stories, 30x70 feet, composition roof and floors, elevators, steam heat, electric light, tile and marble work, cast stone. Architect taking bids due May 28th.

**Church and Sunday School**, Mertztown, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Paul's Lutheran Reformed Church, care of architect. Brick, 1 story, 30x35 feet, slate roof, pine floors, steam heat, electric light, plastering. Architect taking bids due May 6th.

**Sunday School, Auditorium and Parsonage**, Frackville, Pa. Architects, Scholl & Richardson, Reading, Pa. Owners, First Methodist Episcopal Church, Frackville, Pa. Lowest bid

submitted by Fink Const. Co., 658 Penn street, Reading, Pa.

**Buildings**, Aspenwall, Allegheny County, Pa. Architects, Construction Division, United States Veterans' Bureau, Washington, D. C. Owners, United States Veterans' Bureau, F. T. Hines, Director, 791 Arlington Building, Washington, D. C. Reinforced concrete, brick, steel, built-up slate roof, mastic and pine floors, hollow tile, safety treads, painting and glazing, waterproofing and dampproofing, ornamental iron work, iron stairs, bond, hollow metal doors, rolling steel sash, tile and marble work, metal lath (plumbing, heating, electric, elevators separate bids); infirmary, 4 stories, 140x38 feet, wing 57x144 feet, wing 212x30 feet; ambulant quarters, 2 stories and basement, 121x28 feet; recreation building, 1 story and basement, 107x80 feet; nurses' quarters, 2 stories and basement, 137x38 feet; attendants' quarters, 2 stories and basement, 131x38 feet; officers' quarters, 2 stories, 39x33 feet; garage, 1 story and basement, 42x35 feet; storehouse, 1 story and basement, 100x42 feet; boiler house, 1 story and basement, 95x41 feet; Septic tank and house, 1 story, 47x26 feet. Deposit for plans, \$100. Owners taking bids due May 30th, 11 A. M.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due May 12th at 10 A. M.

**Armstrong County**, Route 202, A-2016, Manor Township, 21,468 feet. One course reinforced concrete. Certified check, \$3,500.

**Blair County**, Route 47, Greenfield Township, 10,772 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

**Butler County**, Route 71, Summit Township, 23,732 feet. One course reinforced concrete. Certified check, \$4,000.

**Chester County**, A-1557, East Bradford Township, 3,047 feet. One course reinforced concrete. Certified check, \$1,000.

**Clarion County**, A-2577, Beaver Township, 10,560 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$2,000.

**Columbia County**, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. Certified check, \$2,000.

**Forest County**, R-380, A-2685, Jenks Township, 5,280 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,000.

**Forest County**, R-98, Tionesta and Green Townships and Tionesta Borough, 33,525 feet. One course reinforced concrete. Certified check, \$4,000.

**Lycoming County**, R-355, A-1036, Muncy Township, 5,867 feet. One course reinforced concrete. Certified check, \$1,000.

**Tioga County**, A-31, Jackson Township, 18,351 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

**Washington County**, R-118, Bentleyville Borough, 1,780 feet. One course reinforced concrete and vitrified brick. Certified check, \$1,000.

**Washington County**, R-113, West Bethlehem and West Pike Run Townships and Centerville and Bealsville Boroughs, 26,928 feet. One course reinforced concrete. Certified check, \$4,000.

Owners taking bids due May 13th, at 10 A. M.

**Beaver County**, R-204, Chippewa Town-

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ship, 3,491 feet. One course reinforced concrete. Certified check, \$1,000.

Bradford County, R-343, A-2335, Rome and Orwell Townships, 13,014 feet. One course reinforced concrete. Certified check, \$2,500.

Chester County, A-1430, West Nottingham Township, 15,016 feet. One course reinforced concrete. Certified check, \$3,000.

Fayette County, Route 247, Dunbar Township, 10,855 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,500.

Greene County, R-325, Washington and Franklin Townships, Waynesburg Borough, 25,246 feet. One course reinforced concrete. Certified check, \$4,000.

Luzerne County, Route 184, A-1219, Conyngnam Borough, 6,598 feet. One course reinforced concrete. Certified check, \$1,500.

Lycoming County, A-2207, Montoursville Borough, 6,531 feet. One course reinforced concrete. Certified check, \$1,500.

Monroe County, A-2734, Hamilton and Ross Townships, 14,732 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,500.

Schuylkill County, Route 185, Rush and Kline Townships and McAdoo Borough, 24,440 feet. One course reinforced concrete. Certified check, \$4,000.

Venango County, R-205, Cornplanter, Oakland and Cherry Tree Townships, 56,213 feet. One course reinforced concrete. Certified check, \$4,000.

Westmoreland County, R-119, Unity Township, 14,771 feet. One course reinforced concrete. Certified check, \$2,500.

Wyoming County, R-11, 232, Tunkhannock Township and Borough, 23,566 feet. One course reinforced concrete. Certified check, \$4,000.

**Bridge**, Sunbury, Pa. Owners, Joint Board County Commissioners of Northumberland and Union Counties, Lewisburg and Sunbury, Pa. Plate girder highway bridge. Deposit of \$20. Certified check required. Owners taking bids due May 26th, at 3 P. M.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Lowest bidders on work opened April 23rd, 1924.

Butler Co., R-73, Butler and Center Townships, 11,202 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Chas. Winters' Const. Co., Renfrew, Pa., \$101,907.40.

Luzerne County, R-4, Plymouth Borough, 5,914 feet. One course reinforced concrete. M. Boyd, Kingston, Pa., \$154,959.80.

Lackawanna County, R-9, South Abington Township, Clarks Summit Borough, 8,199 feet. One course reinforced concrete and hillside vitrified brick. H. P. Sproul Const. Co., Scranton, Pa., \$118,991.80.

Allegheny Co., R-187, Section 2, Penn and Wilkins Townships, 19,498 feet. One course reinforced concrete. McGrady Bros. Co., Braddock, Pa., \$332,614.76.

Fayette County, R-116, Section 3, Georges and South Union Townships, 9,729 feet. One course reinforced concrete. Swaney and Gilmore, Uniontown, Pa., \$103,527.65.

Potter County, R-101, A-2595, Coudersport Borough, 2,110 feet. One course reinforced concrete. D. LeRoy Lennis, Eldrod, Pa., \$25,618.43.

Lehigh and Northampton Counties, R-175 and 163, Walnutport Borough and Lehigh Township, 12,608 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Neely Bros. and Russell, Wakeling Street and Oxford Pk., Philadelphia, \$122,004.55.

Erie County, R-88, A-1145 and 2679, Wattsburg Borough, Venango Township, 15,180 feet. One course reinforced concrete. Chas. H. Dry Const. Co., Erie, Pa., \$197,645.37.

Westmoreland County, R-187, Section 2,

Franklin Township and Export Borough, 10,090 feet. One course reinforced concrete. Jeffreys & Hart, Beaver, Pa., \$152,569.01.

Montgomery County, R-146, West Norriton and Lower Providence Townships, 33,076 feet. One course reinforced concrete. Union Paving Co., 30th and Locust streets, Philadelphia, \$267,893.94.

Susquehanna Co., R-14, Jossup & Bridge-water Townships and Montrose Borough, 27,214 feet. One course reinforced concrete. H. P. Sproul Const. Co., Scranton Pa., \$265,786.70.

Somerset County, R-52, Conemaugh Township, 7,393 feet. One course reinforced concrete. James & Nicholson, Johnstown, Pa., \$78,954.64.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Lowest bidders on work opened April 24th, 1924.

Beaver County, A-1921, Greene Township, 12,316 feet. One course reinforced concrete. Meredith, McVaugh and Webb, Erie, Pa., \$146,730.45.

Bradford County, R-15, A-2340, Rome Township and Rome Borough, 10,701 feet. One course reinforced concrete. Ward and Tully, Inc., Brooklyn, N. Y., \$137,963.85.

Butler County, R-71, Section 2, Clearfield and Summit Townships, 34,306 feet. One course reinforced concrete. Rood Const. Co., Butler, Pa., \$343,145.25.

Lehigh County, R-226, A-1926, Heidelberg and Lynn Townships, 20,283 feet. One course reinforced concrete. General Paving Co., Allentown, Pa., \$162,859.50.

Montgomery County, R-146, Trappe Borough, 5,963 feet. One course reinforced concrete. McNichol Paving and Const. Co., 1923 Cherry street, Philadelphia, \$92,535.31.

York County, R-216, Springgarden and York Townships, 28,397 feet. One course reinforced concrete. W. Grant Raub, Red Lion, Pa., \$234,147.31.

Westmoreland-Allegheny County, R-187, Section 1, Patton and Franklin Townships, 22,552 feet. One course reinforced concrete and hillside vitrified brick. Jeffreys and Hart, Beaver, Pa., \$301,368.47.

Washington County, R-108, Section 2, N. Strabane Township, 7,358 feet. One course reinforced concrete. Samuel Gamble Co., Carnegie, Pa., \$97,704.70.

Huntingdon Co., R-121, Section 1, Shirleysburg Borough, Shirley Township, 22,163 feet. One course reinforced concrete. John M. Hutchinson, Altoona, Pa., \$282,317.40.

Indiana County, R-63, White and Rayne Townships, 38,591 feet. One course reinforced concrete. Johnson, Drake and Piper, Erie, Pa., \$376,472.89.

## Pennsylvania Contracts Awarded

**Residence and Garage**, Sabine and Wynnewood avenue, Wynnewood, Pa. Architect, private plans. Owner, E. O. Shakespeare, Jr., Nineteenth and Walnut streets, Philadelphia. Stone, stucco, 2½ stories and 1½ stories, 45x30 feet, garage 19x18 feet, shingle roof, oak and pine floors, plumbing, painting and glazing (heating, electric, res.), bond, ornamental iron work, dampproofing. Contract awarded Merion Const. Co., 2315 Walnut St., Philadelphia.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Cameron County, R-99, Sec. 1, Shippen Borough. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded to W. A. Palmer, East Bethlehem, Pa., \$209,441.80.

Bradford County, Route 212, Sec. 5, Troy and West Burlington Townships. Contract

awarded to Horn & Devling, Athens, Pa., \$371,332.75.

**Apartment House**, Merion, Pa., \$550,000. Architect, T. B. Lippincott, 11 South Sixteenth street, Philadelphia. Owners, Merion Apartments Co., care of Smullen & Barry, 217 South Broad street. Brick, hollow tile, stucco, 3 stories and basement, 40x220 feet, 40x100 feet, 40x75 feet, vapor vacuum heat, electric light, tile and marble work, rolling steel sash, hollow metal skylights, fire tower, kalamein doors, insulation, kitchen and laundry equipment, hollow tile, refrigerators, built-in beds, oil-burning systems, tile, hardwood and treadlite floors, slate roof; garage, 1 story, irregular, reinforced concrete, reinforced concrete roof. Contract awarded Charles C. Pace, Merion, Pa., who is taking sub-bids on masonry.

**Business Building**, Edgemont avenue, Chester, Pa., \$100,000. Architect, private plans. Owners, J. G. McCrory Co., 1107 Broadway, New York City. Brick, steel, 3 stories, mezzanine and basement, 100x60 feet, slag roof, maple and cement floors, metal window guards, metal ceiling, metal weather strip, shoring, dampproofing, terra cotta, ornamental iron work, iron stairs, floor hardener, bond, kalamein doors, bond, rolling steel skylights, tile and marble work, metal lath. Contract awarded William Provost, Jr., Chester, Pa.

**Building**, Camp Hill, Pa. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Manufacturers' Club, Broad and Walnut streets, Philadelphia. Stone, cut stone, steel, 1 and 2 stories, 107x33 feet, wing 31x28 feet, wing 31x71 feet, shingle roof, cement floors, painting and glazing, waterproofing, ornamental iron work, bond, copper skylights, metal lath, tile and marble work (heating, plumbing, weather stripping). Contract awarded A. R. Raff Cont. Co., 1625 Thompson street, Philadelphia.

**Machine Shop**, Saint Clair, Pa. Architect, S. T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Steel, frame, corrugated asbestos metal, 1 story, 53x61 feet, pine and cement floors; Barrett's Specification roof, plumbing, painting and glazing, rolling steel sash, steel doors, bond, ornamental iron work. Contract awarded Curtis Grindrod Co., 10 South Eighteenth street, Philadelphia.

**Crosby Sub-Station**, Sixth street, between Welsh and Crosby streets, Chester, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, concrete, steel, 1 story, 136x60 feet, slag roof, cement floors, steam heat, metal lath. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia.

**Residence (alts. and add.)**, Melrose Park, Pa. Architect, Edward Schoeppe, 316 South Fifteenth street, Philadelphia. Peter P. Hagan, Melrose Park, Pa. Stone and shingle, 3 stories, irregular size, hot water heat, electric light, tile work, plumbing, hardwood floors, slate or shingle roof. Contract awarded E. E. Hollenback, Inc., 1804 Brandywine street, Philadelphia.

**Residence (2)**, Lansdowne, Pa. Architect, T. Frank Miller, 1012 Walnut street, Philadelphia. Owner, George A. Gray, care of architect. Hollow tile, stucco and frame, 2½ stories, 16x40 feet, shingle roof, pine floors, hot air heat, electric light, plumbing. Contract awarded Waverly & Zeher, Lansdowne, Pa. 2037 South 58th street, Philadelphia.

**Home (alts. and add.)**, Wagontown, Chester County, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, Hatfield Estate, care of Architect. Cinder block and stucco, 3½ stories, 40x120 feet, slate roof, maple floors, vapor heat, electric



light, tile and marble work. Contract awarded to W. J. Elliott, Coatesville, Pa.

**Signal Bridge**, Lawnside, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Concrete and steel. Contract awarded, structural steel, McClintock-Marshall, Morris Building, Philadelphia.

**Residence**, Bromley avenues, Scranton, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, Mrs. Letitia Sickles, Bromley avenue, Scranton, Pa. Frame and stucco, 2½ stories, 28x28 feet, asphalt shingle roof, oak and pine floors, steam heat, electric light, metal lath. Contract awarded to Otto Searfass, Clark's Summit, Pa.

**Warehouse (add.)**, 825 Paxton street, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, James McCormick Estate, Harrisburg, Pa. Brick, 1 story, 15x45 feet. Contract awarded to C. E. Sheffer, Harrisburg, Pa.

**Residence**, 1801 Derry street, Harrisburg, Pa., \$6,000. Architect, H. B. Shoop, 614 North Sixteenth street, Harrisburg, Pa. Owner, John M. Ensminger, 1813 Derry street, Harrisburg, Pa. Brick and concrete block, 2½ stories, 31x48 feet, asphalt shingle roof, pine floors, steam heat, electric light. Contract awarded to A. D. Miller, Penbrook, Harrisburg, Pa.

**School**, Frackville, Pa., \$86,000. Architect, E. Z. Scholl, 136 Robeson street, Reading, Pa. Owners, Board of Education, Frackville, Pa. Brick, concrete, metal lumber, 2 stories and basement, 125x59 feet, asphalt roof, mastic and hardwood floors (heating and electric work reserved), metal lath, iron stairs. Contract awarded to Victor Gondos, 22 South Fifteenth street, Philadelphia. Heating and ventilating awarded to Leslie Davis, St. Clair, Pa., \$1,196.93.

**Garage (alts. and add.)**, Reading, Pa. Architect, L. S. Lance, 108 North Fifth street, Reading, Pa. Owners, Lance Motor Truck Co., 801 Franklin street, Reading, Pa. Brick, steel, iron, 1 story, 35x110 feet, composition roof, concrete and yellow pine floors (heating and plumbing reserved), electric light, rolled steel sash, skylights. Contract awarded to H. J. Raudenbush, 1324 Perkiomen avenue, Reading, Pa.

**Garage, Work Shop and Show Room**, Church and Elm streets, Reading, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owner, J. Howard Fritz, 707 Walnut street, Reading, Pa. Brick, steel, 2 stories and basement, 35x35 feet, tin roof, concrete floors, electric light. Contract awarded to H. J. Raudenbush, 1324 Perkiomen avenue, Reading, Pa.

**Church**, Shippensburg, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Grace Reformed Church, Rev. D. J. Wetzel, Shippensburg. Brick, 1 story and basement, 45x138 feet, slate roof, maple floors, steam heat, electric light, tile and terrazzo work. Contract awarded to A. R. Warner, Waynesboro, Pa.

**Store and Apartments**, Fourth and Linden streets, Allentown, Pa. Architect, H. J. Wiegner, Bethlehem, Pa. Owners, Peterson & Company, Fourth and Linden streets, Allentown, Pa. Brick, cast stone, steel, 3 stories, 36x70 feet. Contract awarded to Ritter & Smith, Allentown, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

**Center County**, Route 307, State College Borough. One course reinforced concrete. \$51,550.97. Contract awarded to P. B. Colgan Co., Lewistown, Pa.

**Montgomery County**, Route 146, Collegeville Borough. One course reinforced concrete. \$78,844.34. Contract awarded to McNichol Paving & Const. Co., 1923 Cherry street, Philadelphia.

**Allegheny County**, Route 181, Forward Township. One course reinforced concrete. \$104,769.95. Contract awarded to A. G. Rothery, Elizabeth, Pa.

**Venango County**, R-208, Mineral and French Creek Townships. One course reinforced concrete. \$219,890.38. Contract awarded to Jamieson & Narlee, Fredonia, Pa.

**Indiana County**, R-314-223, East Wheatfield Township, Armagh Borough. One course reinforced concrete. \$332,513.30. Contract awarded to Booth & Flinn, Ltd., Pittsburgh, Pa.

**Mercer County**, Appli. 2779, Greene Township. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded to Meredith, McVaugh & Webb, Erie, Pa., \$161,455.61.

## New Jersey Construction News

**Industrial School**, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. Young, secretary, Atlantic City. Brick, reinforced concrete, 3 stories, 43x125 feet, reinforced concrete roof, hardwood floors (heating, electric work and plumbing reserved), roof ventilators, rolled steel sash and skylights. Owners ready for revised bids.

**Elks' Home**, Virginia avenue, Atlantic City, N. J. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City, N. J. Owners, B. P. O. E., Atlantic City, N. J. Fireproof, brick, concrete, steel, 6 stories, 75x125 feet, copper and composition roof, cement, tile and hardwood floors, hollow tile, elevators, roof ventilators, waterproofing and dampproofing, architectural terra cotta (heating, plumbing and electric work reserved), metal lath, tile, marble and terrazzo work, rolled steel sash, kalamein and hollow metal doors, iron stairs, ornamental iron work. Architect ready for bids.

**Hospital Building, Power House and Boiler House**, Bridgeton, N. J. Architects, Stearns & Woodnut, 920-23 Stephen Girard Building, Philadelphia. Owners, Bridgeton Hospital Association, Bridgeton, N. J. Revised plans in progress.

**Store**, Broad and Front streets, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Isaac Goldberg, on premises. Brick, steel, 4 stories, 60x90 feet. Plans in progress.

**Police Station (alts. and add.)**, Trenton, N. J., \$70,000. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, City of Trenton, George La Barre, Commissioner, City Hall, Trenton, N. J. Brick, steel, 3 stories, 60x120 feet, slag roof, hardwood floors, hollow tile, safety treads, roof ventilators, metal lath, tile and marble work, terrazzo work, rolled steel skylights, ornamental iron work. Owners taking bids due May 2nd at 1 P. M. (Eastern Standard Time). Bids must be delivered at that time by contractor or his agent.

**Fire Alarm System**, Westville, N. J. Owners, Borough of Westville, W. D. Atkinson, Clerk, Council Chamber, Westville, N. J. Providing for complete work in 16-alarm fire box systems, etc. Owners taking bids due May 13th at 8 P. M.

**Post Office**, Woodbury, N. J. Architect, James A. Wetmore, Washington, D. C. Owners, United States Government, Treasury Department, Washington, D. C. Brick, granite, sheet, 1 story, 61x69 feet, composition roof, maple floors, hollow tile, roof ventilators, metal weather strip, waterproofing and damp-proofing, ornamental terra cotta, ornamental

iron work, cast cement work, bond, steam heat, electric light, metal lath, tile and marble work. Owners taking bids due May 14th.

**School**, Gloucester, N. J. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Board of Education, Gloucester City, N. J. Brick, cut stone, steel, 2 stories and basement, 150x61 feet, composition roof, maple floors, hollow tile, roof ventilators, dampproofing, ornamental iron work, kalamein doors, metal lath, electric light, steam heat. Owners taking bids due May 9th.

**School**, Northfield, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owners, Northfield School Board, Mr. Kreutz, Northfield, N. J. Brick, 1 story, 2 rooms, pine floors. Owners taking bids due May 13th.

**School (alts. and add.)**, Barrington, N. J. Architect, John L. Coneys, Drexel Building, Philadelphia. Owners, Board of Education, Borough of Barrington, Camden County, N. J. Brick, cut stone, steel, 2 stories and basement, 38x59 feet, slate roof, maple floors (plumbing, heating, electric light reserved), metal lath, bond, ornamental iron work, metal weather strip, painting and glazing, hardware. Owners taking bids.

**Residence**, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, James Parker, 2010 Atlantic avenue, Atlantic City, N. J. Frame, 2 stories and basement, 25x39 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Residence (alts.)**, Newton avenue and Beach, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, G. H. R. Ralston, on premises. Frame, brick and stucco, 2 stories, 60x20 feet, slate roof, hardwood floors, general alterations, electric light. Owner will build.

**Residence (alts. and add.)**, Stenton avenue and Boardwalk, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, Joseph Levey, care of architect. Brick, stucco and frame, 2 stories, 125x30 feet, slate roof, hardwood floors, metal lath, tile work, plumbing, general alterations. Owner will build.

**Residence**, Princeton, N. J. Architect, Charles S. Parker, 5018 Schuyler street, Philadelphia. Owner, Miss C. O. LeRoy, 293 Nassau road, Princeton, N. J. Hollow tile plastered, 1½ stories, 24x50 feet, irregular, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner will take sub-bids.

**Bridge**, Freehold, N. J. Engineer, George K. Allen, County Engineer, 60 Broad street, Red Bank, N. J. Owners, Board of Chosen Freeholders, Monmouth County, Bryant B. Newcomb, Director, Freehold, N. J. Concrete, five 55-foot plate girder spans, 26-foot roadway, 7-foot sidewalks. Owners taking bids due May 7th at 11 A. M. (Standard Time). Deposit of \$10 required (refunded). Certified check required.

**Beaver Brook Bridge**, Warren County, N. J. Owners, New Jersey State Highway Department, A. Lee Grover, secretary, Trenton, N. J. Concrete, encased plate girder bridge, 67-foot clear span, reinforced concrete abutments. Owners taking bids due May 5th at noon (Standard Time). Deposit, \$10. Certified check required.

The man with an order to place doesn't hunt you up in the city directory these days. He hasn't the time. If he can't find you in your trade magazine he can and does find somebody else, and that somebody else books the order.



## New Jersey Contracts Awarded

**Manufacturing Building**, Cooper and Front streets, Camden, N. J. Architect, private plans. Owners, Victor Talking Machine Co., Camden, N. J. Reinforced concrete, 10 stories, 170x70 feet, slag roof, cement floors, steam heat, electric light, elevators, waterproofing, rolling steel sash and skylights, fire doors, ornamental iron work. Contract awarded Stone & Webster, Real Estate Trust Building, Philadelphia.

**Store and Apartment**, 709 Broadway, Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Philip Glassman, care of architect. Cement block and brick, 2 stories, 15x96 feet, slag roof, pine floors, hot water heat, electric light, plate glass. Contract awarded to Leslie Reeve, Woodlynn, N. J.

**Residence (add.)**, West Collingswood, N. J. Architect, Thomas Stephen, Temple Building, Camden, N. J. Owner, William Hurley, West Collingswood, N. J. Frame, third story add., hardwood floors, electric lighting, general alterations. Contract awarded to L. R. Hurley, 3312 Lancaster avenue, Philadelphia.

**School (alts.)**, Indiana avenue, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owners, Atlantic City School Board, H. H. Young, Atlantic City, N. J. Heating and ventilating, general alterations. Contract awarded to P. G. Hannum, Georgia avenue Thoroughfare, Atlantic City, N. J.

**Store Building**, Trenton, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, A. Dundalla, care of architect. Brick, 2½ stories, 18x54 feet, slate roof, pine floors, metal ceilings, steam heat, electric light, tile work, plate glass, cut stone. Contract awarded to John Sabat, Trenton, N. J.

**Residence**, 938 Park avenue, Trenton, N. J., \$7,000. Architect, private plans. Owner, Theodore Backes, Broad Street Bank Building, Trenton, N. J. Frame, 2½ stories, 28x28 feet, slate roof, pine floors, electric lighting. Contract awarded to A. J. Geiger, 507 Dayton street, Trenton, N. J.

## Miscellaneous Construction News

**Hotel**, Daytona, Florida. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, R. B. Pacetti, Inlet Terrace, Daytona, Florida. Preliminary sketches being drawn. Too early for details.

**Highway Bridges (3)**, over Inland Waterway from Delaware River to Chesapeake Bay, Delaware and Maryland. Owners, United States Engineers' Office, Wilmington, Del. Owners taking bids due June 25th at 11 A. M. (Standard Time).

**Church, Sunday School and Parsonage**, Cumberland, Md. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. Luke's Evangelical Lutheran Church, Rev. H. Hall Sharke, Cumberland, Md. Lowest bid submitted by Wise-Grant Const. Co., Richmond, Va.

## Miscellaneous Contracts Awarded

**Stadium (2 stands)**, Morgantown, W. Va. Engineers, Osborne Engineering Co., Cleveland, Ohio. Owners, West Virginia University, Stadium Committee, Morgantown, W.

Va. Reinforced concrete, 360x102 feet, 360x82 feet. Contract awarded Foundation Co., 120 Liberty street, New York.

## Proposals

**TREASURY DEPARTMENT**, Office of the Supervising Architect, Washington, D. C., April 16, 1924.—Sealed Proposals will be opened in this office at 3 P. M., May 14, 1924, for the construction of a one-story brick and tile non-fireproof Post Office building, approximately 61½ by 69 feet in size, at Woodbury, N. J. Drawings and specifications may be obtained from the Custodian of the site at Woodbury, N. J., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

Charles H. Evans, of C. H. Evans Const. Co., 2315 Walnut Street, Philadelphia, has formed a corporation with J. Lyle Steele, to be known as Evans-Steele, Incorporated. The new concern will continue the general contracting and building business at 2315 Walnut Street, Philadelphia.

(Continued from page 276)

The whole question is, does society need the specialist? Does it need the financial ability and experience of the successful banker, or shall we let casual office holders manage our monetary institutions? Do we need the trained railway executive or shall the government operate our great transportation business with government employees? Do we need the men who have developed and managed our telegraph and telephone systems, or shall these be entrusted to the Democrats this year and to the Republicans next? And are the office holders of this country the proper agency for managing the nation's vast construction program or do we need the contractor?

We believe society does need this man who builds up a great fabric of experience and specialized skill and organization and holds it ready for responsible public services. We believe he is the orderly development of a sound economic system from which desirable conditions flow. Then let us not begrudge him his legitimate rewards,—meager enough on the average.

The contract method is time-honored and sound. It is based upon well established economic truths. Its competition develops low costs and enforces high efficiency. It furnishes the guarantees and responsibility upon which the safe financing of construction projects must rest. Such evils as it has from the public's point of view are not inherent in the method. They are solely the result of the failure of owners to demand skill, integrity and responsibility in their contractors.

But the day labor system is fundamentally unsound. It breeds dangerous politics, encourages inefficiency, lowers construction standards, develops extra-

vagance, decrease production, destroys individuality and lets loose that spirit of disloyalty to duty which notoriously during the war spread like a plague over the whole world. We all need the spur of competition. We all need to feel the pressure of definite responsibility. We all need the rewards of individual initiative and effort. America's splendid and amazing career fairly rests on that foundation. Listen to the words of that discouraged prophet of day labor and communism, Leon Trotsky, as they appeared recently in the *Literary Digest*. "Our nationalized industries, even those working under exceptionally favorable auspices and well equipped, all are working at a loss. Our administrators and directors are not real masters who attend to every little detail, who watch everything, who save every minute of time and every cent of money, who work day and night caring for the needs of our plants." The same false theory upon which day labor rests has benumbed the great soul of Russia and not even her vast resources, greater than our own, will restore her.

Now listen by contrast to the stirring words of the President of the Chamber of Commerce of the United States, Julius H. Barnes—with which I close.

"It is the American conviction that private enterprises and individual initiative are very precious things in national life which translate themselves into national progress."

"Consciously or unconsciously, American industry knows that its peculiar philosophy which stimulates the effort of the individual through assurance of a fair field and a secure reward for superior service has become the main spring of American accomplishment, and we will not permit unchallenged the loud spoken claims of those who would write into the American structure principles destructive of individual incentive and effort.

"Socialism leads to the easy theory of public service rendered without account of cost."

"We should not remain silent when theorists in public life propose to displace the sturdy philosophy of individual accomplishment with the easy social theory of the cars of the State, without that responsibility."

"If we can read intelligently the lesson of our National progress, a progress which after all is only the aggregate of individual effort stimulated by fairness of opportunity and sureness of reward, then America may face the future without misgiving."

If your sales-talk is keyed to interest men who build it should occupy space every week in the "Guide," the only building news magazine this side of Manhattan Island.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop. ....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop. ....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News. ....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co. ....Darby, Pa.

Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CORK FLOORING.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories. ....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John. Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc. ....1844 N. Front St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories. ....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

The Beckwith Co. ....2401 Chestnut St., Phila.

## HAULING CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford. ....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson. ....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS.

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ....19th and Washington Ave., Phila.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

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# Builders' Guide

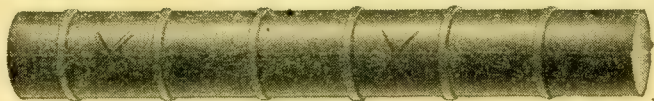
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Vol. XXXIX, No. 19  
May 7, 1924

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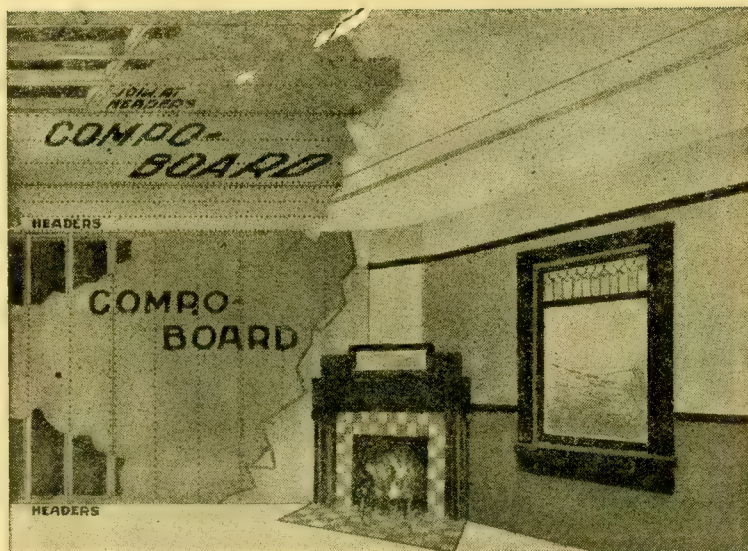
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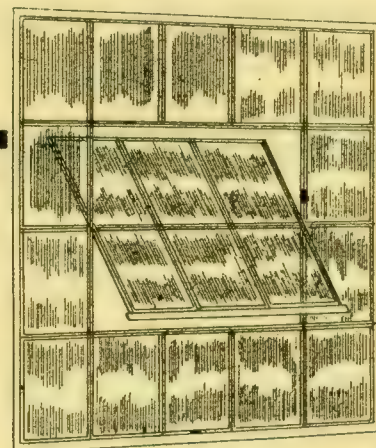
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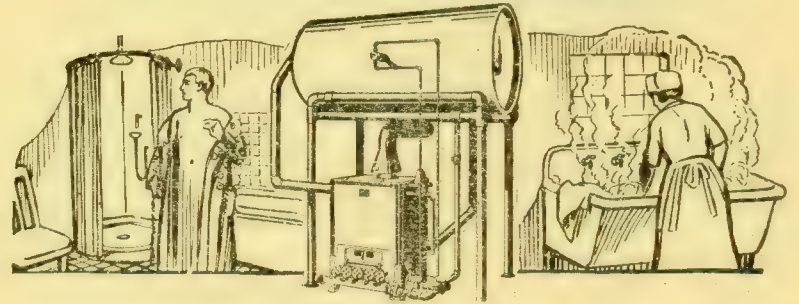
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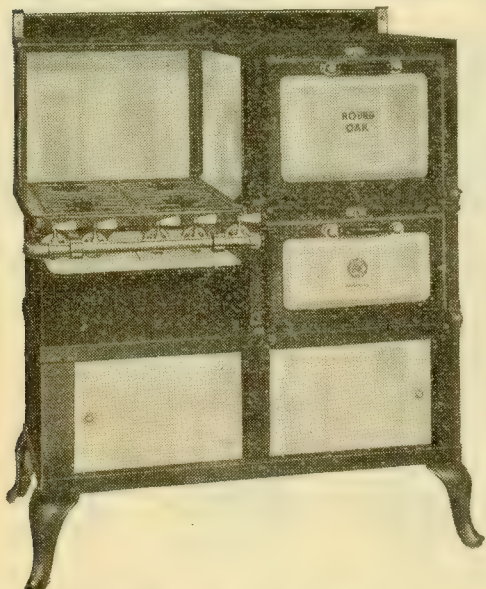
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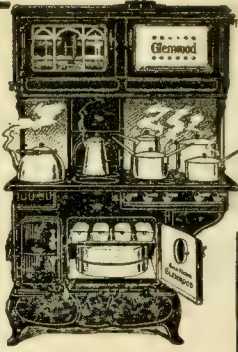


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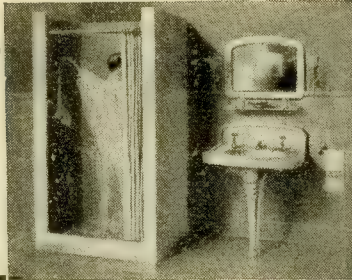


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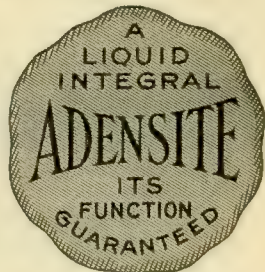
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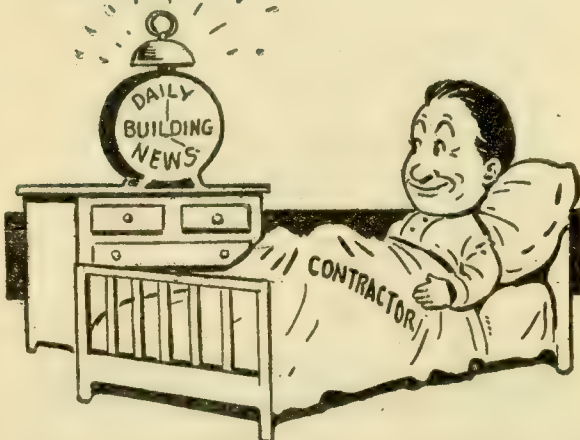
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 19

PHILADELPHIA  
May 7, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residences (2)**, 5843-45 North Camac street, Philadelphia, \$12,000. Architect, private plans. Owners, Anchor Building Co., 5828 North Camac street, Philadelphia. Brick, 2 stories, 15x30 feet, 11x10 feet, hot water heat, electric light. Owners will build.

**Residence**, West side Rockwell street, North of Bleigh street, \$4,800. Architect, private plans. Owner, Henry J. Tunstall, 1006 Cottman street, Philadelphia. Frame, 2 stories, 26x38 feet. Owner will build.

**Hospital (add.)**, Twentieth and Susquehanna avenue, Philadelphia. Architect, Norman Hulme, 1524 Chestnut street, Philadelphia. Owners, Women's Homeopathic Hospital, on premises. Brick, 3 stories, 40x115 feet. Ready for bids in a few days.

**George A. Vare Recreation Center**, Twenty-sixth and Morris streets, Philadelphia. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department Public Welfare, Bureau of Recreation, 595 City Hall. General construction. (Plumbing, heating, electric separate bids). Owners taking bids due May 20th at noon (daylight saving time).

**Store Front and Alts. to Building**, 2027 Walnut street, Philadelphia. Architect, Norman Hulme and John J. Dull, 1524 Chestnut street, Philadelphia. Owner, J. Cutler Fuller, on premises. Steel work, brick work, cut stone, carpentry and mill work, iron work, painting and glazing, hardware, electric and heating alterations, marble work, plastering. Architect taking bids due May 9th.

**School**, Garnet St. and Medary Ave., Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Benedict's Parish, Rev. W. C. Farrell, on premises. Brick, cut stone, stone, 3 stories and basement, 76x150 feet, slate roof, pine and cement floors, plumbing, painting and glazing,

metal ceilings, shoring, waterproofing and dampproofing, ornamental iron work, bond, rolling steel sash, tile and marble work, metal lath, electric lighting, vapor heat. Architect taking bids due May 15th.

**Building (alts.)**, 110-12 South Front street, Philadelphia. Architect, Arthur Brockie, 154 South Fifteenth street, Philadelphia. Owners, I. Reifsnnyder & Co., on premises. Plumbing, electric work, concrete and cement work, cut stone, plastering, carpentry and mill work, pine floors, metal weather strip, shoring, waterproofing, kalamein doors, tile and marble work, steel work, painting and glazing. Architect taking bids due May 16th.

**Apartment Building**, Northwest Corner Nineteenth and Walnut streets, Philadelphia. Architect, McLanahan & Bencker, Bellevue Court Building, Philadelphia. Owners, care of W. M. Anderson, care of architect. Stone, brick, concrete and steel, 22 stories, 127x138 feet. Preliminary sketches being drawn. Too early for details.

**Apartment House**, Overbrook, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Stone and stucco, 4 stories, irregular in size. Preliminary plans in progress.

**Residence**, Decatur, near Walker street, Holmesburg, Pa. Associate architects, W. Ellis Groben and J. Howard Geissel, Oak Lane, Philadelphia. Owner, Mrs. Fedelia Morrison, care of Architects. Hollow tile, stone foundations, shingle roof, stucco exterior, plaster interior, electric, hardwood floors, hot water heat, plumbing. Plans in progress.

**Residences (10)**, Chester avenue and Cemetery avenue, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, name withheld. Brick, 2 stories, 16x40 feet, slag roof, hot water heat, electric light, tile work, hollow metal sky-

lights, bond, metal lath, hardwood and pine floors. Plans in progress.

**Garages (37)**, Forty-fourth and Girard avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, care of H. P. Anderson, 6213 Christian street, Philadelphia. Brick, 1 story, 9x18 feet, slag roof, cement floors, steam heat, electric light. Plans in progress.

**Stores (4), Apartment Building (8)**, 5123-29 Walnut street, Philadelphia. Architect, M. A. Bernhardt, 721 Walnut street, Philadelphia. Owner, name withheld. Brick, 3 stories, 60x150 feet. Architect ready for general bids.

**Church, Sunday School and Gymnasium**, Lawndale, Philadelphia. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owners, Lawndale Presbyterian Church, Rev. W. T. Caldwell, on premises. Stone, 100x100 feet, vapor heat, electric light, slate roof, pine floors, kitchen equipment, mezzanine. Architect ready for bids.

**Manufacturing Building**, Northeast Corner Thirteenth and Hamilton streets, \$10,000. Architects, William F. Koelle Co., 2601 Oxford street, Philadelphia. Owner, Frank C. Holberg, Thirteenth and Hamilton streets, Philadelphia. Brick, 2 stories, 45x66 feet, slag roof, electric work. Architects will build.

**Apartment House**, Nineteenth and Rittenhouse streets, Philadelphia. Architects, Sugarman, Hess & Berger, 16 East Forty-third street, New York. Owner, F. E. D. Thayer, Penfield Building, Philadelphia. Brick, steel, limestone, 15 stories, 95x42 feet (plumbing, heating, electric reserved), Barrett's Specification roof, cement floors, hollow tile, elevators, shoring, waterproofing, terra cotta, ornamental iron work, iron stairs, bond, kalamein and hollow metal doors, tile and marble work, rolling steel skylights, hollow metal

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**Alterations to Store and Storage**, 165 North Second street, Philadelphia. Architect, M. Boonin, Northeast Corner Eighth and Porter streets, Philadelphia. Owner, S. Carlin, 57 North Sixty-first street, Philadelphia. Electric work, new brick front, bulk windows, plate glass, carpentry and mill work, painting and glazing, plastering (heating reserved). Owner taking sub-bids.

**Garages (11)**, rear 5406-08 Media street, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, Estate of George Repp, care of G. Walter Zahn, Fifty-second and Lancaster avenue. Brick, 1 story, 9x18 feet, slag roof, cement floors, steam heat, electric light. Owner ready for sub-bids.

**Bungalow and Garage**, Castor Highlands, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Mr. Beaver, 867 East Russell street, Philadelphia. Concrete and brick, 1½ stories, 28x54 feet, 1 story, 20x20 feet, slate roof, pine, hardwood and cement floors, hot water heat, electric light, tile work. Owner taking general bids.

**Garage**, Twenty-eighth and Cambridge and George streets, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, Simon Kaplan, 243 South Sixty-second street, Philadelphia. Brick, 2 stories and basement, 48x136 feet, wing 46x32 feet, slag roof, pine and cement floors, elevators, steam heat, electric light, rolling steel sash, hollow metal skylights. Owner will build.

**Apartment House**, Southeast corner Sixteenth and Pine streets, Philadelphia. Architect, Charles Oelschlager, 1615 Walnut street, Philadelphia. Owner, name withheld. Brick, stone, cut stone, steel, reinforced concrete, 9 stories and basement, 130x20 feet, slag roof, cement floors, architectural terra cotta, ornamental iron work, floor hardener, iron stairs, hollow metal doors, copper skylights, tile and marble work, metal lath, steam heat, electric light. Architect taking bids due May 10th.

**Addition to Main Building**, Twenty-sixth and Christian streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, 3 and 4 stories add., 35x25 feet, slag roof, cement floors. Architect taking bids due May 12th.

**Distributing Station**, Worth, West of Orthodox street, Philadelphia. Architect, Clarence Wunder, 1520 Locust street, Philadelphia. Owners, Supplee-Wills-Jones, 1523 North Twenty-sixth street, Philadelphia.

Brick and steel, 1 story, 145x160 feet, slag roof, cement floors. Architect taking bids due May 9th.

**Post Office, Station D (alts. and add.)**, Northeast Corner Eighteenth and Christian streets. Architect, private plans. Owners, Estate of Franklin Evans, Mr. Howell, Girard Trust Co., Broad and Chestnut streets, Philadelphia. Demolition, grading, stone work, brick work, concrete and cement, cut stone, iron work, carpentry and mill work, painting and glazing, tile work, hardware, plumbing, heating alterations. Owners taking bids due May 8th.

**Church**, Green and Logan streets, Germantown, Pa. Architect, F. F. Durang, 1220 Locust street, Philadelphia. Owners, St. Francis of Assisi, Rev. J. B. Nevin, on premises. Architect taking bids due May 12th, at 2 P. M.

**Store and Apartments (alts. and add.)**, 2452 North Broad street, Philadelphia. Architect, H. B. Weldon, 1520 Locust street, Philadelphia. Owner, Charles H. Grakelow, care of architect. Shoring and underpinning, concrete and cement, brick work, artificial stone, steel and iron work, carpentry and mill work, metal lath and plastering, steel kitchen tile work, copper sash, leaded glass, slag roof, oak and pine floors, hardware. Architect taking bids due May 9th.

**Supplies**, Philadelphia. Purchasing agent, E. J. Lafferty, 312 City Hall, Philadelphia. Bids will be opened May 12th, 11 A. M. (Standard Time), at 329 City Hall. Rubber sheeting, sulphate of alumina, crushed slag and linder stone, filing cabinets, etc.

**Residences (6)**, Rector street and Manayunk avenue, Roxborough, Philadelphia. Owner, P. H. Powers, 1917 Green street, Philadelphia. Brick, stone, slag and tin roofs, galvanized iron bay windows, 2 stories, 50x16 feet, tile baths, electric light. Owner will be ready for bids May 10th. Plans in progress.

**Residences (8)**, North side Godfrey avenue, Twentieth street to Woodstock, \$54,000. Architect, private plans. Owners, Miran, Green & Cohen, 2524 South Fairhill street, Philadelphia. Brick, 2 stories, 16x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Lumber Shed**, Southwest Corner Fifth and Poplar streets, Philadelphia, \$20,000. Architect, private plans. Owners, M. Zussman & Son, on premises. Frame, 1 story, 70x100 feet. Owners will build.

**Residences (2)**, North side Griffith street, East of Large street, \$4,000 each. Architect, private plans. Owner, Charles Sinn, 5518 North American street, Philadelphia. Frame, 2 stories, 24x34 feet, shingle roof, hot air

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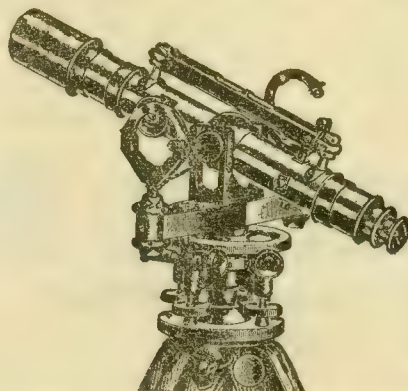
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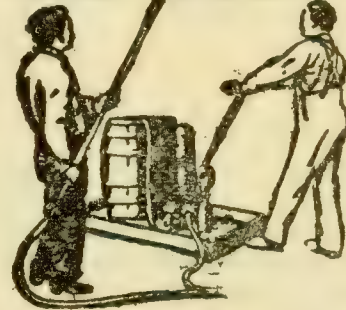
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**Residences (2)**, 4446-48 Edgemont street, Philadelphia, \$3,800 each. Architect, private plans. Owner, Alex. Jastrzenbski, 4539 Bermuda street, Philadelphia. Brick, 2 stories, 15x46 feet, hot water heating, electric lighting. Owner will build.

**Residences (10)**, South side Walnut lane, West of Henry street, \$107,200. Also **Garages (10)**, \$500 each. Architect, private plans. Owner, John J. Foley, 1138 Arrott street, Philadelphia. Brick, 3 stories, 16x43 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residences (3)**, North side Chandler street, East of Barnes street, \$6,000 each. Architect, private plans. Owner, Gustav Weber, 7159 Lawndale avenue, Philadelphia. Brick and frame, 2 stories, 16x46 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residence**, 1119 Gilham street, Philadelphia, \$4,000. Architect, private plans. Owner, Harry Payton, 3305 "D" street, Philadelphia. Frame, 2 stories, 28x45 feet, electric lighting. Owner will build.

**Garage (add.)**, 3037 Edgemont street, Philadelphia, \$3,500. Architect, private plans. Owner, M. Kozuhowski, 3055 Bridge street, Philadelphia. Brick, 1 story, 20x26 feet, and 1 story, 36x24 feet, cement floors. Owner will build.

**Apartment (add.)**, 343 East Cheltenham avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Edward Oxford, on premises. Brick, 2 stories, 33 feet, 10 inches x 14 feet, 6 inches. Owner will build.

**Residences (40)**, Lawrence street, North of Nedro, \$189,200. Architect, private plans. Owners, Britsch & Clayton, 523 Nedro street, Philadelphia. Brick, 2 stories, 16x36 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (6)**, East side Livingston street, North of Westmoreland, \$3,200 each. Architect, private plans. Owner, A. M. Faulkner, 6709 Frankford avenue, Philadelphia. Brick, 2 stories, 15x29 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (2)**, West side Lawndale avenue, South of St. Vincent street, \$4,750 each. Architect, private plans. Owner, Louis Gebhardt, 7039 Rising Sun avenue, Philadelphia. Brick, 2 stories, 14½x40½ feet, slag roof, hot

water heating, electric lighting. Owner will build.

**Residences (6)**, (4) Henley and Carpenter streets, and (2) Sedgwick and Heyward streets, Philadelphia, \$12,000 each. Architect, private plans. Owner, Robert Killough, Wayne avenue and Duval street, Philadelphia. Stone, 3 stories, 18x38 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (17)**, North side Nedro avenue, West of Second street, \$86,000. Architect, private plans. Owners, Rottman & Maiser, 264 West Mentor street, Philadelphia. Brick, 2 stories, 16x37 feet, hot water heating, electric lighting. Owners will build.

**Residence**, Northwest Corner Houghton and Rector street, Philadelphia, \$7,000. Architect, private plans. Owner, W. H. Forgy, 5525 Ridge avenue, Philadelphia. Stone, 2 stories, 34x38 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residences (6)**, East side Jackson street, North of Princeton avenue, \$5,000 each. Architect, private plans. Owner, Robert L. Gercke, 7123 Torresdale avenue, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, West side Lawndale avenue, South of Bleigh, \$11,000. Architect, private plans. Owner, Harry Cornelius, Ardsley, Pa. Frame, 2 stories, 15x38 feet, hot water heat, electric light. Owner will build.

**Residence and Store**, North side Castor avenue, East of Longshore street, \$6,500. Architect, private plans. Owner, John Brunk, 4552 Rising Sun avenue, Philadelphia. Brick, 2 stories, 17 feet, 10 inches x 50 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, South side Passyunk avenue, East of Fifteenth street, \$30,000. Architect, private plans. Owners, Bender & Babis, 1817 South Fourth street, Philadelphia. Brick, 2 stories, 60x100 feet, slag roof, cement floors. Owners will build.

**Buildings (6)**, Power House, Boiler House, Dining Room and Kitchen, connecting corridors, Byberry, Pa. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Health, Dr. Krusen, 584 City Hall. Low bidders (only bidder on general contract), F. W. Mark Const. Co.,

Commercial Trust Building, Philadelphia, Item 1, \$1,111,864; Item 1A, \$91,850; Item 2, \$572,650; Item 3, \$27.25; Item 4, \$4.75. Heating, Mechanical Equipment Co., 214 South Twelfth street, Philadelphia, Item 1, \$224,893; Item 2, \$145,051; Item 3, \$25; Item 4, \$5. Electric, W. V. Pangborne & Co., 1927 West Montgomery avenue, Philadelphia, Item 1, \$77,980; Item 2, \$27,000; Item 3, \$16; Item 4, \$2.75. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, Item 1, \$56,444; Item 2, \$36,998; Item 3, \$15; Item 4, \$2.

### Proposals

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., April 29, 1924. Sealed Proposals will be opened in this office at 2 P. M., May 21, 1924, for the construction of an extension to look-out galleries in the United States Post Office at Buffalo, N. Y. Drawings and specifications may be obtained from the Custodian of the building, or at this office in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

### Advertisement for Construction of Dormitory Building for the N. J. School for the Deaf, Trenton Junction, N. J.

Sealed proposals for furnishing labor and materials to construct a Dormitory Building for Boys as shown on the Plot Plan, on the grounds of the School for the Deaf, Trenton Junction, N. J., will be received and opened by the Architects at the State House, Trenton, N. J., Wednesday, May 28th, 1924, at 2.30 o'clock P. M. (Daylight Saving Time.)

Full information regarding the work to be done and the bids to be received can be obtained from the Architects.

Copies of the drawings and specifications are on file at the office of the Architects and a limited number of these copies will be loaned to prospective bidders upon deposit of a certified check to the order of the Architect for the sum of fifty dollars (\$50).

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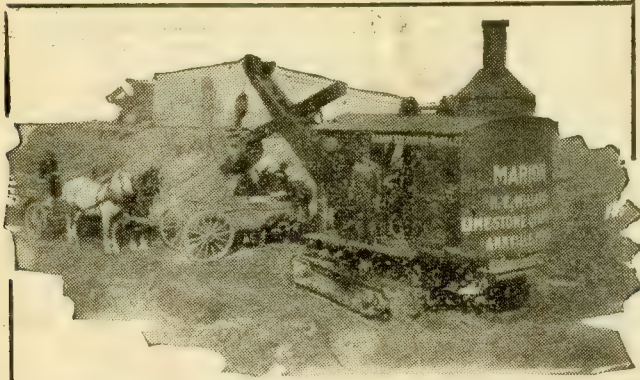
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# Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Residence**, 400 West Allen's Lane, Philadelphia, \$8,000. Architect, private plans. Owner, S. Anastasia, 1929 South Tenth street, Philadelphia. Brick, 2 stories, 17x16 feet, 25x32 feet. Contract awarded to Anastasia Brothers, 1929 South Tenth street, Philadelphia.

**Store and Apartment (alts. and add.)**, 1229 Spruce street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, William H. Britton, care of architect. Bond, brick work, cut stone, carpentry and mill work, structural steel and iron work, slag roof repairs, plastering, metal lath, electric work, painting. Contract awarded T. S. Fetter, 1829 Filbert street, Philadelphia.

**Furniture Sales Building**, 624-26-28 Market street, Philadelphia, \$19,000. Architect, Louis Levy, Real Estate Trust Building, Philadelphia. Owners, Walters Furniture & Carpet Co., care of architect. Gypsum block partitions, iron and steel work, hollow metal doors, repairs to roof, bulk windows, ventilators, carpentry and mill work, maple finish, hardware, painting, plastering, metal lath, caen stone, cement finish, hardware, painting and glazing, tile and marble work, plumbing (heating and electric reserved). Contract awarded William Linker Co., 735 Cherry street, Philadelphia.

**Residence and Garage**, Chestnut Hill, Pa., \$34,300. Architect, Robert R. McGoodwin, 1600 Walnut street, Philadelphia. Owner, Dr. George Woodward, Mermaid lane, Chestnut Hill, Pa. Stone, 2½ stories, 46x29 feet, garage, brick, 1 story, 21x21 feet, cement, oak and pine floors, bond, ornamental iron work, tile work, hollow metal sash, hot water heat, electric light. Contract awarded J. E. Walt, 204 East Willow Grove avenue, Philadelphia.

**Residence**, Southwest Corner Wakeling and Large streets, Philadelphia, \$10,000. Architect, W. K. Henkels, 106 West Highland avenue, Philadelphia. Owner, Joseph R. Summers, 441 North Fifty-second street, Philadelphia. Stone, 2 stories, 24x36 feet, 17x10 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to J. D. Fotheringham, 1000 Arrott street, Philadelphia.

**Alterations**, 526 Carpenter street, Philadelphia. Architect, M. Capobianco, 721 Wal-

nut street, Philadelphia. Owner, A. Longo, on premises. Plumbing, electric light, slag roof, pine floors, cut stone work, carpentry and mill work, painting. Contract awarded A. Mercury, 531 Carpenter street, Philadelphia.

**Residences (4)**, Eighty-first and Eastwick avenue, Philadelphia, \$25,000. Architect, private plans. Owner, Joseph Weber, 8107 Eastwick avenue, Philadelphia. Brick, 2 stories, (2) 18x73 feet, and (2) 16x34 feet, 12x9 feet, slag roof, hardwood and pine floors, hot water heat, electric work. Contract awarded to C. N. Shmuckler, 1961 North Stanley street, Philadelphia.

**Glenwood Avenue Bridge**, near Penn Branch, Philadelphia. Architect, private plans. Owners, Bureau of Highways, Department of Public Works, City Hall. Demolition of existing bridge and construction of steel girded bridge encased in concrete. Contract awarded Kaufman Const. Co., North American Building, Philadelphia, \$9,866.

**Residence**, 136 Rochelle avenue, Philadelphia, \$18,000. Architect, private plans. Owner, Alma M. Heneman, 208 Rochelle avenue, Philadelphia. Stone, 2 stories, 35x30 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to E. J. Heinke, Twelfth and Norris streets, Philadelphia.

**Building (add.)**, 1612 Vine street, Philadelphia, \$8,000. Architect, H. B. Weldon, 1627 Sansom street, Philadelphia. Owner, H. W. Smith, 1200 South Fifty-third street, Philadelphia. Brick, 1 story add., 18x100 feet, slag roof, yellow pine floors, electric work, hot water heat. Contract awarded to Smith-Hardican Co., 1809 Callowhill street.

**Manufacturing Building (add.)**, North side Elmwood avenue, East of Sixty-eighth street, \$5,500. Architect, private plans. Owners, General Electric Co., Witherspoon Building, Philadelphia. Brick smokestack. Contract awarded M. W. Kellogg Co., 90 West street, New York.

**Bank (alts.)**, Southwest Corner Broad street and South Penn Square, \$5,000. Owners, West End Trust Co., on premises. Reinforced concrete, general alterations. Contract awarded to Smith-Hardican Co., 1809 Callowhill street.

**Residence and Store (alts. and add.)**, 1600

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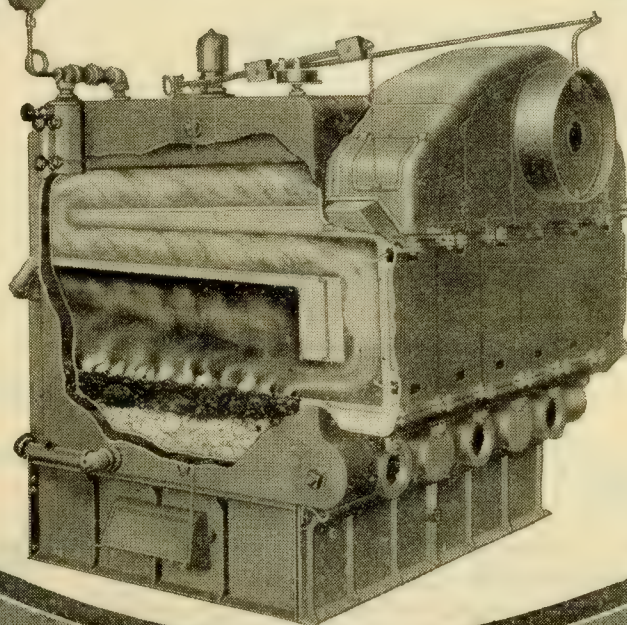
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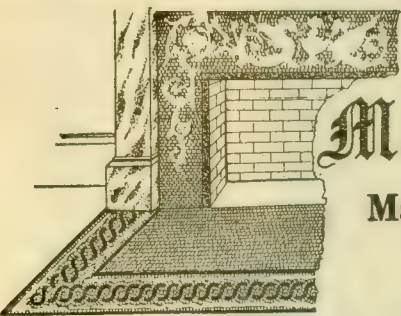
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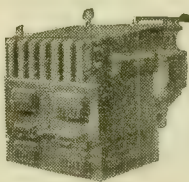
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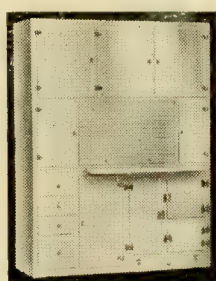
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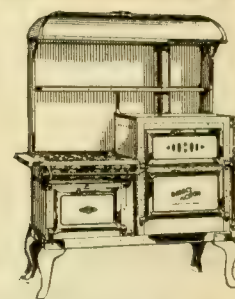
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North Eighth street, \$2,200. Architect, private plans. Owner, A. Davidson, on premises. Brick, 1 story add., 17x4 feet, general alterations, brick fence wall. Contract awarded to Carl Jacobs, 1313 North Twelfth street, Philadelphia.

**Residence (alts. and add.)**, Southeast Corner Jefferson and Sixty-fourth streets, \$2,000. Architect, private plans. Owner, C. A. Mary, on premises. Brick, 1 story add., 10x10 feet, general alterations. Contract awarded to W. C. Nestor, 2019 North Sixty-third street, Philadelphia.

**Building (alts.)**, 304-06 Race street, Philadelphia, \$5,000. Architect, private plans. Owners, Philadelphia Insulated Wire Co., Third and Race streets, Philadelphia. General alterations. Contract awarded to A. Raymond Raff Co., 1635 Thompson street, Philadelphia.

**Residence**, 133 Markle street, Philadelphia, \$4,500. Architect, private plans. Owner, John Daskewie, 123 East street, Philadelphia. Brick, 2 stories, 16x40 feet, electric work. Contract awarded to Joseph F. Grabowsky, 29 Front street, Conshohocken, Pa.

**Garage**, 3724 Walnut street (rear), Philadelphia, \$3,700. Architect, private plans. Owner, T. Cooney, 3725 Locust street, Philadelphia. Brick, 1 story, 34x50 feet, slag roof, cement floors. Contract awarded to A. C. Beck, 4744 Market street, Philadelphia.

**Store and Residence (alts.)**, 4700-02 Fairmount avenue, \$3,600. Architect, private plans. Owner, Y. O. N. Casey, on premises. General alterations. Contract awarded to Thomas Strachan, 5108 Hadfield street, Philadelphia.

**Residence**, West side Forest avenue, North

of Upsal street, Philadelphia, \$4,500. Architect, private plans. Owner, Harry Klein, 33 West Rittenhouse street, Philadelphia. Brick, 2 stories, 17x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Thomas J. Whelan & Son, 220 Sydney avenue, Mt. Airy, Philadelphia.

**Residence**, North side Grant avenue, West of Cowden street, Philadelphia, \$4,500. Architect, private plans. Owner, Howard W. Collins, Holmesburg, Philadelphia. Frame, 2 stories, 26x28 feet, hot water heat, electric light. Contract awarded to Thomas C. Copeland, Bustleton, Philadelphia.

**Residence**, West side Shelmire, South of Claridge street, \$4,200. Architect, private plans. Owner, Thomas Brannigan, 1317 Silver street, Philadelphia. Frame, 2 stories, 26x36 feet, hot air heating, electric lighting. Contract awarded to Gross Building Co., 2027 Stenton avenue, Philadelphia.

**Residence**, East side Hoff street, North of Grant avenue, Philadelphia, \$4,000. Architect, private plans. Owner, William Clark, Bustleton, Philadelphia. Frame, 2 stories, 24x24 feet, hot water heating, electric lighting. Contract awarded to Thomas C. Copeland, Bustleton, Philadelphia.

**Show Room and Garage**, Northeast Corner Rising Sun avenue and Loughlin street, \$8,000. Architect, private plans. Owner, Mrs. Matilda Adair, 6900 Rising Sun avenue, Philadelphia. Brick, 1 story, 50x85 feet, slag roof, cement floors, electric work. Contract awarded to Frank Adair, Magee street and Martin Mills Road.

**Store (repairs)**, 905 Arch street, Philadelphia, \$7,000. Architect, private plans. Own-

ers, Wall Paper Mills Co., on premises. General fire repairs. Contract awarded to A. Raymond Raff Co., 1635 Thompson street, Philadelphia.

**Office Building (alts. and add.)**, 210 South Fourth street, \$6,000. Architect, private plans. Lessees, Creth & Sullivan, on premises. Brick, 1 story add., 11x37 feet, 26x14 feet, general alterations. Contract awarded to Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Garage**, East side Lawrence street, South of Chew street, Philadelphia, \$4,750. Architect, private plans. Owner, Mr. Fittion, on premises. Brick, 1 story, 35x19 feet, 16x81 feet, cement floors, slag roof. Contract awarded to George Good, Adams Road, Philadelphia.

**Building (alts.)**, 614 Locust street, Philadelphia, \$7,500. Architects, Folson, Stanton & Graham, 10 South Eighteenth street, Philadelphia. Owners, Central News Co., on premises. New loading platform, new partitions, general alterations. Contract awarded to Turnbull & Cornell, 15 South Twenty-first street, Philadelphia.

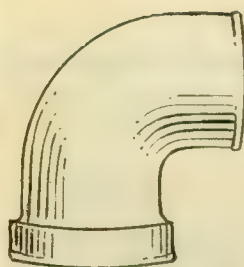
**Show Room and Garage**, Northeast Corner Twentieth and Berks streets, Philadelphia, \$31,000. Owners, F. Abriglia & Leibowitz, 6001 Elmwood avenue, Philadelphia. Brick, 1 story, 88x177 feet, slag roof, cement floors, electric lighting. Contract awarded to F. Sbroglia, 6001 Elmwood avenue, Philadelphia.

**Garage**, 5928 Hegerman street, Philadelphia, \$2,500. Architect, private plans. Owner, Charles Appelgren, 153 East Westmoreland street, Philadelphia. Brick, 1 story, 42x16 feet, slag roof, cement floors. Contract awarded to J. Cichiny, Inc., 2231 Green street, Philadelphia.

**Power House**, East side Sixty-eighth street, North of Elmwood avenue, \$150,000. Owners, General Electric Co., Schenectady, N. Y. Brick, 2 stories, 59 feet, 7 inches x 180 feet. Contract awarded to White Const. Co., 95 Madison avenue, New York.

**Residence (alts.)**, Northwest Corner St. Martin's and Moreland streets, \$3,000. Architect, private plans. Owner, Mrs. Isaac W. Jeanes, 2018 Delaney street, Philadelphia. General alterations. Contract awarded to R.

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**Residence and Store (add.),** 789 North Twenty-seventh street, Philadelphia, \$2,500. Architect, private plans. Owner, M. Meikeljohn, on premises. Brick, 1 story, 12x17 feet. Contract awarded to F. I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Residence (add.),** 4525 Edgemont street, Philadelphia, \$2,000. Architect, private plans. Owner, Jacob Trotter, Jr., 4523 Edgemont street, Philadelphia. Brick, 1 story add., 16x18 feet, second story add., 11x18 feet. Contract awarded to George W. Crosley, 5717 Jackson street, Philadelphia.

**Store and Residence (add.),** 187 West Logan street, Philadelphia, \$2,000. Architect, private plans. Owner, Lorenzo Fasani, 187 West Logan street, Philadelphia. Brick, 2 stories add., 14x13 feet. Contract awarded to B. C. Lauer, New Britain, Pa.

**Store Building (add.),** 1638-40 Market street, Philadelphia, \$9,000. Architect, private plans. Owner, Daniel Dever, 1636 Market street, Philadelphia. Brick, third story add., 38x120 feet. Contract awarded to John Walsh, 5222 Greene street, Philadelphia.

**Store and Residence (alts.),** 747 South Eighth street, Philadelphia, \$2,500. Architect, private plans. Owner, Joseph Birciotti, 608 Carpenter street, Philadelphia. General alterations. Contract awarded to Joseph De Cristofare, 711 Ellsworth street.

**Residence,** 3226 Memphis street, Philadelphia, \$4,200. Architect, private plans. Owner, Mrs. M. Gransback, 3232 Memphis street, Philadelphia. Brick, 2 stories, 16x27 feet, 12x12 feet, hot water heat, electric lighting. Contract awarded to H. B. Kuster, 3027 Cedar street, Philadelphia.

**Sales and Service Building,** rear of 1327-33 North Carlisle street, Philadelphia, \$5,900. Architect, Philip S. Tyre, 1505 Arch street,

Philadelphia. Owner, Gabriel Snubbers, care of architect. Brick, 1 story, 33x28 feet, slag roof, cement floors, painting and glazing, plumbing, fire doors, ornamental iron work. Contract awarded Farrell Roth Const. Co., 1624 Spruce street, Philadelphia.

**Residence,** 207 Pelham Road, Philadelphia, \$4,700. Architect, private plans. Owner, Emil Cohen, 3633 North Twenty-first street, Philadelphia. Brick, 2 stories, 23x21 feet, 13x4 feet. Contract awarded to Lukens Brothers, Cynwyd, Pa.

**Residence,** East side Richmond street, South of Palmer, \$12,000. Architect, private plans. Owner, Fred Ebinger, 501 East Richmond street, Philadelphia. Brick, 3 stories, irregular size, hardwood floors, electric light. Contract awarded to Frank I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Factory,** Northeast Corner American and Bristol streets, Philadelphia, \$14,000. Architect, private plans. Owner, Elwood Hoffman, 937 East Westmoreland street, Philadelphia. Brick, 2 stories, 49x24 feet, 44x36 feet. Contract awarded to A. Earl Barnes Co., 2044 East Clementine street.

**Junk Shop (add.),** 1935-37 South Third street, Philadelphia, \$12,000. Architect, private plans. Owners, R. De Santi Co., on premises. Brick, second story add., 22x50 feet, third story add., 26x58 feet. Contract awarded to William D. Smith, 8716 Eastwick avenue, Philadelphia.

**Store (add.),** Northeast Corner Eleventh and Market streets, Philadelphia, \$8,000. Architect, private plans. Owners, Frank & Seider Co., on premises. Bridges (2), iron, 14x105 feet. Contract awarded to Percival M. Sax, 1328 Chestnut street.

**Factory (alts.),** Northeast Corner Nine-

teenth and Hamilton streets, \$7,500. Architect, private plans. Owners, Cutter Electric Co., on premises. Carpentry, mill work, brick work, cement work. Contract awarded to John N. Gill Const. Co., 121 North Broad street.

**Apartment (alts. and add.),** 749 South Ninth street, Philadelphia, \$5,000. Architect, private plans. Owner, Theodore Tuti, 859 Bainbridge street, Philadelphia. Brick, 3 stories add., 14x19 feet, general alterations. Contract awarded to F. Botano, 723 South Tenth street, Philadelphia.

**Residence and Store (add.),** 3628 Market street, Philadelphia, \$2,000. Architect, private plans. Owner, E. T. Ricks, on premises. General alterations and additions. Contract awarded to Sol Marcus, 429 South Fifty-seventh street, Philadelphia.

**Residence and Store,** 1315 Bainbridge street, Philadelphia, \$5,000. Architect, private plans. Owner, Mrs. Cohen, on premises. Brick, 3 stories, 14x9x11 feet. Contract awarded to Abe Krauss, 950 Jackson street, Philadelphia.

**Residence and Office (add.),** 700 West Girard avenue, \$3,200. Owners, Philadelphia Mutual Association, on premises. Brick, 2 stories add., 13x24 feet. Contract awarded to R. J. Nachtigall, 966 North Lawrence street, Philadelphia.

**Residence and Store (alts. and add.),** 1553 North Fourth street, \$3,400. Architect, private plans. Owner, J. Shapiro, on premises. Brick, 1 story add., 13x8 feet, general alterations. Contract awarded to Acker Brothers, 2945 Arizona street, Philadelphia.

**Store and Residence (alts.),** 2908 Germantown avenue, \$2,800. Architect, private plans. Owner, Mrs. M. Kerson, 3378 Frankford ave-

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nue, Philadelphia. General alterations. Contract awarded to Harry Feldman, 1011 Chestnut street, Philadelphia.

**Shop (add.)**, East side Thompson street, North of Westmoreland street, \$2,500. Architect, private plans. Owner, W. Dzuribil, 3253 Almond street, Philadelphia. Brick, second story add., 24x34 feet. Contract awarded to M. Baranowsky, 1614 Juniata street, Philadelphia.

**Store and Apartment (add.)**, 430 Spruce street, Philadelphia, \$2,500. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, Peter Goldberg, on premises. Brick, 3 stories add., 18x120 feet, slag roof, hardwood and pine floors, hot water heat, electric light, metal lath, tile work. Contract awarded to J. Miraldi, 726 Morris street, Philadelphia.

**Store and Residence (alts.)**, Northwest Corner Twelfth and Commerce streets, \$2,000. Architect, private plans. Owner, Mr. Endren, on premises. General alterations. Contract awarded to Basch & Co., Ruan and Tackawanna streets, Philadelphia.

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**Residence**, Penfield, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. Joseph Echternach, Medical Arts Building, Philadelphia. Brick, stucco, 2½ stories, 40x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Residence (alts. and add.)**, Merion, Pa. Architect, Frank Seeburger, 1524 Chestnut street, Philadelphia. Owner, J. D. C. Henderson, care of architect. Stone, 2½ stories, 19x30 feet, bond, iron work, carpentry and mill work, plastering, tile work, hardware, electric work, painting and glazing, slate roof, tile work (heating and plumbing reserved). Architect taking bids due May 8th.

**Hotel**, Berwick, Pa. Architects, Dreher & Churchman, Otis Building, Philadelphia. Owners, Hotel Berwick, care of architect. Brick, terra cotta trim, steel and concrete, 4 stories and mezzanine, 74x90 feet (70 rooms), slag roof, concrete, cement and tile floors, gypsum block, elevators, kalamein doors, ornamental iron work, tile and marble work, electric light, modulated vapor vacuum heat. Plans in progress.

**Store**, Main street, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Lipkin Furniture Co., 452 Main street, Bethlehem, Pa. Brick, steel, concrete, cinder block, 3 stories, 40x120 feet, slag roof, maple floors, freight and passenger elevators, dampproofing, steam heat, electric light, cast stone, bronze work, fire doors. Plans in progress.

**Bank (alts. and add.)**, Peckville, Pa. Architects, E. H. Davis & George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Peckville National Bank, care of architects. Too early for details.

**Club House**, Emaus, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, P. O. S. A., Camp 398, Fourth and Broad streets, Emaus, Pa. Cinder block and brick, 3 stories and basement, 102x50 feet, prepared roofing, pine floors, cast stone, architectural terra cotta, vapor heat, electric light, metal lath, rolled steel sash, kalamein doors. Plans in progress.

**Residence (alts. and add.)**, Mt. Carmel, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, B. F. Christ, Mt. Carmel, Pa. Brick, stucco, 2 stories, 33x45 feet, slate roof, hardwood floors, electric light, tile work. Plans in progress.

**Residence Development**, Willow Grove, Pa. Architect, E. Allen Wilson, 1208 Chestnut

street, Philadelphia. Owner, name withheld. Stone and frame, 2 and 2½ stories, 26x42 feet, slate and shingle roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress for three. Others later.

**Two-Family Apartments (22)**, Bala, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Brick, stucco, 2 stories, 20x45 feet, slag and tile roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Store Building (alts. and add.)**, Windber, Pa. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, Eureka Stores, Windber, Pa. Brick and brick and stucco, 3 stories, 28 feet, 5 inches x 150 feet, 18x180 feet, composition roof, pine floors, (2) elevators, plumbing, central heat, electric light. Plans in progress. Owners will take bids.

**Residence (alts. and add.)**, Flourtown, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owner, name withheld. Bond, stone, cut stone, cement and concrete, carpentry and mill work, oak and pine floors, plaster tile work, iron work (plumbing, heating and electric and weather strips reserved). Revised plans in progress.

**School**, Newtown Square, Pa. Architects, R. Brognard Okie and D. Franklin Edmunds, 308 South Smedley street. Owners, School Board of Newtown Square, T. Campbell, secretary, Newtown Square, Pa. All bids rejected. Revised plans in progress.

**Apartments and Stores (alts. and add.)**, 1006-10 Lancaster avenue, Bryn Mawr, Pa. Associate architects, W. Ellis Groben and J. Harold Geissel, Oak Lane, Philadelphia. Owner, name withheld. Brick work, stucco, hollow tile, electric work, steam heat, metal work, slag roof, plumbing. Plans in progress.

**Stores (6), Apartments and Garages**, Narberth, Pa. Architect, private plans. Owners, Merion Const. Co., 2315 Walnut street, Philadelphia. Brick, 2 stories, 20x65 feet, hot water heat, electric light, tile work, slag roof, oak and pine floors, ornamental iron work. Owners will build.

**Residence**, Narberth, Pa. Architect, private plans. Owners, Merion Const. Co., 2315 Walnut street, Philadelphia. Hollow tile and stucco, 2½ stories, 22x38 feet, shingle roof, pine and oak floors, hot water heat, electric light. Owners will build.

**Store and Apartment**, Nanticoke, Pa. Ar-

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chitect, G. P. McLean, Second National Bank Building, Wilkes-Barre. Owner, J. A. Kearney, 63 Prospect street, Nanticoke. Pa. Brick, hollow tile, 3 stories, 40x100 feet. Plans in progress.

**Residence**, Forty Fort, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owner, H. Wolfe; care of architects. Frame, 2 stories, 28x42 feet, shingle roof, hardwood floors, steam heat, electric light, tile work. Plans in progress.

**Residence**, Forty Fort, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owners, E. O. Coughlin, Forty Fort, Pa. Cement block and stucco, 2 stories, 30x36 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Apartment and Store (alts. and add.)**, 53-55 South Main street, Wilkes-Barre. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Brick, 2 stories, 40x40 feet, slag roof, yellow pine floors, electric light, tile work. Plans in progress.

**Residence**, Kingston, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Hollow tile and stucco, 2½ stories, 31x36 feet, slate roof, hardwood floors, electric light, tile work. Plans in progress.

**Garage**, Sugar Notch, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owner, Owen McElwee, 707 Main street, Sugar Notch, Pa. Brick, hollow tile, 2 stories, 36x40 feet. Plans in progress.

**Theatre (alts. and add.)**, Luzerne, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owners, Louis Marinos & Thomas Alexander, Walnut street, Luzerne, Pa. General alterations, 1 story add., 45x112 feet. Plans in progress.

**Church**, Roslyn, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut st., Philadelphia. Owners, Roslyn Presbyterian Church, Rev. J. Warren Kauffman, Roslyn, Pa. Stone and frame, 1 story and basement, 36x100 feet. Plans in progress. Ready for bids in a week.

**Stores (3), Apartments (16)**, Seventh and Edgemont streets, Chester, Pa. Architect, Jesse T. Hoekstra, 1713 Sansom street, Philadelphia. Owner, A. P. Musselman, 701 Fulton street, Chester, Pa. Brick, 3 stories and basement, 50x110 feet, slag roof, hardwood and composition pine floors, quarry tile, refrigeration, plumbing, hot water heat, electric light, tile work, oil burning equipment, structural steel, folding beds, laundry and kitchen equipment. Architect ready for bids.

**Bungalow**, Eddington, Bucks County, Pa. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owners, Turners Country Club, on premises. Frame, 1½ stories, 30x40 feet, Barrett's tile roof, pine floors, electric light. Owner will build.

**Residence Development**, Rockland, East of Merion avenue, Merion, Pa. Architect, private plans. Owners, Charles C. Pace and Casper Bongiovanni, Merion, Pa. Stone, hollow tile and stucco, 2½ stories, various sizes and styles. Plans drawn. Will build in 3 or 4 months.

**Garage and Apartments (5)**, South Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owner, O. Cook, Broadway, South Bethlehem, Pa. Steel, brick, concrete, cinder block, 3 stories, 40x100 feet, slag roof, reinforced concrete and maple floors, steam heat, electric light, metal lath, rolled steel sash, fire doors, fire escapes. Owner taking sub-bids.

**Residence**, 141 Clearfield street, Oakmont, Delaware County, Pa. Architect, Charles C. Senweiker, 29 Garfield ave., Monaca Heights, Delaware County, Pa. Owner, Walter O. Stagmyer, 5941 Lansdowne avenue, Philadelphia. Stone, frame and stucco, 2½ stories, 24x36 feet, shingle roof, oak and pine floors, hot

water heat, electric light, tile baths. Owner taking bids.

**Club**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Sons of Veterans, Mr. Charles Adams, care of architects. Brick, steel, 3 stories, 79x57 feet, built-up roof, hardwood floors, hollow tile, metal lath, roof ventilators, metal ceilings, steam heat, electric light, tile and terrazzo work. Architects will be ready for bids in one week.

**Store**, Bethlehem, Pa. Architect, private plans. Owners, J. S. Krause Hardware Co., Howard Koch, Bethlehem, Pa. Brick, steel, cinder block, 2 stories and basement, 36x160 feet, slag roof, maple floors, freight elevators, cast stne, steam heat, electric light, rolled steel sash. Owners sub-letting.

**Residences (2)**, Bedford and Collingdale avenue, Collingdale, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, J. J. Wilson, Twenty-ninth and Ellsworth streets, Philadelphia. Brick and stone, 2 stories, 16x45 feet, slag roof, hardwood floors, hot water heat, electric light. Owner taking sub-bids.

**High School**, Lansdowne avenue, Upper Darby, Delaware County, Pa. Architect, H. W. Castor, Stephen Girard Building, Philadelphia. Owners, School District of Upper Darby, Delaware County, Pa. Stone, reinforced concrete, 3 stories, 36 rooms (heating, plumbing, electric and ventilating reserved). Bidder's bond. Owners taking bids due June 5th.

**Plumbing and Heating**, Club House, Camp Hill, Pa. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Manufacturers' Club, Broad and Walnut streets, Philadelphia. Plumbing and heating. Owner's architect taking bids due May 9th.

**Coaling Station**, Birdsboro, Pa. Architect, Samuel T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading R. R., Twelfth and Market streets, Philadelphia. Reinforced concrete, steel, painting, ornamental iron work, 3 concrete stave silos, track hopper with steel superstructure, chute gate and equipment, department water ash pit with steel superstructure, locomotive inspection pit, water supply and drainage system, cable conveyor with equipment supported on steel, hoist house, frame sanding station. Architect taking bids due May 10th.

**High School (add.)**, Sixth street, Harrisburg, Pa. Architect, C. H. Lloyd, Harrisburg, Pa. Owners, Board of Education, Harrisburg, Pa. Brick, steel, concrete, 2 stories and 3 stories, 420x470 feet (plumbing, heating, electric reserved), composition roof, composition, maple and concrete floors, hollow tile, safety treads, waterproofing and dampproofing, metal

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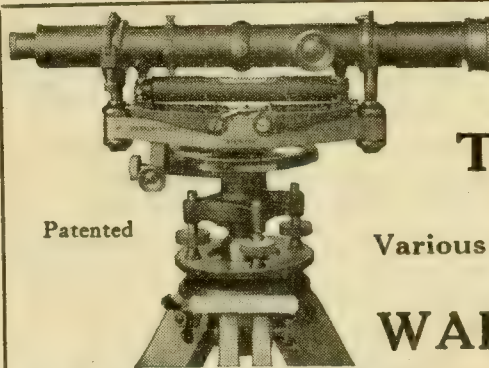
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**Church, Sunday School and Gymnasium,** Lawndale, Pa. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owners, Lawndale Presbyterian Church, Rev. W. T. Caldwell, rector, on premises. Stone, 1 story, 100x100 feet (heating and plumbing reserved), slag roof, pine floors, electric light. Architect taking bids due May 15th.

**Residence (alts. and add.),** Villa Nova, Pa. Architect, Arthur H. Brockie, 254 South Fifteenth street, Philadelphia. Owner, Dr. W. D. Cadwalder, care of architect. Concrete and cement work, carpentry and mill work, electric work, hardware, steam heating, iron work, plastering, painting and glazing, plumbing, sheet metal vault doors. Architect taking bids due May 9th.

**Dormitory Building,** Clark's Summit, Pa. Architect, Edward Langley, Scranton Life Building, Scranton, Pa. Owners, Scranton Poor District, Willard Matthews, Connell Building, Scranton, Pa. Brick, stone, steel, 2 stories and basement, 57x110 feet, slag roof, tile floors, hollow tile, electric light, metal lath, tile and marble work, iron stairs, ornamental iron work. Owners taking bids due May 16th.

**Parochial School and Gymnasium,** Scranton, Pa. Architects, Morris & McHale, Mears Building, Scranton, Pa. Owners, Holy Rosary Congregation, Rev. J. V. Moylan, 316 William street, Scranton, Pa. Brick, 3 stories and basement, 86x125 feet, composition roof, hardwood floors, hollow tile, roof ventilators, waterproofing and dampproofing (heating, electric work and plumbing reserved), tile work, iron stairs. Architects ready for bids due May 16th.

**Duplex Apartment,** Scranton, Pa. Architect, F. A. Nelson, Connell Building, Scranton, Pa. Owner, H. R. Van Deuson, care of architect. Frame, 2 stories, 30x45 feet, shingle roof, hardwood floors, city heating, electric light, tile work, marble work. Architect taking bids due as soon as possible.

**Rectory,** Rockledge, Montgomery County, Pa. Architects, E. W. Stillwell & Co., Los Angeles, Cal. Owners, Church of the Holy Nativity, Rev. F. Argo, Rockledge, Pa. Hollow tile, cut stone, steel and stucco, 2½ stories and basement, 45x39 feet, hot air heat, electric light, tile work, shingle roof, oak floors, painting and glazing, plumbing. Owners taking approximate bids due as soon as possible.

**Hospital Building,** Ridley Park, Pa. Architects, W. Macy Stanton and Stanley P. Stew-

art, 1524 Chestnut street. Owners, Taylor Community Hospital, Ridley Park, Pa. Stone, precast stone, brick, 3 and 5 stories, 117x37 feet, steam heat, metal lath, tile work, rolling steel sash, hollow metal doors, ornamental iron work, iron stairs, waterproofing, shoring, painting and glazing, elevators, hollow tile, cement and pine floors, slag and canvas roof. Architect taking bids due May 10th.

**Apartments (4),** North Main street, Wilkes-Barre, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owner, Peter Steinhauer, 501 North Main street, Wilkes-Barre, Pa. Brick, stucco, 2 stories, 45x38 feet, asphalt shingle roof, pine floors, steam heat, electric light. Architects taking bids due May 8th.

**Residences (2),** Springmont, Berks County, Pa. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owner, William H. Leiby, 530 Franklin street, West Reading, Pa. Brick, concrete foundations, 2½ stories, 80x52 feet, composition roof, pine floors, (heating reserved), electric light. Architect taking bids.

**Bungalow Development,** Washington Crossing, Pa. Architect, private plans. Owner, Edwin N. Johnson, 3644 North Broad street, Philadelphia. Frame, 1½ stories, 26x32 feet, asphalt and wood shingle roof, pine floors, plumbing, pipeless heat, electric light. Owner ready for general bids on four or five at once. Owner also wants bids on road work.

**Road Work,** Pennsylvania. Owners, State of Pennsylvania, Highway Department, Harrisburg, Pa. Owners taking bids due May 19th at 10 A. M.

Adams County, R-2708, R-231, Mt. Pleasant Township, 29,877 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Bradford County, R-212, Columbia and Troy Townships and Troy and Sylvania Borough, 24,731 feet. One course reinforced concrete. Certified check, \$4,000.

Bucks County, R-150, Bristol Township and Borough, 21,120 feet. One course reinforced concrete. Certified check, \$3,500.

Erie County, R-258, A-2908-2909, McKean and Washington Townships, 20,116 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Erie County, R-258, A-2853, McKean Township, Middleboro Borough, 19,950 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,500.

Greene County, R-110, Whitely Township, 29,420 feet. One course reinforced concrete. Certified check, \$4,000.

Indiana County, A-985, Canoe Township, 9,716 feet. One course reinforced concrete. Certified check, \$1,500.

Jefferson County, R-59, Snyder Township, 12,427 feet. One course reinforced concrete. Certified check \$2,000.

Jefferson County, R-189-338, Bell, Gaskill and Henderson Townships, 48,218 feet. One course reinforced concrete. Certified check, \$4,000.

Lackawanna County, A-2631, 2632, 2633, 2634, R-335, Roaring Creek, Jefferson and Madison Townships, Elmhurst Borough, 35,200 feet. One course reinforced concrete. Certified check, \$4,000.

Schuylkill County, R-140, North Manheim Township and Schuylkill Haven Borough, 12,651 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

York County, R-333, Manchester Township, 21,038 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,500.

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Lowest bidders on work opened April 23rd, 1924:

Butler County, R-73, Butler and Center Townships, 11,202 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Charles Winters Const. Co., Renfrew, Pa., \$101,907.40.

Luzerne County, R-4, Plymouth Borough, 5,914 feet. One course reinforced concrete. J. M. Boyd, Kingston, Pa., \$154,959.80.

Lackawanna County, R-9, South Abington Township, Clark's Summit Borough, 8,199 feet. One course reinforced concrete and hillside vitrified brick. H. P. Sproul Const. Co., Scranton, Pa., \$118,991.70.

Allegheny County, R-187, Section 2, Patton, Penn and Wilkin's Townships, 19,498 feet. One course reinforced concrete. McGrady Bros. Co., Braddock, Pa., \$332,614.76.

Fayette County, R-116, Sec. 3, Georges and South Union Townships, 9,729 feet. One course reinforced concrete. Swaney & Gilmore, Uniontown, Pa., \$103,527.65.

Potter County, R-101, A-2595, Coudersport Borough, 2,110 feet. One course reinforced concrete. D. LeRoy Lennis, Eldred, Pa., \$25,618.43.

Lehigh and Northampton Counties, R-175 and 163, Walnutport Borough and Lehigh Township, 12,608 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Neely Brothers & Russell, Wakeling street and Oxford pike, Philadelphia, \$122,004.55.

Erie County, R-88, A-1145 and 2679, Wattsburgh Borough, Venango Township, 15,180 feet. One course reinforced concrete. Charles H. Dry Const. Co., Erie, Pa., \$197,645.37.

Westmoreland County, R-187, Sec. 2, Franklin Township and Export Borough, 10,090 feet. One course reinforced concrete. Jeffreys & Hart, Beaver, Pa., \$152,569.01.

Montgomery County, R-146, West Norriton and Lower Providence Townships, 33,076 feet. One course reinforced concrete. Union Paving Co., Thirtieth and Locust streets, Philadelphia, \$267,893.94.

Susquehanna County, R-14, Jessup and Bridgewater Townships and Montrose Borough, 27,214 feet. One course reinforced concrete. H. P. Sproul Const. Co., Scranton, Pa., \$265,786.70.

Somerset County, R-52, Conemaugh Township, 7,393 feet. One course reinforced concrete. James & Nicholson, Johnstown, Pa., \$78,954.64.

Lowest bidders on work opened April 24th, 1924:

Beaver County, A-1921, Greene Township, 12,316 feet. One course reinforced concrete. Meredith, McVaugh & Webb, Erie, Pa., \$146,730.45.

Bradford County, R-15, A-2340, Rome Township and Rome Borough, 10,701 feet. One course reinforced concrete. Ward & Tully, Inc., Brooklyn, N. Y., \$137,963.85.

Butler County, R-71, Sec. 2, Clearfield and



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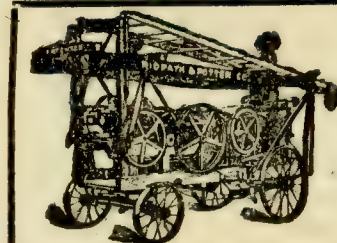
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Summit Townships, 34,306 feet. One course reinforced concrete. Rood Const. Co., Butler, Pa., \$343,145.25.

Lehigh County, R-226, A-1926, Heidelberg and Lynn Townships, 20,283 feet. One course reinforced concrete. General Paving Co., Allentown, Pa., \$162,859.50.

Montgomery County, R-146, Trappe Borough, 5,963 feet. One course reinforced concrete. McNichol Paving & Const. Co., 1923 Cherry street, Philadelphia, \$92,535.31.

York County, R-216, Springgarden and York Townships, 28,397 feet. One course reinforced concrete. W. Grant Raub, Red Lion, Pa., \$234,147.31.

Westmoreland-Allegheny County, R-187, Sec. 1, Patton and Franklin Townships, 22,552 feet. One course reinforced concrete and hill-side vitrified brick. Jeffreys & Hart, Beaver, Pa., \$301,368.47.

Washington County, R-108, Sec. 2, North Strabane Township, 7,358 feet. One course reinforced concrete. Samuel Gamble Co., Carnegie, Pa., \$97,704.70.

Huntingdon County, R-121, Sec. 1, Shirleysburg Borough, Shirley Township, 22,163 feet. One course reinforced concrete. John M. Hutchinson, Altoona, Pa., \$282,317.40.

Indiana County, R-63, White and Rayne Townships, 38,591 feet. One course reinforced concrete. Johnson, Drake & Piper, Erie, Pa., \$376,472.89.

**Road Work, Pennsylvania.** Owners, State Highway Department, Harrisburg, Pa. Low bidders on work opened April 28:

Luzerne County, R-4, Plymouth Borough, 7,282 feet. One course reinforced concrete. J. M. Boyd, Kingston, Pa., \$101,831.85.

Lackawanna-Wyoming County, R-365, Overfield Falls and Newton Township, 39,792 feet. One course reinforced concrete. Public Service Production Co., Newark, N. J., \$385,349.26.

Franklin County, R-585, Luzerne Township, One course reinforced concrete, 14,362 feet. Bester-Long Co., Hagerstown, Md., \$118,595.95.

Erie County, R-304, Sec. 2, Union and Wayne Townships, Union City Borough, 27,091 feet. Either bituminous surface course concrete foundation or one course reinforced concrete. Henry W. Horst Co., Rock Island, Ill., \$269,889.96.

Jefferson County, R-61, A-2660, Warsaw Township, 15,071 feet. One course reinforced concrete. F. S. Wilson, Kittanning, Pa., \$147,615.45.

Jefferson County, A-2735, Washington Township, 10,370 feet. One course reinforced concrete. Milliron Const. Co., Dubois, Pa., \$127,917.41.

Lebanon County, R-376, West Cornwall and South Londonderry Township, 14,864 feet. Swanger & White, Lebanon, Pa., \$158,714.24.

## Pennsylvania Contracts Awarded

**Road Work, Pennsylvania.** Owners, State Highway Department, Harrisburg, Pa. Butler County, Route 214, Appli. 2758, Fairview Township. Contract awarded to A. R. Cooper, Idamar, Pa., \$142,067.27.

**Smith Memorial Cottage for Boys,** Elizabethtown, Pa. Architect, E. A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Masonic Home, Elizabethtown, Pa. Stone, cut stone, brick, steel, 3 stories and basement, 106x64 feet, steam heat, electric light, metal lath, tile and marble work, bond, ornamental iron work, waterproofing, metal weather strips, painting and glazing, cement, maple and composition floors, Carey built-up asbestos roof. Contract awarded to Hughes Foulkrod, Commonwealth Building, Philadelphia.

**Telephone Exchange Building,** Hazleton, Pa. Architect, John T. Windrim, Commonwealth

Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick and steel, 2 stories, 150x80 feet, slag roof, cement floors, steam heat, electric light, metal lath, tile work, bond, ornamental iron work. Contract awarded Franklin M. Harris Co., 1520 Parrish street, Philadelphia.

**Residence,** Jeffersonville, Pa. Architect, Harry G. McMurtrie, 500 Stanbridge street, Norristown, Pa. Owner, William R. Van Skite, care of architect. Stone, 2½ stories, 35x36 feet, hot water heat, electric light, tile work, slate roof, oak and pine floors, ornamental iron work. Contract awarded to Raymond F. Houghton, 713 Stanbridge street, Norristown, Pa.

**Apartment,** Market street, Kingston, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owner, W. C. Carey, Kingston, Pa. Brick, frame, 1 story add., 41x40 feet, built-up roof, pine floors. Contract awarded to H. P. Ransom, Kingston, Pa.

**Residence,** Forty Fort, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owner, Dr. F. J. Krysh, Kingston, Pa. Brick, 2 stories, 56x41 feet, tile roof, hardwood floors (plumbing and heating reserved), electric light, tile work. Contract awarded to H. D. Ransom, Kingston, Pa.

**Residence,** Kingston, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, H. B. Payne, 306 North Maple street, Kingston, Pa. Frame, 2½ stories, 366x32 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to H. A. Harlos, Kingston, Pa.

**Store (alts. and add.),** 26-28 Public Square, Wilkes-Barre. Architects, Knapp & Bosworth, 15 South Franklin street, Wilkes-Barre. Owners, I. Silver Brothers Co., Wilkes-Barre, Pa. Brick, steel, 4 stories, 38x28½ feet, slag roof, pine floors, hollow tile, metal ceilings, electric light, tile and marble, rolled steel. Contract awarded to W. B. Richards, Simon Long Building, Wilkes-Barre.

**Store and Office (alts. and add.),** South Washington street, Wilkes-Barre, Pa. Architects, Knapp & Bosworth, 15 South Franklin street, Wilkes-Barre, Pa. Weitzenkorn & Hurwitz, Wilkes-Barre, Pa., Brick, stone, steel, 3 stories, 58x152 feet, slag roof, pine floors. Contract awarded to John Curtis & Co., 1 Hickory street, Wilkes-Barre.

**Residence and Garage,** Goldhouse Road, Haverford, Pa. Architects, Bailey & Bassett, 521 Chestnut street, Philadelphia. Owner, Mrs. J. Lloyd Coates, Ardmore, Pa. Stone, 2½ stories, electric light, tile and marble work, slate roof, hardwood floors. Contract awarded M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Residence,** No. 45, Wynnewood, Pa. Architect, C. E. Seeburger, 1524 Chestnut street, Philadelphia. Owner, name withheld. Contract awarded J. Howard Roberts, Lansdowne, Pa.

**Coal Trestle,** Lansdowne, Pa. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owner, George B. New-  
Coal Company, Trenton and Lehigh Avenues. Reinforced concrete, metal lath and stucco, 1 story office, 30x16 feet, coal pockets, 50x60 feet, slag roof, hollow tile, carpentry, plumbing, painting and glazing, electric light, ornamental iron work, reinforced concrete driveway. Contract awarded H. E. Batton, 1713 Sansom street, Philadelphia.

**Store (alts. and add.),** Scranton, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton. Owners, Samter Brothers, 229 Lackawanna street, Scranton, Pa. Steel, brick, wood joists, 5 stories and basement, 35x50 feet, 1 story add., 50x90 feet, slag roof, hardwood floors, hollow tile, elevators, safety treads, metal ceilings,

steam heat, electric light, metal lath, rolled steel sash, hollow metal doors, limestone, iron stairs. Contract awarded to Thomas Palmer, Miller Building, Scranton, Pa.

**Store and Apartment,** Throop, Pa. Architects, Morris & McHale, Mears Building, Scranton, Pa. Owner, W. Ardziejewski, Dunmore, Pa. Brick veneer, 2 stories, 24x60 feet, slag roof, hardwood floors, hollow tile, metal ceilings, vapor heat, electric light, metal lath, tile and marble work. Contract awarded to August Ollendick, Throop, Pa.

**Twin Residences,** Seventeenth and Pine streets, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, J. A. Lieberman, 202 North Seventeenth street, Allentown, Pa. Brick, hollow tile and stucco, 2½ stories, 36x50 feet, tile or asbestos shingle roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to P. D. Wotring, Allentown, Pa.

**Office and Garages (12),** Berwyn, Pa. Architect, private plans. Owners, Bryn Mawr Ice Co., Berwyn, Pa. Brick, 1 story, 30x30 feet, garages, 10x20 feet, shingle roof, cement and pine floors, hot water heat, electric light. Contract awarded Merion Const. Co., 2315 Walnut street, Philadelphia.

**Alterations and Addition,** Ardmore, Pa. Architect, Horace W. Castor, Stephen Girard Building, Philadelphia. Owners, Auto Car Co., Ardmore, Pa. Yellow pine floors, rolling steel sash, carpentry and mill work, brick work, hollow tile, plastering, painting and glazing. Contract awarded Merion Const. Co., 2315 Walnut street, Philadelphia.

**Residences (10),** Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Progressive Realty Co., Ardmore, Pa. Hollow tile and stucco, 2½ stories, 16x38 feet, shingle roof, oak and pine floors, hot water heat, electric light. Contract awarded Merion Const. Co., 2315 Walnut street, Philadelphia.

**Garage (alts. and add.),** Ardmore, Pa. Architect, private plans. Owner, L. D. Beggs, Ardmore, Pa. Hollow tile and stucco, 1½ stories, 8x12 feet, shingle roof, cement floors, heating and lighting extensions. Contract awarded Merion Const. Co., 2315 Walnut street, Philadelphia.

**Parochial School,** Lansford, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. J. B. McGarry, on premises. Brick, 3 stories, 75x80 feet, will contain gymnasium and 16 class rooms, steam heat, electric light, slag roof, plumbing. Contract awarded Garber & Cissell, Bethlehem, Pa.

**Boiler House,** Altoona, Pa. Architect, William Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad Co., Broad Street Station, Philadelphia. Brick and steel, 1 story, 90x80 feet, cement and tile roof, cement floors, rolling steel sash, ornamental iron work. Contract awarded Columbia Const. Co., Altoona, Pa.

**Road Work, Pennsylvania.** Owners, State Highway Department, Harrisburg, Pa.

Bedford County, R-47, Sec. 1, Bedford Township. One course reinforced concrete. \$239,402.14. Contract awarded to W. C. Gunchen & Co., Harrisburg, Pa.

Fayette County, R-116, Sec. 3, Georges and South Union Townships, 9,729 feet. One course reinforced concrete. \$103,527.65. Contract awarded to Swaney & Gilmore, Uniontown, Pa.

Lackawanna County, R-9, South Abington Township, Clark's Summit Borough, 8,199 feet. One course reinforced concrete and hill-side vitrified brick. Contract awarded to H. B. Sproul Const. Co., Scranton, Pa. \$118,991.

York County, Route 216, Springgarden and York Townships, 28,397 feet. One course reinforced concrete. \$234,147.31. Contract



awarded to W. Grant Raub, Red Lion, Pa.

Indiana County, R-63, Sec. 2, White and Rayne Townships, 38,591 feet. One course reinforced concrete. \$376,472.89. Contract awarded to Johnson, Drake & Piper, Erie, Pa.

Butler County, R-73, Butler and Center Townships, 11,202 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded to Charles Winters Const. Co., Renfrew, Pa. \$101,907.40.

Huntingdon County, Route 121, Shirleysburg Borough and Shirley Township, 22,163 feet. One course reinforced concrete. \$282,317.40. Contract awarded to John M. Hutchinson, Altoona, Pa.

Schuylkill County, R-185, Tamaqua Borough, Rahn and Rusk Townships. One course reinforced concrete. \$252,921.65. Contract awarded to John A. Rudolph, Tamaqua, Pa.

Westmoreland County, R-187, Franklin Township and Export Borough, 10,090 feet. One course reinforced concrete. \$152,669.01. Contract awarded to Jeffreys & Hart, Beaver, Pa.

Allegheny County, Route 187, Patton, Penn and Wilkins Townships, 19,498 feet. One course reinforced concrete. \$332,614.76. Contract awarded to McCrady Brothers Co., Brad-dock, Pa.

## New Jersey Construction News

**School (alts. and add.),** Barrington, N. J. Architect, John L. Coneys, Drexel Building, Philadelphia. Owners, Board of Education, Borough of Barrington, Camden County, N. J. Brick, cut stone, steel, 2 stories and basement, 38x59 feet, slate roof, maple floors (plumbing, heating, electric light reserved), metal lath, bond, ornamental iron work, metal weather strip, painting and glazing, hardware. Low bidders: Fred Lange, Audubon, N. J., \$29,959; Wills Bill Co., 1706 Sansom street, Philadelphia, \$32,322. Heating, Harry Knecht, West Collingswood, N. J., \$9,000. Plumbing and drainage, H. Knecht, West Collingswood, N. J., \$3,600. Electric, Enterprise Electric Co., 239 South Tenth street, Philadelphia, \$557.

**Cottage,** Municipal Colony, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, City of Trenton, care of architect. Brick, 2½ stories, 28x40 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Plans in progress.

**Foundry,** Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, Trenton Malleable Iron Co., New York avenue, Trenton. Brick, steel, 1 and 2 stories, 110x50 feet, cement tile roof, concrete floors, freight elevators, electric light, rollde steel sash and skylights, fire doors. Plans in progress.

**School and Auditorium,** Perth Amboy, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, Holy Trinity Roman Catholic Church, Rev. J. Sozucky, Perth Amboy, N. J. Brick, steel, limestone, fireproof, 3 stories, 113x62 feet, 8 inches, slate roof, cement and maple floors, hollow tile, roof ventilators, metal ceilings (heating, electric work and plumbing reserved), metal lath, rolled steel sash, concrete stairs. Plans in progress.

**Residence (alts.),** 226 North Warren street, Trenton, N. J., \$8,000. Architect, William A. Klemann, First National Bank Building, Trenton, N. J. Owner, Dr. Leo Hagerty, on premises. Brick, general alterations. Plans in progress.

**High School,** Lambertville, N. J. Architect, William A. Klemann, First National Bank

Building, Trenton, N. J. Owners, Lambertville School Board, A. Gunson, secretary, Lambertville. Reinforced concrete, steel, brick, fireproof, 3 stories, 150x56 feet, slag roof, hardwood and concrete floors, hollow tile, safety treads, roof ventilators, waterproofing, dampproofing (heating, electric and plumbing reserved), tile, marble and terrazzo work, hollow metal skylights, fire doors, bond, floor hardener, iron stairs, ornamental iron work. Owners will be ready for bids in about one week.

**Junior High School,** Trenton, N. J., \$1,500,000. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, Trenton School Board, R. C. Belville, secretary, Trenton, N. J. Fireproof, 2 stories, 350x380 feet, concrete and hardwood floors, hollow tile, roof ventilators (heating, electric and plumbing reserved), metal lath, tile and marble work, rolled steel sash, bond, iron stairs. Owners will be ready for bids in one week.

**Stores and Apartments (3) and Lodge,** Phillipsburg, N. J. Architect, E. H. Wenzelberger, 3 Centre Square, Easton, Pa. Owners, P. O. S. of A., George Smith, Phillipsburg, N. J. Brick, 3 stories, 50x67 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Architect taking bids due May 18th.

**School (8 rooms),** Woodbury Heights, N. J. Architect, John H. Mowere, Phoenixville, Pa. Owners, Board of Education, Alex. Beith, Jr., Woodbury Heights, N. J. Revised plans in progress.

**Garage Show Room and Apartment (remodeling),** Pitman, N. J. Architect, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owner, David M. Stanton, Broadway and Columbia avenue, Pitman, N. J. Concrete block and steel, 1 and 2 stories, irregular in size, slag roof, pine and cement floors, plumbing, electric light. Plans in progress.

**Parochial School,** South River, N. J. Architect, Robert A. Schuman, Trenton, N. J. Owners, St. Mary's Roman Catholic Church, South River, N. J. Concrete, fireproof, 3 stories, 144x64 feet, 8 inches, steel floors, brick, plastering, slag roof, ornamental terra cotta, sheet metal and blackboard. Architect taking bids due May 8th.

**Sewer Extension,** Westmont avenue, Haddon Township, N. J. Engineers, Remington & Vosbury, 509 Cooper street, Camden, N. J. Owners, Township Committee, Richard Griffith, Haddon Township, N. J.; Fire Hall, Center street, Westmont, N. J. Sanitary sewer extension, consisting of approximately 1,200 lineal feet of 5-inch and 8-inch terra cotta pipe sewers and 3 manholes. Deposit \$5. Refund \$3. Owners taking bids due May 13th, 8 P. M. (daylight saving). Certified check, 5 per cent. of bids. Bond.

**Hotel,** Broadway and Cooper street, Camden, N. J., \$1,250,000. Architect, H. L. Stevens & Co., 522 Fifth avenue, New York City. Owners, Community Hotel Corporation, W. E. Kennedy, 533 Market street, Camden, N. J. Plans in progress. Architect selected.

**Distribution Mains and Sanitary Sewers Extension,** Haddonfield, N. J. Engineers, Remington & Vosbury, 509 Cooper street, Camden, N. J. Owners, Board of Commissioners, Borough of Haddonfield, Allan Clymer, Borough Clerk, Borough Hall, Haddonfield, N. J. Owners taking bids due May 13th, 8 P. M. (daylight saving). Construction of extension to present water mains and sanitary sewerage system consisting of approximately 1,800 lineal feet 4-inch bell and spigot pipe and 2,200 lineal feet 5-inch terra cotta pipe sewers, and 11 manholes. Certified check, 5 per cent. of amount of the bid. Bond. Deposit \$5. Refund \$3.

## New Jersey

### Contracts Awarded

**Kuser School and Auditorium (add.),** Hamilton Township, Mercer County, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, Hamilton Township School Board, Mr. Robbins, Greenwood School, Greenwood avenue, Trenton, N. J. Brick, 1 and 2 stories, 8 rooms and auditorium, slag roof, hardwood floors, hollow tile, roof ventilators (heating, electric work and plumbing reserved), metal lath, cut stone, rolled steel skylights, bond, iron stairs, \$104,785. Contract awarded to J. H. Morris & Co., 211 North Montgomery street, Trenton, N. J. Plumbing awarded to Kimble Martin Co., Trenton, N. J., \$5,780. Heating awarded to William G. Royer, 510 Stuyvesant street, Trenton, \$13,050. Electric work awarded to Mercer Electric Co., 5 North Broad street, Trenton, N. J., \$4,945.

## Delaware

### Construction News

**Apartments,** Wilmington, Del. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owner, name withheld. Brick, 3 stories, 40x60 feet (5 apartments), slag roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress. Architect will be ready for bids in 3 weeks.

**Road Work,** Delaware. Owners, State Highway Department, Dover, Del. Low bidders on work opened April 30th, 1924. Contract CN14, Walker-Deakynville, 1.91 miles. Proposal A, Stewart & Donohue, Wilmington, Del., \$77,367. Proposal B, Sutton Cont. Co., 1316 Washington avenue, Philadelphia, \$76,355. Proposal C, Frissell Clarys Co., Port Jervis, N. Y., \$65,825. Proposal D, Sherman & Rhodes, Smyrna, Del., \$74,745. Proposal E, Sherman & Rhodes, Smyrna, Del., \$76,745. Contract CS 25, Pepper and Lowes Roads, 3.30 miles. Field, Barker & Underwood, Commercial Trust Building, Philadelphia, \$112,757.50, \$108,197.50; \$103,672.50 and \$117,026.50.

## Miscellaneous

### Contracts Awarded

**Residence and Garage,** Wyoming avenue, Washington, D. C. Architect, Charles Barton Keen, 338 South Smedley street, Philadelphia. Owner, Hon. J. Harry Covington, Washington, D. C. Brick, 3 stories, 48x38 feet, wing 19x21 feet, 1 story, 20x24 feet, slate roof, hardwood and cement floors, plumbing, tile and marble work, electric. Contract awarded Charles A. Langley, 310 Twelfth street, N. W., Washington, D. C.

**Gunning Lodge,** Cape Charles, Va. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owner, Thomas Newhall, Fifth and Chestnut streets, Philadelphia. Frame, 1½ stories, 60x28 feet, slate roof, pine floors, brick foundation and fire place, electric light. Contract awarded J. Casey Wilson, Cheriton, Va.

**Grade School,** Elkton, Md. Architect, C. R. Hope, DuPont Building, Wilmington, Del. Owners, Cecil County School Board, H. Caldwell, secretary, Elkton, Md. Brick, 2 stories, 40x80 feet, slag roof, pine and composition floors. Contract awarded to H. White, North-east, Md.

Monday, May 12, between 8 and 8.15 P. M., C. E. Schermerhorn, Philadelphia architect, will address the public on the radio, broadcasting over Station WDAR.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc. ....1844 N. Front St., Phila.  
Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.  
The Beckwith Co. ....2401 Chestnut St., Phila.

## HAULING CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.  
Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.  
Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.  
Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ....19th and Washington Ave., Phila.  
Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOLEUM.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ...Norris and Richmond Sts., Phila.  
Ketcham, Howard.....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.  
Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.  
Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

## MASTIC FLOORING.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.  
Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## OIL BURNERS.

Oliver Oil-Gas Burner Co. Oliver Bldg., St. Louis, Mo.

## ORNAMENTAL IRON.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## PAINTS AND VARNISHES.

Truscon Laboratories.....1505 Race St., Phila.

## PAVING BRICKS.

Ketcham, O. W. ....121 N. 18th St., Phila.

## PHOTOSTATS.

Weber, F., Co. ....125 S. 12th St., Phila.

## PLUMBING FIXTURES.

Fleck Bros. Co. ....44 N. 5th St., Phila.

## RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.  
The Beckwith Co. ....2401 Chestnut St., Phila.

## REFRIGERATORS.

Borden Stove Co. ....1026 Arch St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REINFORCING BARS.

Lukens, Lewis N. ....19th and Washington Ave., Phila.  
H. T. Potts & Co. ....Erie Ave. and "D" St., Phila.

REINFORCED CONCRETE DESIGN AND CONST.  
Jefferson, H. H. ....1519 Lombard St., Phila.

## ROOFING SLATE.

Chapman Slate Co. ....Bethlehem, Pa.

## ROOFING TILE.

Ketcham, O. W. ....121 N. 18th St., Phila.

## SAFETY GUARDS.

Cyclone Fence Co. ....20 S. 15th St., Phila.

## SAND AND GRAVEL.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## SHEET METAL AND ROOFING.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## SHEETROCK (Wall Board).

Pearce Fireproof Co. ....1345 Arch St., Phila.  
Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## SHORING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## SOUNDINGS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## STEAM SHOVEL CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## STEAM SPECIALTIES.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## STEEL DOORS

Bur-Vett Mfg. Co. ....929 Chestnut St., Phila.

## STEEL SASH.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

## STONE.

Brenz, Wm. P. ....5321 Baltimore Ave., Phila.  
John D'Lauro.....55 E. Mermaid Lane, Phila.

## TERRA COTTA (Architectural).

Conkling-Armstrong Terra Cotta Co.,  
Denckla Bldg., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## TERRA COTTA SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## TILE AND TERRAZZO WORK.

Belfi Bros. Co. ....1923 Market St., Phila.  
Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Carroll, Thos. A. ....2315 Walnut St., Phila.  
Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

## TRANSITS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## UNDERPINNING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## WALL BOARD, COMPO BOARD

Ketcham, Howard .....3rd and Girard Ave., Phila.

## WALL BOARD (Sheetrock).

Pearce Fireproof Co. ....1345 Arch St., Phila.  
Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## WALL COPING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## WATER HEATERS.

Borden Stove Co. ....1026 Arch St., Phila.  
Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## WATER PAINT.

Southern, Wm. B. N. W. Cor. 12th and Spruce Sts., Phila.

## WATERPROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc. ....1844 N. Front St., Phila.  
Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Rulon, Ralph V. ....239 N. 30th St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## WHITEWASHING.

Southern, Wm. B.,  
N. W. Cor. 12th and Spruce Sts., Phila.

## WINDOW GUARDS (Wire).

Cyclone Fence Co. ....20 S. 15th St., Phila.

## WIRE PARTITIONS.

Cyclone Fence Co. ....20 S. 15th St., Phila.

## WIRE WORK.

Cyclone Fence Co. ....20 S. 15th St., Phil



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*Indemnity Insurance Company of North America write practically every form of insurance except life*

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THE addition of "ANTI-HYDRO," a liquid integral compound, to the gauging water produces extremely hard and absolutely waterproof concrete all in **one operation.**

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DE FRAIN SAND COMPANY - - - Beach and Berks Streets  
DE FRAIN SAND COMPANY - - - 26th and Christian Streets  
THE FAIRLAMB COMPANY - - - 115 South 30th Street

GEORGE A. SINN, Bridge Street and Frankford Creek, Phila.  
Bell, Frankford 0309 Keystone, East 8980  
TACONY COAL & LIME CO., State Road and Unruh Street, Tacony, Phila.  
Bell, Tacony 1460  
CAMDEN LIME COMPANY, 412 Federal Street, Camden, N. J.  
Bell, Camden 3240 Keystone, Camden 256

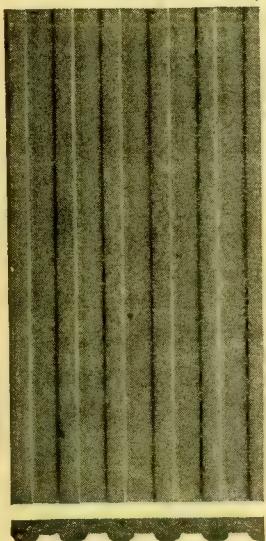
## ANTI-HYDRO

WATERPROOFING COMPANY

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DIAMOND AND RIBBED PATTERN



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LOS ANGELES



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BOSTON



ALAN WOOD IRON AND STEEL CO.  
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Pioneer Dredgers and Shippers

Upper Delaware River, Fresh Water  
Machinery Washed and Screened Bar Sand

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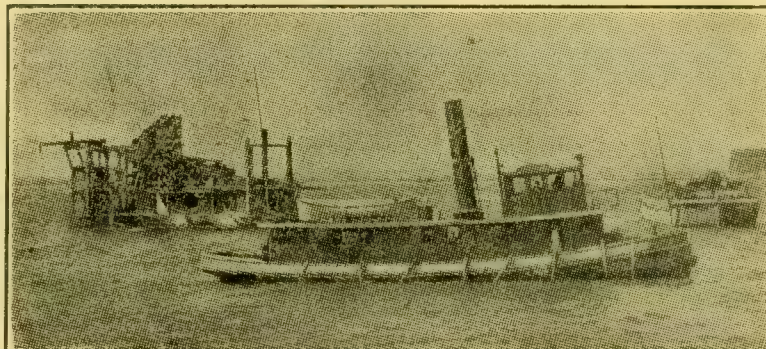
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Always Afloat for Immediate Shipment via  
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KEYSTONE TELEPHONE, MAIN 4394

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# Builders' Guide

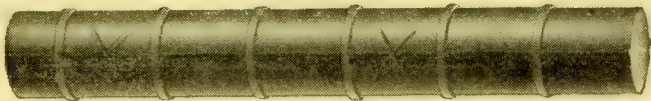
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Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

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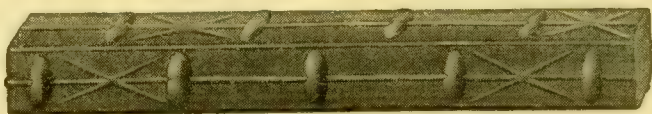
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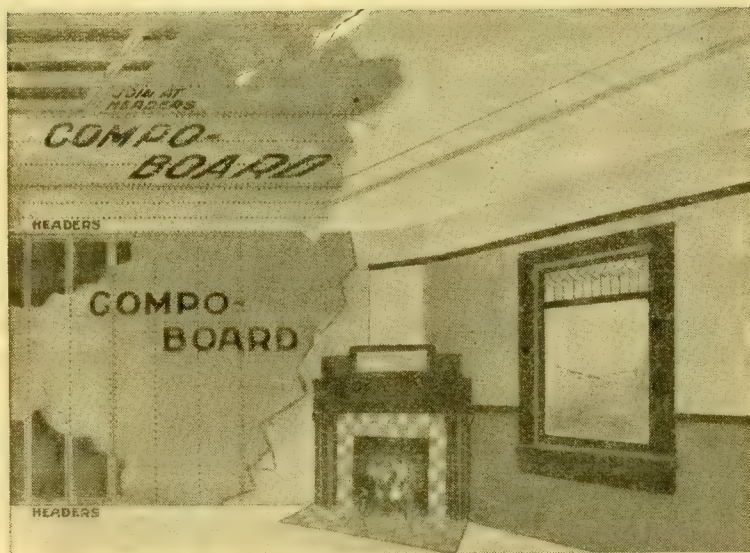
Owner and Builder, I. A. DUNKELBERGER  
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GERMANTOWN 3040



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The Greatest Substitute for Lath and Plaster  
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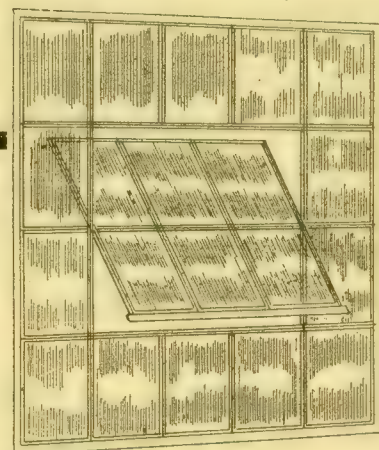
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## **BLUE DIAMOND MORTAR PRODUCTS**

*For Brick Work and  
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Save on high priced labor. An economy  
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Supply Corp.**

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Bainbridge Street Wharf, Schuylkill River

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TRIANGULAR MESH AND ELECTRIC WELDED WIRE REINFORCING



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Perry Building

Spruce 1611

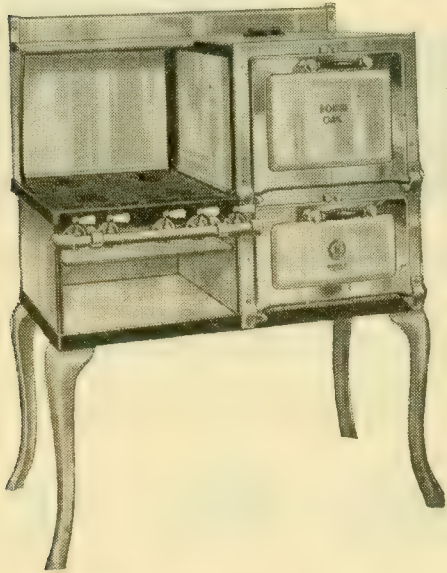
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Established 1871

# ROUND OAK GAS RANGES

(Embody the Four-Way Oven Principle)

## ARMSTRONG "NONPAREIL" CORK

### INSULATING PRODUCTS

GIVE MAXIMUM RESULTS

*For Cold Storage Insulation—*

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**"NONPAREIL" CORK COVERING**

The time to make sure of results is before the material is used in a job. There is no speculating on results when "Nonpareil" Cork Insulating Materials are used.

We are direct factory distributors, and are in a position to give prompt and efficient service. We will be glad to have you consult us.

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*Distributor*

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enable us to make

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HAROLD K. ROBISON, Manager

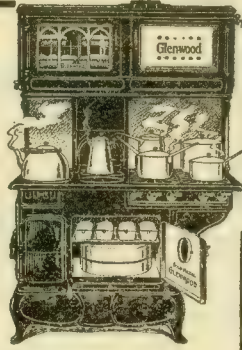


Gold Medal Glenwood Combination  
Coal and Gas Ranges

Crown Furnaces and Globe Ranges  
Seamless Porcelain Lined Refrigerators

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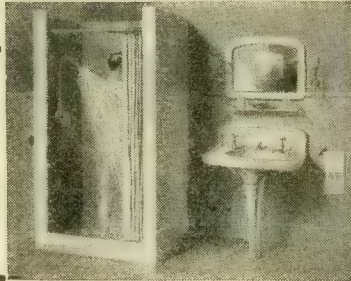


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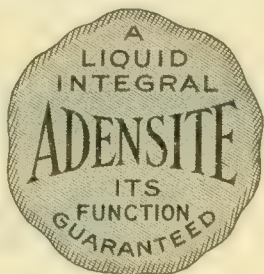
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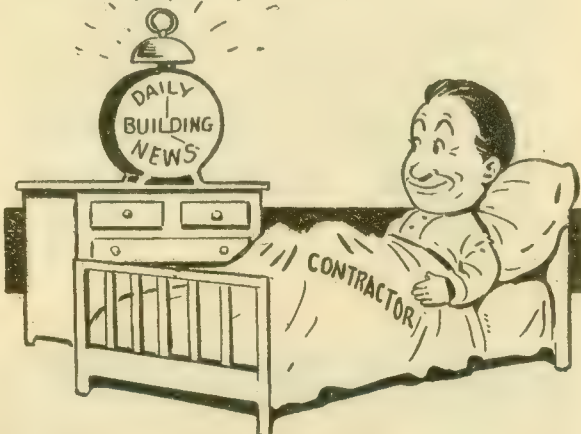
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# BUILDERS' GUIDE

VOLUME XXXIX  
Number 20

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

PHILADELPHIA  
May 14, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### WHY DEPARTMENT STORES BURN

Small indeed is the American community which does not boast at least one so-called department store. Therefore, why these establishments, many of them, burn every year, and how they can be saved from falling a prey to the flames, should be matters of somewhat more than casual interest alike to their proprietors and patrons.

In the three-year period of 1919-1921 no less than a \$28,999,897 total loss was recorded on the contents alone in this occupancy, the number of claims received by the Actuarial Bureau of The National Board of Fire Underwriters being 6,330. There was, then, throughout the three years, an average of about six department store fires every day, with a mean loss for each of \$4,581.

It would not be strictly accurate, perhaps to call a department store a public institution, as that term is applied to hospitals and schools and hotels. Still, the paramount concern—obligation, in fact—in the erection and maintenance of department stores, as with these other occupancies, should be safety to life. It hardly needs to be said that the department store, at certain seasons, notably at Christmas time and during the winter months generally, as well as when special sales are being held, is a mecca for great crowds of shoppers, among whom women and children invariably predominate.

Some of the country's largest department stores at such times house more people in proportion to floor areas than any other type of structure; and stocks, too, are then at their heaviest, which further increases the danger. Shoppers, as a rule, are intent upon the business in hand and are giving not the remotest thought to the prospect of fire; they tacitly assume, and have every right to expect, that the management has considered the possibility of fire and has done everything in its power to protect the lives of customers. Yet, it is to be feared that this confidence is not always justified by the facts, although in the larger cities conditions are slowly improving under the compulsion of stricter fire and building laws.

#### *Should be Safe to Occupy*

It is of obvious importance so to design a building that the completed structure will be not merely safe to leave but safe to occupy. This is entirely logical. What, for example, would be thought of a modern city which did not maintain adequate police protection for its inhabitants but instead devised elaborate plans for effecting their escape in case the town were visited by a band of marauders? Absurd as such a situation would be, it is not more so than to erect a building in which exits take the place of fire proof construction and adequate fire protection.

First of all, then, the department store should be constructed originally to resist

fire. If there is close exposure, its exterior openings, doors and windows, should be protected against flames and heat originating beyond the premises. Such protection may be fire shutters and doors and wired glass in metal frames or else the latter in conjunction with outside sprinklers. Thus will the initial step be taken to remove the chief hazard in this occupancy, *Exposure*, or communicated fire, which in 1919-1921 exacted from department stores a toll of \$6,521,232 a figure greatly in excess of the loss from any other cause.

Nothing in the above, however, should be construed as belittling the value of adequate exit facilities; they should be provided as a matter of course, in proper number and with due regard to location, not forgetting the basement, which is so often the scene of fire that independent stairways leading directly to the street have become virtually a necessity.

#### *Why Exit Problem is Difficult*

Schools, hospitals, theatres and similar places of public resort have made more or less fixed limits of attendance or occupancy. A department store, on the contrary, has no means of ascertaining with definiteness the number of people that may be under its roof at any given time. This difference is fundamental, and it tends to complicate the problem of evacuating department stores in an emergency. Usually, though, the maximum capacity of the aisles is known—in one

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store of country-wide reputation it is 15,000 persons—and this provides a basis for calculating both the number and position of exits. Exits on each floor should be widely separated and plainly marked; they must suffice to empty the building not only of the average, but of the maximum, crowd.

And this must be done with all possible speed. The Committee on Safety to Life of the National Fire Protection Association holds that it should be possible to evacuate the poorest retail structures in two or three minutes; and the best, that is, fireproof buildings, in eight or ten minutes, via elevators, inside stairways, and smoke-proof towers. Fire protection engineers differ on this point, however, many maintaining that, since it is the burning contents, rather than the ignited structure, that constitute the danger to life during the first few minutes, the potential speed of evacuation should be as high for good as for poor construction.

The means of ultimate egress, street doors, should be commensurate in number, width and location with the interior exit channels since nothing will more conduce to panic conditions in event of fire than a milling jam about street doors after upper stories have been expeditiously cleared. The revolving door is apparently the next thing to an operating necessity for the department store, although it is true that many leading establishments do not employ it. Where it is used, it should be of the collapsible type, giving way under slight pressure, and a reasonable proportion, at least, of the total door capacity ought to be of the ordinary type, swinging outward. Exterior fire escapes, if of the stair type, are valuable as supplementary exits; they should never be the main reliance.

#### *Checking Interior Spread of Fire*

Great heights and enormous floor areas combine to render department stores especially susceptible to vertical and lateral spread of fire and smoke within the building. Much of the danger from vertical spread can be eliminated by inclosing all natural arteries of such distribution—elevator and dumb-waiter shafts, stairways, artificial ventilating systems, package and rubbish chutes—and so confine the blaze to the floor of inception or, at least, retard its upward sweep. In many stores open light wells or even vast rotundas run from main floor to roof. These may be inclosed at each floor above the ground with partitions of polished wired glass in such a manner as to detract neither from their appearance nor their serviceability while materially reducing their hazard as smoke and flame conductors.

Not so readily controlled, however, is the lateral spread of flames, since exten-

sive floor spaces seem to be required for the economical and attractive display of merchandise, and to enhance inter-departmental accessibility. If there are no fire-walls the danger thus presented of horizontal sweep can be lessened by the use of automatic sprinklers. In few occupancies is the provision of standard automatic sprinklers, kept constantly in working order, more vital. Every department store, irrespective of size or construction, should be sprinklered, for while the building itself may be fire-resistant most of the contents emphatically are not. Interior fire-walls, however, with approved self-closing hollow metal or metal-clad doors, and also standard wired glass partitions, have demonstrated their value so many times that, in designing a new department store building, they may well be introduced even at some sacrifice of operating convenience. So much, in outline, for construction.

The most serious originating cause of fire in department stores is *Matches-Smoking*. To what already has been endlessly reiterated about America's principal fire hazard little can be added here. Even with the strictest enforcement of rules against smoking by employees—except, perhaps, in some designated and carefully safeguarded place—there remains the problem of the occasional customer who may enter the store with a lighted cigarette or cigar. Where city ordinances prohibit smoking in these circumstances, it is easily solved; elsewhere, every department store itself should discourage the practice by posting prominently—and courteously calling attention to them, if need be—"No Smoking" signs.

Second only to *Matches-Smoking* as a fire cause is *Stoves, Furnaces, Boilers and Their Pipes*. This hazard, of course, is related both to installation and maintenance of heating plants. To begin with, the furnace room in department stores should be completely isolated from the rest of the basement by fire-walls and approved self-closing hollow metal or metal-covered doors. Where ample ground surrounds the store a separate fire-proof building to house the furnace will provide the greatest safety. All woodwork in the immediate vicinity of furnaces and pipes requires proper shielding, either asbestos or metal being suitable for the purpose. The pipes themselves should be insulated, not alone for safety but to conserve heat by preventing wasteful diffusion. The furnace ought to be periodically inspected for defects, and the attendant, whether a janitor or other employe, should understand fully the dangers of overheating. Such warnings as to these seem, perhaps, childishly obvious yet the record stands as proof indisputable to the contrary.

(Continued next week)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Garage**, 300 Rochelle avenue, Philadelphia, \$2,400. Architect, private plans. Owner, R. Guenther, on premises. Brick, 1 story, 52x19 feet, slag roof, cement floors. Owner will build.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Grading, saphalt repaving, redress granite block repaving, steel for repairs to bridges. Certified check 5 per cent. of the amount of bid. Owners taking bids due May 15th at 11 A. M. (standard time).

**Building (alts.)**, Market street and Eighth, Philadelphia. Architect, Louis H. Friedland, 562 Fifth avenue, New York City. Owners, Strawbridge & Clothier, Eighth and Market streets, Philadelphia. New store fronts, revolving doors, entrance bulkheads, show window enclosures, heating, lighting and plumbing alterations, exterior marble work, granite, carpentry and mill work, oak floors, steel and iron work, hardware, bronze work, tile work, metal lath, plastering, travertine floors, imitation caen stone. Architect taking bids due May 15th.

**Sales and Service Building**, Forty-fifth and Woodland avenue, Philadelphia. Architect, Eugene A. Stopper, 10 South Eighteenth street, Philadelphia. Owner, D. Henwood, 717 South Sixty-third street, Philadelphia. Stone, brick and steel. Plans in progress.

**Store and Offices**, Rittenhouse and Greene streets, Germantown, Philadelphia. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owner, name withheld. Brick, 2 stories, 19x112 feet, hot water heat, electric light, slate roof, wood and cement floors, cement work. Plans in progress.

**Buildings**, Southern Car Barn, Forty-eighth Ward, Nineteenth and Twentieth and Johnston streets, Philadelphia. Architect, private plans. Owners, Philadelphia Rapid Transit Co., Eighth and Dauphin streets, Philadelphia. Inspection shop, office building, sand handling panel, trackless trolley garage stack, water storage reservoir, brick, steel, concrete. Plans in progress. Owner will be ready for bids in one month.

**Office Building**, 3945 North Broad street, Philadelphia. Architects, Durham Brothers, 1609 Sansom street, Philadelphia. Owner, George Schmidt, on premises. Indiana limestone, front, brick and stucco, 1 story, 16x35 feet, slag roof, hardwood, heating and lighting. Owner ready for bids.

**Officers' Lavatory in Basement**, 925 Chestnut street, Philadelphia. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owners, Federal Reserve Bank, on premises. Reinforced concrete, plastering, metal lath, marble work, terrazzo floors, carpentry and mill work, painting and glazing, electric work, plumbing. Architects taking bids due May 15th.

**Store and Apartment (alts.)**, Northwest Corner Twenty-first and Appletree streets, Philadelphia. Architects, Fieldstein & Bieber,

Otis Building, Philadelphia. Owner, name withheld. General alterations. Plans in progress.

**School**, Nedro avenue and Conlyn street, Philadelphia. Architect, private plans. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, stone, steel, 3 stories. Work contemplated. Plans in progress.

**Stores (2), Office Building**, Broad street, Old York Road and Nedro avenue. Architects, McLanahan & Bencker, Bellvue Court Building, Philadelphia. Owner, Herbert Hope, 5904 North Broad street, Philadelphia. Brick and limestone, 2 stories, 30x77 feet, hot water heat, electric light, tile work, slag roof, composition floors, plate glass. Plans in progress.

**War Memorial**, Forty-ninth and Baltimore avenue, Philadelphia. Architects, Folsom, Stanton & Graham, 10 South Eighteenth street, Philadelphia. Owners, West Philadelphia Business Men's Association, care of architect. Stone and bronze. Plans in progress.

**Upper Church**, F and Westmoreland streets, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owners, Ascension of Our Lord Roman Catholic Church, Rev. D. J. Broughal, on premises. Stone, 120x180 feet, slate roof, electric light. Plans in progress.

**Service Quarters (alts.)**, Seventh and Church Lane, Philadelphia. Architect, Ralph Goldberg, 10 South Eighteenth street, Philadelphia. Owners, Jewish Foster Home & Orphan Asylum, Church Lane and Chew street, Dr. Aaron B. Saber, on premises. Stone, 2 stories. Plans in progress. Too early for details.

**Church (alts. and add.)**, Seventeenth and Summer streets, Philadelphia. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owners, Great Eastern Star, care of Fre Boyer, Pres., 1610 Diamond St., Philadelphia. General renovation and additional. Plans in progress. Architect will be ready for bids in one week.

**Apartment House (alts. and add.)**, 5528 Wayne avenue, Philadelphia, \$10,000. Architects, R. R. Neely & E. Willaim Martin, 2301 Spruce street, Philadelphia. Owner, C. E. Lloyd, Jr., 6600 North Eighth street, Philadelphia.

delphia. Brick, second story, 25x14 feet, 3 stories, 10x12 feet, slag roof, glazed brick, mill work, hardwood and composition floors, dumb waiters, house phones, kitchen equipment, ornamental iron work, hollow metal doors, rolled steel sash, tile work, metal lath. Owner will build.

**Apartments (alts.)**, Southeast Corner Thirteenth and Seybert streets, Philadelphia. Architect, Paul Livingstone Boyd, 6943 Limekiln Pike, Philadelphia, Pa. Owner, Mr. John Kelker, Thirteenth and Seybert streets, Philadelphia, Pa. Brick, 3 stories, 18x59 feet, hot water heat, electric light. Owner will take bids.

**Garage**, Thirteenth and Seybert streets, Philadelphia, Pa. Architect, Paul Livingstone Boyd, 6943 Limekiln Pike, Philadelphia, Pa. Owner, Mr. John Kelker, Thirteenth and Seybert streets, Philadelphia. Brick, 1 story, 12x18 feet, hot water heat, electric light, slag roof, cement floors. Owner will take bids.

**Store and Dwelling (alts. and add.)**, 6251 Arch Street, Philadelphia. Architect, C. G. Schweiker, 29 Garfield avenue, Manoa Heights, Delaware County, Pa. Owner, Dominick Notari, 6251 Arch street, Philadelphia, Pa. Brick, 2 stories, 14x15 feet, 6 inches, and general alterations, tin and slag roof, oak and pine floors, hot water heat, electric light. Owner taking bids.

**Double Deck Ball Park Stands**, Twenty-first and Lehigh avenue, Philadelphia, \$350,000. Engineer, P. M. Sax, Penfield Building, Philadelphia. Owners, American League Baseball Club of Philadelphia, Twenty-first and Lehigh avenue. Steel and concrete, granite, double deck, slag roof. Plans completed. Engineer ready for bids.

**Two-Family Residences (8)**, Fifty-fifth and Thomas streets, Philadelphia. Architect, private plans. Owners, Hoskins, Crist & Lomax, care of agent. Brick, 2 stories, 16x58 feet, slag roof, hot water heat, electric light, hardwood floors, tile work. Agent, C. E. Koonz, Fifty-fifth and Thomas, ready for sub-bids.

**Residences (25)**, Sixty-fifth and Buist avenue, Philadelphia. Architect, W. Lowenthal, 1208 Chestnut street, Philadelphia. Owner, name withheld. Brick, 2 stories, 16x30 feet, slag roof, pine floors, hot water heat, electric light, imitation tile, sheet metal work. Wat-

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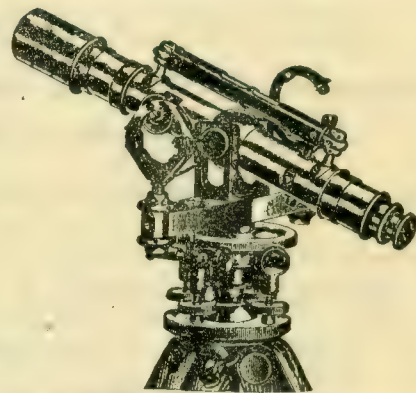
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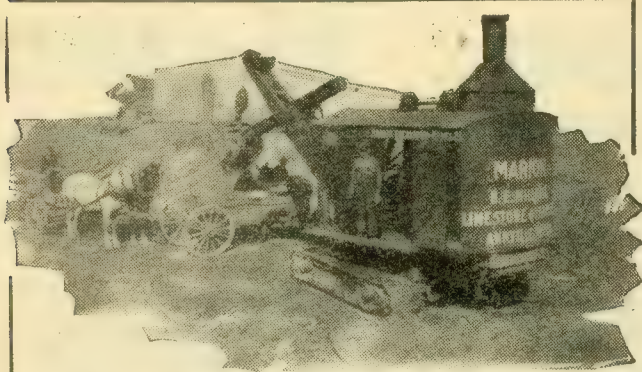
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**Store and Residence (alts. and add.),** South-east Corner, Tenth and Butler streets, Philadelphia. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, name withheld. Brick, 2 stories, 14x16 feet, slag roof, pine floors, hot water heat, electric light, flush bulks, plate glass, shoring, excavating. Plans completed. Architect ready for general bids.

**Stores and Apartments (5),** East Clearfield street, East of Frankford avenue. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, name withheld. Brick, 2 stories, 16x46 feet, slag roof, pine floors, hot water heat, electric light, metal ceilings, plate glass, flush bulks. Architect taking sub-bids.

**Store (alts.),** Northwest Corner Eighth and Filbert streets, Philadelphia. Architect, Ralph Goldberg, 10 South Eighteenth street, Philadelphia. Owner, A. B. Buxbaum, 32 North Eighth street, Philadelphia. Brick, 3 stories, general renovation, vapor vacuum heat, electric light, tile and marble work, store fixtures, plate glass. Plans drawn. Builder selected.

**Residences (9),** Fifth street, between Sixty-fifth and Sixty-sixth avenue, Philadelphia. Architect, private plans. Owner, Albert Dunlap, 7223 Oak avenue, Philadelphia. Stone, 2½ stories, 16x50 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Owner taking sub-bids.

**Residence and Garage,** McCallum and Allen's Lane, St. Martins, Pa. Architects, Willing, Sims & Talbutt, 129 South Eighteenth street, Philadelphia. Owner, Dr. George Woodward, Mermaid Lane, Chestnut Hill, Pa. Stone, cut stone, 2½ stories, 81x45 feet, garage, 19x14 feet, slate roof, oak and pine floors (heating, plumbing and electric reserved), tile work, bond, ornamental iron work, painting and glazing. Architects taking bids due May 15th.

**Apartment (alts.),** 4400 Walnut street, Philadelphia. Architects, Mills & Van Kirk, Harrison Building, Philadelphia. Owner, Robert J. Darrah, 806 North Broad street, Philadelphia. Brick, carpentry and mill work, lumber, structural steel, electric plastering, heating (alts.), plumbing, plate glass, composition floors, metal lath, architectural terra cotta, tile and cement floors. Architects taking bids due May 15th.

**Residence (alts. and add.),** 7003 North Twelfth street, Philadelphia. Architect, Gabriel Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Painting and glazing, tile work, hardware, oak floors, carpentry and mill work, iron work, plastering, cement work, copper work, Spanish tile roof-

ing, alternate hot water heating. Architect taking bids due May 16th.

**Stores and Apartment,** 4274-76 Frankford avenue, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, William Kogen, 4278 Frankford avenue, Philadelphia. Brick, cut stone, steel, 3 stories, 103x30 feet, wing 27x30 feet (plumbing, heating and electric reserved), slag roof, hardwood floors, hollow tile, painting and glazing, plate glass, metal ceiling, waterproofing and dampproofing, architectural terra cotta, ornamental iron work, floor hardener, metal bulks, bond, rolling steel sash and skylights, fire doors, tile and marble work, metal lath. Architect taking bids due May 20th.

**Club House,** Southwest Corner Sixteenth and Oxford streets, Philadelphia, \$100,000. Architect, E. A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Central Order Odd Fellow Assoc., care of architect. Brick, stone, 40x173 feet. Sketches drawn. Preliminary plans in progress.

**Chapel,** Northeast Corner Sanger and Roosevelt Boulevard, North of Oxford Pike. Architect, Peter Getz, 1634 North Sixth street, Philadelphia. Owners, St. Martin's of Tour, Rev. J. J. McHugh, 5012 Roosevelt Boulevard. Stone, cast stone, steel, granite, vapor heat, electric light, tile and marble work, metal lath, rolling steel sash, bond, miscellaneous iron work, metal ceilings, shoring, waterproofing, Georgia pine floors, Barrett's built-up roof, slate work, alternate oil-burning heat. Architect taking bids due May 20th.

**Store and Apartment (2),** 277 South Fifty-second street, Philadelphia. Architects, Durham Brothers, 1609 Sansom street, Philadelphia. Owner, Albert C. McKennie, on premises. Brick, 3 stories add., 12x27 feet, 12x16 feet, slag roof, hardwood floors, hot water heat, electric light, tile and marble work. Owner taking bids.

**Apartment House,** Northwest Corner Twenty-third and Cypress streets, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owners, Sporkin & Fleisher, Pennsylvania Building, Philadelphia. Brick, cut stone, steel, stucco, 4 stories, 60x41 feet (heating separate), slag roof, oak and pine floors, painting and glazing, plumbing, shoring, terra cotta, ornamental iron work, bond, rolling steel sash, tile and marble work, electric light. Architect taking bids due May 15th.

**George A. Vare Recreation Center and Building,** Twenty-sixth and Morris streets. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Welfare, 392 City Hall. Brick, cut cast stone, steel, 2 and 1 stories, 262x48 feet, slag and tin roof, composition and maple

WHITE AND COLORS

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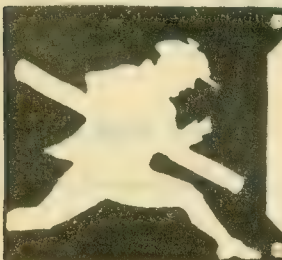
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floors, hollow tile, painting and glazing, metal weather strip, metal ceilings, shoring, waterproofing and dampproofing, ornamental iron work, iron stairs, metal bath, tile work (plumbing, heating, electric reserved)), alternate for omitting women's gymnasium. Owners taking bids due May 20th.

**Supplies**, Philadelphia. Purchasing agent, E. J. Lafferty, Room 329, City Hall, Philadelphia. Taking bids due May 19th at 11 A. M. (standard time). Lumber, asphalt sand, asphalt cement, limestone dust, fuel oil.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Works, Bureau of City Property, G. H. Biles, Philadelphia. Owners taking bids due May 20th, at 11 A. M. (standard time). Furnishing and laying sods in various parks and squares for year 1924. Laying and repairing neuchatel or asphalt pavement and concrete pavements with granolithic finish for the year of 1924.

**Residence**, 1507 North Twenty-sixth street, Philadelphia, \$4,200. Architect, private plans. Owner, David Barnst, 3209 Clifford street, Philadelphia. Brick, 2 stories, 16x29 feet, 12x10 feet, slag roof, electric work, hot water heat. Owner will build.

**Residences (5)**, North side Pratt street, West of Cottage street, \$4,000 each. Architect, private plans. Owner, John J. Glazier, 1967 Bridge street, Philadelphia. Brick, 2 stories, 14x41 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (5)**, South side Orthodox street, West of Salmon street, \$20,000. Architect, private plans. Owner, I. Bogucki, 2414 Orthodox street, Philadelphia. Brick, 2 stories, 16x41 feet, slag roof, hot water heating, electric lighting. Owner will build.

**Residences (2)**, North side Arthur street, East of Loretta street, \$9,000 each. Architect, private plans. Owner, Albert J. Johnson, 4240 North Sixth street, Philadelphia. Frame, 2 stories, 18x45 feet, shingle roof, hardwood and pine floors, hot water heat, electric light tile work. Owner will build.

**Residences (2)**, Thirty-fourth and Haverford avenue, Philadelphia, \$17,000. Owner, A. P. Lucker, 3328 Haverford avenue, Philadelphia. Brick, 3 stories, 16x53 feet and 15x53 feet, hot water heat, electric light, slag roof. Owner will build.

**Residences (9)**, (4) 1201-03-05-07 Overington street and (5) West side Cottage, South of Benner street, Philadelphia, \$5,000 each. Architect, private plans. Owner, Wilfred Robinson, 7319 Rising Sun avenue, Philadelphia. Brick, 2 stories, 19x32 feet, 20x28 feet, slag roof, hot water heat, electric light. Owner will build.

**Residence**, West side Frontenac street, South of Rhawn street, \$4,500. Architect, private plans. Owner, Charles Currie, 2797 Gaul street, Philadelphia. Brick and frame,

2 stories, 24x28 feet, hot water heat, electric light. Owner will build.

**Residence**, West side Frontenac street, South of Rhawn street, \$4,300. Architect, private plans. Owner, James J. McKenna, 2 West Borbeck street, Philadelphia. Frame, 2 stories, 24x28 feet, hot water heat, electric light. Owner will build.

**Residences (24)**, East side Wagner avenue, South of Tabor Road, \$150,000. Architect, private plans. Owner, Jacob M. Faust, 4611 North Broad street, Philadelphia. Brick, 2 stories, 15x33 feet, 12x13 feet, hot water heat, electric light. Owner will build.

**Residences (6)**, (2) Sixty-eighth avenue and Smedley street, and (4) Sixty-eighth avenue, West of Sixteenth street, Philadelphia, \$26,000. Owner, Max Chipin, 6741 North Gratz street, Philadelphia. Brick, 2 stories, 16x19 feet, 25x14 feet, hot water heating, electric lighting. Owner will build.

**Residences (44)**, (26) Woodstock and Cambria streets, (18) Twentieth and Cambria streets, Philadelphia, \$155,000. Owners, Chipin & Kushin, 6741 North Gratz street, Philadelphia. Brick, 2 stories, various sizes, hot water heating, electric lighting. Owners will build.

**Garages (2)**, South side Loudon street, West of Germantown avenue, and East side Baynton street, South of Walnut Lane, Philadelphia, \$25,000 each. Architect, private plans. Owner, J. Prosper Eckert, Commercial Trust Building, Philadelphia. Brick, 1 story, 49x170 feet and 92x106 feet, slag roof, cement floors, electric work. Owner will build.

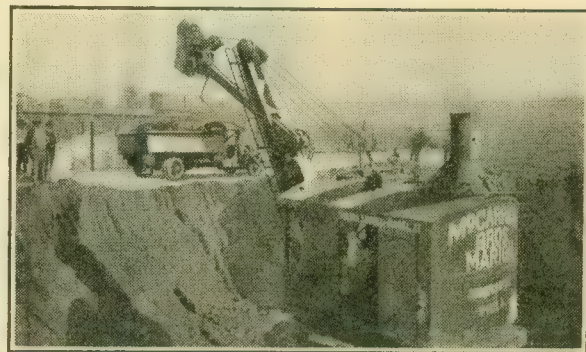
**Garage**, East side Sixty-sixth street, South of Elmwood avenue, Philadelphia, \$20,000. Architect, private plans. Owner, B. W. Glover, 5300 Chestnut street, Philadelphia. Brick, 1 story, irregular size, slag roof, cement floors. Owner will build.

**Residences (9)**, Georges Lane and Columbia avenue, Philadelphia, \$50,000. Architect, private plans. Owners, Felinton & Goldstein, 2549 North Twenty-ninth street, Philadelphia. Brick, 2 stories, (6) 15x40 feet, 12x10 feet, (2) 16x38 feet, and (1) 22x31 feet, hot water heat, electric light. Owners will build.

**Residences (28)**, Fifty-fourth and Locust streets, Philadelphia, \$202,000. Architect, private plans. Owner, Joseph K. Seidle, 5213 Chestnut street, Philadelphia. Brick, 2 stories, (2) 18x52 feet, (26) 15x32 feet, 12x13 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residences (24)**, East side Oakland street, South of Pratt, \$6,500 each. Architect, private plans. Owners, Smith & Schmunk, 800 West Erie avenue, Philadelphia. Brick, 2 stories, 17x35 feet, hot water heat, electric light, hardwood and pine floors, tile work. Owner will build.

**Residences (4)**, North side Solly street, West of Craig street, \$5,000 each. Architect,



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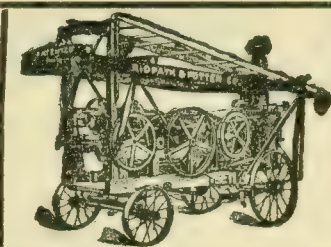
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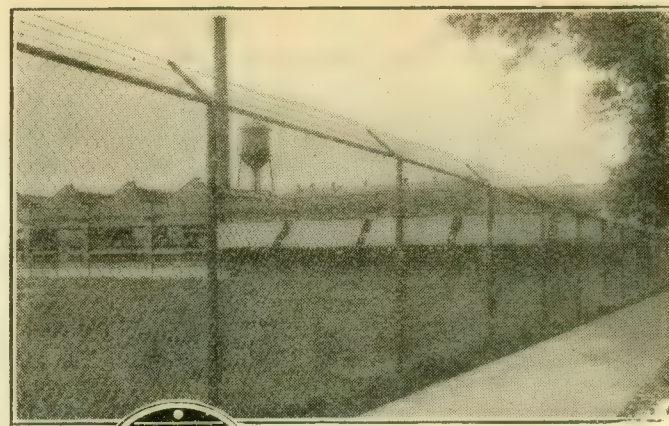
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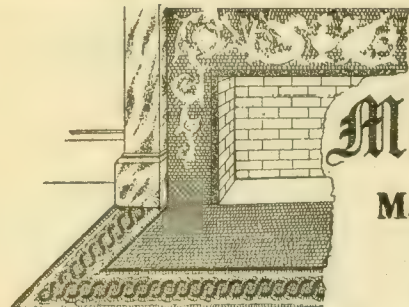
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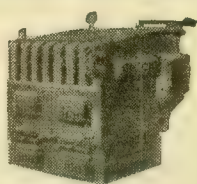
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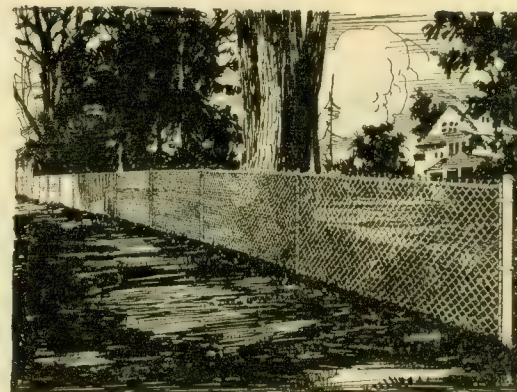
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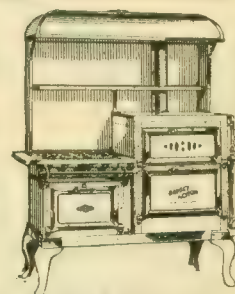
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private plans. Owners, Holmesburg Granite Co., Holmesburg, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hot water heating, electric lighting. Owners will build.

**Church (alts. and add.)**, Holmesburg, Philadelphia. Architects, George R. Habgood & Reagan, 8036 Fairview avenue, Holmesburg. Owners, Holmesburg Methodist Episcopal Church, Rev. J. Lindsay, on premises. Architects taking bids due May 19th.

**Residences (4)**, 3208-10-12-14 South Eighty-seventh street, Philadelphia, \$3,500 each. Architect, private plans. Owner, Robert B. Heath, 3217 South Eighty-seventh street, Philadelphia. Brick, 2 stories, 14x38 feet, slag roof, hot air heat. Owner will build.

**Residences and Garages (28)**, Algard and Walker streets, North of Tyson street, Philadelphia, \$5,000. Owner, Walter G. Costello, 7004 Hegerman street, Philadelphia. Brick, 2 stories, 16x38 feet, slag roof, hardwood, pine and cement pine floors, hot water heat, electric light. Owner will build.

**Residences (30), Residences and Garages (2)**, Roosevelt Boulevard, West of C street, Philadelphia, \$198,000. Architect, private plans. Owner, Benjamin Cylinder, 249 East Roosevelt Boulevard, Philadelphia. Brick, 3 stories, 17x59 feet, 2 stories, 15x32 feet, 12x22 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric light. Owner will build.

**Residences (14), Stores (2)**, Seventeenth street, Conlyn and Ogontz avenue, \$78,400. Architect, private plans. Owner, Morris Reese, 1106 Union street, Philadelphia. Brick, 2 stories, (2) 14x10 feet, 17x42 feet, (12) 11x10 feet, 16x31 feet and 12x10 feet, hot water heat, electric light. Owner will build.

**Residences (4)**, South side Tyson street, West of Rising Sun avenue, \$4,200 each. Architect, private plans. Owners, H. F. Hartwig & Son, 7403 Bingham street, Philadelphia. Brick and frame, 2 stories, 20x29 feet, shingle roof, hot water heat, electric light. Owner will build.

**Residence and Store**, Eighty-sixth and Tincum avenue, Philadelphia, \$10,000. Architect, private plans. Owner, Frank Yoskin, on premises. Brick, 2 stories, 26x75 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, South side Harmon Road, West of Ridge avenue, \$7,500. Architect, private plans. Owners, Manayunk Coal & Lime Co., Main and Umbria streets, Philadelphia. Stone and frame, 2 stories, 26x30 feet, hot water heat, electric light. Owners will build.

**Residences (4)**, East side Rockwell avenue, North of Bleigh, \$4,200 each. Architect, private plans. Owner, S. Walter Cook, 5718 North Fourth street, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hot water heat, electric light. Owner will build.

**Apartment (alts. and add.)**, 1609-11 Mt. Vernon street, \$5,500. Architect, private plans. Owners, George B. Smith & Son, 606 North Sixteenth street, Philadelphia. Brick, second and third story adds, 15x7 feet, general alterations. Owners will build.

**Apartment (alts.)**, 418-20 North Forty-first street, Philadelphia, \$3,000. Architect, private plans. Owner, Louis Elgart, 5312 Berks street, Philadelphia. General alterations. Owner will build.

**Residence (alts. and add.)**, 4713 Torresdale avenue, \$3,500. Architect, private plans. Owner, P. Domino, 2067 Margaret street,

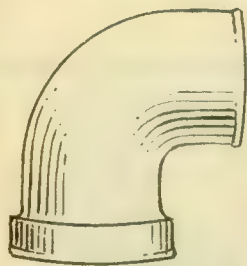
Philadelphia. Brick, second story add., 17x30 feet, 12x15 feet, general alterations. Owner will build.

**Various Schools**, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Sanitary improvements, repairs to fire escapes, iron flag poles, ventilators, electric forced draft equipment, wire screens, general repairs, etc. Low bidders: William F. Miller School, William Langhorne Co., 304 South Fiftieth street, \$51,600; Mitchell Brothers, 2123 Race street, Philadelphia, \$64,362. Kane School: William Langhorne Co., 304 South Fiftieth street, \$23,794; George Dobbins, 1020 South Forty-seventh street, Philadelphia, \$29,000. Palmer School: William Langhorne Co., 304 South Fiftieth street, \$2,932. Morris School: William Langhorne Co., 304 South Fiftieth street, \$6,995. Moffet School: Mitchell Brothers, 2125 Race street, \$6,390. Booker School: Mitchell Brothers, 2125 Race street, \$2,985.

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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Residences (alts.),** 509 Independence avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Charles Link, on premises. General alterations. Contract awarded to George Kessler Cont. Co., 1733 N. Marvine St.

**Store and Office (alts.),** 240 Market street, Philadelphia, \$2,000. Architect, private plans. Owners, Lea Estate, on premises. General alterations. Contract awarded to Basch & Co., Ruan & Tackawanna street, Philadelphia.

**Department Store,** Eleventh and Market streets, Philadelphia, \$2,000,000. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Frank & Seder, Eleventh and Market streets, Philadelphia. Steel, terra cotta, concrete, 12 stories and basement, 76x110 feet, tile roof, concrete floors, hollow tile, elevators, architectural terra cotta, ornamental iron work, fire doors, tile and marble work, metal lath, electric light, steam heat. Contract awarded P. M. Sax, Penfield Building, Philadelphia.

**Sunday School (add.),** Northeast Corner Forty-fifth and Walnut streets, Philadelphia. Architect, C. E. Schermerhorn, 213 South Fifth street, Philadelphia. Owners, St. Andrew's Methodist Episcopal Church, C. Howard Schermerhorn, chairman Building Committee, Manufacturers' Club, Philadelphia. Brick, hollow tile, steel, cut stone, stucco, 2 stories and basement, 80x40 feet (steam heat, electric light, plumbing reserved), slag roof, pine floors, painting and glazing, tile work, terra cotta. Contract awarded George H.

Evans, Inc., 105 North Thirteenth street, Philadelphia. Plumbing and heating, I. English, 1831 Brandywine street. Electric, M. Nuss, 5621 Wyalusing avenue, Philadelphia.

**Recreation Pavilion and Auditorium,** Forty-eighth and Wyalusing avenue, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. John's Orphanage, on premises. Brick, cut stone, concrete and stone, 1 story and basement, 143x54 feet, slate roof, maple floors, metal ceilings, shoring, dampproofing, ornamental iron work, bond, rolling steel sash, tile and marble work, metal lath, steam heat, electric light, plumbing, painting and glazing. Contract awarded John McShain, Inc., 1610 North street, Philadelphia.

**Buildings, Byberry, Pa.** Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Health, Dr. Krusen, 584 City Hall, Philadelphia. Owners, Department of Public Health, Dr. Krusen, 584 City Hall, Philadelphia. Brick, alberne stone, cut stone, steel (plumbing, heating, electric reserved), slate, slag and tile roof, cement and composition floors, metal lath, tile and terrazzo work, rolled steel sash, iron work, iron stairs, shoring, waterproofing and dampproofing, painting and glazing. Building E, 2 stories and basement, 42x80 feet, 2 wings 111x43 feet. Building F, 1 story and base-

ment, 43x105 feet. Boiler House, 1 story and basement, 30x42 feet. Buildings L, M, N, O and connecting corridors, 158x27 feet, 2 stories and basement. Dining room and kitchen, 1 story and basement, 49x88 feet, 2 wings 49x43 feet. Power House, 1 story and basement, 42x48 feet. Contract awarded F. W. Mark Const. Co., Commercial Trust Building, Philadelphia, \$1,111,864. Heating, Mechanical Equipment Co., 214 South Twelfth street, Philadelphia; Item 1, \$224,893; Item 2, \$145,051. Electric, W. V. Pangborne & Co., 1927 West Montgomery avenue, Philadelphia; Item 1, \$77,980; Item 2, \$27,000. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia; Item 1, \$56,444; Item 2, \$36,998.

**Fire Repairs,** 1931-33 Market street, Philadelphia, \$10,000. Architect, private plans. Owner, Lionel Friedman, on premises. Brick, steam heat, electric light, slag roof, plumbing, painting and glazing, carpentry and mill work, plate glass, ornamental iron work. Contract awarded Kober Const. Co., 34 South Seventeenth street, Philadelphia.

**Residence and Garage,** North side Towando street, West of Chestnut avenue, \$10,000. Architect, Edward G. Gilchrist, 1618 Latimer street, Philadelphia. Owner, Carroll L. Tyson, 1900 Spruce street, Philadelphia. Brick, second story, 24 feet 6 inches x 46 feet, electric light, hardwood floors, hot water heat, cement work, tile work. Contract awarded J. S. Cornell & Son, Morris Building, Philadelphia.

**Warehouse (alts. and add.),** 711-15 Filbert street, Philadelphia, \$50,000. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, J. D. & S. D. Lit, Eighth and Market streets, Philadelphia. Steel, brick, 3 stories, 32x61 feet, slag roof, cement

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floors, steam heat, electric light. Contract awarded to Keystone State Const. Co., 210 South Thirteenth street.

**College (add.)**, 1811 Spring Garden street, Philadelphia, \$11,000. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owners, College of Optometry, 1811 Spring Garden street, Philadelphia. Brick, 2 stories add., 24x76 feet, slag roof, electric work, steam heat. Contract awarded to F. A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Heating Plant**, Northeast Sewerage Treatment Works. Brick, steel, limestone, 1 story and mezzanine, 114x65 feet (plumbing, heating and electric and mechanical equipment separate), asbestos roof, wood block, granolithic floors, quarry tile, rolling steel sash, iron stairs, shoring. Contract awarded Kober Const. Co., 34 South Seventeenth street, Philadelphia, \$86,000. Mechanical equipment, Roberts Filter Mfg. Co., Darby, Pa., \$87,490. Electric, W. V. Pangborne Co., 1927 West Montgomery avenue, Philadelphia, \$12,000. Plumbing, Bulman Brothers, Fifth and Cumberland streets, Philadelphia, \$4,866. Heating, Mechanical Equipment Co., 214 South Twelfth street, Philadelphia, \$1,415.

**Alterations and Addition**, 609 Sixty-fourth avenue, Philadelphia. Architect, private plans. Owner, Mr. William Rumpel, 609 Sixty-fourth avenue, Philadelphia. Oak floors, shingle roof, carpentry and mill work, painting and glazing, tile work, plastering. Contract awarded Albert Dunlap, 7223 Oak avenue, Philadelphia, who is taking sub-bids.

**Apartment House**, Nineteenth and Panama streets, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Delancey Apartments, care of architect. Brick, stone, concrete and limestone, 8 stories, 50x60 feet. Contract on reinforced concrete foundations awarded to Frederick Masias, 1342 Cypress street, Philadelphia.

**Garages (10)**, 4814 North Marvine street, Philadelphia, \$10,000. Architect, private plans. Owner, Charles Ratcliffe, on premises. Brick, 1 story, 19x88 feet, heatnig extension, electric light, slag roof, cement floors. Contract awarded Hood & Gross, 1613 Chestnut street, Philadelphia.

**Metal Louvere on Roof**, Seventeenth and Washington avenue, Philadelphia. Architect, private plans. Owners, American Ice Co., Sixth and Arch streets, Philadelphia. Metal louvere on roof, sheet metal and iron work. Contract awarded Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Store (alts.)**, 2631 Germantown avenue, Philadelphia. Architect, private plans. Owner, Morris Goldberg, care of builders. Hardwood floors, electric light, tile and marble work, plate glass, new flush bulks, mill work, galvanized iron work. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Residence and Garage**, Castor, Goodman Gardens, Philadelphia. Architect, private

plans. Owner, Christopher Pritz, care of builders. Stone, stucco and creodipt shingle, 1½ stories, 28x35 feet, 1 story, 12x18 feet, asbestos shingle roof, hardwood floors, hot air heat, electric light, tile work, cement floors. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Twin Residence and Garages**, Castor, Goodman Gardens, Philadelphia. Architect, private plans. Owner, Mrs. Margaret Noheimer, care of builders. Stone, stucco, 2½ stories, 36x43 feet, 1 story, 20x18 feet, hot water heat, electric light, tile work, cement work, asbestos shingle roof, hardwood floors, enclosed porches, septic tanks. Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**Stores and Residences (2)**, Sixty-second and Wheeler streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Daniel McNichol, 706 Paschall avenue, Philadelphia. Brick, 2 stories, 17x10x56 feet each, slag roof, tile roof, pine floors, plate glass, flush bulks. Contract awarded Julius Nelson, 29 Cherry street, Sharon Hill.

**Alterations and Additions**, 116 South Seventeenth street, Philadelphia, \$10,000. Architect, William H. Gravel, Otis Building, Philadelphia. Owner, Walter S. Stewart, on premises. Brick, steam heat, electric light, steel and iron, metal lath, plastering, painting and glazing, tile and marble, rolled steel sash, carpentry and mill work, slag roof, alterations. Contract awarded Smith-Hradican Co., 1809 Callowhill street, Philadelphia.

**Sales and Service Building**, Stenton avenue and Wistar street, Philadelphia. Architect, Philip S. Tyre, 1509 Arch street, Philadelphia. Owner, Henry W. Pletcher, care of architect. Brick, concrete and steel, 2 and 1 stories, 70x60 feet, slag roof, cement floors, elevators, fire and rolling steel doors, rolling steel sash, metal lath. Contract awarded Fred Elvidge & Son, 5522 Germantown avenue, Philadelphia.

**Alterations**, second floor, Northwest Corner Thirteenth and Market streets, Philadelphia. Architects, S. S. White Dental Co., 211 South Twelfth street, Philadelphia. Owners, Dr. Charles Algace, Tenth and Market streets, Philadelphia. Mill work, repairs to heating system, electric light, plumbing. Contract awarded to Lam Building Co., 1001 Wood street, Philadelphia.

**Residence (alts.)**, Lincoln Drive, Philadelphia. Architects, Willing, Sims & Talbut, 129 South Eighteenth street, Philadelphia. Owner, William C. Shoettle, Lincoln Drive, Philadelphia. Repairs to roof, linoleum floors, plumbing, plastering, painting and glazing, carpentry and mill work, tile work (heating, electric reserved). Contract awarded George

S. Roth & Son, 230 East Graver's Lane, Philadelphia.

**Locker Building**, Northeast Sewerage Treatment Works, Philadelphia. Architect, private plans. Owners, Department of Public Works, Bureau of Surveys, Philadelphia. Hollow tile, brick, steel, limestone, stucco, 1 story, 43x28 feet, asbestos roof, tile and granolithic floors, metal lath, rolled steel sash, steel doors (plumbing, heating and electric reserved). Contract awarded Kober Const. Co., 34 South Seventeenth street, Philadelphia, \$22,950. Electric, W. V. Pangborne Co., 1927 West Montgomery avenue, Philadelphia, \$448. Plumbing, Bulman Brothers, Fifth and Cumberland streets, Philadelphia, \$4,966. Heating, Mechanical Equipment Co., 214 South Twelfth street, Philadelphia, \$1,445.

**Residence and Garage**, Northeast Corner Durham and Anderson streets, \$16,000. Architect, private plans. Owner, A. S. Tourison, 7014 Boyer street, Philadelphia. Stone, 3 stories, 29 feet 4 inches x 42 feet 4 inches, 23x17 feet, tile roof, hardwood, pine and cement floors, hot water heat, electric light. Contract awarded to A. S. Tourison, Jr., 7014 Boyer street, Philadelphia.

**Residence**, South side Prospect avenue, East of Barclow avenue, \$8,000. Architect, private plans. Owner, Robert MacMullin, Somerton, Philadelphia. Frame, 2 stories, 32x23 feet, hot water heating, electric lighting. Contract awarded to Charles Ely, Somerton, Pa.

**Residence and Store**, 7108 Germantown avenue, Philadelphia, \$9,000. Architect, private plans. Owner, John Henry, 4618 Wayne avenue, Philadelphia. Brick, 2 stories, 30x43 feet, hot water heat, electric light, hardwood and pine floors. Contract awarded to J. H. Seckriter, 129 North Edgewood street, Philadelphia.

**Storage Building (alts.)**, Southeast Corner Twenty-second and Spring Garden streets, \$10,000. Architect, private plans. Owners, William Wood & Co., on premises. General alterations, carpentry, mill work, concrete work. Contract awarded to A. Raymond Raff Co., 1635 Thompson street, Philadelphia.

**Garage**, South side Warrington avenue, West of Fiftieth street, Philadelphia, \$8,500. Architect, private plans. Owner, Edward H. Ruess, Forty-sixth and Baltimore avenue, Philadelphia. Brick, 1 story, 40x95 feet, slag roof, cement floors. Contract awarded to David D. Scott, 4500 Springfield avenue.

**Warehouse (add.)**, Southwest Corner Randolph and Butler streets, \$4,000. Architect, private plans. Owner, John Croak, 3732 North Randolph street, Philadelphia. Brick, 2 stories, 15x18 feet add. Contract awarded to Oscar C. Wehmeyer, 313 East Eleanor street.

**Residence and Store (alts.)**, 2631 German-

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town avenue, Philadelphia, \$3,200. Architect, private plans. Owner, L. J. Fox, 18 North Fourth street, Philadelphia. General alterations. Contract awarded to J. Maurer & Co., 1304 North Second street, Philadelphia.

**Residences (4)**, South side Eastwick avenue, East of Eighty-eighth street, \$3,500 each. Architect, private plans. Owner, John Scholtz, Eighty-eighth and Eastwick avenue, Philadelphia. Brick, 2 stories, 14x38 feet, slag roof, hot air heat, electric work. Contract awarded to Robert Heath, 3217 South Eighty-seventh street, Philadelphia.

**Residence**, North side Trevoise avenue, East of Whitney avenue, \$12,500. Architect, private plans. Owner, Charles Hoffner, Noble, Pa. Frame, 3 stories, 34x26 feet, 2 stories, 14x14 feet, hot water heat, electric light, tile work, hardwood and pine floors. Contract awarded to S. R. Krewson & Son, Elkins Park, Pa.

**Residence**, West side Krewston Road, South of Grant avenue, \$8,400. Architect, private plans. Owner, Harry Hallowell, 4441 Elizabeth street, Philadelphia. Frame, 2 stories, 26x26 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to George Klenk, 4744 North Mervine street, Philadelphia.

**Residence and Store (alts. and add.)**, 3050-52 Kensington avenue, \$7,000. Architect, private plans. Owner, E. I. Shuttleworth, 3054 Kensington avenue, Philadelphia. Brick, 1 story add., 12x12 feet, general alterations. Contract awarded to Roland Bale, Jr., 802 East Allegheny avenue.

**Garage**, 2918½ Boudinot street, Philadelphia, \$4,000. Architect, private plans. Owner, A. Black, 2775 Kensington avenue, Philadelphia. Brick, 1 story, 16x44 feet, 18x9 feet, 16x52 feet. Contract awarded to William Marriott, 2912 North Third street, Philadelphia.

**Residence (add.)**, 406 East Haines street, Philadelphia, \$2,500. Architect, private plans. Owner, V. Caporale, on premises. Brick, 1 story, 16x14 feet. Contract awarded to Fred Piccari, 5507 Fairhill street, Philadelphia.

**Garage**, 8106 Seminole avenue, Philadelphia, \$2,400. Architect, private plans. Owner, N. Knowles, on premises. Stone, 1 story, 23x25 feet. Contract awarded to William C. Wright & Son, 22 Harvey street, Philadelphia.

**Garage**, 314 West Hortter street, Philadelphia, \$2,100. Owner, W. S. Moore, on premises. Stone, 1 story, 14x22 feet. Contract awarded to William C. Wright & Son, 32 Harvey street, Philadelphia.

**Manufacturing Building**, 704 Green street (rear), Philadelphia, \$3,500. Architect, private plans. Owner, Israel Gottlieb, 704 Green street, Philadelphia. Brick, 2 stories, 18x29 feet. Contract awarded to Harry Goldberg, 2419 South Fairhill street.

**Store (alts.)**, Southwest Corner Fifteenth and Market streets, Philadelphia, \$3,000. Architect, private plans. Owners, D. A. Schulte, Inc., 384 Broadway, New York. Heating, lighting alts., tile and pine floors, carpentry, mill work, painting, glazing, plate glass. Contract awarded to Albert Zellfelder, 1324 Walnut street, Philadelphia.

**Residence**, 5911 Hegerman street, Philadelphia, \$4,500. Architect, private plans. Owner, David McGinley, 5913 Hegerman street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood floors, hot water heat. Contract awarded to A. Morotto, 5103 Dittman street, Philadelphia.

**Factory (alts.)**, 14 South Thirty-ninth street, Philadelphia, \$4,000. Architect, private plans. Owner, C. E. Tracy, Northeast Corner Fortieth and Market streets, Philadelphia. General alterations. Contract awarded to Edward S. Collins, 325 Budd street, Philadelphia.

**Garage and Sales Room**, Southwest Corner

Holme avenue and Fairfield street, \$12,000. Architect, private plans. Owner, David Sinn, Rhawnand Roosevelt Boulevard, Philadelphia. Brick, 1 story, 50x60 feet, slag roof, cement floors. Contract awarded to Louis Ahlers, 4433 Salmon street, Philadelphia.

**Work Shop**, 5219 Whitby avenue, Philadelphia, \$12,000. Architect, private plans. Owner, H. Striebiver, 4938 Cedar avenue, Philadelphia. Brick, 2 stories, 30x25 feet and 27x48 feet. Contract awarded to W. H. Gilbert, 4617 Lancaster avenue, Philadelphia.

**Garage**, 2255 North Carlisle street, Philadelphia, \$7,500. Architect, private plans. Owner, Gabrielle L. Harrison, 2301 North Broad street, Philadelphia. Brick, 2 stories, 35x67 feet, 25x30 feet, cement floors. Contract awarded to John I. Harrison, 1922 North Broad street.

**Residence**, Fulmer street, West of Dungan Road, Philadelphia, \$5,000. Architect, private plans. Owner, Joseph C. Root, Bustleton, Philadelphia. Frame, 2 stories, 24x30 feet, hot air heat, electric light. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Residence**, Northeast Corner Grant avenue and Lowden street, Philadelphia, \$5,000. Architect, private plans. Owner, A. L. Siegrist, Bustleton, Philadelphia. Frame, 2 stories, 24x30 feet, hot air heat, electric light. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Residence (alts.)**, South side City avenue, West of Belmont avenue, \$10,000. Architect,

private plans. Owner, Joseph Ledwinsky, on premises. General alterations. Contract awarded to Hugh A. Hamilton, Greene and Cheltenham avenues.

**Residence**, 5536 North Second street, Philadelphia, \$5,000. Architect, private plans. Owner, Charles A. Dolt, care of builder. Brick, 2 stories, 14x42 feet, slag roof, hot air heat, electric light. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Residence**, North side Borbeck street, West Barnes street, Philadelphia, \$6,000. Architect, private plans. Owner, John T. Murphy, Fox Chase, Philadelphia. Frame, 2 stories, 16x46 feet, hot water heat, electric light. Contract awarded to Joseph Ashby, 7920 Oxford avenue, Philadelphia.

**Residence (alts.)**, North side Kater street, West of Eleventh street, \$3,000. Architect, Herbert W. Salus, 614 South Eleventh street, Philadelphia. General alterations. Contract awarded to Hymovitz & Son, 521 Delancy street, Philadelphia.

**Alterations and Additions to Present Buildings**, Sedgley, York and Twenty-third streets. Architect, private plans. Owners, Wirt & Knox Mfg. Co., on premises. Brick, cut stone, reinforced concrete, 2 stories, 147x91 feet, irregular, steam heat, electric light, rolling steel sash, fire and kalamein doors, bond, ornamental iron work, shoring, painting and glazing, pine and maple floors, slag roof, sprinkler system, metal toilet partitions. Contract awarded William F. Newberry, Otis Building, taking sub-bids.

## PENNSYLVANIA

# Construction News

**School**, Newtown Square, Pa. Architect, R. Brognard Okie and D. Franklin Edmunds, 306 South Smedley street. Owners, School Board of Newtown Square, T. Campbell, Newtown Square. Owners taking new bids due May 26th at 2 P. M. (standard time).

**Store Front**, Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owners, Lancaster Chocolate Specialty Co., 148 North Queen street, Lancaster, Pa. Plate glass, copper work, tile and marble work. Plans in progress.

**Apartments (2) and Garage**, Pine and Columbia avenue, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owners, Rutter Brothers, 551 West King street, Lancaster, Pa. Brick, steel, 2 stories, 40x20 feet, tin roof, pine floors, hot water heat, electric light. Plans in progress.

**Residence**, Cynwyd, Pa. Architect, Ralph Goldberg, 10 South Eighteenth street, Philadelphia. Owner, C. A. Carroll, Jr., Cynwyd, Pa. Stone and frame, 2½ stories, 27x50 feet, shingle roof, oak floors, vapor vacuum heat, electric light, tile and marble work. Plans drawn. Builder selected.

**Dormitory**, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Harrisburg Academy, Dr. Brown, 2900 North Second street, Harrisburg, Pa. Brick, stucco, reinforced concrete, 3 stories and basement, 33x111 feet, slate roof, hardwood and composition floors, cement block, vapor heat, electric light, metal lath, rolled steel sash. Plans in progress.

**Residence**, Cynwyd, Pa., \$12,500. Architect, J. L. Conarroe, 225 South Sydenham street, Philadelphia. Owner, name withheld. Hollow tile, stucco, 2½ stories, 25x40 feet, shingle roof. Plans in progress. Too early for details.

**Church and Sunday School**, Lewistown, Pa. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, Grace United Evangelical Congregation, Rev. E. E. Keontz, on premises. Stone, 1 and 2 stories and basement. Preliminary plans in progress.

**Residence**, Lawn avenue and Cherry street, Sellersville, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, B. M. Barndt, Sellersville, Pa. Brick and stucco, 2½ stories, 24x36 feet, hot water heat, electric light, tile and marble work, shingle roof, hardwood floors. Plans in progress.

**High School**, Larksville, Pa. Architect, J. A. Boyle, Bennett Building, Wilkes-Barre, Pa. Owners, Larksville School Board, Felix Bolowicz, Larksville, Pa. Frame, 2 stories, 150x100

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feet, slag roof, pine floors (heating, plumbing, electric work reserved). Plans in progress.

**Store**, Lancaster, Pa. Architect, J. B. Harmon, Lancaster, Pa. Owner, C. F. Widmyer, 617 West Chestnut street, Lancaster, Pa. Brick, structural steel, 1 story, 44x80 feet, tin roof, hardwood floors, vapor heat, electric light, metal lath, tile and marble work, plate glass, copper work, waterproofing, architectural terra cotta. Owner taking sub-bids.

**Stores (6)**, 39 to 49 Chestnut street, Lancaster, Pa. Architect, H. B. Harmon, Lancaster, Pa. Owner, C. F. Widmyer, 617 West Chestnut street, Lancaster, Pa. Brick, structural steel, 1 story, 100x36 feet, tin roof, hardwood floors, waterproofing, architectural terra cotta, vapor heat, electric light, metal lath, tile, marble work, plate glass. Owner taking sub-bids.

**Apartment and Show Room and Garage**, Lancaster, Pa. Architect, J. B. Harmon, Lancaster, Pa. Owner, J. B. Bissinger, 323 West Lime street, Lancaster, Pa. Steel, reinforced concrete, brick, 3 stories, 198x34 feet, built-up asphalt roof, reinforced concrete floors, cinder block, roof ventilators, vapor heat, electric light, metal lath, tile work, rolled steel sash and skylights, rolling steel doors. Owner taking sub-bids.

**Residence**, Paxtang, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, Frank Class, Eighteenth and Mulberry streets, Harrisburg, Pa. Brick, 2½ stories, 30x40 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Owner taking sub-bids.

**Church and Parsonage**, York, Pa. Architect, H. E. Yessler, Rupp Building, York, Pa. Owners, Grace Methodist Episcopal Church, Rev. A. C. Shue, 611 West Philadelphia street, York. Stone, 1 and 2½ stories, slate roof, hardwood floors, steam heat, electric light. Architect taking bids.

**Store and Warehouse**, Lancaster, Pa. Architect, J. B. Harmon, Lancaster, Pennsylvania. Owner, L. W. Keplinger, Breneman Building, Lancaster, Pa. Brick, structural steel, 3 stories and basement, 200x38 feet, tin roof, pine floors, freight elevators, vapor heat, electric light, rolled steel sash, fire doors. Owner taking bids.

**Theatre**, Pottstown, Pa. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owner, George W. Bonnetum, 1307 Vine street, Philadelphia. Brick, terra cotta, concrete and steel, capacity 2000, steam heat, electric light, tile and marble work, fire doors, slag roof, cement and composition floors. Plans about completed. Architect will be ready for bids in 2 weeks.

**Church**, Parkersburg, Pa. Architect, George Savage, Witherspoon Building, Philadelphia. Owners, Parkersburg Presbyterian Church, G. M. Luxbin, Board of Trustees, on premises. Stone, 1½ stories, 100x60 feet, slate roof, pine floors, steam heat, electric light, ornamental iron work. Owners taking sub-bids.

**Club**, Reading, Pa. Architects, High & Huber, 230 North Sixth street, Reading, Pa. Owners, Northeastern Republican Club, M. A. Laurel, Tenth and Walnut streets, Reading, Pa. Brick, steel, concrete, 2 stories and basement, 40x106 feet, Johns Manville roof, hardwood and pine floors, hollow tile, safety treads, roof ventilators, steam heat, electric light, metal lath, tile and marble work, rolled steel skylights, steel doors, ornamental iron work, architectural terra cotta. Architects ready for bids.

**Fire House**, Rehrersburg, Pa. Architects, High & Huber, 230 North Sixth street, Reading, Pa. Owners, Keystone Fire Co., H. B. Muth, secretary, Rehrersburg, Pa. Cement block, 2 stories and basement, 40x105 feet, Johns Manville roof, cement and hardwood floors, steam heat, electric light, floor hardener, fire doors. Owners taking sub-bids.

**Residences (2)**, Lancaster, Pa. Architect, J. B. Harmon, North Queen street, Lancaster, Pa. Owner, Thomas Humphreyville, 42 West King street, Lancaster, Pa. Brick, 2½ stories, 20x40 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**High School Equipment**, Marshall and Shelma streets, Norristown, Pa. Architect, O. R. Parry, 1524 Sansom street, Philadelphia. Owners, School District, Norristown, C. L. Moore, secretary, High School Annex, Dekalb and Oak streets, Norristown. Chemistry and physics laboratory, cafeteria, domestic science and stage equipment. Owners taking bids due May 23rd at noon (daylight saving). Plans and specifications at office of architect.

**Fire House**, Bally, Pa. Architects, High & Huber, 230 North Sixth street, Reading, Pa. Owners, Goodwill Fire Co., Bally, Pa. Brick, 2 stories and basement, 120x55 feet, Johns Manville roof, cement pine floors, steam heat, electric light, floor hardener. Architects taking bids due May 20.

**Grade School (add.)**, South Renova, Pa. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, South Renova School District, H. M. B. Weiksel, South Renova, Pa. Brick, 2 stories and basement, 71x40 feet, slag roof, yellow pine floors, hollow tile, ventilators (heating, electric work and plumbing reserved), bond, iron stairs. Owners taking bids due June 10th.

**Residence (alts. and add.)**, Merion Station, Merion, Pa. Architect, J. L. Conarroe, 225 South Sydenham street, Philadelphia. Owner, J. F. Macklin, on premises. Hollow tile and stucco, 2½ stories, 33x25 feet, 18x20 feet, 7x18 feet, oak floors, slate roof (heating and plumbing reserved), metal lath, tile work, stone, brick, mill work, copper work, general alterations. Architect taking bids due May 15th.

**High School**, Mechanicsburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Mechanicsburg School Board, Forest Mercer, president, Union Trust Building, Harrisburg, Pa. Brick, 2 stories and basement, 86x65 feet, slag roof, hardwood and composition floors, hollow tile, roof ventilators (heating, electric work and plumbing reserved), metal lath, rolled steel skylights. Owners taking bids due May 28th.

**Residence**, Rydal, Pa. Architect, Clyde S. Adams, 2038 Spruce street, Philadelphia. Owner, C. E. Doan, Rydal, Pa. Brick, cut stone, steel, 2½ stories, 80x30 feet, wing 43x27 feet, slate roof, oak and pine floors, hot water heat, electric light, tile and marble work, bond, ornamental iron work. Architect taking bids due May 16th.

**Bank and Office Building**, Uniontown, Pa. Architect, Albert Kahn, Detroit, Mich. Owners, Citizens' Title & Trust Co., Uniontown, Pa. Reinforced concrete, steel, cut stone, granite, limestone, brick, 7 stories and basement, 73x150 feet (plumbing, heating, electric and elevators separate bids), built-up asphalt roof, rubber tile and cement floors, hollow tile, steel stack, roof ventilators, metal weather strips, shoring, waterproofing and dampproofing, ornamental iron work, iron stairs, hollow metal and vault doors, rolling steel sash and skylights, marble and terrazzo work, metal lath, separate prices on artificial stone for cut stone, artificial stone for limestone. Architect taking bids due May 24th.

**Bedford County**, R-47, Sec. 2, St. Clairsville Borough, King and East St. Clair Townships, 27,601 feet. One course reinforced concrete. W. C. Guncheon & Co., Harrisburg, Pa., \$298,217.40.

**Clearfield County**, R-234, A-2042, Decatur and Woodward Townships, 12,080 feet. One course reinforced concrete. Avery & Bailey, Philipsburg, Pa., \$111,611.75.

Lowest bidders on work opened April 29, 1924:

**Schuylkill County**, R-140, Sec. 1, Pine Grove Borough, Pine Grove, Washington and Wayne Townships, 32,002 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Cranford Co., Washington, D. C., \$270,875.71.

**Butler County**, R-69, Sec. 3, Prospect and Portersville Borough, Franklin and Ruddy Creek Townships, 37,503 feet. One course reinforced concrete. R. H. Cunningham & Sons Co., Turtle Creek, Pa., \$393,710.

**Fayette County**, R-117, Sec. 4, East Union Township, 8,339 feet. One course reinforced concrete. C. Russell McIntyre, Fairchance, Pa., \$89,660.40.

**Bucks County**, A-2659, Hulmeville Borough, 6,551 feet. One course reinforced concrete. Ross & Whelan, Trenton, N. J., \$43,777.66, \$39,594.81.

**Fayette County**, A-563, Connellsville Township, 4,839 feet. One course reinforced concrete. Michael Barber, Binghamton, N. Y., \$48,058.09.

**Clarion County**, A-2577, Sec. 1, Beaver Township, 15,655 feet. One course reinforced concrete. F. S. Wilson, Kittanning, Pa., \$146,355.05.

**Armstrong County**, R-189, Sec. 2, Valley and Cowanshannock Townships, 39,098 feet. One course reinforced concrete. L. H. Hileman Const. Co., New Kensington, Pa., \$324,754.50.

**Westmoreland County**, A-143, Sec. 2, Ros-traver Township, 12,991 feet. One course reinforced concrete. R. H. Cunningham & Sons Co., Turtle Creek, Pa., \$198,812.80.

**York County**, A-523, Fawn Township, 13,125 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Comerford Const. Co., Fifth and Sansom streets, Philadelphia, \$108,311.11.

**Erie County**, R-88, Sec. 3, Wayne and Concord Townships, 25,010 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. H. E. Bunce, Olean, N. Y., \$247,151.40.

**Monroe County**, A-2018, Polk Township, 6,705 feet. One course reinforced concrete. Ward & Tully, Brooklyn, N. Y., \$77,133.58.

**School**, Cheltenham, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Presentation of the Blessed Virgin Mary Roman Catholic Church, Rev. J. J. Moran, on premises. Architect taking revised bids due May 19th at 2 P. M.

**School (alts. and add.)**, Lansdowne avenue, Upper Darby, Pa. Architect, Horace W. Castor, Stephen Girard Building, Philadelphia. Owners, Board of Education of Upper Darby Township, Delaware County, Pa. Brick, stone, cut stone, steel, reinforced concrete, 3 stories and basement, 60x288 feet (plumbing, heating and electric reserved), slag roof, linoleum and cement floors, painting and glazing, architectural terra cotta, ornamental iron work, bond, rolling steel and kalamein doors, rolling steel sash and skylights, terrazzo work, metal lath. Architect taking bids due June 4th.

**Memorial Hall Building**, Willow Grove, Pa. Architect, T. Frank Miller, 1012 Walnut street, Philadelphia. Owners, Willow Grove Community Memorial Building, care of J. Dyre Moyer, Willow Grove, Pa. Stone, brick, cut stone, 2 stories and basement, 95x114 feet, slag roof, maple floors, steam heat, electric light, painting and glazing, bond, ornamental iron work, iron stairs, architectural terra cotta. Owner taking bids due as soon as possible.

**Bungalow**, 512 Ogden avenue, Swarthmore, Pa. Architect, Bruce C. Wenner, 245 Cleveland avenue, Glenside. Owner, Dr. William T. Johnson, care of architect. Brick, 1½ stories, 70x48 feet, asbestos shingle roof, hardwood and composition floors, direct and indi-



rect steam heat, electric light, tile work, oil burning equipment, plumbing. Architect taking bids due as soon as possible.

**Police Station**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, City of Trenton, George La Barre, Commissioner, Trenton, N. J. Brick, steel, 3 stories, 60x120 feet, slag roof, hardwood floors, hollow tile, safety treads, roof ventilators, vapor heat, electric light, metal lath, tile, marble and terrazzo work, rolled steel skylights, ornamental iron work. Lowest bidder: William C. Ehret, 13 West State street, Trenton, N. J., \$56,711.

## Pennsylvania Contracts Awarded

**Bank (alts. and add.)**, Bridgeport, Montgomery County, Pa. Engineer, William George Chryst, 1145 South Wilton street, Philadelphia. Owners, Bridgeport National Bank, Bridgeport, Pa. Brick, hollow tile, concrete, cast stone, 1 story and basement and sub-basement, 30x25 feet, plumbing, bank screens (vault doors reserved). Contract awarded H. P. Friend, Norristown, Pa., \$23,000. Vault doors, York Safe & Lock Co., York, Pa.

**High School (add.)**, Sixth street, Harrisburg, Pa. Architect, C. H. Lloyd, Harrisburg, Pa. Owners, Board of Education, Harrisburg, Pa. Brick, steel, concrete, 2 and 3 stories, 420x470 feet (plumbing, heating and electric reserved), composition roof, composition, maple and concrete floors, hollow tile, safety treads, waterproofing and dampproofing, metal lath, tile and marble work, rolling steel sash, bond, ornamental iron work. Contract awarded S. W. Shoemaker & Son, Harrisburg, Pa., \$557,876. Plumbing, Herre Brothers, Harrisburg, \$34,122. Electric, Dauphin Elec. Co., Harrisburg, \$13,329.34.

**Office Building (add.)**, Sixth and Parry streets, Reading, Pa. Architect, Samuel T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading Railroad Company, Twelfth and Market streets, Philadelphia. Brick, cut stone, steel, 3 stories, 43x58 feet, slate roof, pine and asphalt floors, steam heat, electric light, metal lath, rolling steel sash, fire doors, bond, ornamental iron work, dampproofing. Contract awarded Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Residence (add.)**, Haverford, Pa. Architects, Wilson, Erye & McIlvaine, 1003 Spruce street, Philadelphia. Owner, Horatio G. Lloyd, on premises. Stone, 2½ stories, slate roof, oak and pine floors, hot water heat, electric light. Contract awarded to R. C. Ballinger, 925 Walnut street, Philadelphia.

**Manufacturing Building and Dye House**, Bloomsburg, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Magee Carpet Co., Bloomsburg, Pa. Brick, reinforced concrete, steel, 3 stories and basement, 148x64 feet (heating, plumbing, electric and elevators reserved), slag roof, cement floors, maple floors, hollow tile, painting and glazing, ornamental iron work, rolling steel sash, fire doors. Contract awarded S. W. Shoemaker & Son, Harrisburg.

**Alterations and Additions**, Oakmont, Pa. Architect, private plans. Owners, Grace Chapel, Mr. C. A. Lobb, Oakmont, Pa. Stone, 1 story, 50x40 feet, shoring, stone work, concrete block, pine floors, waterproofing, slate roof, metal lath, leaded glass, hardware, plumbing, electric wiring, tile floors. Contract awarded F. H. Wilson, Oakmont, Pa.

**Residence and Garage**, Mt. Pleasant and Anders avenue, Philadelphia. Architect, William C. Prichett, 225 South Sixth street, Philadelphia. Owner, Joseph A. Short, 1420 North Sixteenth street, Philadelphia. Stone, hollow

tile and stucco, 2½ stories, 82x32 feet, wing 43x28 feet (vapor heat reserved), slate roof, oak and pine floors, painting and glazing, plumbing, electric light, tile work, ornamental iron work, flag stone. Contract awarded J. H. Hinkle & Co., 2507 South street, Philadelphia.

**Garage and Show Room**, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, St. Stephen's Protestant Episcopal Church, Dr. R. A. Sawyer, 215 North Front street, Harrisburg, Pa. Reinforced concrete, 4 stories, 50x75 feet, slag roof, concrete floors, city heat, electric light, rolled steel sash. Contract awarded to H. A. Hipple, Harrisburg Bank Building, Harrisburg, Pa.

**Store, Hall and Apartment Building (alts. and add.)**, Pottsville, Pa. Architect, William Hill, Ulmer Building, Pottsville, Pa. Owners, Sons of America, James Evans, chairman Building Committee, 300 North Third street, Pottsville, Pa. Brick, 3 stories add., general alterations. Contract awarded to W. J. Messersmith & Son, Pottsville, Pa.

**Rectory**, Drexel Hill, Pa. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, Church of the Incarnation, Drexel Hill, Pa. Brick, cut stone, steel and stone, 2½ stories, 45x25 feet, hot water heat, electric light, metal lath, tile and marble work, copper skylights, bond, metal weather strip, pine, oak and linoleum floors, slate and slag roof. Contract awarded Franklin P. Reynolds, Drexel Hill, Pa.

**Residence**, Percy Simpson Tract, Overbrook, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, Mrs. Innes Lloyd, Green Hill Farms Hotel, Overbrook, Pa. Brick, 2½ stories, 28x60 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Contract awarded M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Power House**, Weldon, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, School Board of Abington Township, Abington, Pa. Stone, 1½ stories, 70x40 feet, slate roof, cement floors, rolled steel sash. Contract awarded J. H. Wells, 34 South Sixteenth street, Philadelphia, \$21,488.

**High School Building**, Windber, Pa., \$150,000. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, Board of Education, Windber, Somerset County, Pa. Contract awarded the Wilson Const. Co., Johnstown, Pa.

**Residence**, Lancaster, Pa. Architect, J. B. Harmon, Lancaster, Pa. Owner, J. Stumpf, 639 High street, Lancaster, Pa. Brick, 2½ stories, 20x40 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to H. Stumpf, 225 East Clay street, Lancaster.

**Shop and Apartment**, Pine street, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, Frank Heckendorn, Lancaster, Pa. Brick, steel, 2 stories, 27x60 feet, asphalt roof, pine floors. Contract awarded to E. Brennen, Millersville, Pa.

**Residence**, Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, W. Marion, care of architect. Brick, 2½ stories, 22x36 feet, slate roof, pine floors, hot air heat, electric light. Contract awarded to Ray Clark, 40 North Duke street, Lancaster, Pa.

**Residences (6)**, Reynolds avenue, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, R. W. Groezinger, Marietta avenue, Lancaster, Pa. Brick, 2 stories, 20x35 feet, asphalt roof, yellow pine floors, hot air heat, electric light. Contract awarded to C. W. Erisman, Agricultural Trust Building, Lancaster, Pa.

**Garage and Show Room**, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building,

Lancaster, Pa. Owner, E. Miller, 14 North Charlotte street, Lancaster, Pa. Brick, Indiana limestone, 1 story, 75x150 feet, built-up roof, concrete floors, steam heat, electric light, rolled steel sash and skylights, fire doors. Contract awarded to D. S. Warfel, 39 East Grant street, Lancaster.

**Residences (12)**, Duke and Ross streets, Lancaster, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, Dr. M. L. Emerick, 207 South Queen street, Lancaster, Pa. Brick, 2 stories, 18x44 feet, slate roof, hardwood floors, hot air heat, electric light, tile work. Contract awarded to R. J. Wohlsen, West Lancaster, Pa.

**Rectory**, Birdsboro, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, Dr. Burns, Birdsboro, Pa. Brick, 2½ stories, 30x40 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to William Fromm, 706 North Thirteenth street, Reading, Pa.

**Store (alts. and add.)**, 652 Penn street, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owner, Davis A. Harris, on premises. Brick, concrete, 2 stories, 30x70 feet, composition roof and floors. Contract awarded to Oscar Degler, 226 Locust street, Reading, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Somerset County, R-52, Conemaugh Township, 7,393 feet. One course reinforced concrete. \$78,954.64. Contract awarded to James & Nicholson, Inc., Johnstown, Pa.

Bedford County, R-47, St. Clairsville Borough, King and East St. Clair Townships, 27,601 feet. One course reinforced concrete. \$298,217.40. Contract awarded to W. C. Guncheon & Co., Harrisburg, Pa.

Armstrong County, R-189, Valley and Cowanshannock Townships, 39,098 feet. One course reinforced concrete. \$324,754.50. Contract awarded to L. H. Hileman Const. Co., New Kensington, Pa.

Butler County, R-69, Prospect and Portersville Borough, Franklin and Ruddy Creek Townships, 37,503 feet. One course reinforced concrete. Contract to R. H. Cunningham & Sons, Turtle Creek, Pa., \$393,701.

Montgomery County, R-146, West Norriton and Lower Providence Townships, 33,076 feet. One course reinforced concrete. \$267,893.94. Contract awarded to Union Paving Co., Thirtieth and Locust streets, Philadelphia.

Butler County, R-71, Sec. 2, Clearfield and Summit Townships, 34,306 feet. One course reinforced concrete. \$343,145.25. Contract awarded to Rood Const. Co., Butler, Pa.

Lehigh County, R-226, Heidelberg and Lynn Townships, 20,283 feet. One course reinforced concrete. \$162,859.50. Contract awarded to General Paving Co., Allentown, Pa.

Bucks County, A-2659, Hulmeville Borough, 6,551 feet. One course reinforced concrete. \$43,777.66 CS; \$39,594.81 GR. Contract awarded to Ross & Whelan Co., Trenton, N. J.

Erie County, R-88, Sec. 3, Wayne and Concord Townships, 25,010 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$247,151.40. Contract awarded to H. E. Bunce, Olean, N. Y.

Lackawanna-Wyoming County, Route 365, Overfield Falls and Newton Township, 39,792 feet. One course reinforced concrete. Contract awarded to Public Service Products Co., Newark, N. J., \$385,349.26.

## New Jersey Construction News

**Garage**, Beach Haven Terrace, N. J. Architect, Paul Livingstone Boyd, 6943 Limekiln



Pike, Philadelphia, Pa. Owner, Alex. McBain, 559 Roosevelt Boulevard, Philadelphia, Pa. Stucco on frame, 2 stories, 18x21 feet 6 inches, shingle roof, cement and wood floors, electric light, metal lath. Owner taking bids.

**School**, Gloucester, N. J. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Board of Education, Gloucester County, N. J. Low bidders: J. M. Yardley, 1716 Sansom street, Philadelphia, \$88,673; D. A. McClelland, Drexel Building, Philadelphia, \$88,700. Heating and ventilating, American Heating & Ventilating Co., 200 North Fifteenth street, Philadelphia; No. 1, \$8,574; No. 2, add \$1,542; No. 3, add \$850; Columbus Heating Co., Pittsburgh, Pa., flat price, \$8,800. Plumbing, J. W. Mathews Co., Fifteenth and Race streets, Philadelphia, \$4,300. Electric, Dauphin Brothers, Gloucester, N. J., \$790; No. 2, add \$75.

**Amusement Hall and Rest Rooms**, Lake Placid, N. J. Architect, Paul Livingstone Boyd, 6943 Limekiln Pike, Philadelphia, Pa. Owner, care of Herbert McCandless, 4710 York Road, Philadelphia, Pa. Frame, 1 story, amusement hall, 42x56 feet, rest rooms, 23 feet 9 inches x 37 feet, shingle roof, wood floors. Owner will take bids.

**Residence (alts. and add.)**, South Ocean avenue, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, J. Carey, 142 Ocean avenue, Atlantic City, N. J. Frame and brick, 3 stories, 30x50 feet, slag roof, pine floors, tile work, electric light. Plans in progress.

**School (add.)**, Somers Point, N. J. Architect, Charles H. Adams, Atlantic City, N. J. Owners, Somers Point School Board, care of architect. Brick, frame, steel, 2 stories and basement, 25x34 feet, slag roof, cement and pine floors, dampproofing (heating, electric work and plumbing reserved). Plans in progress.

**Printing Plant (alts. and add.)**, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden Courier, Camden, N. J. Brick, reinforced concrete, 2 stories, slag roof, hollow tile, elevators, safety treads, heating extension, electric light, rolled steel sash. Plans in progress.

**Store**, Front street, Trenton, N. J. Architects, Klemann & Kaplan, First National Bank Building, Trenton, N. J. Owner, Isaac Goldberg, Broad and Front streets, Trenton, N. J. Brick, steel, 4 stories, 60x90 feet, slag roof, hardwood floors, hollow tile, elevators, metal lath, tile and marble work, rolled steel sash and skylights, fire escapes, ornamental iron work, vapor heat, electric light. Plans in progress. Note architects.

**Pottery**, Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, Trenton Potteries, Clinton and Ott streets, Trenton, N. J. Steel, brick, 1 story, 48x48 feet, cement and tile roof, cement floors, electric light, rolled steel sash, fire doors. Plans in progress.

**Stores (2) and Apartment**, Eastfield and Edgewood avenues, Trenton. Architect, J. P. Fette, Forst Richey Building, Trenton, N. J. Owner, Charles M. McDermott, Forst Richey Building, Trenton, N. J. Frame and stucco, 2 stories, 30x40 feet. Plans in progress.

**Sunday School**, Maple and Center streets, Merchantville, N. J. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, First Presbyterian Church, Rev. Gordon M. Russell, Merchantville. Stone, 2 stories and basement, 70x100 feet. Plans in progress.

**County Building**, Woodbury, N. J. Architect, Charles R. Peddle, 136 South Fourth street, Philadelphia. Owners, Gloucester County, Woodbury, N. J., W. A. Lacy, chairman, Richwood, N. J. Limestone, brick, concrete, steel, 3 stories and basement, 97x117 feet, concrete and slag roof, concrete and ma-

ple floors, brick work, vapor or steam heat, electric light, tile and marble work. Ready for bids in ten days.

**Apartment**, Atlantic City, N. J. Architect, J. R. Ogden, 143 South South Carolina avenue, Atlantic City. Owner, name withheld. Semi-fireproof, 3 stories, 52x185 feet, slag roof, hardwood floors, steam heat, electric light, metal lath, tile and marble work. Architect taking sub-bids.

**Industrial School**, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. H. Young, secretary, Atlantic City. Brick, reinforced concrete, 3 stories, 43x125 feet, reinforced concrete roof, hardwood floors (heating, electric work, plumbing reserved), roof ventilators, rolled steel sash and skylights. Owners taking bids due May 21st.

**Elks' Home**, Atlantic City, N. J. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City. Owners, Elks' Home, Maryland and Pacific avenues, Atlantic City. Fireproof, concrete, brick and steel, 6 stories, 75x125 feet, copper and composition roof, cement, tile and hardwood floors, hollow tile, elevators, roof ventilators, waterproofing and damp-proofing, architectural terra cotta (heating, plumbing, electric reserved), metal lath, tile, marble and terrazzo, ornamental iron work. Architect taking bids due June 2nd.

**Store and Bungalow**, Trenton, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, Tollis Danney, Somerset avenue, Ewing Park, Trenton, N. J. Brick, frame, 2 stories, 26x24 feet, slate roof, pine floors, hot water heat, electric light. Owner taking bids.

**Store Front**, Broad and Front streets, Trenton, N. J. Architects, Klemann & Kaplan, First National Bank Building, Trenton. Owner, Isaac Goldberg, Broad and Front streets, Trenton, N. J. Copper work, plate glass, cast stone, travertine stone, tile and marble work, bronze work. Architects ready for bids in ten days.

**Battlement Wall on Roof of School**, Massachusetts Avenue School, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. H. Young, secretary, Atlantic City, N. J. Brick, terra cotta, 600 feet long. Owners taking bids due May 21st.

**Dormitory Building**, Trenton Junction, N. J. Architects, Arnold H. Moses, Camden, N. J., and Guilbert & Betelle, Newark, N. J. Owners, School for the Deaf, Trenton Junction, N. J. Architects taking bids due May 28th at 2.30 P. M. (daylight saving time). Certified check \$50 required.

**Concrete Streets**, Audubon, N. J. Borough engineer, J. J. Albertson, Court House, Camden, N. J. Owners, Borough of Audubon, care of J. N. Zanger, Director of Highways, Court House, Camden, N. J. Excavation, concrete, paving, curbing and gutters. Owners taking bids due May 20th at Commissioners' Chamber, School House No. 2, Wyoming and Mansion avenues, Audubon, N. J., 8.30 P. M. (daylight saving time). Deposit \$10.

**Sunday School Building**, Merchantville, N. J. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, First Presbyterian Church, Merchantville, N. J. Stone, 1 story, basement and gallery, 68x42 feet, wing 52x40 feet, composition roof, mineral and pine floors, plumbing, painting and glazing, bond, ornamental iron work, metal lath, tile work, steam heat, electric. Architect taking bids due May 20th.

**Camden County Tuberculosis Hospital**, Asyla, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Camden County Board of Chosen Freeholders, T. B. Kidner, Institutional Secretary, Camden, N. J. Low bidders: Sinclair & Griggs, Medi-

cal Arts Building, Philadelphia, \$1,012,000; Wark Co., 1600 Walnut street, Philadelphia, \$1,032,394. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$93,776. Heating and ventilating, Camden Heating Co., Camden, N. J., \$64,750. Electric, Eastern Elec. Co., 1936 South College avenue, Philadelphia, \$38,500. Concrete tunnel, J. Duncan Jacques, Woodbury, N. J., \$45,409.

## New Jersey Contracts Awarded

**Hotel (alts. and add.)**, Atlantic City, N. J., \$2,000,000. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Dennis Hotel, Atlantic City, N. J. Brick, cut stone, limestone and steel, 9 stories and 5 stories, 53x143 feet, 57x185 feet, slag, tile and slate roof, cement, oak and maple floors (elevators reserved), metal weather strip, shoring, waterproofing, bond, hollow metal doors, rolling steel skylights, tile and marble work, metal lath, steam heat, electric light. Contract awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Coal Trestle, Office Building and Garage**, Pleasantville, N. J. Architect, Samuel T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Atlantic City Railroad Co., Twelfth and Market streets, Philadelphia. Frame, brick, steel, 1 story, 20x9 feet, garage, 60x26 feet, trestle, 144 feet long, Barrett's Specification roof, cement and pine floors, painting and glazing, plumbing, bond, steam heat, electric light, concrete piers. Contract awarded Curtis Grindrod Co., 10 South Eighteenth street, Philadelphia.

**Residence**, Merchantville, N. J. Architect, H. N. Moffett, 533 Market street, Camden, N. J. Owner, Frank Hurley, Merchantville, N. J. Concrete block and stucco, 2½ stories, 26x32 feet, asbestos shingle roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to George C. Crewson, Merchantville, N. J.

**Display Room and Office**, St. Charles Place and Boardwalk, Atlantic City. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owners, International Business Machine Corp., care of architect. Plumbing, composition and tile floors, electric light, tile and marble work, electric fixtures, ornamental plaster. Contract awarded to P. G. Hannum, Georgia avenue and Thorofare, Atlantic City.

## Proposals

### Advertisement for Construction of Dormitory Building for the N. J. School for the Deaf, Trenton Junction, N. J.

Sealed proposals for furnishing labor and materials to construct a Dormitory Building for Boys as shown on the Plot Plan, on the grounds of the School for the Deaf, Trenton Junction, N. J., will be received and opened by the Architects at the State House, Trenton, N. J., Wednesday, May 28th, 1924, at 2.30 o'clock P. M. (Daylight Saving Time.)

Full information regarding the work to be done and the bids to be received can be obtained from the Architects.

Copies of the drawings and specifications are on file at the office of the Architects and a limited number of these copies will be loaned to prospective bidders upon deposit of a certified check to the order of the Architect for the sum of fifty dollars (\$50).

GUILBERT & BETELLE,  
ARNOLD H. MOSES,  
Associate Architects.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.

Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CORK FLOORING.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co..829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Well, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc..1844 N. Front St., Phila.

Concrete Waterproof Paint Co..829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

The Beckwith Co. ....2401 Chestnut St., Phila.

## HAULING CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS.

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ...19th and Washington Ave., Phila.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W. Co. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Well, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOLEUM.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Fellin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Ketcham, Howard.....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.

Roman Mosaic & Tile Co. ....435 Green St., Phila.

## MASTIC FLOORING.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## OIL BURNERS.

Oliver Oil-Gas Burner Co.Oliver Bldg., St. Louis, Mo.

## ORNAMENTAL IRON.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## PAINTS AND VARNISHES.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## PAVING BRICKS.

Ketcham, O. W. ....121 N. 18th St., Phila.

## PHOTOSTATS.

Weber, F., Co. ....125 S. 12th St., Phila.

## PLUMBING FIXTURES.

Fleck Bros. Co. ....44 N. 5th St., Phila.

## RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

The Beckwith Co. ....2401 Chestnut St., Phila.

## REFRIGERATORS.

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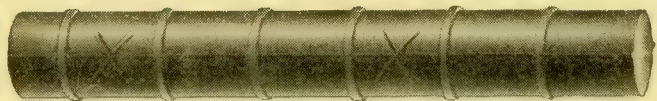
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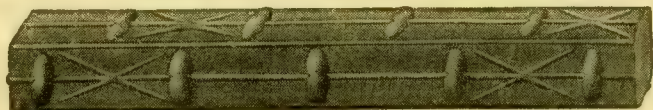
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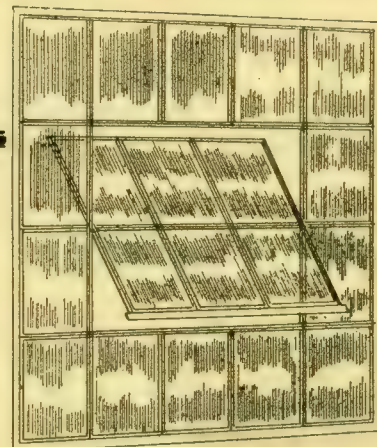
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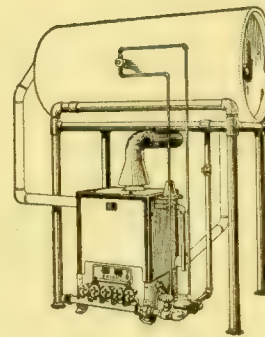
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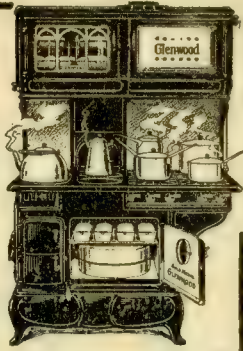


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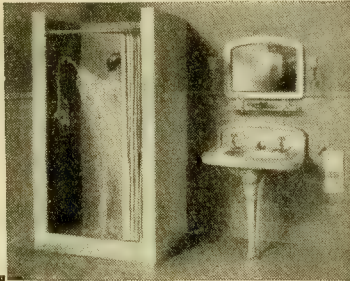


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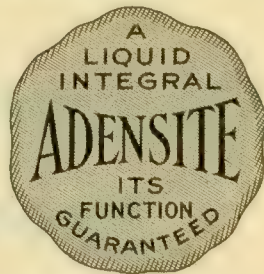
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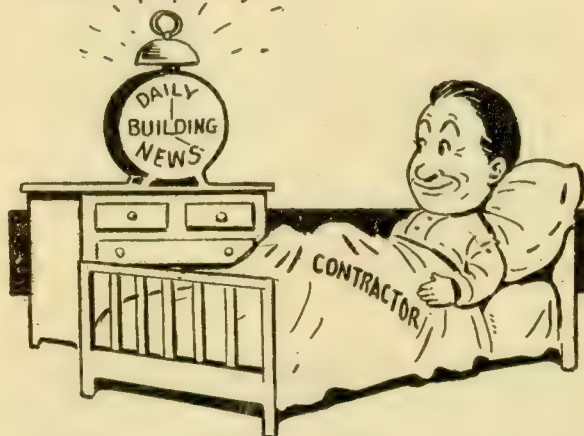
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 21

PHILADELPHIA  
May 21, 1924

## BUILDERS' GUIDE

OFFICES. PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Store**, Northwest Corner Broad and Locust streets, Philadelphia. Architect, H. E. Kennedy, 1324 Walnut street, Philadelphia. Owners, Middle City Realty Co., Louis Cahan, president, 1324 Walnut street. Brick, cut stone, steel, 2 stories, basement, 118x85 feet, slag roof, oak floors, hollow tile, shoring, ornamental iron work, tile and marble work, vapor heat, electric light, ornamental plastering. Architect taking bids.

**Residence (alts. and add.)**, 33 East Springfield avenue, Chestnut Hill. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owner, Alexander Paul Brown, on premises. Stucco, metal lath, 2½ stories, 14x15 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath, tile and marble work, bond, ornamental iron work. Architect taking bids due May 26th.

**Residences and Garages (12)**, East and West side B street, North of Loudon street, Philadelphia, \$6,500 each. Architect, private plans. Owner, N. Epstein, 915 Walnut street, Philadelphia. Brick, 2 stories, 15x31 feet, 12x10 feet, hot water heat, electric light, oak and pine floors. Owner will build.

**Residences and Garages (20)**, Loudon and B streets, Philadelphia, \$133,000. Architect, private plans. Owner, N. Epstein, 915 Walnut street, Philadelphia. Brick, 2 stories, 15x42 feet and 15x31 feet, 12x10 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Building Remodeling**, 1337-41 Arch street, Philadelphia. Architect, Willis Atwood Hall, Post Office Building, Sixty-ninth and Market streets, Philadelphia. Owner, George C. Bowkere, on premises. Composition floors, painting and glazing, carpentry and mill work, iron work, marble work, sheet metal work, tile and concrete work, lowering floors, underpinning and shoring, plastering, art glass, metal

ceilings, metal lath. Architect taking bids.

**Store and Apartments**, Kensington avenue and Clearfield street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, 2 stories, 16x115 feet, slag roof, hardwood and maple floors, demolition, metal lath, metal window guards, metal bulks, bond, store fixtures, hollow metal skylights, tile and marble work, electric light, hot water heat. Plans in progress.

**Garage, Store and Residence**, Boyer street, Philadelphia. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owner, name withheld. Brick and stone, 1 and 2 stories, 100x200 feet, slag roof, cement and hardwood floors, copper bars, wood trusses, plate glass, hollow metal skylights, rolling steel sash, electric light, steam heat. Plans in progress. Architect ready for bids in one week.

**Store (alts. and add.)**, Northwest Corner Twelfth and Poplar streets, Philadelphia, \$125,000. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, name withheld. Brick, 3 stories, 34x74 feet. Plans in progress.

**Store and Apartment (4)**, Northeast Corner Seventeenth and Columbia avenue, Philadelphia. Architects, Penwood Co., 131 North Fifteenth street, Philadelphia. Owner, D. W. Wittenberg, Holmes, Pa. Brick, 3 stories, 17x87 feet, slag roof, hardwood floors, plumbing, hot water heat, electric light. Plans in progress.

**Chapel and School**, Twenty-second and Clearfield street, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, Our Lady of the Eternal, Rev. Thomas J. Barra, D. D., Twenty-first and Toronto streets, Philadelphia. Plans in progress. Too early for details.

**Store and Apartments (alts. and add.)**, 4200

Chestnut street, Philadelphia, \$10,000. Architects, Savery & Scheetz, Stephen Girard Building, Philadelphia. Owner, Dr. L. M. Bryan, 4200 Chestnut street, Philadelphia. Brick, 3 stories. Plans in progress.

**Community Building**, North side Chestnut street, East of Sixty-third street, Philadelphia. Architect, not yet selected. Owners, West Philadelphia Jewish Community, Leon Draker, 6113 Carpenter street, vice-president and chairman of Building Committee. Competitive plans being received.

**Stores (4), Apartment (alts. and add.)**, 5305-07 Germantown avenue. Architect, William F. B. Koelle, Otis Building. Owner, Glyndon Priestman, 5450 Germantown avenue, Philadelphia. General remodeling. Plans in progress.

**Shriners' Hospital for Crippled Children**, Roosevelt Boulevard, Philadelphia. Architect, Philip Johnson, 1713 Sansom street, Philadelphia. Owners, Pennsylvania Mystic Shrine, W. F. Kendrick, 1337 Spring Garden street. Revised plans in progress.

**Garage**, West side of Memphis street, South of Cambria street, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, Morris Kaplan, care of architect. Brick, structural steel, concrete, 1 story, 131x120 feet, gypsum and slag roof, concrete floors, stone foundations, plumbing, plate glass, hardware, wood floors, hollow metal skylights, rolling steel sash, electric light, steam heat. Owner will build. Architect ready for sub-bids due at once.

**Twin Residence (13 pair)**, Mt. Airy, between Jefferson and Emlen streets. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owners, Hanken & Magen, 226 South Sixtieth street, Philadelphia. Brick, 2 stories, 16x42 feet, slag, slate and Spanish tile roof, hot water heat, electric light, metal

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**Store and Residence (1), Residences (19),** Nedro avenue, between Second and Third streets, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owners, Mulholland, Gottwald & Co., 34 South Sixty-second street, Philadelphia. Brick, 2 stories, 16x38 feet, slag, slate and tile roof, hardwood floors, metal lath, tile work, hot water heat, electric light, cement work. Owners ready for sub-bids.

**Store and Apartment (add. and alt.),** Northeast Corner Marshall and Green streets, \$5,000. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, Samuel Knee, 135 South Forty-ninth street, Philadelphia. Brick, 1 story, 3x20 feet, pine floors. Owner will build.

**Twin Residence,** Castor, Goodman Gardens, Philadelphia. Architect, private plans. Owners, Fisher & Scott, 4818 Marvine street, Philadelphia. Brick work, hot water heat, electric light, tile work, cement and mill work, stucco, plastering, painting and glazing, stone, plumbing, excavation. Owners taking sub-bids due at once.

**Garages (37),** Forty-fourth and Girard avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, G. W. Hansell, 4137 Girard avenue, Philadelphia. Brick, 1 story, 9x18 feet, slag roof, cement floors, steam, electric. Owner ready for sub-bids.

**Garage,** Wyoming and Belfield avenues, Philadelphia. Architect, E. A. Wilson, 1208 Chestnut street, Philadelphia. Owner, W. Gordon Applegate, Belfield above Broad street, Philadelphia. Brick, steel, concrete, 2 stories, 45x100 feet, slag roof, cement floors, roof ventilators, steam heat, electric light, hollow metal skylights, flush bulks, plate glass. Owner ready for general bids.

**Stores (3), Residences (2) (alts.),** Twelfth and Columbia avenue, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, M. Kenny, care of architect. Brick, 2 stories, 20x81 feet, composition and pine floors, electric light, metal work, cement work, plate glass, wrought iron work, galvanized iron work. Architect taking bids due in a week.

**Residences, Nos. 173-74-77-78,** Lincoln Drive and Emlen street, Philadelphia. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, Eugene Tourison, Jr., Bankers' Trust Building, Philadelphia. Stone, 2½ stories, 49x44 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work. Owner taking sub-bids due as soon as possible.

**Garage,** Evergreen avenue and Shawnee street, Chestnut Hill, Pa. Architect, W. K. Henkels, 106 West Highland avenue, Chestnut Hill. Owners, Chaitt Brothers, care of Wyneva Garage, 152 West Logan street, Philadelphia. Brick, steel, 1 story, 114x144 feet, slag roof, cement floors, hollow tile, ornamental iron work, galvanized iron skylights, rolling steel sash, metal lath, steam

heat, electric light. Owners taking bids due May 23rd.

**Bath Room (alts.),** 519 West Walnut street, Germantown, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Harry T. Saunders, 31 South Eighteenth street, Philadelphia. Carpentry and mill work, wire lath, tile work, plumbing, heating and electric alterations. Owner taking bids due as soon as possible.

**Residence (alts. and add.),** Twentieth and Walnut streets, Philadelphia. Architect, Arthur H. Brockie, 254 South Fifteenth street, Philadelphia. Owner, Miss Nina Lea, on premises. Brick and steel, 1 story, 62x22 feet, slate roof, oak and pine floors, plumbing, painting and glazing, metal lath, tile and marble work, ornamental iron work, leaded glass, metal casements. Architect taking bids due May 23rd.

**Track Enclosure,** Thirteenth and Glenwood avenue, Philadelphia. Architect, Louis Wirsching, Jr., 85 Ninth avenue, New York City. Owners, National Biscuit Co., on premises. Brick, steel, terra cotta trim, reinforced concrete, 1 story, 18x288 feet. Architect taking bids.

**Supplies,** Philadelphia. Owners, Superintendent of Light Houses, Post Office Building, Philadelphia. Furnish metal work, cast iron tower for Harbor of Refuge Light Station, Delaware. Owners taking bids due June 12th at 2 P. M. Information upon application.

**Storage Building (alts.),** East side Richmond street, North of Norris street, Philadelphia, \$15,000. Architect, private plans. Owners, William Cramp & Sons, on premises. General alterations. Owners will build.

**Residences (4),** 9505-07-09-11 Gibson avenue, Philadelphia, \$7,000 each. Architect, private plans. Owner, William Hoffman, 8440 Eastwick avenue, Philadelphia. Brick, 2 stories, 15x36 feet, hot air heat, electric light, hardwood and pine floors. Owner will build.

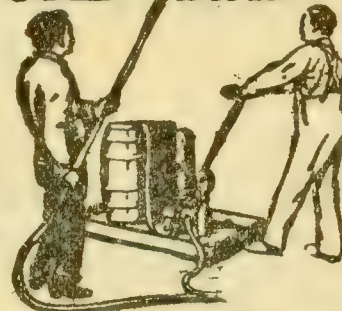
**Residences (10),** West side Greene street, North of Ellet, \$65,000. Architect, private plans. Owners, F. & T. Kiely, 5232 North Tenth street, Philadelphia. Brick, 2 stories, 16x45 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (4),** 1324-26-28 Levick street, Philadelphia, \$4,500 each. **Residences (2),** Martin's Mill Road, East of Montour street, \$6,000 each. Architect, private plans. Owner, William H. Fischer, 6370 Montour street, Philadelphia. Stone and frame, 2 stories, (4) 16x50 feet, (2) 30x30 feet, hot water heat, electric light. Owner will build.

**Apartment House,** 620 West Phil-Ellena street, Philadelphia, \$90,000. Architect, Roy G. Pratt, 508 Bailey Building, Philadelphia. Owners, Apartments Construction Co., 508 Bailey Building, Philadelphia. Brick, 4 stories, 87x39 feet, 70x17 feet, steam heat, electric light, slag roof, hardwood and pine floors. Owners will build.

**Residences (9) (add.),** 4832-34-38-40-44, 4839-45-47 Hoopes street, Philadelphia, total \$13,500. Architect, private plans. Owner, Adam C. Carey, 2049 South Twenty-second

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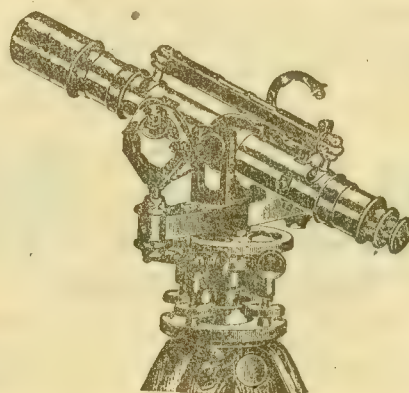
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street, Philadelphia. Brick, second story add., 11x14 feet. Owner will build.

**Garage, (add.),** 1234-36 West College avenue, Philadelphia, \$6,000. Architect, private plans. Owner, Dennis Mulvehill, on premises. Brick, 2 stories add., 48x64 feet. Owner will build.

**Garage and Auto Sales Room,** Northeast Corner Hunting Park and Luzerne street, \$6,000. Architect, private plans. Owner, Stephen Haas, Northeast Corner Eighteenth and Cayuga streets, Philadelphia. Brick, 1 story, irregular size, slag roof, cement floors. Owner will build.

**Apartment House,** Southeast Corner Fifty-first and City avenue, Philadelphia, \$300,000. Architects, Stetler & Deysher, Jefferson Building, Philadelphia. Owners, Independence Realty Co., Northwest Corner Ninth and Walnut streets. Brick, steel, 4 stories, 80x100 feet, slag roof, composition floors, elevators, kalamein doors, electric work, steam heat, tile and marble work. Owners will build.

**Residences (30),** North side Edna street, Ogontz avenue to Seventeenth street, Philadelphia, \$136,000. Owner, Charles H. Eckman, 1941 Church Lane, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Store (repairs),** 31 South Second street, Philadelphia, \$10,000. Architect, private plans. Owner, Max Berger, on premises. General fire repairs. Owner will build.

**Residences (10),** East side Felton street, North of Lansdowne avenue, \$6,000 each. Architect, private plans. Owners, Riddiough & Behan, 5213 Chestnut street, Philadelphia. Brick, 2 stories, 16x35 feet, 13x9 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2),** South side Princeton avenue, West of Marsden street, \$6,000 each. Architect, private plans. Owner, John G. Stevenson, 7014 Hegerman street, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Apartment (alts. and add.),** 789 North Preston street, Philadelphia, \$5,000. Architect, private plans. Owner, Samuel Millman, 5722 Delancy street, Philadelphia. Brick, 1 story add., 17x14 feet, 2 stories add., 17x4 feet, general alterations. Owner will build.

**Residences (31),** Leithgow street and Nedro

avenue, Philadelphia, \$141,500. Architect, private plans. Owner, Joseph Friedman, 4831 North Twelfth street, Philadelphia. Brick, 2 stories, (2) 18x43 feet, and (29) 16x32 feet, 13x10 feet, hot water heat, electric light. Owner will build.

**Residences (2),** East side Jackson street, North of Magee street, \$3,800 each. Architect, private plans. Owner, Fred Smith, 6715 Jackson street, Philadelphia. Brick, 2 stories, 16x38 feet, slag roof, hot water heat, electric light. Owner will build.

**Manufacturing Building,** East side Weecocoe street, South of Porter, \$40,000. Architect, private plans. Owners, Pennsylvania Salt Manufacturing Co., Widener Building, Philadelphia. Iron, 1 story, 94x198 feet, concrete work, corrugated iron roof. Owners will build.

**Residence,** West side Tacony street, North of Margaret street, \$5,000. Architect, private plans. Owner, Paul Polner, 2315 Orthodox street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hot water heating, electric lighting. Owner will build.

**Residences (48),** Wissahickon avenue, Clapier street and Copely Road, Philadelphia, \$490,000. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owners, Eugene Tourison, Jr., Cresheim Road and Hepburn street, Philadelphia. Brick, 2 stories, 18x17 feet, 20x27 feet and 20x32 feet, garages (10), 1 story, 10x19 feet, hot water heat, electric light, hardwood, pine and cement floors. Owner will build.

**Residences (10), Residence and Store (1),** Fifth and Shunk streets, \$53,500. Architect, private plans. Owner, Louis Weiner, 2529 South Fifth street, Philadelphia. Brick, 2 stories, (1) 16x49 feet, and (10) 15x32 feet, 10x10 feet, hot water heat, electric light. Owner will build. \$

**Residences (2),** East side Glenlock street, North of Magee street, \$4,000 each. Architect, private plans. Owner, O. H. Thompson, 6608 Marsden street, Philadelphia. Brick, 2 stories, 16x38 feet, slag roof, pipeless heaters, electric lighting. Owner will build.

**Residence,** East side Wilker street, South of Comly street, \$4,500. Architect, private plans. Owners, Lewis Deitrich, 3122 Comly street, Philadelphia. Brick, 2 stories, 20x40 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (2) (alts.),** 1804-06 Bainbridge street, \$3,000 total. Owners, Lewis Cohen, 700 South Seventeenth street, Philadelphia. General alterations. Owner will build.

**Residences (2),** South side Gibson avenue, West of Seventy-ninth street, \$3,500 each. Architect, private plans. Owner, John Yoskin, 5624 Larchwood avenue, Philadelphia. Brick, 2 stories, 16x41 feet, slag roof, hot air heat, electric light. Owner will build.

**Building (add.),** 133 Berkley street, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Moore Push Pin Co., on premises. Architects taking bids due May 27th.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Building,** 1020 Walnut street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, S. Jacobs & Son, 820 West Columbia avenue, Philadelphia. Brick, cut stone, steel, 2 stories and mezzanine and basement, 117x22 feet, slag roof (plumbing, heating, electric and elevators reserved), maple and cement floors, hollow tile, pointing and glazing, metal ceilings, shoring, ornamental iron work, ornamental plaster,

bond, kalamein doors, ornamental limestone, rolling steel sash, marble work, metal lath. Contract awarded Farrell Roth Cont. Co., 1615 Spruce street, Philadelphia.

**Residence,** 367 Pelham Road, Germantown, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, Charles W. McCue, Jr., Bullitt Building, Philadelphia. Stone, 2½ stories, 52x32 feet, slate roof, oak and pine floors, hot water heat, electric light,

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tile work, ornamental iron work. Contract awarded Eugene Tourison, Bankers' Trust Building, Philadelphia.

**New Store Building**, 1019-21-23 Arch street, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Elgin Realty Co., Eighth and Locust streets, Philadelphia. Brick, 2 stories, 167x75 feet, slag roof, pine floors, elevators, painting and glazing, metal ceilings, shoring, terra cotta, ornamental iron work, bond, tile work, metal lath, steam heat, electric light, automatic sprinkler system. Contract awarded S. Yellin, 3125 Montgomery avenue, Philadelphia.

**Store and Dwelling**, 1173 South Ninth street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, F. Rugeri, 1140 South Ninth street, Philadelphia. Tapestry brick, 3 stories, 15x16 feet, slag roof, pine floors, carpentry and mill work, cement work, plate glass, galvanized work, electric light. Contract awarded James Mereldi, 726 Morris street, Philadelphia.

**Alterations**, 1126 South Eleventh street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, V. Ingaglio, on premises. Brick, 1 story, irregular size, galvanized iron work, carpentry and mill work, slag roof, hardwood floors, hot water heat, electric light, marble work, ornamental iron work. Contract awarded Scurei & Macrame, 734 South Seventh street, Philadelphia.

**Apartment House**, Delancey and Bouvier streets, Philadelphia. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owner, George T. Sales, care of architect. Brick, steel, terra cotta, 4 stories, 39x80 feet, slag roof, hardwood floors, vapor heat, electric light, tile and marble work, Murphy beds, galvanized iron bays, kitchen equipment, fire tower, elevators reserved. Contract awarded Ketcham & McQuade, 1029 Brown street, Philadelphia. Ready to start work.

**Addition to Main Building**, Twenty-sixth and Christian streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, cut stone, steel, 3 and 4 stories, add. 35x25 feet, slag roof, cement floors. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia.

**Basement of Church (alts.)**, Fifteenth and Locust streets, Philadelphia. Architects, Bunting & Shingley, 603 Chestnut street, Philadelphia. Owners, Calvary Presbyterian Church, on premises. Brick, stone, cut stone, cement work, iron work, roof repairs, composition floors, carpentry and cabinet work, hardwood, plastering, painting, shoring,

plumbing. Contract awarded J. Myers Sons Co., Witherspoon Building, Philadelphia.

**Church**, Greene and Logan streets, Germantown, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Francis of Assissi, Rev. J. D. Nevin, on premises. Stone, cut stone, brick, steel, 1½ stories, 88x152 feet, slag and slate roof, cement, oak and cork floors, metal lath, marble work, bond, ornamental terra cotta, metal ceilings. Contract awarded D. W. O'Dea, 420 Duncannon street, Philadelphia.

**Residences (3)**, West side York Road, South of Bristol street, \$15,000 each. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, M. J. Reiser, 251 South Felton street, Philadelphia. Brick, 2 stories, 18x40 feet, 14x61 feet, oak and pine floors, electric light, hot water heat. Contract awarded to A. Sonnenfeld, 287 South Sixty-third street, Philadelphia.

**Residence**, West side Norwood avenue, North of Chestnut avenue, \$11,700. Architect, William Campbell, 1714 Chestnut street, Philadelphia. Owner, Miss Mary Hebard, Norwood avenue, Chestnut Hill, Pa. Stone and brick, 2 stories, 41x32 feet, 1 story, 10x6 feet, hardwood and pine floors, electric lighting. Contract awarded to I. A. Dunkelberger, 71 East Herman street, Philadelphia.

**Residences (4)**, South side Ellet street, East of Greene street, \$11,000 each. Architect, private plans. Owner, F. E. Walker, Greene and Cheltenham avenue, Philadelphia. Stone, 3 stories, 17x21 feet, 21x17 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to James Riley & Son, Forrest avenue, Mt. Airy, Philadelphia.

**Residence (alts.)**, 2031 Delancey street, Philadelphia. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owner, Mrs. J. Y. Brinton, on premises. Plastering, marble work, iron work, carpentry and mill work, painting and glazing. Contract awarded E. R. Hall, 34 South Seventeenth street, Philadelphia.

**Store and Apartment (alts.)**, 4032 Lancaster avenue, Philadelphia. Architects, Penwood Co., 131 North Fifteenth street, Philadelphia. Owner, Sam Goldberg, care of architect. Brick, 3 stories, general alterations. Contract awarded D. Rosenberg, 2510 South Eighth street, Philadelphia.

**Garage**, Seminole avenue, Chestnut Hill, Pa. Architect, private plans. Owner, Nathaniel Knowles, on premises. Stone, 1 story, 20x25 feet, slate roof, cement floors. Contract awarded William C. Wright, 22 East Harvey street, Philadelphia.

**Garage**, 314 North Hottter street, Philadelphia. Architect, private plans. Owner, W. J.

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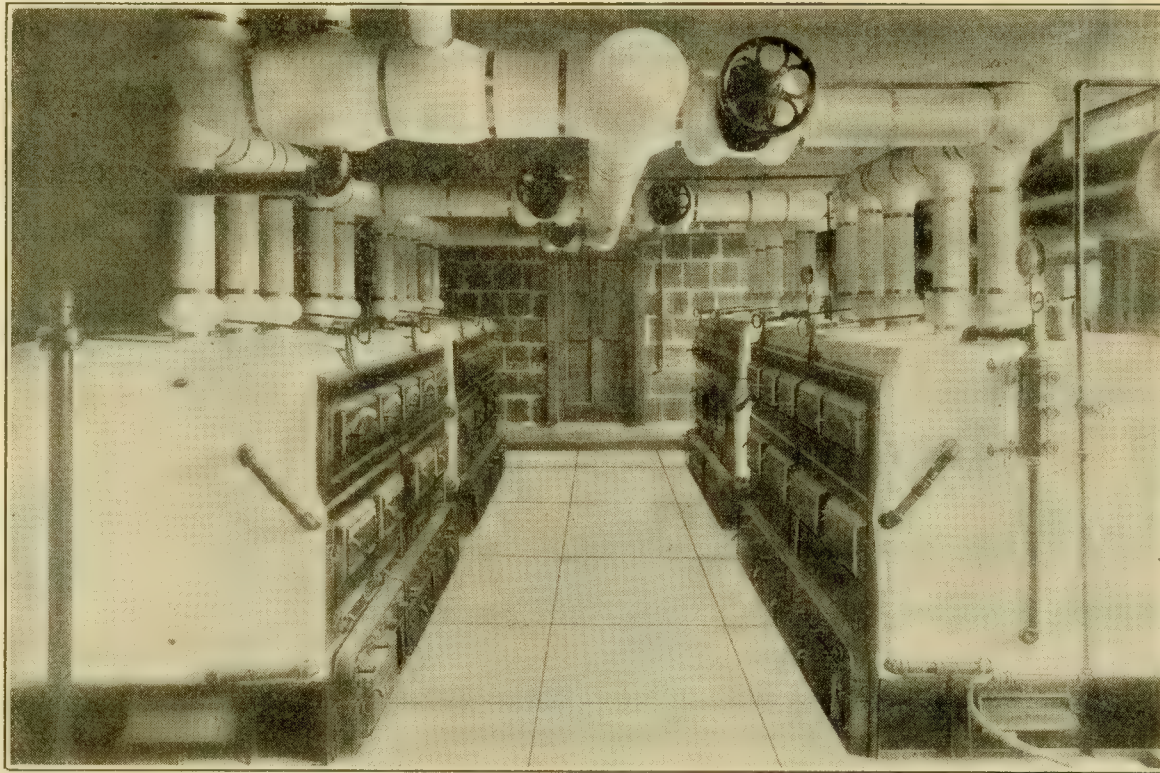
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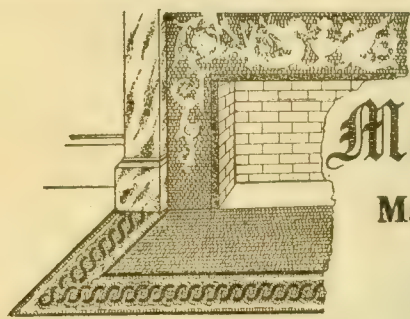
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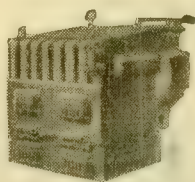
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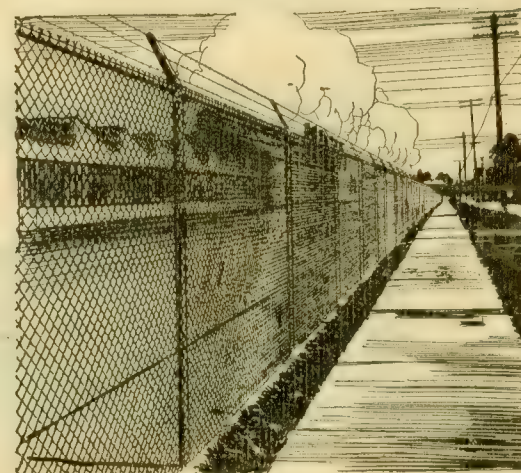
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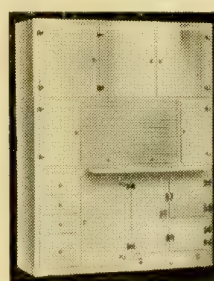
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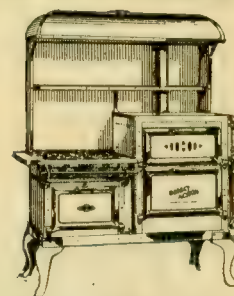
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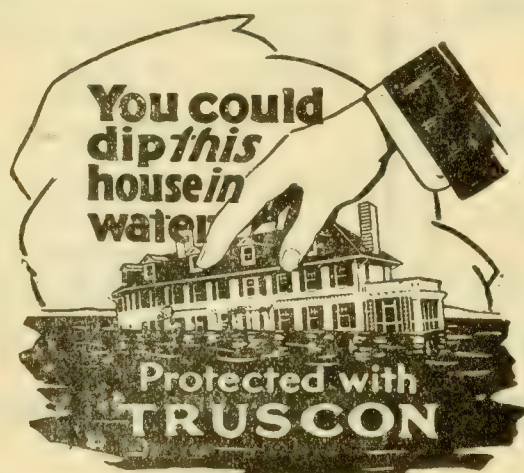
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Moore, on premises. Stone, 1 story, 10x25 feet, slate roof, cement floors. Contract awarded William C. Wright, 22 Harvey street, Philadelphia.

**Store and Residence (alts.),** Northeast Corner York and Patton streets, \$3,700. Architect, private plans. Owner, M. Zelesky, 2401 Patton street, Philadelphia. General alterations. Contract awarded to I. Manin, 2420 Douglass street, Philadelphia.

**Residences (2),** 8614-16 Tinicum avenue, Philadelphia, \$3,700 each. Architect, private plans. Owner, John T. Hayes, 1019 North Sixty-third street, Philadelphia. Brick, 1 story, 16x34 feet, slag roof. Contract awarded to Charles D. Ruth, Eighty-eighth and Eastwick avenue, Philadelphia.

**Garage,** 232-34 West Rittenhouse street, Philadelphia, \$3,500. Owners, J. H. & E. A. Alcorn, 234 West Rittenhouse street, Philadelphia. Brick, 1 story, 32x24 feet, 18x18 feet, cement floors, slag roof. Contract awarded to J. J. Thomas, Sellersville, Pa.

**Apartment (alts.),** 6939 Paschall avenue, Philadelphia, \$3,000. Owner, H. A. Barton, Pennsylvania Building, Room 1403, Philadelphia. General alterations. Contract awarded to D. F. Carlin, Garden Lake, N. J.

**Residence,** 8638 Erwig avenue, Philadelphia, \$4,500. Architect, private plans. Owner, David Dunston, 8637 Erwig avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hot air heat, electric light. Contract awarded to Robert West, 8222 Buist avenue, Philadelphia.

**Residence (alts. and add.),** 5224 Ludlow street, Philadelphia, \$4,500. Architect, private plans. Owner, J. Donovan, 132 South Fiftieth street, Philadelphia. Brick, 2 stories

add., 16x22 feet, general alterations. Contract awarded to J. H. Hutt, 5919 Spruce street, Philadelphia.

**Shop (add.),** 2311-13 Jasper street, Philadelphia, \$3,000. Architect, private plans. Owners, Born Printing Co., on premises. Brick, 1 story add., 26x26 feet, pine floors, slag roof. Contract awarded to Wintz Brothers, 1618 Sellers street, Philadelphia.

**Store and Residence (alts. and add.),** 801 North Thirty-ninth street, \$2,800. Architect, private plans. Owner, M. Weinstein, on premises. Brick, 2 stories add., 16x10 feet, general alterations. Contract awarded to H. Sharkowitz, 3933 Brown street, Philadelphia.

**Residence and Store (add.),** 5024 West Thompson street, \$2,500. Architect, private plans. Owner, A. Landadio, on premises. Brick, 2 stories add., 13x27 feet. Contract awarded to L. C. Hocker, 6024 Race street, Philadelphia.

**Store (alts.),** 904 Arch street, Philadelphia, \$2,000. Architect, private plans. Owner, Besie Klegman, 404 Roosevelt Boulevard, Philadelphia. General alterations. Contract awarded to Samuel Shechtman, 4643 North Tenth street, Philadelphia.

**Garage,** 4723 North Third street, Philadelphia, \$2,500. Architect, private plans. Owner, John Myers, on premises. Brick, 1 story add., 60x17 feet, slag roof, cement floors. Contract awarded to Jacob Hansen, Afton street, Fox Chase, Pa.

**Garage,** Northwest Corner Harrison and Darrah streets, Philadelphia, \$2,000. Architect, private plans. Owner, George Smith, 1638 Harrison street, Philadelphia. Brick, 1 story, 24x20 feet, slag roof, cement floors.

Contract awarded to Wintz Brothers, 1618 Sellers street, Philadelphia.

**Garage,** 907 Cross street, Philadelphia, \$2,000. Architect, private plans. Owner, T. Tricido, on premises. Brick, 1 story, 16x40 feet, slag roof, cement floors. Contract awarded to Joseph Carcillo, 1007 Winton street, Philadelphia.

**Workshop,** 1311-13 Cambridge street, Philadelphia, \$2,000. Architect, private plans. Owners, A. Dorfner & Son, 1324 Girard avenue, Philadelphia. Brick, 1 story, 28x42 feet. Contract awarded to Herman C. Guenzel, 408 Buttonwood street.

**Residence and Bakery (alts. and add.),** Northeast Corner Oxford and Cadwallader streets, Philadelphia, \$4,500. Architect, private plans. Owner, M. Noel, 236 Oxford street, Philadelphia. Brick, 1 story add., 7x10 feet, general alterations. Contract awarded to Birkenheuer & Tahrant, 1304 North Randolph street.

**Residence (alts. and add.),** 2332 North Ninth street, Philadelphia, \$4,000. Architect, private plans. Owners, Evangelical Church, on premises. Brick, 2 stories, 17x17 feet, general alterations. Contract awarded to Frank K. Stahl, 2711 North Park avenue, Philadelphia.

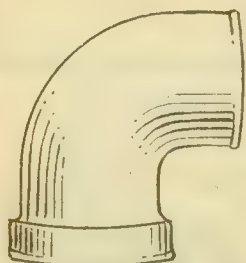
**Garages (2),** East side Frankford avenue, North of Westmoreland street, \$3,000 each. Architect, private plans. Owner, M. Magliorie, 3621 Helen street, Philadelphia. Brick, 1 story, 17x80 feet, slag roof, cement floors. Contract awarded to Jacob Hansen, Afton street, Fox Chase, Philadelphia.

**Residence,** North side Hoffnagle street, West of Ferndale avenue, \$4,000. Architect, private plans. Owner, John Gunkel, 112 East Cumberland street, Philadelphia. Frame, 1 story, 24x32 feet, hardwood and pine floors. Contract awarded to Alex. Base, 5518 Paschall avenue, Philadelphia.

**Store and Residence (add.),** 1305 Columbia avenue, \$2,500. Architect, private plans. Owner, Jacob Rosner, 1239 Columbia avenue, Philadelphia. Brick, third story add., 16x25 feet, 1 story, 5x6 feet. Contract awarded to Northeast Const. Co., 4433 Griscom street.

**Manufacturing Building (add.),** East side Penn street, North of Laurel street. Architect, private plans. Owners, Pennsylvania Sugar Co., 1037 North Delaware avenue,

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Philadelphia. Steel and brick, third story, 30x128 feet, fifth story, 30x56 feet. Contract awarded to O'Meara Const. Co., 228 South Warnock street, Philadelphia.

**Residences (2)**, North side Princeton avenue, West of Van Dyke street, total \$10,700. Architect, private plans. Owner, Theodore Widmaier, 7052 Van Dyke street, Philadelphia. Brick, 2 stories, 16x35 feet, hardwood and pine floors, electric work. Contract awarded to D. A. Pingitore, 1362 Unity street, Philadelphia.

**Shop (add.)**, Northwest Corner Sixty-first and Larchwood avenue, Philadelphia, \$7,000. Architect, private plans. Owners, A. F. Dry Cleaners and Dyers, on premises. Brick, 1 story add., 46x83 feet, 10 inches. Contract awarded to L. W. Zell, Cardington, Pa.

**Apartment (add.)**, 1712-14 North Twelfth street, Philadelphia, \$6,000. Architect, Peter Kuhn, 3058 North Eighth street, Philadelphia. Owner, Adam Berle, Northwest Corner Twelfth and Montgomery avenue, Philadelphia. Brick, 2 stories add., 32x32 feet, slag roof, hardwood and pine floors, electric lighting. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Residence (add.)**, Northeast Corner Carpenter and Sherman streets, \$4,500. Architect, W. W. Price, 119 South Fourth street, Philadelphia. Owner, Esther H. Jones, 440 East Walnut Lane, Philadelphia. Brick, 2 stories add., 14x14 feet. Contract awarded to William F. Roth, Jr., 4215 Pine street, Philadelphia.

**Store and Residence (alts. and add.)**, 1628-30 South Second street, \$7,200. Architect, private plans. Owner, A. Kawa, on premises. Brick, 2 stories, 14x14 feet, 1 story, 14x16 feet, slag roof, general alterations. Contract awarded to M. Singer, 430 Snyder avenue, Philadelphia.

**Store and Residence (alts. and add.)**, 4862

North Broad street, \$10,000. Architect, private plans. Owner, Henry Ryder, on premises. Brick, 1 story, 12x18 feet, general alterations, hot water heat, electric light, tile work, slag roof, pine floors. Contract awarded to E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Residence**, North side Lemonte street, East of Silverwood street, \$7,000. Architect, private plans. Owner, George H. Lane, Jr., 333 Cinnaminson Lane, Philadelphia. Brick, 2 stories, 20x33 feet, hot water heat, electric light. Contract awarded to Adam Wilkinson, 439 Harmon Road, Philadelphia.

**Garage**, Northeast Corner Haines and Baynton streets, Philadelphia, \$5,500. Architect, private plans. Owner, Walter Benditch, on premises. Brick, 1 story, 124x18 feet, slag roof, cement floors. Contract awarded to I. A. Dunkelberger, 71 Herman street, Philadelphia.

**Residence**, East side Dugan Road, North of Cottman street, \$5,000. Architect, private plans. Owner, Robert Young, 7311 Dugan Road, Philadelphia. Brick, 2 stories, 15x48 feet, shingle roof, hardwood floors, hot water heat, electric light. Contract awarded to Henry Kuhn, 1223 Cottman street, Philadelphia.

**Garage**, 4729 Hawthorne street, Philadelphia, \$2,800. Owner, James Funk, on premises. Brick, 1 story, 18x68 feet, slag roof, cement floors. Contract awarded to Edward Morrow, 4693 Castor Road, Philadelphia.

**Garage**, South side Glenwood avenue, West of Frankford avenue, \$5,000. Architect, private plans. Owner, Frank Cordenner, 2060 East Atlantic street, Philadelphia. Brick, 1 story, irregular shape, slag roof, cement floors.

Contract awarded to John Siegle, Jr., 4850 Roosevelt Boulevard.

**Residence (alts. and add.)**, Northwest Corner Ruth and Orleans streets, \$4,000. Architect, private plans. Owner, Joseph Katz, on premises. Brick, 2 stories, 14x8 feet, general alterations. Contract awarded to William Carr, 3550 Jasper street, Philadelphia.

**Office (alts.)**, Northeast Corner American and Lehigh avenue, \$9,000. Architect, private plans. Owners, North Brothers, on premises. General alterations, carpentry, mill work, painting, glazing, plastering. Contract awarded to William Steele & Sons Co., 219 North Broad street.

**Residences (alts. and add.)**, 4800 North Fifth street, Philadelphia, \$5,000. Architect, private plans. Owner, Dr. W. J. Walker, 3800 North Fifth street, Philadelphia. Brick, 2 stories, 22x20 feet, 1 story, 9x10 feet, general alterations. Contract awarded to Henry P. Schneider, 3713 Old York Road.

**Residences (19)**, Granite street, East of Cottage street, \$4,000 each. Architect, private plans. Owner, David Duffin, 5101 Roosevelt Boulevard, Philadelphia. Brick, 2 stories, 15x25 feet, 11x8 feet, slag roof, hot water heating, electric lighting. Contract awarded to Theodore G. Hoffman, 2091 Bridge street, Philadelphia.

**Alterations**, Fourth and Chestnut streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Fidelity Trust Co., 325 Walnut street, Philadelphia. Brick, marble work, painting and glazing, heating extension, pine floors, carpentry and mill work, plastering, electric light. Contract awarded Murphy Quigley Co., 1524 Sansom street, Philadelphia.

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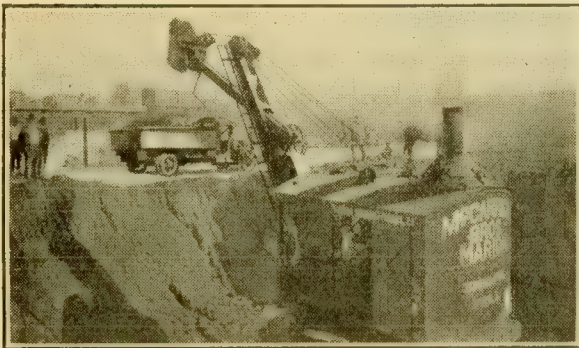
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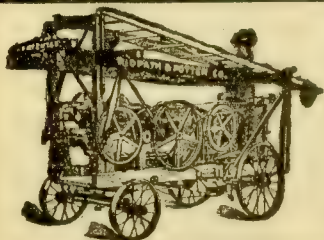


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**Church Building**, Windber, Somerset County, Pa., \$100,000. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, St. Mary's Greek Catholic Church, Windber, Pa. Preliminary plans in progress.

**Club House (add.)**, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owners, F. O. Eagles Club, care of architect. Brick, steel, 3 stories, 55x40 feet, slag roof, pine floors, roof ventilators, steam heat, electric light, skylights. Plans in progress.

**Store (alts. and add.)**, South Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owners, F. and W. Grand, care of P. H. Spear, 90 Broadway, New York. Brick, steel, 1 story and basement, 75x38 feet, slag roof, maple floors, elevators, cinder block, roof ventilators, metal ceilings, cast stone, plate glass, heating extension, electric light, metal lath, tile and terrazzo work, skylights, kalamein doors, store fixtures. Plans in progress. Owners will sublet.

**Store Front (add.)**, Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, Robert Long, 111 East Third street, Bethlehem, Pa. Brick, steel, 1 story, 28x40 feet, tile work, copper work, general alterations. Plans in progress.

**Store and Apartment**, South Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, Anton Sell, 215 East Third street, Bethlehem, Pa. Brick, steel, concrete, 2 stories, 30x40 feet, slag roof, hardwood floors, cinder block, copper work, metal ceilings, hot water heat, electric light, metal lath, marble work, skylights, ornamental iron work. Plans in progress.

**Residence**, Collegeville, Pa. Architect, J. S. Landes, Souderton, Pa. Owner, H. I. Miller, Collegeville, Pa. Brick, 2½ stories, 28x36 feet, asbestos shingle roof, mineral, hardwood and pine floors, vapor heat, electric light. Plans in progress.

**Residence**, Haverford, Pa. Architect, not yet selected. Owner, Robert E. Holden, 414 North Third street, Philadelphia. Work contemplated.

**Apartment (alts.)**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown. Owners, Klein Brothers, 223 North Sixth street, Allentown, Pa. Brick, 3 stories, 20x50 feet, built-up roof, hardwood floors, tile work, electric light, general alterations. Plans in progress.

**Gymnasium**, Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owners, First Methodist Episcopal Church, M. E. Kreider, 17 East Third street,

Bethlehem, Pa. Brick, steel, 1 story, 50x100 feet. Preliminary plans in progress.

**Undertaking Establishment (alts. and add.)**, Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owners, Laramy & Riegel, 16 Broad street, South Bethlehem, Pa. Brick, steel, concrete, 2 stories add., 16x26 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath. Revised plans in progress. Owners ready for bids.

**Bungalow**, Thirteenth and Amity streets, Reading, Pa. Architect, L. O. Lance, 108 North Fifth street, Reading, Pa. Owner, Daniel L. Rhoads, Reading, Pa. Brick, 35x55 feet, asbestos and slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Market House and Arcade**, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Broad and Main Streets Business Men's Association, care of architect. Brick, steel, 1 story, 100x100 feet, slag roof, concrete floors, hollow tile, roof ventilators, steam heat, electric light, metal lath, tile and marble work, steel sash, skylights, floor hardener. Plans in progress.

**Church and Sunday School**, Bellefonte, Pa. Architect, J. C. Winger, 1001 Market street, Williamsport, Pa. Owners, Evangelical Congregation, care of Rev. Reed O. Steeley, Bellefonte, Pa. Frame and stucco, 1 story and basement, 45x56 feet, 6 inches. Owners taking sub-bids.

**School (fire rebuilding)**, Blooming Glen, Pa., \$10,000. Architect, J. S. Landes, Souderton, Pa. Owners, Hilltown Township School Board, Adam T. Smith, Hatfield, Pa. Brick, 1 story, 35x38 feet, asbestos shingle roof, pine floors, hot air heat, electric light. Plans completed. Ready for bids in 10 days.

**Bank Building**, Lewistown, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owners, Mifflin County National Bank, Lewistown, Pa. Reinforced concrete, slab construction and cast marble, 1 story, basement and mezzanine, 28x100 feet, built-up roof, marble, rubber and cork floors, plastered travertine walls, bronze and glass screens, vaults, rolling steel sash, tile work, vapor heat, electric light. Plans in progress. Architect will be ready for bids about June 5th.

**Residence**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, Fred Eddinger, 1834 Hanover street, Allentown, Pa. Brick, stucco, 2½ stories, 26x50 feet, slate roof, pine floors, hot water heat, electric light, tile work. Plans in progress. Owner will take bids.

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**Garage**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, E. Schulman, Allentown, Pa. Brick, steel, concrete, 1 story, 60x60 feet, slag roof, concrete floors, steam heat, electric light, rolled steel sash. Owner ready for bids.

**Telephone Building**, Allentown, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 3 stories, 91x100 feet, slag roof, cement floors, steam heat, electric light, metal lath, tile work, hollow metal sash, waterproofing, bond, ornamental iron work. Architect taking bids due May 27th.

**Printing Plant, Office and Store Building**, Williamsport, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Smith Printing Co., Williamsport, Pa. Brick, cut stone, reinforced concrete, steel, 1 story and basement, 168x128 feet, wing 79x74 feet, slag roof, cement and maple floors, hollow tile, safety treads, shoring, ornamental terra cotta, ornamental iron work, floor hardener, fire and kalamein doors, rolling steel sash, tile work, metal lath, metal partitions. Architects taking bids due May 22nd at noon.

**Residence (alts.)**, Swarthmore, Pa. Architects, Bunting & Shingley, 603 Chestnut street, Philadelphia. Owner, J. Barnard Walton, Swarthmore, Pa. Hollow tile plastered, 2½ stories, 27x38 feet, slate roof (alts.), oak and pine floors, carpentry and mill work, painting and glazing, plumbing, plastering, tile work, hot water heat and electric light alterations. Architects taking bids due May 22nd.

**Hall**, Nazareth, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, Odd Fellows of Nazareth, care of Mr. Hartzell, Cramer Hosiery Mills, Nazareth, Pa. Brick, steel, 3 stories, 40x110 feet, slag roof, tile and hardwood floors, roof ventilators, cast stone, steam heat, electric light, metal lath, tile, marble and terrazzo work. Owners taking bids due May 26th.

**Grade School (alts. and add.)**, Topton, Pa. Architect, Calvin J. Young, R. A., A. I. A., 226 North Sixth street, Reading. Owners, Topton Borough School District, Topton, Pa. Brick, 2 stories add., 35x66 feet, 9 inches, Barrett Specification roof, yellow pine floors, roof ventilators, hot air heat and steam heat, electric light (heating, electric work and plumbing reserved). Owners taking bids due May 28th.

**Residence and Garage**, Cynwyd, Pa. Architect, Frank Seeburger, 1524 Chestnut street, Philadelphia. Owner, Florence J. DeLong. Stone, 2½ stories, 26x52 feet, shingle roof, hardwood floors, hot water heat, electric light. Architect taking bids due May 26th.

**Store and Apartment (alts. and add.)**, Norristown, Pa. Architect, H. G. McMurtrie, 1012 Walnut street, Philadelphia. Owner, Mrs. Rebecca Pagel, Norristown, Pa. Brick, 2 stories, 40x20 feet, tin roof, pine floors, plumbing, plate glass, tile and marble work, steam heat, lighting extensions. Owner taking bids due May 28th.

**Public School**, Newtown Square, Pa. Architects, R. Brognard Okie and Franklin D. Edmunds, 306 South Smedley street, Philadelphia. Owners, Board of School Directors, Newtown Square Township, Delaware County, Pa. Brick, stone, 2 stories, 89x66 feet, steel, slate roof, cement and maple floors, safety treads, painting and glazing, metal ceiling, waterproofing, ornamental iron work, bond, metal lath, tile work. Owners taking revised bids due May 24th.

**Church**, Hazleton, Pa. Architects, Peter B. Sheridan and P. H. Knoblock, Markle Bank Building, Hazleton, Pa. Stone, limestone, granite, steel, cut stone, brick, 1 story, 150x67

feet, slate roof, oak floors, metal lath, tile and marble work, rolling steel sash, kalamein doors, bond, ornamental iron work, dampproofing, bronze work, alternate brick instead of granite, cast stone for limestone. Architects taking bids due May 23rd.

**Residence (alts. and add.)**, Lower Merion Township, Pa. Architect, John Emlen Bullock, Middle City Building, Philadelphia. Owner, Myron L. Upham, on premises. Bond, stone, brick, iron work, carpentry and mill work, oak floors, shingle roof, painting and glazing, tile work, plastering, sheet metal work (plumbing, heating, electric, steel kitchen desser reserved). Architect taking bids.

**Show Room and Sales Station**, North and Cedar streets, Harrisburg, Pa. Engineer, H. J. Knopel, 2401 Spruce street, Philadelphia. Owners, Gomery Schwartz Motor Car Co., 140 North Broad street, Philadelphia. Brick, steel, 1 story, 170x87 feet, slag roof, cement floors, steam heat, electric light, metal lath, tile work, rolling steel sash, metal ceilings, painting and glazing. Engineer taking bids due as soon as possible.

## Pennsylvania Contracts Awarded

**Residence**, Haverford, Pa. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owner, Granville B. Hopkins, Haverford, Pa. Stone, 2½ stories, 91½x30 feet (heating, plumbing and electric reserved), shingle roof, oak and pine floors, painting and glazing, ornamental iron work, metal lath, bond, tile work. Contract awarded J. E. Kearney, Wynnewood, Pa.

**Residence**, No. 3, Haverford, Pa. Architect, C. S. Rabenold, 1524 Chestnut street, Philadelphia. Owner, name withheld. Stone, brick, 2½ stories, 47x28 feet, wing 21x25 feet, slate roof, oak and pine floors, painting and glazing (plumbing, heating and electric reserved) ornamental iron work. Contract awarded J. H. Kearney, Wynnewood, Pa.

**School Building**, Mt. Carmel, Pa. Architect, Paul Monaghan, 1713 Sansom street, Philadelphia. Owners, Our Mother of Consolation Parish, Rev. C. Tomaszewski, on premises. Reinforced concrete, brick, cut stone, steel, limestone, 3 stories and basement, 150x62 feet, slate roof, composition, cement and maple floors, plumbing, painting and glazing, metal window guards, waterproofing, ornamental iron work and iron stairs, metal lath, tile work, electric light (heating reserved). Contract awarded E. R. Bastress Co., Mt. Carmel, Pa.

**Garages (6)**, Cedar Road, Elkins Park, Pa.

Architect, Philip S. Tyre, 1505 Arch street, Philadelphia. Owner, W. B. McCullough, on premises. Stone block, 2½ stories, 62x22 feet, shingle roof, cement floors, hot water heat, electric light, ornamental iron work. Contract awarded Concrete Products & Const. Co., Commercial Trust Building, Philadelphia.

**Residence**, Rosemont, Pa. Architects, Price & Walton, 119 South Fourth street, Philadelphia. Owner, Thomas F. Brandon, care of architect. Hollow tile and stucco, 2½ stories, 36x40 feet, garage 16x20 feet, slate roof, composition, oak and pine floors, plumbing, tile work, hot water heat, ornamental iron work. Contract awarded Gray Brothers, Rosemont, Pa.

**Hall (gym)**, Shamokin, Pa. Architect, Paul Monaghan, 1713 Sansom street, Philadelphia. Owners, St. Edward's, Shamokin, Pa. Contract awarded East End Lumber Co., Shamokin, Pa.

**Apartments (2) (alts. and add.)**, 710 Church street, Reading, Pa. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owner, C. W. Kissinger, 709 North Fifth street, Reading, Pa. Plumbing, hot water heating, electric work, metal lath, partitions, fire escape, add., 30x60 feet. Contract awarded to A. A. Oxenreider, Gerry street, Oakbrook, Reading, Pa.

**Apartment (alts. and add.)**, 709 North Fifth street, Reading, Pa. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owner, C. W. Kissinger, 709 North Fifth street, Reading, Pa. General alterations and additions, electric work, oak floors, partitions,

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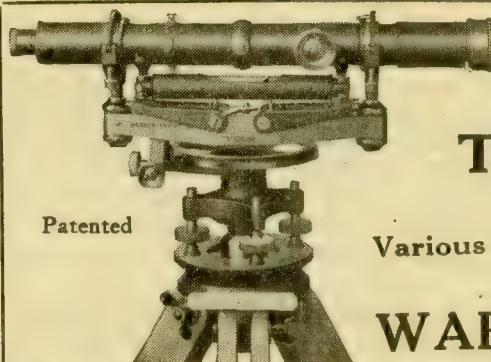
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fire escape. Contract awarded to A. A. Oxenreider, Gerry street, Oakbrook, Reading, Pa.

**Residence**, Fourteenth street, Easton, Pa., \$30,000. Architect, A. D. Chidsey, 341½ Northampton street, Easton, Pa. Owner, Morris Williams, Easton, Pa. Brick, frame, 2½ stories, 30x50 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to E. Labarre, Easton, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Westmoreland-Allegheny Counties, Route 187, Patton and Franklin Townships, 22,552 feet. One course reinforced concrete and hillside vitrified brick. \$301,368.47. Contract awarded to Jeffreys & Hart, Beaver, Pa.

Montgomery County, R-146, Trappe Borough, 5,963 feet. One course reinforced concrete. \$92,535.31. Contract awarded to McNichol Paving & Const. Co., 1923 Cherry street, Philadelphia.

Erie County, Route 304, Union and Wayne Townships and Union City Borough, 27,091 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$269,889.96. Contract awarded to Henry W. Horst Co., Rock Island, Ill.

Chester County, A-1557, East Bradford Township, 3,047 feet. One course reinforced concrete. \$22,996.81. Contract awarded to Juniata Co., Empire Building, Philadelphia.

Fayette County, A-563, Connellsville Township, \$48,058.09. Contract awarded to Michael Barber, Binghamton, N. Y.

## New Jersey Construction News

**Office**, Moorestown Pike, Merchantville, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Colwick Development Co., care of H. Staub, Center street, Merchantville, N. J. Concrete, stucco, 1 story, 20x30 feet, shingle roof, wood floors, electric lighting. Plans in progress.

**Residence (alts.)**, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden County Historical Society, Mr. C. J. Boyer, Camden, N. J. General interior alterations, oak floors, metal lath, copper work, plastering, painting. Plans in progress.

**Store and Apartment**, East Haddonfield, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, Mrs. L. B. Hepple, care of architects. Cinder block and stucco, 3 stories, 40x80 feet, slag and tile roof, pine floors, metal lath, vapor heat, electric light, tile work, ornamental iron work. Plans in progress.

**Church (alts.)**, Berlin, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owners, Centenary Methodist Episcopal Church, care of architect. Frame, cement block, steam heat, electric light, painting, general alterations. Plans in progress.

**Double Residence**, Collingswood, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Mrs. Thomas Moeller, care of architect. Frame, 2½ stories, 32x45 feet, asbestos shingle roof, pine floors, hot air heat, electric light. Plans in progress.

**Store (new front)**, 319 Broadway, Camden, N. J. Architects, Edwards & Green, Van Russ Building, Camden, N. J. Owner, H. Duckett, on premises. New front. Plans in progress.

**Residence**, Park Boulevard, Camden, N. J. Architects, Edwards & Green, Van Russ Building, Camden, N. J. Owner, name withheld. Brick, concrete block, stucco, 2½ stories. Plans in progress. Too early for details.

**Garage**, Norris and Everett streets, Camden, N. J. Architect, M. Capobianco, 731 Walnut street, Philadelphia. Owner, M. Gulienelli, care of architect. Brick, 1 story,

32x96 feet, 6 inches, slate roof, cement floors, electric light, iron work. Plans in progress.

**Residence (alts. and add.)**, River Road, Trenton, N. J. Architect, Walter Hankin, 224 East Hanover street, Trenton, N. J. Owner, Frank Buckley, care of architect. Frame, 2 stories, 41x30 feet, slate roof, pine and cement floors, hot water heat, electric light, tile work. Plans in progress.

**Grand Stand**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, Inter-State Fair Grounds, care of Fred Margerum, 234 Academy street, Trenton, N. J. Reinforced concrete, brick and steel, 300x60 feet, asbestos roof, concrete floors, electric light. Plans in progress.

**Power House (alts.)**, Princeton, N. J. Architects, Day & Klauder, 21 South Fifteenth street, Philadelphia. Owners, Princeton University, Princeton, N. J. Preliminary sketches being drawn.

**North Rosedale School**, Thirty-sixth and Cramer streets, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Board of Education, A. Austermuhl, secretary, Camden, N. J. Reinforced concrete, brick, cut stone, steel, fireproof, 3 stories, 160x82 feet, slag roof, concrete, pine and hardwood floors, safety treads, roof ventilators, metal ceilings, waterproofing and dampproofing, iron work, floor hardener, bond. Revised plans in progress.

**Camden County Tuberculosis Hospital**, Asyla, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Camden County Board of Freeholders, Camden, N. J. Electric bids rejected. Will take new bids on electric work.

**Residences (2) (alts. and add.)**, River Road, Trenton, N. J. Architect, Walter Hankin, 224 East Hanover street, Trenton, N. J. Owner, Frank Buckley, care of architect. Frame, 2 stories, 32x30 feet, slate roof, pine floors, hot water heat, electric light, tile work. Architect ready for bids.

**Hotel (add.)**, Lakewood, N. J. Architect, H. G. Aitken, American Mechanics' Building, Trenton, N. J. Owner, name withheld. Frame, 3 stories, 50x80 feet, slag roof, yellow pine floors, hollow tile, metal lath, tile work, kalamein doors, fire escapes, ornamental iron work, architectural terra cotta (heating, plumbing and electric work reserved). Architect ready for bids due May 30th.

**Residences (12)**, Hilltonia, Trenton, N. J. Architect, Walter Hankin, 224 East Hanover street, Trenton, N. J. Owner, S. Hilton, 224 East Hanover street, Trenton, N. J. Hollow tile, brick, frame, 2½ stories, various sizes, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Plans in progress. Owner will build.

**County Building**, Woodbury, N. J. Architect, Charles R. Peddle, 136 South Fourth street, Philadelphia, Pa. Owners, Board of Chosen Freeholders, Woodbury, N. J. Limestone, brick, reinforced concrete (plumbing, heating, electric and elevators separate bids), slag roof, reinforced concrete floors, elevators, bronze work, gypsum block, bond, tile, marble and terrazzo work, rolling steel sash (cell and jail work separate bids). Owners ready for bids June 12th. Plans and specifications may be obtained from architect's office. (Cell and jail work, electric, elevators, deposit \$25 each, refund \$25.) (General, heating, plumbing, deposit \$50 each, refund \$50.)

**Stores and Apartments (3) and Lodge**, Phillipsburg, N. J. Architect, E. H. Wenzelberger, 3 Center Square, Easton, Pa. Owners, P. O. S. of A., George Smith, Phillipsburg, N. J. Brick, 3 stories, 50x67 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Architect taking bids due June 2nd.

**Sewer Extension**, Westmont avenue, Haddon Township, N. J. Engineers, Remington & Vosbury, 509 Cooper street, Camden, N. J.

Owners, Township Committee, Richard Griffith, Haddon Township, N. J., Fire Hall, Center street, Westmont, N. J. Lowest bidders: R. R. Ternow, Pennbroke Road, Cynwyd, Pa.; New Jersey Const. Co., Camden, N. J.

**Distribution Mains and Sanitary Sewers Extensions**, Haddonfield, N. J. Engineers, Remington & Vosbury, 509 Cooper street, Camden, N. J. Owners, Board of Commissioners, Borough of Haddonfield, Allan Clymer, Borough Clerk, Borough Hall, Haddonfield, N. J. Lowest bidders: R. R. Ternow, Pennbroke Road, Cynwyd, Pa.; Bell Brothers, Haddonfield, N. J.

**Seaview Golf Club**, Absecon, N. J. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, Seaview Golf Club, Absecon, N. J. Brick, hollow tile and stucco, 3 stories, 113x46 feet, slate roof, pine floors, hollow tile, painting and glazing, ornamental iron work, tile and marble work, copper skylights, fire doors. Architect taking bids due May 27th at 2 P. M.

## New Jersey Contracts Awarded

**Camden County Tuberculosis Hospital**, Asyla, near Blackwood, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, Camden County Board of Chosen Freeholders, T. B. Kidner, institutional secretary, Camden, N. J. Brick, limestone, steel, cut stone, plumbing, heating, electric separate), slate and built-up roof, cement, linoleum, rubber stone, oak and pine floors, elevators, safety treads, painting and glazing, waterproofing, ornamental iron work and iron stairs, steel lockers, metal partitions, rolling steel sash, tile, marble and terrazzo work, metal lath. Main Hospital Building, 3 and 2 stories and basement, 382x38 feet, wings (5), 26x19 feet; Ambulant Pavilions, 1 story, 70x38 feet, 2 wings, 59x31 feet; Children's Hospital, 2 stories and basement, 203x57 feet, wing 89x29 feet, wing 50x22 feet; Shelter Pavilion, 1 story, 20x20 feet; Dining Hall, Kitchen and Service Building, 2 stories, 79x71 feet, wing 60x38 feet; Community and Vocational Building, 2 stories and basement, 96x94 feet, wing 42x58 feet; Nurses' Home, 60x24 feet, wing 30x38 feet, 2 stories; Garage and Transformer House, 1 story, 21x28 feet, 22x21 feet; Laundry Building, 1 story, 95x39 feet. Contracts awarded: Sinclair & Griggs, Medical Arts Building, Philadelphia, \$1,012,000. Plumbing, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$93,776. Heating and ventilating, Camden Heating Co., Camden, N. J., \$64,750. Concrete tunnel, H. Duncan Jacques, Woodbury, N. J., \$45,409.

**School**, Gloucester, N. J. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Board of Education, Gloucester City, N. J. Brick, cut stone, steel, 2 stories and basement, 150x61 feet, composition roof, maple floors, hollow tile, roof ventilators, dampproofing, ornamental iron work, kalamein doors, metal lath, electric light, steam heat. Contract awarded J. M. Yardley, 1716 Sansom street, Philadelphia, \$88,673. Heating and ventilating, American Heating & Ventilating Co., 200 North Fifteenth street, Philadelphia, \$8,574. Plumbing, J. W. Mathews Co., Fifteenth and Race streets, Philadelphia, \$4,300. Electric, Dauphin Brothers, Gloucester, N. J., \$790.

**Police Station**, Trenton, N. J., \$56,711. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, City of Trenton, George La Barre, Commissioner, City Hall, Trenton, N. J. Brick, steel, 3 stories, 60x120 feet, slag roof, hardwood floors, hollow tile, safety treads, roof ventilators, metal lath. Contract awarded to William C. Ehret, 13 West State street, Trenton, N. J.



## Delaware Construction News

**Residences (2)**, Wilmington, Del. Architects, Price & Walton, 119 South Fourth street, Philadelphia. Owners, Robert Tatnall and Robert Morris, Wilmington, Del. Concrete block and stucco, vapor heat, electric light, slate roof, pine floors. Revised plans in progress.

**Residences (10)**, Washington avenue, Wilmington, Del., \$6,000 each. Architect, private plans. Owners, Nutter & Green, 6 West Thirtieth street, Wilmington, Del. Brick, 2 stories, 21x30 feet, slag roof, pine floors, hot water heat, electric light. Owners will build.

**Residences (12)**, McCabe street, Wilmington, Del., \$7,000 each. Owner, C. W. Goodwin, Jr., 810 West Twenty-third street, Wilmington, Del. Brick, stone, 2½ stories, 16x36 feet, 20x32 feet, slate roof, hardwood floors, hot water heat, electric light. Owner will build.

**Store (alts.)**, Ninth and King streets, Wilmington, Del. Architect, C. R. Hope, Dupont Building, Wilmington, Del. Owners, Miller Brothers, on premises. Plate glass, hardwood floors, electric light, tile and marble work, bronze work. Contract awarded to Smyth Const. Co., 826 Orange street, Wilmington, Del.

**Residence**, Delaware avenue, Wilmington, Del., \$23,975. Architect, C. R. Hope, Dupont Building, Wilmington, Del. Owner, E. M. Vernon, Delaware avenue, Wilmington, Del. Brick, 2½ stories, 42x32 feet, slate roof, hardwood floors (heating reserved), electric lighting. Contract awarded to Smyth Const. Co., 826 Orange street, Wilmington.

## Miscellaneous Construction News

**Residence and Garage**, Port Deposit, Md. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Dr. Richards, Port Deposit, Md. Stone, 2½ stories, 30x53 feet, slate roof, hardwood floors, cement work, hot water heat, electric light, metal lath, tile work. Architect ready for sub-bids.

**Gwynn's Falls Park High School**, Hilton and Hoffman Lane, Baltimore, Md. Architects, Smith & May, Calvert Building, Baltimore, Md. Owners, Mayor and City Council, Baltimore, I. S. Field, president, School Board, Baltimore, Md. Brick, east stone, steel, granite, 3 stories and basement, 296x181 feet, slag roof, cement and maple, mastic floors, elevators, roof ventilators, metal window guards, metal ceilings, shoring, waterproofing and dampproofing, ornamental terra cotta, ornamental iron work and stairs, bond, kalamein doors, rolling steel sash and skylights, terrazzo work, metal lath, ornamental plaster (heating, plumbing, electric and ventilating reserved). Owners taking bids due May 28th.

**School (add.)**, Chesapeake City, Md. Architect, C. R. Hope, Dupont Building, Wilmington, Del. Owners, Cecil County School Board, H. Caldwell, secretary, Elkton, Md. Brick, 2 stories, 4 rooms, slag roof, pine floors, roof ventilators, iron stairs. All bids rejected. Revised plans in progress.

**School (add.)**, Northeast, Md. Architect, C. R. Hope, Dupont Building, Wilmington, Del. Owners, Cecil County School Board, H. Caldwell, secretary, Elkton, Md. Brick, 2 stories, 4 rooms, slag roof, pine floors, roof ventilators. All bids rejected. Revised plans in progress.

**School**, Tompkinsville, N. Y. Architects, Wilson, Eyre & McIlvaine, 1003 Spruce street, Philadelphia. Owners, Augustinian Preparatory Academy, on premises. Brick, cut stone and steel, 3 stories, 150x70 feet (plumbing,

heating, electric separate), slag roof, maple floors. Architect taking bids.

**Residence and Garage, Swimming Pool and Tennis Court**, Rome, N. Y. Architect, Harry Sternfeld, Otis Building, Philadelphia. Owner, F. M. Potter, Rome, N. Y. Brick, stone, steel, limestone, 2½ stories, 102x40 feet, 39x36 feet, garage 43x24 feet, swimming pool 56x37 feet, slate roof, oak, tile and cement floors, hollow tile, metal weather strip, sheet piling, shoring, bond, ornamental iron work, metal lath, electric lighting, travertine work, cold storage rooms, cork, insulation, painting and glazing, plumbing, vacuum cleaner system. Architect taking bids due May 26th.

## Proposals

**TREASURY DEPARTMENT**, Office of the Supervising Architect, Washington, D. C., May 15, 1924. Sealed Proposals will be opened in this office at 3 P. M., June 12, 1924, for the construction, including mechanical equipment, of a one-story concrete and brick non-fireproof Post Office Building, approximately 60 by 95 feet, at Dubois, Pa. Drawings and specifications may be obtained from the Custodian of the site at Dubois, Pa., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

**TREASURY DEPARTMENT**, Office of the Supervising Architect, Washington, D. C., May 12, 1924. Sealed Proposals will be opened in this office at 3 P. M., June 18, 1924, for the construction, including mechanical equipment, of a one-story brick and tile non-fireproof Post Office Building (approximately 88 by 55 feet) at Salisbury, Md. Drawings and specifications may be obtained from the Custodian of the site at Salisbury, Md., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

## PROPOSAL

### FOR COUNTY BUILDING

Pursuant to a resolution of the Board of Chosen Freeholders of Gloucester County, N. J., notice is hereby given that the Building Committee of the said Board of Chosen Freeholders will receive sealed proposals in the Freeholders' Room at the Court House in the City of Woodbury, Gloucester County, New Jersey, on the 12th day of June, 1924, at 10 A. M. (Eastern Standard Time) for the construction of a **STONE, BRICK AND REINFORCED CONCRETE COUNTY BUILDING**, located on Delaware St., in said city of Woodbury, N. J.

Said work shall be done and materials furnished in strict and entire conformity with the plans and specifications prepared by Charles R. Peddle, Architect, and now on file, with the Clerk of this Board, at his office, Merritt Block, Cooper Street, Woodbury, New Jersey.

A copy of said plans and specifications may be obtained from Charles R. Peddle, Architect, 136 South Fourth Street, Philadelphia, Pa., by making a deposit of \$50.00 on the same, to be returned when plans and specifications are returned.

A certified check, payable to the County of Gloucester, for two per centum of the amount of the bid must accompany each and every proposal, the same to be forfeited to the said County of Gloucester should the bidder be awarded the contract and fail to execute the said contract and approved bond as provided in the specifications.

Each bid shall also be accompanied with a certificate of the bidder showing that he or his sub-contractors owns or controls all the

necessary equipment for doing said work, and also a certificate from a surety company, authorized to do business in this State, stating that said surety company will provide the bidder with a bond in such sum as required by said specifications, should he be awarded the contract.

Every proposal, including the certified check and certificates heretofore referred to, shall be sealed, and the name of the bidder endorsed thereon, and shall be plainly marked "Bid for the Erection of County Building," and filed with the undersigned, or the Clerk of the Board of Chosen Freeholders, on or before the time heretofore stated, at which time the bids will be opened and publicly read.

The Board of Chosen Freeholders reserve the right to reject any and all bids and to waive any irregularities and to decide as to the responsibility of the bidder.

WM. A. LACEY,  
FRANK L. POTE,  
J. RUSSELL TREAT,  
Committee.

Dated Woodbury, N. J., May 14th, 1924.

### FOR CELL AND JAIL WORK

Pursuant to a resolution of the Board of Chosen Freeholders of Gloucester County, N. J., notice is hereby given that the Building Committee of the said Board of Chosen Freeholders will receive sealed proposals in the Freeholders' Room at the Court House in the City of Woodbury, Gloucester County, New Jersey, on the 12th day of June, 1924, at 10 A. M. (Eastern Standard Time), for the Complete Installation of **CELL AND JAIL WORK** in a Stone, Brick and Reinforced Concrete County Building located on Delaware Street in the said City of Woodbury, N. J.

Said work shall be done and materials furnished in strict and entire conformity with the plans and specifications prepared by Charles R. Peddle, Architect, and now on file, with the Clerk of this Board, at his office, Merritt Block, Cooper Street, Woodbury, New Jersey.

A copy of said plans and specifications may be obtained from Charles R. Peddle, Architect, 136 South Fourth Street, Philadelphia, Pa., by making a deposit of \$25.00 on the same, to be returned when plans and specifications are returned.

A certified check payable to the County of Gloucester, for ten per centum of the amount of the bid, must accompany each and every proposal, the same to be forfeited to the said County of Gloucester, should the bidder be awarded the contract and fail to execute the said contract and approved bond as provided in the specifications.

Each bid shall also be accompanied with a certificate of the bidder showing that he owns or controls all the necessary equipment for doing said work, and also a certificate from a surety company, authorized to do business in this State, stating that said surety company will provide the bidder with a bond in such sum as required by said specifications, should he be awarded the contract.

Every proposal, including the certified check and certificates heretofore referred to, shall be sealed, and the name of the bidder endorsed thereon and shall be plainly marked "Bid for the Complete Installation of Cell Work in County Building" and filed with the undersigned, or the Clerk of the Board of Chosen Freeholders, on or before the time heretofore stated, at which time the bids will be opened and publicly read.

The Board of Chosen Freeholders reserve the right to reject any and all bids and to waive any irregularities and to decide as to the responsibility of the bidder.

WM. A. LACEY,



FRANK L. POTE,  
J. RUSSELL TREAT,  
Committee.

Dated Woodbury, N. J., May 14th, 1924.

#### FOR HEATING

Pursuant to a resolution of the Board of Chosen Freeholders of Gloucester County, N. J., notice is hereby given that the Building Committee of the said Board of Chosen Freeholders will receive sealed proposals in the Freeholders' Room at the Court House in the City of Woodbury, Gloucester County, New Jersey, on the 12th day of June, 1924, at 10 A. M. (Eastern Standard Time), for the installation of a HEATING SYSTEM, to be installed in a Stone, Brick and Reinforced Concrete County Building located on Delaware Street in the said City of Woodbury, N. J.

Said work shall be done and materials furnished in strict and entire conformity with the plans and specifications prepared by Charles R. Peddle, Architect, and now on file, with the Clerk of this Board, at his office, Merritt Block, Cooper Street, Woodbury, New Jersey.

A copy of said plans and specifications may be obtained from Charles R. Peddle, Architect, 136 South Fourth Street, Philadelphia, Pa., by making a deposit of \$50.00 on the same, to be returned when plans and specifications are returned.

A certified check payable to the County of Gloucester, for ten per centum of the amount of the bid, must accompany each and every proposal, the same to be forfeited to the said County of Gloucester, should the bidder be awarded the contract and fail to execute the said contract and approved bond as provided in the specifications.

Each bid shall also be accompanied with a certificate of the bidder showing that he owns or controls all the necessary equipment for doing said work, and also a certificate from a surety company, authorized to do business in this State, stating that said surety company will provide the bidder with a bond in such sum as required by said specifications, should he be awarded the contract.

Every proposal, including the certified check and certificates heretofore referred to, shall be sealed, and the name of the bidder endorsed thereon and shall be plainly marked "Bid for the Installation of a Heating System in the County Building" and filed with the undersigned, or the Clerk of the Board of Chosen Freeholders, on or before the time heretofore stated, at which time the bids will be opened and publicly read.

The Board of Chosen Freeholders reserve the right to reject any and all bids and to waive any irregularities and to decide as to the responsibility of the bidder.

WM. A. LACEY,  
FRANK L. POTE,  
J. RUSSELL TREAT,  
Committee.

Dated Woodbury, N. J., May 14th, 1924.

#### FOR ELEVATOR

Pursuant to a resolution of the Board of Chosen Freeholders of Gloucester County, N. J., notice is hereby given that the Building Committee of the said Board of Chosen Freeholders will receive sealed proposals in the Freeholders' Room at the Court House in the City of Woodbury, Gloucester County, New Jersey, on the 12th day of June, 1924, at 10 A. M. (Eastern Standard Time), for the complete installation of an ELECTRIC ELEVATOR in a Stone, Brick and Reinforced Concrete County Building located on Delaware Street in the said City of Woodbury, N. J.

Said work shall be done and materials furnished in strict and entire conformity with

the plans and specifications prepared by Charles R. Peddle, Architect, and now on file, with the Clerk of this Board, at his office, Merritt Block, Cooper Street, Woodbury, New Jersey.

A copy of said plans and specifications may be obtained from Charles R. Peddle, Architect, 136 South Fourth Street, Philadelphia, Pa., by making a deposit of \$25.00 on the same, to be returned when plans and specifications are returned.

A certified check payable to the County of Gloucester, for 15 per centum of the amount of the bid, must accompany each and every proposal, the same to be forfeited to the said County of Gloucester, should the bidder be awarded the contract and fail to execute the said contract and approved bond as provided in the specifications.

Each bid shall also be accompanied with a certificate of the bidder showing that he owns or controls all the necessary equipment for doing said work, and also a certificate from a surety company, authorized to do business in this State, stating that said surety company will provide the bidder with a bond in such sum as required by said specifications, should he be awarded the contract.

Every proposal, including the certified check and certificates heretofore referred to, shall be sealed, and the name of the bidder endorsed thereon and shall be plainly marked "Bid for the Complete Installation of an Electric Elevator in County Building" and filed with the undersigned, or the Clerk of the Board of Chosen Freeholders, on or before the time heretofore stated, at which time the bids will be opened and publicly read.

The Board of Chosen Freeholders reserve the right to reject any and all bids and to waive any irregularities and to decide as to the responsibility of the bidder.

WM. A. LACEY,  
FRANK L. POTE,  
J. RUSSELL TREAT,  
Committee.

Dated Woodbury, N. J., May 14th, 1924.

#### FOR ELECTRIC WORK

Pursuant to a resolution of the Board of Chosen Freeholders of Gloucester County, N. J., notice is hereby given that the Building Committee of the said Board of Chosen Freeholders will receive sealed proposals in the Freeholders' Room at the Court House in the City of Woodbury, Gloucester County, New Jersey, on the 12th day of June, 1924, at 10 A. M. (Eastern Standard Time), for the installation of the ELECTRICAL WORK in a Stone, Brick and Reinforced Concrete County Building located on Delaware Street in the said City of Woodbury, N. J.

Said work shall be done and materials furnished in strict and entire conformity with the plans and specifications prepared by Charles R. Peddle, Architect, and now on file, with the Clerk of this Board, at his office, Merritt Block, Cooper Street, Woodbury, New Jersey.

A copy of said plans and specifications may be obtained from Charles E. Peddle, 136 South Fourth street, Philadelphia, Pa., by making a deposit of \$25.00 on the same, to be returned when plans and specifications are returned.

A certified check payable to the County of Gloucester, for ten per centum of the amount of the bid, must accompany each and every proposal, the same to be forfeited to the said County of Gloucester, should the bidder be awarded the contract and fail to execute the said contract and approved bond as provided in the specifications.

Each bid shall also be accompanied with a certificate of the bidder showing that he owns or controls all the necessary equipment for doing said work, and also a certificate

from a surety company, authorized to do business in this State, stating that said surety company will provide the bidder with a bond in such sum as required by said specifications, should he be awarded the contract.

Every proposal, including the certified check and certificates heretofore referred to, shall be sealed, and the name of the bidder endorsed thereon and shall be plainly marked "Bid for the Installation of the Electrical Equipment in the County Building," and filed with the undersigned, or the Clerk of the Board of Chosen Freeholders, on or before the time heretofore stated, at which time the bids will be opened and publicly read.

The Board of Chosen Freeholders reserve the right to reject any and all bids and to waive any irregularities and to decide as to the responsibility of the bidder.

WM. A. LACEY,  
FRANK L. POTE,  
J. RUSSELL TREAT,  
Committee.

Dated Woodbury, N. J., May 14th, 1924.

#### FOR PLUMBING

Pursuant to a resolution of the Board of Chosen Freeholders of Gloucester County, N. J., notice is hereby given that the Building Committee of the said Board of Chosen Freeholders will receive sealed proposals in the Freeholders' Room at the Court House in the City of Woodbury, Gloucester County, New Jersey, on the 12th day of June, 1924, at 10 A. M. (Eastern Standard Time), for the installation of the PLUMBING WORK in a Stone, Brick and Reinforced Concrete County Building located on Delaware Street in the said City of Woodbury, N. J.

Said work shall be done and materials furnished in strict and entire conformity with the plans and specifications prepared by Charles R. Peddle, Architect, and now on file, with the Clerk of this Board, at his office, Merritt Block, Cooper Street, Woodbury, New Jersey.

A copy of said plans and specifications may be obtained from Charles R. Peddle, Architect, 136 South Fourth Street, Philadelphia, Pa., by making a deposit of \$50.00 on the same, to be returned when plans and specifications are returned.

A certified check payable to the County of Gloucester, for ten per centum of the amount of the bid, must accompany each and every proposal, the same to be forfeited to the said County of Gloucester, should the bidder be awarded the contract and fail to execute the said contract and approved bond as provided in the specifications.

Each bid shall also be accompanied with a certificate of the bidder showing that he owns or controls all the necessary equipment for doing said work, and also a certificate from a surety company, authorized to do business in this State, stating that said surety company will provide the bidder with a bond in such sum as required by said specifications, should he be awarded the contract.

Every proposal, including the certified check and certificates heretofore referred to, shall be sealed, and the name of the bidder endorsed thereon and shall be plainly marked "Bid for the Installation of the Plumbing Equipment in the County Building," and filed with the undersigned, or the Clerk of the Board of Chosen Freeholders, on or before the time heretofore stated, at which time the bids will be opened and publicly read.

The Board of Chosen Freeholders reserve the right to reject any and all bids and to waive any irregularities and to decide as to the responsibility of the bidder.

WM. A. LACEY,  
FRANK L. POTE,  
J. RUSSELL TREAT,  
Committee.

Dated Woodbury, N. J., May 14th, 1924.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.

Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

Lee T. Ward Co. ....617 Filbert St., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co..829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

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Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

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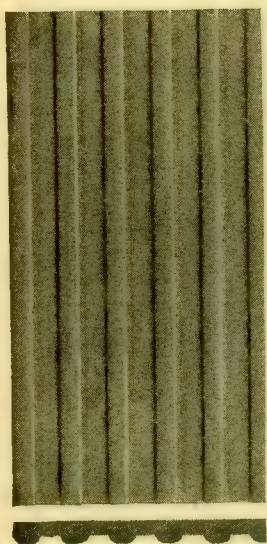
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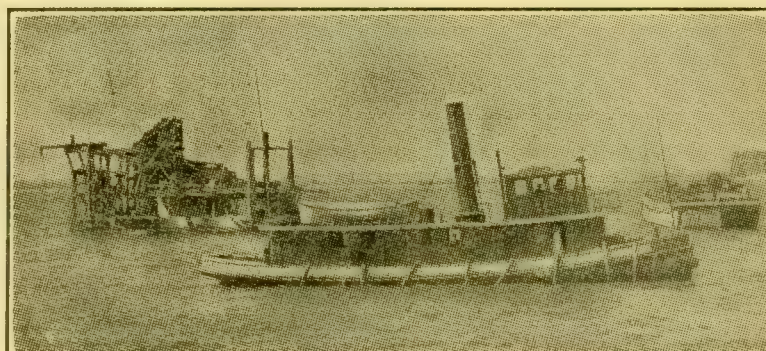
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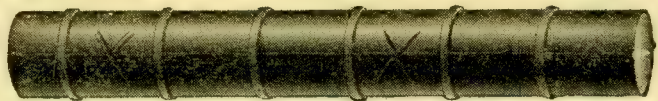
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Vol. XXXIX, No. 22  
May 28, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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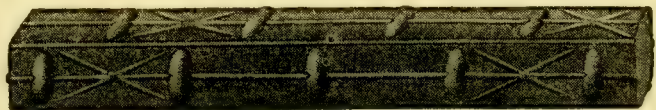
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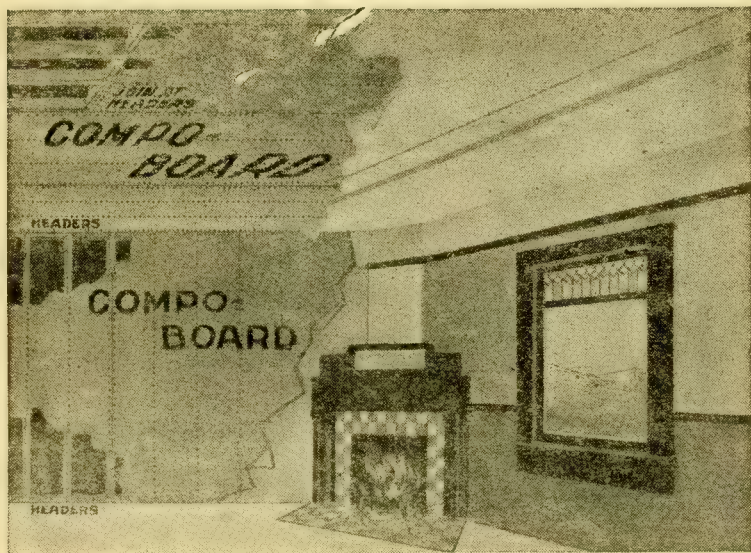
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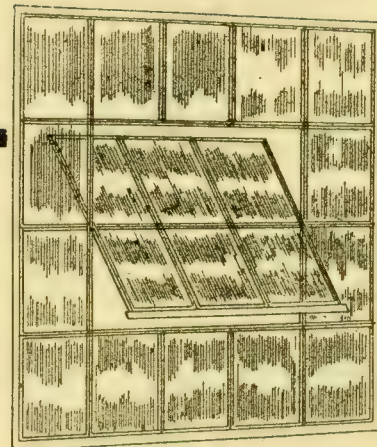
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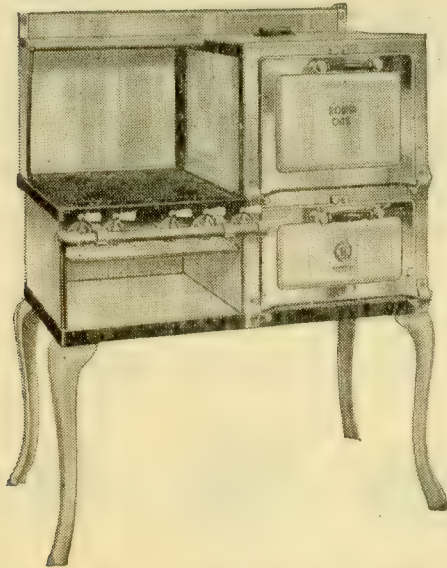
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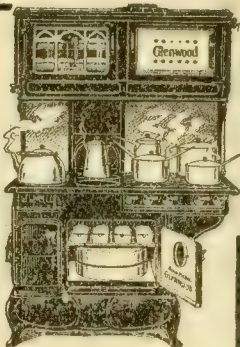


Gold Medal Glenwood Combination  
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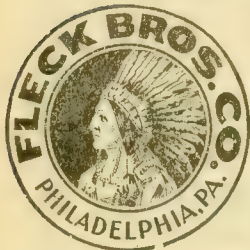
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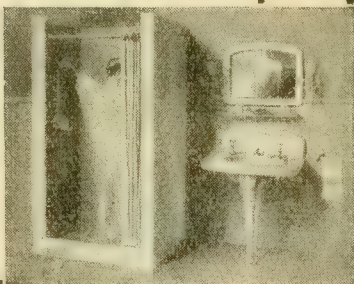
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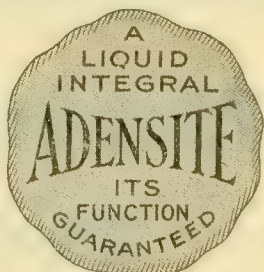
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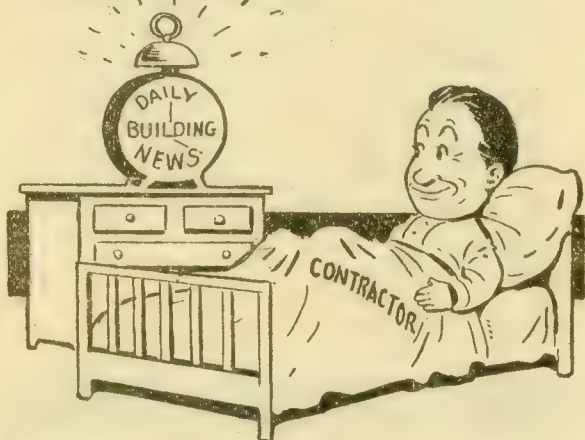
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 22

PHILADELPHIA  
May 28, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residence (alt. and add. to Store and Apartment),** Northeast Corner Twenty-first and Green streets. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owners, Frank & Shulman, 1526 South Sixth street, Philadelphia. General alterations and additions, hot water heat, electric light, tile and marble work, structural iron work, plate glass, copper bars, slag roof, hardwood floors. Plans in progress.

**Alterations Building,** 27 Merion avenue, West Philadelphia. Architect, W. H. Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad Company, Broad Street Station, Philadelphia. Brick work, hardware, slate work, plumbing, sheet metal work, plastering. Architect taking bids due May 29th. Fred A. Havens, 845 North Nineteenth street, Philadelphia.

**School,** Ninth and Pierce streets, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Nicholas of Tolentino, Rev. A. Baldassarre, on premises. Plans in progress. Too early for details.

**Miscellaneous Work,** Philadelphia. Owners, School District of Philadelphia, Nineteenth above Chestnut street, Philadelphia. South Philadelphia High School, oil burning equipment. Portable school buildings. Various schools, sanitary improvements and general alterations, including heating, plumbing and electric, painting inside and out, new floors, new water mains and fire hose, new flag poles, etc. Owners taking bids due June 5th at 12 M.

**Grading, etc.,** Philadelphia. Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Owners taking bids due June 2nd, 11 A. M. (Standard Time). Grading, asphalt paving, crushed slag, pipe iron, wagon lumber, poles and axles.

**Purchasing Agent** (Philadelphia), E. J. Laferty, 312 City Hall. Bids due June 2nd, 11 A. M. (Standard Time) for sulphate of alumina.

**Paving.** Owners, Commission of Upper Darby Township, A. F. Damon, Jr., Chief of Public Works Bureau, Municipal Building, Upper Darby, Pa. Construction of one course reinforced concrete pavement, approximately 81,000 square yards. Address all bids to Samuel R. Rudolph, secretary, Upper Darby, Pa. Certified check of \$500 must accompany each bid.

**Chapel,** Northeast Corner Sanger and Roosevelt Boulevard, Philadelphia. Owners, St. Martin of Tour, Rev. J. J. McHugh, 5012 Roosevelt Boulevard. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Stone, cut cast stone, brick, granite, 1 story and basement, 101x60 feet, slag roof, pine floors, plumbing, metal ceilings, waterproofing, bond, rolling steel sash, tile and marble work, vapor heat, electric light (alternate for oil burning heating). Architect taking bids.

**Alterations and Addition,** 2301 North Fifty-second street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, A. Pleet, 1835 Diamond street, Philadelphia. Brick, stucco, 2 stories, 18x16 feet, slag and tin roof, oak floors, hollow tile, painting and glazing, metal weather strip, ornamental iron work, plastering, ornamental plaster, bond, tile and marble work, hot water heat, electric light. Architect taking bids due June 2nd, 3 P. M.

**Store and Office Building,** 702 Sansom street, Philadelphia. Architect and engineer, M. M. Boonin, Northeast Corner Eighth and Porter streets, Philadelphia. Owner, J. Rubin, care of engineer. Brick, steel, lumber, 3 stories, 18x94 feet, 6 inches (electric fixtures reserved), gas radiation heat, electric

light, metal lath on steel work, quarry tile and base, wood and metal sash, metal skylights, metal and flush bulks, demolition, metal ceilings, slag roof, pine floors, concrete under floors, dampproofing. Engineer taking bids due as soon as possible.

**Apartment House,** Bryn Mawr avenue and Wynnefield, Philadelphia. Architect, Guy B. Johnson, 5413 Media street, Philadelphia. Owner, name withheld. Plans in progress.

**Building (alts.) to Bank,** 22 South Fifteenth street, Philadelphia. Architect, Frank E. Hahn, 1612 Chestnut street, Philadelphia. Owners, Peoples' Bank & Trust Co., Twelfth and Arch streets, Philadelphia. Plans in progress.

**Office Building,** East Johnson street and Reading Railroad, Philadelphia. Architect, private plans. Owner, Otto J. Fuchs, 1625 West Thompson street, Philadelphia. Preliminary plans in progress. Too early for details.

**Service Station,** Northeast Corner Stenton avenue and Haines street, Philadelphia. Architect, private plans. Owners, Gulf Refining Co., Widener Building, Philadelphia. Brick, 60x100 feet, electric light, cement work, tile work. Plans in progress.

**Office Building,** Broad and Arch streets, Philadelphia. Architects, Dennison & Hiron, 288 Lexington avenue, New York City. Owners, Liberty Title & Trust Co., J. N. Frost, Jr., president, on premises. 18 stories, details undecided. Ready for bids in a month.

**Community Center,** Oregon avenue and Randolph street, Philadelphia. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, Mizpah Community Center, on premises. Stone, brick, concrete, cast stone, steel, slate roof, composition floors and cement floors, painting and glazing, ornamental iron work, kalamein doors, tile

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work, steam heat, electric light. Revised plans in progress.

**Bachelor Apartment (alts. and add.),** Twenty-third and Delancey streets, Philadelphia. Architect, John Charles Norton, Ardmore, Pa. Owner, Hugh Thompson, Twenty-third and Walnut streets, Philadelphia. Brick, steel and concrete, 3 stories, slag roof, fire wall, kalamein doors. Plans in progress. Ready for general bids in two weeks.

**Residences (18),** South side of Susquehanna avenue, between Fifty-second and Fifty-third streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, W. Earl Yonkers, 722 South Fifty-first street, Philadelphia. Brick, stone, stucco, 3 stories, 16 feet, 4 inches x 54 feet, slag, slate and tin roof, hardwood floors, cement work, hot water heat, electric light, tile, marble work, metal lath. Owner ready for sub-bids.

**Coal Office, Garage and Trestle,** Sedgwick and Cresheim Road, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, M. B. Shubin, Second and Ashdale avenue, Philadelphia. Stone, 1 story, 16x30 feet, 24x50 feet, trestle 135 feet long, reinforced concrete piers, steel beams, slag and slate roof, composition and cement floors, electric light, steam heat. Owner will build.

**Office Building,** 2108 Sansom street, Philadelphia. Architect, private plans. Owners, Roberts & Roller, 1904 Sansom street, Philadelphia. Brick, cut stone, steel, 2 stories, 20x60 feet, slag roof, oak floors, steam heat, electric light, metal lath, tile work, metal casement sash, ornamental iron work. Ready for bids in two weeks.

**Residence (alts. and add.) to Apartments,** 4011 Chestnut street, Philadelphia. Architect, private plans. Owner, Dr. J. D. Brittingham, on premises. Brick, 3 stories, hot water heat, electric light, carpentry and mill work, painting and glazing, plastering, plumbing, general alterations. Owner ready for general bids.

**Factory (alts. and add.),** Westmoreland, East of Twenty-fifth street, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Rosenau Brothers, Inc., on premises. Brick, cast stone, steel, 1 story and basement, 200x70 feet, slag roof, maple floors, painting and glazing, metal window guards, dampproofing, ornamental iron work, bond, fire and rolling steel doors, rolling steel sash and skylights, metal lath (plumbing, heating and electric reserved). Architect taking bids due June 2nd at noon.

**Building,** Twenty-second and Passyunk avenue, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Estate of Stephen Girard, Lafayette Building, Philadelphia. Brick, cut stone, steel, 1 story and basement, 149x50 feet, slag roof, cement floors, painting and glazing, plumbing, waterproofing, bond, marble work, metal lath, steam heat, electric light. Architect taking bids due June 2nd.

**Residence (alts.),** 2214 St. James street, Philadelphia. Architect, Mantle Fielding, 520 Walnut street, Philadelphia. Owner, Mrs. Henry S. Jeanes, on premises. Brick, steel, copper roof, oak floors, plastering, plumbing, hardware, electric lighting, ornamental iron work. Architect taking bids due May 29th.

**Stores and Office Building,** Broad and Nedro streets, Philadelphia. Architects, McLanahan & Bencker, Bellvue Court Building, Philadelphia. Owner, Herbert Hope, 5904 North Broad street, Philadelphia. Brick, stone, cut stone, steel, granite, 2 stories and basement, 77x30 feet, Barrett Specification roof, cement and pine floors, painting and glazing, plumbing, shoring and waterproofing, bond, ornamental iron work, hollow metal sash, tile, marble and terrazzo work, metal

lath, electric light. Architects taking bids due May 31st.

**Moving Picture Theatre and Stores,** Fifth and Olney avenue, Philadelphia. Architects, Hodgens & Hill, 130 South Fifteenth street, Philadelphia. Owners, Olney Avenue Theatre, on premises. Brick and steel, 1 story and 2 stories, 112x216 feet, Johns Manville asphalt roof, cement and oak floors, hollow tile, roof ventilators, plumbing, shoring, waterproofing, architectural terra cotta, ornamental iron work, iron stairs, bond, tin clad and kalamein doors, rolling steel sash, tile, marble and terrazzo work, metal lath, steam heat. Architects taking bids due May 29th.

**Alterations to Present Catholic High School,** Northwest Corner Forty-ninth and Chestnut streets. Architects, Hoffman-Henon, Finance Building, Philadelphia. New stairway, mill work, painting, plastering, electric work, iron work, cement work. Architects taking bids due as soon as possible.

**Alteration and Addition,** 1849 Germantown avenue, Philadelphia. Architect, Herman Kline, Bulletin Building, Philadelphia. Owner, Mr. McBride, on premises. Stone work, carpentry and mill work, cement work, brick work, iron work, plastering, electric work, painting and glazing, plastering, metal ceiling, hardware. Architect taking bids.

**Garage,** Wyoming and Belfield avenue, Philadelphia. Architect, E. A. Wilson, 1208 Chestnut street, Philadelphia. Owner, W. Gordon Applegate, Belfield above Broad street, Philadelphia. Brick, steel, concrete, 2 stories, 45x100 feet, slag roof, cement floors, roof ventilators, steam heat, electric light, hollow metal skylights, flush bulk, plate glass. Owner taking bids.

**Alterations,** Sixth Floor, City Center Building, Broad and Cherry streets, Philadelphia. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Marinello Co., 1308 Arch street, Philadelphia. Partitions, carpentry and mill work, plumbing, electric work, painting. Owners taking bids due as soon as possible.

**Miscellaneous Work,** Philadelphia. Owners, Department of Public Works, Bureau of City Property, 117 City Hall. Owners taking bids due June 3rd, 11 A. M. (Standard Time), 216 City Hall. Laying or repaving of neuca-tel or asphalt pavement and concrete pavement with granolithic finish for the year of 1924. Plans may be secured at Room 117. No deposit.

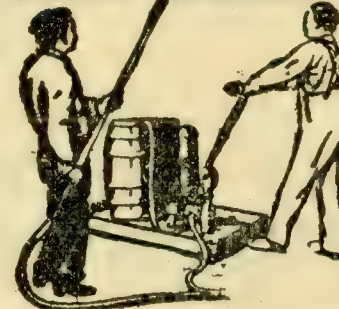
**Fire House, No. 18 (alts.),** 1920 Callowhill street, Philadelphia. Specifications and plans may be secured in Room 117. Deposit, \$5. All bids must be accompanied with certified check of 5 per cent. of the amount of the bid.

**Residences (56),** Georges Lane, Montgomery avenue, Columbia avenue and Hazelhurst avenue, Philadelphia, \$300,000. Architect, private plans. Owner, Jacob Korman, 3820 Market street, Philadelphia. Brick, (51) 2 stories, 16x31 feet, 11x9 feet, (5) 3 stories, 16x50 feet, hot water heat, electric light. Owner will build.

**Residence (alts.),** East side Germantown avenue, South of Abington street, Philadelphia, \$4,000. Owners, George Woodward Estate, North American Building, Philadelphia. General alterations. Owners will build.

**Delaware River Bridge,** Contract No. 15, completion of anchorages. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Owners taking bids due June 18th at 1.30 P. M. (Standard Time). Construction to solid rock foundation of 8 cylindrical piers to support the masonry towers of anchorages, construction of concrete masonry, granite facing, steel roadway supports and interior finish and equipment in both anchorages, concrete masonry forming the first section or core of each anchorage has been constructed under

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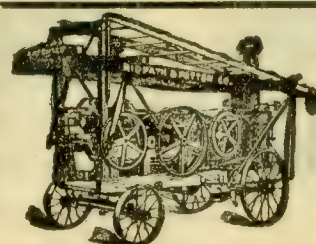
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previous contract. Contract time for the entire work in twenty-three months. Deposit, \$25. Refund, \$25. Each bid is to be accompanied with a certified check for \$100,000. 50 per cent. of amount of contract bond from the successful contractor.

**Bridge (Delaware),** Contract No. 16, Philadelphia Sowers, Philadelphia. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Owners taking bids due June 4th at 1.30 P. M. (Standard Time). Construction of Philadelphia sewers for bridge comprising approximately: 385 feet of 4 to 5 ft. reinforced concrete sewer; 1,675 feet of 5½ ft. diameter brick sewer; 90 feet of 3½ ft. diameter brick sewer; 5 feet of 3 ft. diameter brick sewer; 175 feet of 2 to 3 ft. diameter brick sewer; 90 feet of 2¼ to 1½ ft. diameter brick sewer; 150 feet of 2 ft. diameter vitrified pipe sewer; 55 feet of 12-inch diameter brick sewer. In general to be laid in open trench. Piles will be used, if necessary, to secure solid foundations. Work to be completed in six months. Deposit, \$15. Refund, \$15. Each bid must be accompanied with certified check of \$20,000. Successful contractor's bond required: 50 per cent. of amount of the contract.

**Office,** 4310 North Broad street, Philadelphia, \$10,000. Architect, private plans. Owner, Walter S. Baueh, 5802 North Broad street, Philadelphia. Brick, 2 stories, 18½x94 feet, slag roof, hot water heating, electric lighting. Owner will build.

**Store and Storage (alts.),** 417 Market street, Philadelphia, \$5,000. Architect, private plans. Owners, A. S. Shafer Cont. Co., 305 Shubert Building, Philadelphia. General alterations. Owners will build.

**Residence,** Southeast Corner Ithan and Kingessing avenues, Philadelphia, \$5,000. Architect, private plans. Owner, John Flangan, 1639 South Seventeenth street, Philadelphia. Brick, 2 stories, 18x48 feet, slag roof, steam heat, electric light. Owner will build.

**Residences (15),** 701-29 Atwood Road, Philadelphia, \$98,000. Architect, private plans. Owner, David Brown, 4800 North Seventh street, Philadelphia. Brick, 2 stories, (1) 15x58 feet, (14) 15x30 feet, 11x17 feet, hot water heat, electric light. Owner will build.

**Residence,** 4426 Salmon street, Philadelphia, \$4,000. Architect, private plans. Owner, Alex. Jastzembki, 4538 Bermuda street, Philadelphia. Brick, 2 stories, 14x50 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (8),** North side Sixty-seventh avenue, Seventeenth street to Bouvier street, \$56,400. Architect, private plans. Owner, Peter Miller, 6735 North Carlisle street, Philadelphia. Brick, 2 stories, 20x36 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Warehouse,** Southwest Corner E and Tioga streets, Philadelphia, \$55,000. Architect, Frank M. Buchanan, E and Tioga streets, Philadelphia. Owners, O'Brien Machinery Co., on premises. Iron, 1 story, 61x155 feet, cement floors, corrugated iron roof, electric work. Owners will build.

**Residences (44),** Fifth and Wyoming avenue, and Bingham and Loudon streets, \$175,500. Architect, private plans. Owner, William Davenport, 6612 Wayne avenue, Philadelphia. Brick, 2 stories, various sizes, hot

water heat, electric light, hardwood and pine floors. Owner will build.

**Store (alts.),** North side Market street, West of Seventh street, \$15,000. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Lit Brothers, Eighth and Market streets, Philadelphia. General alterations, carpentry, mill work, plastering, painting, glazing. Owners will build.

**Residence,** 1119 North Sixty-third street, Philadelphia, \$9,800. Architects, Taylor & Pernice, 5930 Columbia avenue, Philadelphia. Owner, John H. Oler, 5116 Market street, Philadelphia. Brick, 3 stories, 25x38 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Store and Storage Building,** 226 North Twelfth street, Philadelphia, \$7,000. Architect, private plans. Owner, M. Lucci, 1603 Ellsworth street, Philadelphia. Brick, 2 stories, 16x96 feet, hot water heat, electric light. Contract awarded to S. Caporale, 1431 Dickinson street, Philadelphia.

**Residences (4),** Knorr street, East of Oakley street, \$5,750 each. Architect, private plans. Owners, Lawndale Development Co., 6738 Rising Sun avenue, Philadelphia. Brick and frame, 2 stories, 16x34 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Garage,** Northeast Corner Juniper and Reed streets, Philadelphia, \$4,000. Architect, private plans. Owner, S. Garozzo, 1406 Wharton street, Philadelphia. Brick, 1 story, 38x34 feet, slag roof, cement floors. Owner will build.

**Residences (2),** East side Jackson street, North of Magee street, \$3,800 each. Architect, private plans. Owner, William F. Peters, 6713 Jackson street, Philadelphia. Brick, 2 stories, 16x34 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (6),** South side Bridge street, West of Edmund street. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owners, Louis Marget & Brother, 1975 Faust street, Philadelphia. Brick, 2 stories, 15x28 feet, 10x8 feet, hot water heat, electric light. Owner will build.

**Residence,** South side Grovers avenue, East of Eighty-seventh street, \$3,000. Architect, private plans. Owner, Thomas Lee, 1922 South Ninth street, Philadelphia. Brick, 2 stories, 16x34 feet, slag roof, pipeless heater, electric lighting. Owner will build.

**Residences (4),** North side Sentner street, East of Peach street, \$6,250 each. Architect, private plans. Owner, Harry L. Miller, 7319 Palmetto street, Philadelphia. Brick, 2 stories, 16x32 feet, hot water heat, electric light. Owner will build.

**Pump and Tank House,** Thirty-first and Passyunk avenue, Philadelphia, \$5,000. Owners, United Gas Improvement Co., Broad and Arch streets, Philadelphia. Brick, 1 story pump house, 14x30 feet, tank house, reinforced concrete, 39x25 feet. Owners will build.

**Building,** Northeast Corner Nineteenth and Glenwood avenue, Philadelphia, \$3,000. Owners, American Motor Body Co., on premises. General fire repairs. Owner will build.

**Vare Recreation Center,** Twenty-sixth and Morris streets, Philadelphia. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, Philadelphia. Brick, cut cast stone, steel, 2 and 1 stories, 262x48 feet, slag and tin roof, composition and maple floors, hollow tile, painting and glazing, metal weather strip, metal ceilings, shoring, waterproofing and dampproofing, ornamental iron work, iron stairs, metal lath, tile work (plumbing, heating and electric reserved). Low bidders: S. Sidney Lewis, Real Estate Trust Building, Philadelphia, \$136,478, \$125,978; Monaghan & Losse, 3016 Chestnut street, Philadelphia, \$144,267, \$132,000. Plumbing, L. J. Sommer & Son, 2436 Brown street, \$7,893, \$7,698. Heating, L. J. Sommer & Son, 2436 Brown street, \$12,679, \$11,749. Electric, Merit Elec. Co., 630 Race street, Philadelphia, \$8,500, \$8,000.

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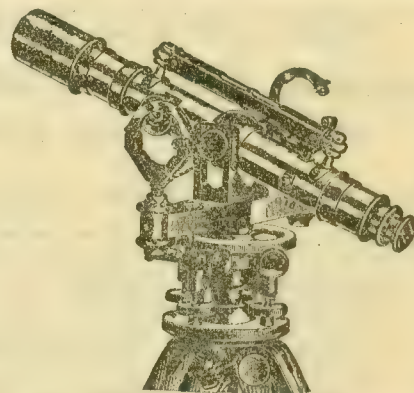
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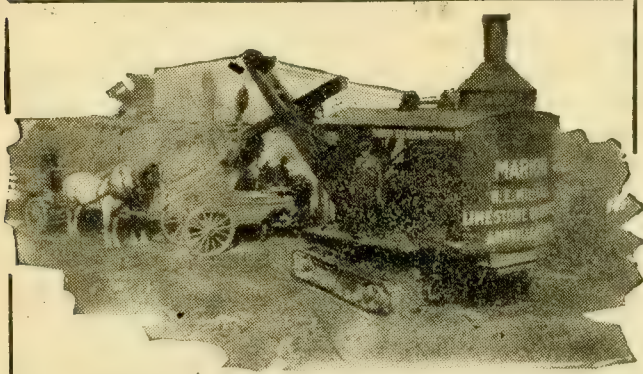
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## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Bottling Plant**, 213 Federal street, Philadelphia, \$4,800. Architect, private plans. Owner, Charles Rosenberg, Southwest Corner Fourth and Morris streets, Philadelphia. Brick, 1 story, 20x54 feet, slag roof, electric work. Contract awarded to Nathan Litman, 1597 North Fifty-second street, Philadelphia.

**Residence and Store (alts.)**, 2832 West Columbia avenue, \$2,500. Architect, private plans. Owner, E. G. Haufier, 1742 North Twenty-ninth street, Philadelphia. General alterations. Contract awarded to Milton F. Butterworth, 2414 West Lehigh avenue.

**Residence and Store (alts.)**, Northwest Corner Third and Green streets, \$2,000. Architect, private plans. Owner, Harry Rossock, Southwest Corner Third and Green streets, Philadelphia. General alterations. Contract awarded to D. Goldman, 1617 South Orkney street, Philadelphia.

**Radio Motor Generating Room** (sixth floor), Eighth and Market streets. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Strawbridge & Clothier, on premises. Plastering, rolling steel sash, plate glass, hollow tile work, slag roof, carpentry and mill work. Contract awarded W. O. Springer, 2004 Naudain street, Philadelphia.

**Store (alts.)**, North side Market street, West of Seventh, \$12,000. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Lit Brothers, Eighth and Market streets, Philadelphia. General alterations. Contract awarded to Keystone State Const. Co., 210 South Thirteenth street.

**Restaurant Building (repairs)**, 806-08 Arch street, \$10,000. Architect, private plans. Owners, Horn & Hardart Baking Co., 210 South Tenth street, Philadelphia. General fire repairs. Contract awarded to Harry R. Rust, 19 South Eighth street, Philadelphia.

**Store and Residence (add.)**, 301 Queen Lane, Philadelphia, \$6,000. Architect, private plans. Owners, Glenn & Walker, 308 Queen Lane, Philadelphia. Brick, 2 stories add., 16x27 feet, hardwood and pine floors, slag roof. Contract awarded to J. F. Carberry, 5729 McMahon street, Philadelphia.

**Hotel**, Thirteenth and Spruce streets, Philadelphia. Architect, Clyde S. Adams, 2038 Spruce street, Philadelphia. Owners, Lincoln Hotel, care of Fried & Fishman, 262 South Seventeenth street, Philadelphia. Brick, cut stone, steel, 12 stories and basement, 55x88

feet, slag roof, cement floors, hollow tile, elevators, ornamental iron work, mail chute, refrigerator equipment, iron stairs, bond, kalamein doors, galvanized iron skylights, tile and marble work, metal lath, electric light, vapor heating. Contract awarded Longacre Engr. & Const. Co., 345 Madison avenue, New York City, N. Y.

**Parochial School and Convent**, Fiftieth and Master streets, Philadelphia. Architect, H. Rex Stackhouse, 1120 Locust street, Philadelphia. Owners, Our Lady of the Angels' Roman Catholic Church, Rev. V. A. Strumie, on premises. Stone, brick, steel, 3 stories, 101x53 feet (plumbing, heating reserved), metal lath, electric light, tile work, rolling steel sash, kalamein doors, bond, ornamental iron work, artificial stone, concrete block, asbestos, lumber, painting and glazing, dampproofing, metal ceilings, roof ventilators, slag roof, mineral, maple, pine and composition floors. Contract awarded Farrell Roth Const. Co., 1624 Spruce street, Philadelphia.

**Buildings**, Southeast Corner Rising Sun and Adams avenue, Philadelphia. Architect, private plans. Owners, Electric Storage Battery Co., on premises. Brick and steel smelter building, 1 story forman building, 1 story add. to building, No. 17, 1 story, steam heat, electric light, rolling steel sash, slag roof, cement floors, ornamental iron work. Contract awarded William Steele & Son, 219 North Broad street, Philadelphia. Plans in progress.

**Alterations**, 2131 Walnut street, Philadelphia, \$5,000. Architect, E. H. Yardley, 1935 Chestnut street, Philadelphia. Owners, Lady Depository Association, on premises. Brick, cement work, plastering, painting and glazing, slag roof, carpentry and mill work (plumbing, heating and electric light reserved). Contract awarded H. H. Burrell, 206 South Quince street, Philadelphia.

**Home**, 957 North Franklin street, Philadelphia. Architect, Samuel Abramson, 2315 Walnut street, Philadelphia. Owners, Uptown Home for the Aged, J. Kaplan, 1312 North Sixth street, Philadelphia. Reinforced concrete, 3 stories, 50x95 feet, slag roof, hot water heat, electric light, reinforced concrete and pine floors, tile. Contract awarded Robbins Cont. Co., 1137 North Front street, Philadelphia.

**Building**, Twenty-third and Cypress streets, Philadelphia. Architects, Max A. Bernhardt,

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721 Walnut street, Philadelphia. Owners, Sporkin & Fleisher, Pennsylvania Building, Philadelphia. Brick, cut stone, steel, stucco, 4 stories, 60x41 feet (heating separate), slag roof, oak and pine floors, painting and glazing, shoring, terra cotta, ornamental iron work, bond, rolling steel sash, tile and marble work, electric light. Contract awarded George H. Evans, Inc., 105 North Thirteenth street, Philadelphia.

**School Building**, Garnet and Medary avenue, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Benedict's Roman Catholic Church, Rev. W. C. Farrell, Cheltenham avenue. Brick, cut stone, stone, 3 stories and basement, 76x150 feet, slate roof, pine and cement floors, plumbing, painting and glazing, metal ceilings, shoring, waterproofing and dampproofing, ornamental iron work, bond, rolling steel sash, tile and marble work, metal lath, electric light, vapor heat. Contract awarded D. W. O'Dea, 420 Duncannon street, Philadelphia.

**Building**, Dock street, between Walnut and Moravian streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Seamen's Church Institute, Second and Walnut streets, Philadelphia. Brick, cut stone, cast stone, concrete and steel, 5 stories and basement, 92x102 feet, slag roof, cement and maple floors, hollow tile, safety treads, roof ventilators, shoring, waterproofing, ornamental iron work, iron stairs, bond, tin-clad and kalamein doors, sheet metal skylights, rolled steel sash, tile, marble and terrazzo work. Contract awarded Wark Co., 1600 Walnut street, Philadelphia.

**Manufacturing Building (add.)**, 6330 Bingham street, \$2,390. Architect, private plans. Owner, R. T. Lawson, 137 Gale street, Philadelphia. Brick, 1 story add., 16x44 feet. Contract awarded to F. Wiggs & Son, 740 Sentner street, Philadelphia.

**Residence**, East side Eighth street, North of Cheltenham avenue, Philadelphia. Architect, E. A. Stopper, 10 South Eighteenth street, Philadelphia. Owner, James T. Young, 703 Cheltenham avenue, Philadelphia. Stone, hollow tile, stucco, 3 stories, 38x40 feet, slate roof, hot water heat, electric light, hardwood floors, tile work. Contract awarded Paul Brosz, 2515-17 West Huntingdon street, Philadelphia.

**Distributing Station**, Worth, West of Orthodox street, Philadelphia, \$30,000. Architect, Clarence Wunder, 1120 Locust street, Philadelphia. Owners, Supplee-Wills-Jones, 1523 North Twenty-sixth street, Philadelphia. Brick, steel, 1 story, 145x160 feet, slag roof, cement floors, electric light. Contract awarded George Kessler Cont. Co., 1733 North Marvine street, Philadelphia.

**Residence**, 229 West Nippon street, Philadelphia, \$11,000. Architect, private plans. Owner, Mrs. George M. Lamb, 225 Nippon street, Philadelphia. Brick, 3 stories, 19x21 feet, 3 stories, 27x25 feet, and 1 story, 11x8 feet, hardwood and pine floors, tile work, electric work, slag roof. Contract awarded to Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Residences (2)**, East side Martin Mills Road, North of Magee street, \$7,500 each. Architect, private plans. Owner, Arthur Ogden, 231 East Tioga street, Philadelphia. Brick, 3 stories, 26x30 feet, shingle (asphalt) roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Frank A. Adair, Martin Mills Road and Magee street.

**Manufacturing Building**, South side Wheat-sheaf Lane, East of Coral, \$45,000. Architect, private plans. Owner, John Hulton, Jr., 3819 Frankford avenue, Philadelphia. Steel and brick, 1 story, 112x301 feet, slag roof, maple floors, steel sash, steam heat, electric light. Contract awarded to F. Crompton & Bro., 4614 Oakland street.

**Residences (5)**, 5433-5441 North Front street, Philadelphia, \$30,200. Architect, private plans. Owner, Alexander Marshall, et al., Olney Post Office, Philadelphia. Brick, 2 stories, 15x37 feet, slag roof, hot water heat, electric work. Contract awarded to Thomas W. Stone, 5422 Westford Road, Philadelphia.

**Warehouse**, Northeast Corner Columbia avenue and Wilkey street, Philadelphia, \$17,000. Architect, private plans. Owner, Theodore C. Ulmer, 500 East Washington Lane, Philadelphia. Brick, 2 stories, 40x108 feet, slag roof, cement floors, steel sash. Contract awarded to Albert Dell, 1532 East Berks street, Philadelphia.

**Garage (alts. and add.)**, 614 East Sedgwick street, \$3,000. Architect, private plans. Owner, Samuel Poley, on premises. Brick, 1 story add., 20x22 feet, general alterations, cement floors. Contract awarded to J. N. Gill Const. Co., City Center Building, Philadelphia.

**Manufacturing Building (alts.)**, 1849 East Venango street, \$3,000. Owner, George F. Nuss, on premises. New heating system. Contract awarded to S. E. Brown Heating Co., 18 South Seventh street.

**Residences (2)**, East side Frankford avenue, North of Wills street, \$5,000 each. Architect, private plans. Owners, John J. Mealey & Son, 855 East Westmoreland street, Philadelphia. Brick, 2 stories, 17 feet, 10 inches x 38 feet, 6 inches, hot water heat, electric light. Contract awarded to Willard Myers, 2000 East Cambria street, Philadelphia.

**Residence and Store (alts. and add.)**, 4032 Lancaster avenue, \$5,000. Architect, private plans. Owner, Samuel Goldberg, 3843 Cambridge street, Philadelphia. Brick, 1 story,



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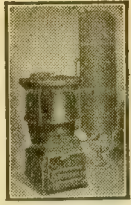
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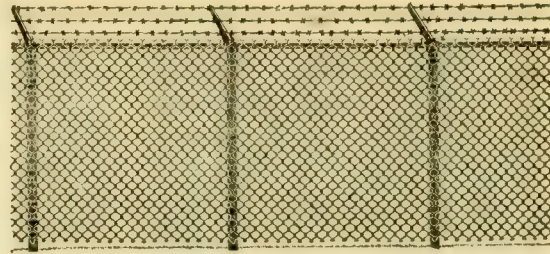
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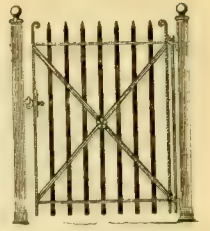
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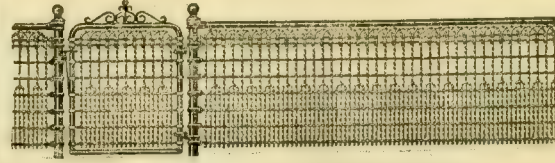
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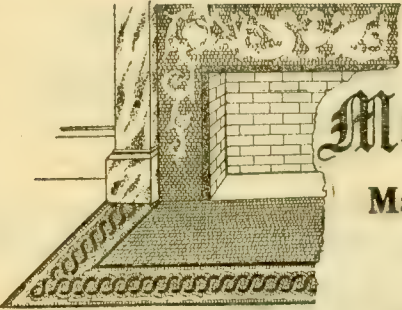
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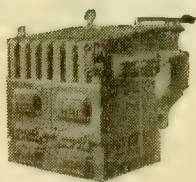
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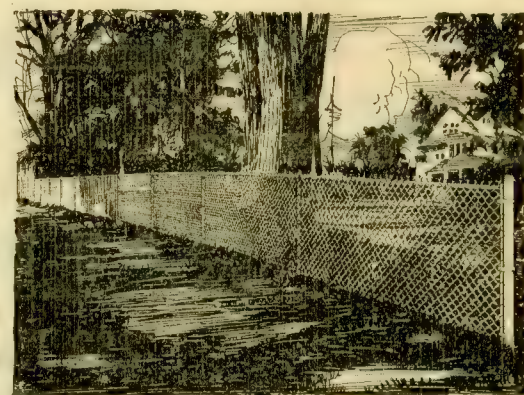
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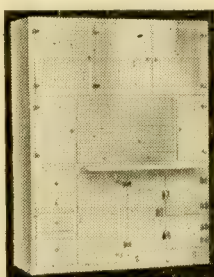
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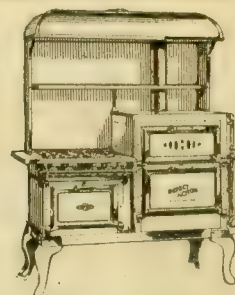
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**Store and Residence (alts.),** 717 Porter street, Philadelphia, \$5,000. Architect, private plans. Owner, A. Lertzman, on premises. General alterations. Contract awarded to Philip Litman, 2414 South Fourth street, Philadelphia.

**Workshop,** 5142-44 Warren street, Philadelphia, \$3,500. Architect, private plans. Owner, A. F. Gallagher, 5600 Lansdowne avenue, Philadelphia. Brick, 2 stories, 32x40 feet, slag roof, steam heat, electric light. Contract awarded to William D. Corrison, 1515 North Fifty-third street, Philadelphia.

**Residence,** Southwest Corner Levick street and Woodland avenue, Lawndale, Philadelphia, \$18,500. Architect, private plans. Owner, Emil Cloeren, 845 Gilham street, Philadelphia. Stone, 2 stories, 34x52 feet, asbestos shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to J. S. Chew Co., 619 East Cheltenham avenue.

**Residence,** Southeast Corner Duncan and Stiles streets, Philadelphia, \$7,000. Architect, private plans. Owner, Joseph Moezewski, Duncan street, Philadelphia. Brick, 2 stories, 20x50 feet, 1 story, 20x10 feet, hot water heat, electric light, hardwood and pine floors. Contract awarded to Felix Tatko, 2119 Pratt street, Philadelphia.

**Store and Residence (alts. and add.),** 540 South Forty-ninth street, \$6,000. Architect, private plans. Owner, Philip Green, 4018 Girard avenue, Philadelphia. Brick, 1 story, 16x12 feet, and 1 story, 12x8 feet, general

alterations. Contract awarded to Samuel Sidel, 5749 Walnut street, Philadelphia.

**Residence,** North side Howell street, West of Cottage street, \$4,500. Architect, private plans. Owner, Robert Straub, Mantua, N. J. Brick, 2 stories, 16x45 feet, hot water heat, electric light. Contract awarded to Holmesburg Granite Co., Holmesburg, Philadelphia.

**Residence (alts.),** Southeast Corner Mermaid Lane and Lincoln Drive, \$4,000. Architect, private plans. Owner, William C. Schoeble, on premises. General alterations. Contract awarded to George S. Roth & Son, 230 East Gravers Lane.

**Store and Residence (alts.),** 1922 West Norris street, \$3,000. Architect, private plans. Owner, Adam Stein, on premises. General repairs. Contract awarded to Charles S. Barnett & Bro., 1633 South Fifty-ninth street.

**Garage,** Northwest Corner Peach and Media streets, Philadelphia, \$3,000. Architect, Edward Fleming, 5143 Thompson street, Philadelphia. Brick, 1 story, 25x16 feet, 16x49 feet, cement floors. Contract awarded to S. A. Rogers, 5312 Thompson street, Philadelphia.

**Residence (alts. and add.),** 8405 Eastwick avenue, \$2,600. Owner, Meyer Waldow, on premises. Brick, second story add., 16x7½ feet, general alterations. Contract awarded to Barnett Brothers, 1633 South Fifty-ninth street, Philadelphia.

**Garage,** 414-22 Lemonte street, Philadelphia, \$2,500. Architect, private plans. Owner, George Shirley, 8730 Ridge avenue, Philadelphia. Brick, 1 story, 53x20 feet, slag roof, cement floors. Contract awarded to C. M.

Swartley & Son, 6835 Ridge avenue, Philadelphia.

**Garage,** 1823 Pear street, Philadelphia, \$3,500. Architect, private plans. Owner, William T. Rose, 1822 Orthodox street, Philadelphia. Brick, 1 story, 22x48 feet, slag roof, cement floors. Contract awarded to John J. Glazier, 1967 Bridge street, Philadelphia.

**Store and Storage Building (add.),** Southeast Corner Tioga and Crystal streets, \$2,000. Architect, private plans. Owner, Francis Millin, 3469 Crystal street, Philadelphia. Brick, 2 stories add., 12x15 feet. Contract awarded to James Clearkin, 850 East Ontario street, Philadelphia.

**Store and Residence (alts. and add.),** Northeast Corner Sixty-second and Girard, \$5,000. Architect, private plans. Owner, William J. McConnell, 5263 Larchwood avenue, Philadelphia. Brick, 2 stories add., 20x24 feet, general alterations. Contract awarded to B. J. Clemenson, 1652 North Second street, Philadelphia.

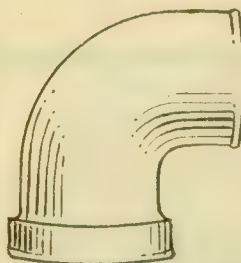
**Building,** 765 South Front street, \$5,000. Owner, Frank Nicksieck, 833 South Front street, Philadelphia. General alterations. Contract awarded to F. Janyszik, 3188 Edgemont street, Philadelphia.

**Garage,** Northwest Corner Tulip and Eyre streets, Philadelphia, \$5,000. Architect, private plans. Owner, W. F. Kerr, Northwest Corner Berks and Frankford avenues, Philadelphia. Brick, 1 story, 17x99 feet, slag roof, cement floors. Contract awarded to Robert Beatty & Bro., 2321 East Fletcher street.

**Garage (alts. and add.),** 108 Delancy street, Philadelphia, \$4,500. Architect, private plans. Owners, Belovsky & Granorff, 106 Pine street, Philadelphia. Brick, 1 story add., 26x50 feet, general alterations. Contract awarded to H. Hofmaier, 2247 North Fifth street, Philadelphia.

**Residence and Store (alts.),** 819 East Allegheny avenue, \$2,600. Architect, private plans. Owner, Arthur Stern, Pine and Susquehanna Roads, Philadelphia. General alterations, plastering, painting, glazing, carpentry. Contract awarded to F. B. Davis & Son, 240 North Sixteenth street, Philadelphia.

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## Pennsylvania Construction News

**Mill,** Bloomsburg, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Bloomsburg Silk Mills, Bloomsburg, Pa. Architects taking bids due June 3rd.

**Church,** Hazleton, Pa. Architects, Peter B. Sheridan and P. H. Knoblock, Markle Bank Building, Hazleton, Pa. Owners, St. Gabriel's Roman Catholic Congregation, Rev. J. S. Fagan, on premises. Architects taking bids due May 28th. Note extension of time.

**High School,** Lancaster, Pa. Architect, C. Emlen Urban, Woolworth Building, Lancaster, Pa. Owners, Lancaster City School District, Lancaster, Pa. Brick, granite, stone, steel, 4 stories, 68x200 feet, cement and maple floors, slag roof, hollow tile, metal lath, tile and marble work, galvanized iron skylights, bond (heating, electric, plumbing reserved). Owners will be ready for bids in about two weeks.

**Bridge,** Phoenixville, Pa. Engineer, Henry H. Quimby, 3920 Girard avenue, Philadelphia. Owners, Chester Co., David M. Golder, Controller, West Chester, Pa. Owners taking bids due June 16th at 11 A. M. (Standard Time).

**Mercy Hurst Group of Buildings,** Erie, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Sisters of Mercy, Erie, Pa. Architect taking bids due June 9th at 2 P. M. D. W. O'Dea, 420 Duncannon street; F. V. Warren Co., 1923 Arch street; Sutton & Stephenson, 1317 Washington avenue, Philadelphia; Kirschner Brothers, 433 East Ninth street; Constable Brothers, Fifth and Sassafras; Stanley Stoder, Pallace Hardware Building; H. J. Conrath, Ariel Building; Frank W. Laid, 2901 Parade street; H. Schenk Co., Twelfth and Sassafras street; Continental Construction Co., Commerce Building, all of Erie, Pa.

**Residence,** Huntingdon, Pa. Architect, Henry L. Reinhold, Jr., 2315 Walnut street, Philadelphia. Owner, C. H. Miller, Huntingdon, Pa. Final plans completed. Ready for estimates.

**Bank,** George street, York, Pa., \$100,000. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owners, Drivers' & Mechanics' Bank, H. E. Ebert, chairman of

Building Committee, 25 South George street, York. Stone, marble, 1 story, 29x150 feet. Plans in progress.

**Residence,** Lincoln Highway, York, Pa. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owner, John Stacey, care of architects. Brick, 2½ stories, 32x48 feet, slate roof, hardwood floors. Plans in progress.

**Store and Apartments (7),** East Market street, York, Pa., \$65,000. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owner, J. E. Graybill, 104 East Market street, York, Pa. Brick, terra cotta, 4 stories, 33x175 feet, slate roof, hardwood floors, electric light, tile work. Plans in progress.

**Sunday School,** Red Lion, Pa., \$40,000. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owners, Reformed Lutheran Church, care of architects. Brick, 1 story and basement, 74x54 feet, slag roof, maple floors, steam heat, electric light. Revised plans in progress.

**Grade School,** Central Park, Coatesville, Pa. Architect, not yet selected. Owners, City of Coatesville School Board, Dr. S. H. Scott, president, 303 Chestnut street, Coatesville, Pa. Brick, 2 stories and basement. Architect not yet selected. Will take bids in fall.

**Residences (8),** County Line Road, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Doyle & Bock, Bryn Mawr, Pa. Penn Building Block plastered, 2½ stories, 20x31 feet, Mohawk slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residence,** Lansdowne avenue, Lansdowne, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, David Magregor, Merion Title

Building, Ardmore, Pa. Frame and plaster, 2½ stories, 24x38 feet, shingle roof, hardwood floors, hot water heat, electric light. Plans completed. Owner ready for general bids.

**Barn,** Villanova, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Harry Supplee, Rosemont, Pa. Stone, 1 story, 50x95 feet, slate roof, cork and cement floors, cow stanchions, electric light. Revised plans in progress.

**Alterations and Repairs** to Montgomery County Court House, Norristown, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, The County Commissioners, Montgomery County, Norristown, Pa. Preliminary plans in progress.

**Bridge,** Schwenksville, Montgomery County, Pa. Engineer, Warren F. Cressman, Norristown, Pa. Owners, Montgomery County Commissioners, Norristown, Pa. Concrete, 3-span, 160x30 feet. Plans in progress.

**Grade School,** Leishman avenue, Arnold, Pa., \$75,000. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, Arnold Board of Education, Edward Moran, secretary, Arnold, Pa. Sketches in progress.

**Storage Barn,** Penhurst, Pa. Architect, J. N. Uhler, Penn street, Harrisburg, Pa. Owners, State Hospital for Feeble Minded, Dr. E. W. Fuller, superintendent, Spring City, Pa. Stone, 1 story. Plans in progress.

**Church and Sunday School,** Saint Clair, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. John's Reformed Church, Rev. H. A. Behrens, Saint Clair, Pa. Brick, 1 story. Preliminary plans in progress.

**Hotel,** York, Pa. Architect, W. L. Stod-

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dart, 50 East Forty-first street, New York. Owners, York Chamber of Commerce, care of C. P. Rice, York, Pa. Architect selected. Plans in progress.

**Cottage for Infectious Diseases**, Danville, Pa. Architect, F. A. Rianhard, Fourth and Market streets, Williamsport. Owners, Danville State Hospital for Insane, P. M. Sprout, chairman Building Committee, Muncy, Pa. Frame, 2 stories. Sketches in progress.

**Milk Plant**, High and Rose streets, Williamsport, Pa. Architect, F. A. Rianhard, Fourth and Market streets, Williamsport. Owner, P. C. Antes, Lycoming Creek Road, Williamsport, Pa. Brick, tile, 1 story. Work contemplated.

**Sunday School**, Milton, Pa. Architect, F. A. Rianhard, Fourth and Market streets, Williamsport, Pa. Owners, First Baptist Church, Rev. A. M. Gregg, 234 Pine street, Milton, Pa. Brick, stone, steel, 1 story, 35x80 feet, slate roof, maple floors, hollow tile, vapor heat, electric light, metal lath, ornamental iron work. Plans in progress.

**Club House (alts. and add.)**, 315 East Willow street, Williamsport. Architect, F. A. Rianhard, Fourth and Market streets, Williamsport, Pa. Owners, Williamsport Turn Verein, Conrad Wagner, secretary, 502 Pine street, Williamsport, Pa. Brick, 2 stories, 50x85 feet. Plans in progress.

**Solarium**, 904 Campbell street, Williamsport, Pa. Architects, Fisher & Scholl, 121 West Fourth street, Williamsport, Pa. Owners, Home for Friendless, Mrs. A. Perley, Williamsport, Pa. Brick, cast stone, 2 stories and basement, 36x36 feet, asbestos shingle roof, composition floors, electric light. Plans in progress.

**Silk Mill**, Bloomsburg, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Bloomsburg Silk Mills, Bloomsburg, Pa. Brick and steel, 1 story, 161x76 feet, composition roof, cement floors, steam heat, electric light, hollow metal sash, bond, floor hardener, salt glazed terra cotta coping, automatic sprinkler system. Architects taking bids due June 3rd.

**Residence**, Haverford, Pa. Architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia. Owner, John V. Hastings, 819 Filbert street, Philadelphia. Stone, 2½ stories, 60x50 feet, garage, 20x22 feet, shingle roof, oak and pine floors, hollow tile, plumbing, rubber tile, bond, rolled steel doors, hollow metal sash, tile work, metal lath, electric light, hot water heat. Architects taking bids due May 31st.

**Store and Warehouse**, Lancaster, Pa. Architect, J. B. Harmon, Lancaster, Pa. Owner, L. W. Keplinger, Breneman Building, Lancaster, Pa. Brick, structural steel, 3 stories and basement, 200x38 feet, tin roof, pine floors, freight elevator, vapor heat, electric light,

rolled steel sash, fire doors. Owner taking bids.

**Church and Parsonage**, York, Pa. Architect, H. E. Yessler, Rupp Building, York, Pa. Owners, Grace Methodist Episcopal Church, Rev. A. C. Shue, 611 West Philadelphia street, York, Pa. Stone, 1 and 2½ stories, slate roof, hardwood floors, steam heat, electric light. Architect taking bids.

**Post Office (alts. and add.)**, Scranton, Pa. Architect, James A. Wetmore, Washington, D. C. Owners, United States Treasury Department, Washington, D. C. General alterations, 1 story, 30x23 feet. Owners ready for bids due June 16th at 3 P. M.

**Church**, Ardmore, Pa. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, St. Colman's Church, Rev. D. L. McGinley, on premises. Stone, limestone, cut stone, brick, concrete, 1 story and basement, 181x55 feet, slate and slag roof, hollow tile, roof ventilators, painting, dampproofing, ornamental iron work, bond, metal lath, tile work, steam heat, electric light, alternate precast artificial stone. Architect taking bids due June 3rd.

**Apartments (5) (alts. and add.)**, 700 Hepburn street, Williamsport. Architects, Fisher & Scholl, 121 West Fourth street, Williamsport, Pa. Owner, Dr. J. D. Coney, 112 West Fourth street, Williamsport, Pa. Brick, 3 stories, 16x28 feet, Carey roof, hardwood and pine floors, steam heat, electric light, general alterations. Architects taking bids due June 6th.

**Nurses' Home and Sun Parlor**, Gettysburg, Pa. Architect, R. E. Stair, Guardian Trust Building, York, Pa. Owners, Anna M. Warner Hospital, S. C. Bingham, president, Board of Directors, Biglerville, Pa. Brick, 2 stories, 60x40 feet. Owners taking revised bids due June 10th.

**Residences (2 pair)**, Norristown, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Merion Const. Co., 2315 Walnut street, Philadelphia. Brick, 2½ stories, 16x37 feet each, shingle roof, pine floors, hot water heat, electric light. Owner will build.

**Office**, Lewistown, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Penn Sand & Glass Co., Lewistown, Pa. Brick, 2 stories, 40x60 feet, slag roof, hardwood floors, safety treads, waterproofing and dampproofing, electric light, tile work, rolled steel skylights, iron stairs, ornamental iron work. Owners ready for sub-bids.

**High School**, Rosedale, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Muhlenberg Township School District, A. E. Foust, Temple, Pa. Brick, stone, steel, Barrett Specification roof, maple floors, hollow tile, roof ventilators, metal lath, tile and marble work. Revised

plans in progress. Owners ready for bids.

**Residence and Garage**, Owen avenue, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Andrew Calhoun, Wyoming and Lancaster avenue, Ardmore, Pa. Penn Building Block plastered, 3 stories, 26x38 feet, 188x22 feet, hot water heat, electric light, tile work, metal lath, asbestos slate roof, linoleum, hardwood, cement and composition floors. Owner building. Work started.

**Factory**, Strausstown, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, H. W. Anthony Co., Strausstown, Pa. Mill construction, 1 story, 40x86 feet, Carey roof, maple floors, concrete floors, electric light, rolled steel sash, dampproofing, iron work. Architect and owners taking sub-bids.

**School (alts. and add.)**, Roseville, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Warwick Township School Board, Dr. Walters, Roseville, Pa. Brick, 1 story, 50x60 feet, slag roof (plumbing, heating and electric reserved), maple floors, safety treads, roof ventilators, dampproofing, rolled steel sash. Owners will be ready for bids in ten days.

**Residence**, West Glenmore, Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owner, Sylvester Moore, 214 East King street, Lancaster, Pa. Brick, stucco, 2½ stories, 36x52 feet, hardwood floors, electric light, tile and marble work. Owner taking bids.

**Residence**, Lancaster, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, Walter Aierstuck, 940 Virginia avenue, Lancaster, Pa. Cinder block, stucco, 2½ stories, 30x40 feet, shingle roof, hardwood floors, electric light, tile work. Owner will build.

**Road Work**, Radnor Township, Pa. Owners, Commissioners of Radnor Township, Maguire Building, Wayne, Pa. Widening, construction of bituminous macadam and the improvement of section of Bryn Mawr avenue from the Lower Merion Township Line to the Radnor and Chester Road, approximately 29,000 square yards. All bids must be accompanied with a certified check of \$2,500, made payable to the Treasurer of Radnor Township. Deposit, \$5. Refund, \$5. Owners taking bids due June 6th at 3 P. M. (Standard Time).

**Road Work**, Pennsylvania. Owners, State of Pennsylvania, State Highway Department, Harrisburg, Pa. Low bidders on road work opened May 19th, 1924:

Bradford County, R-212, Section 6, Columbia and Troy Townships and Troy and Sullivan Boroughs, 24,751 feet. One course reinforced concrete. Meredith & McVaugh & Webb, Erie, Pa., \$257,807.40.

Erie County, R-258, A-2908, McKean and Washington Townships, 20,116 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. J. C. Devine Co., Alliance, Ohio, \$167,044.88.

York County, R-333, Manchester Township, 21,119 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Paul R. Hostetter, Inc., York, Pa., \$172,776.40.

Schuylkill County, R-140, Section 2, North Manheim Township and Schuylkill Haven Borough, 12,585 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Warren Brothers Co., Boston, Mass., \$146,059.90.

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Erie County, R-258, A-2883 and 2908, McKean Township and Middleboro Borough, 19,950 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. E. M. Love & Son, Corry, Pa., \$205,726.80.

Lackawanna County, A-2631, 2632, 2633, 2634, R-335, Roaring Brook, Jefferson and Madison Townships, Elmhurst Borough, 30,340 feet. One course reinforced concrete. H. B. Sproul Const. Co., Inc., Scranton, Pa., \$271,773.66.

Jefferson County, R-189 and 338, Bell, Gas-kill and Henderson, Punxsutawney and Big Run Boroughs, 48,218 feet. One course reinforced concrete. M. Bennett & Sons, Indiana, Pa., \$550,254.16.

Adams County, A-2708, R-231, Mt. Pleasant Township, 29,877 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Union Const. Co., Lancaster, Pa., \$229,596.90.

Jefferson County, R-59, Sec. 2, Snyder Township, 12,427 feet. One course reinforced concrete. W. C. Quick & Co., Brookville, Pa., \$120,790.30.

**Power Plant**, Harrisburg, Pa. Owners, State of Pennsylvania, Department of Property and Supplies, Secretary Boyd, Harrisburg, Pa. 800 kilowatt plant. Owners taking bids due June 10th.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due June 3rd at 10 A. M. Certified check must accompany each bid. Plans, \$2.50 per set.

Bucks County, R-178, Doylestown and North Britain Townships and Chalfont Borough, 23,062 feet. One course reinforced concrete. Check, \$4,000.

Clarion County, A-2577, Sec. 1, Beaver Township, 15,655 feet. One course reinforced concrete. Certified check, \$3,000.

Delaware County, A-2436, Lower Chichester Township, 4,847 feet. One course reinforced concrete. Certified check, \$1,500.

Indiana County, A-223, East and Wheatfield Township, 35,095 feet. One course reinforced concrete. Certified check, \$4,000.

Greene County, R-110, Whitely Township, 26,540 feet. One course reinforced concrete. Certified check, \$4,000.

Indiana County, R-63, Rayne and East Mahoning Townships, 34,420 feet. One course reinforced concrete. Certified check, \$4,000.

Jefferson County, R-61, A-2660, Warsaw Township, 15,071 feet. One course reinforced concrete. Certified check, \$2,500.

Jefferson County, R-338, Sykesville Borough, Henderson and Windlow Townships, 21,041 feet. One course reinforced concrete. Check, \$4,000.

Luzerne County, R-4, Plymouth Township, 7,282 feet. One course reinforced concrete. Certified check, \$1,500.

McKean County, R-95, Hamlin Township, 20,826 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Susquehanna County, R-14, Jessup and Bridgewater Townships, Montrose Borough, 27,214 feet. One course reinforced concrete. Check, \$4,000.

Washington County, R-113, West Bethlehem and West Pike Run Townships, Centerville and Bealsville Borough, 26,9928 feet. One course reinforced concrete. Certified check, \$4,000.

Washington County, R-108, North Strabane Township, 7,358 feet. One course reinforced concrete. Certified check, \$1,500.

Westmoreland County, A-143, Sec. 2, Ros-traver Township, 12,991 feet. One course reinforced concrete. Certified check, \$2,500.

Wyoming-Bedford Counties, R-241, Tuscorora and Wyalusing Townships, Laceyville Borough, 26,389 feet. One course reinforced concrete. Certified check, \$4,000.

**Bridge**, Northumberland, Snyder-Union Counties, Route 25, over West Branch of Susquehanna River, concrete, .11-span, length 1,362 feet. Certified check, \$4,000. Plans, \$10 per set.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Low bidders on road work opened May 12th:

Armstrong County, R-202, A-2016, Manor Township, 21,4668 feet. One course reinforced concrete. Gruenke Brothers, Newcastle, Pa., \$214,744.70.

Blair County, Route 47, Greenfield Township, 10,772 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. H. P. Streicher Co., Inc., Toledo, Ohio, \$104,580.85.

Butler County, R-71, Summit Township, 23,732 feet. One course reinforced concrete. Charles Winters Const. Co., Renfrew, Pa., \$247,971.05.

Chester County, A-1557, East Bradford Township, 3,047 feet. One course reinforced concrete. Juniata Co., Empire Building, Philadelphia, \$22,996.81.

Columbia County, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. James Christiano, Shamokin, Pa., \$129,995.90.

Forest County, R-380, A-2685, Jenks Township, 5,280 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Hart & Edmundson, Sheffield, Pa., \$42,104.81.

Forest County, R-98, Tionesta and Green Townships and Tionesta Borough, 33,525 feet. One course reinforced concrete. Pennsylvania Erie Const. Co., Erie, Pa., \$227,142.41.

Lycoming County, R-355, A-1036, Muncy Township, 5,867 feet. One course reinforced concrete. Fred E. Fish, Elkton, Md., \$56,038.42.

Tioga County, A-31, Jackson Township, 18,351 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. J. C. Devine Co., Alliance, Ohio, \$189,351.35.

Low bidders on road work opened May 13th, 1924:

Luzerne County, R-184, A-1219, Conyngham Borough, 6,598 feet. One course reinforced concrete. Freeland Const. Co., Hazleton, Pa., \$67,362.75.

Beaver County, R-204, Sec. 6, Chippewa Township, 3,491 feet. One course reinforced concrete. S. B. Markley, New Brighton, Pa., \$37,021.70.

Fayette County, R-247, Sec. 5, Dunbar

Township, 10,855 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Hardman & Minns, West Virginia, \$84,172.08.

Wyoming County, R-11 and 232, Tunkhannock Township and Borough, 23,544 feet. One course reinforced concrete. Winston & Co., Harrisburg, \$333,948.20.

Chester County, A-1430, West Nottingham Township, 15,016 feet. One course reinforced concrete. Sutton Const. Co., 1317 Washington avenue, Philadelphia, \$107,884.92.

Bradford County, R-343, A-2335, Rome and Orwell Townships, 13,014 feet. One course reinforced concrete. Meredith, McVaugh & Webb, Erie, Pa., \$131,782.65.

Schuylkill County, R-185, Sec. 2, Rush and Kline Townships, McAdoo Borough, 56,297 feet. One course reinforced concrete. W. M. Murphy & Sons, Harrisburg, Pa., \$410,159.63.

Greene County, R-325, Sec. 2, Washington and Franklin Townships, Waynesburg Borough, 25,246 feet. One course reinforced concrete. Froemming Brothers, Inc., Milwaukee, Wis., \$357,969.87.

Westmoreland County, R-119, Unity Township, 14,815 feet. One course reinforced concrete. Herrmann & Gass, Latrobe, Pa., \$173,975.37.

Monroe County, A-2734, Hamilton and Ross Townships, 14,732 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. T. M. Gibbs Const. Co., 215 South Broad street, Philadelphia, \$139,032.30.

Lycoming County, A-2207, R-291, Montoursville Borough, 6,531 feet. One course reinforced concrete. Continental Const. Co., Baltimore, Md., \$68,315.42.

Venango County, R-205, Sec. 1, Cornplanter, Oakland and Cherry Tree Townships, 56,297 feet. One course reinforced concrete. Connell, Laub & Bracht, Dayton, Ohio, 537,448.35.

## Pennsylvania

### Contracts Awarded

**Factory and Office**, Lansdowne, Pa. Architect, Samuel W. Marshall, 1524 Chestnut street, Philadelphia. Owners, Kinitie Engr. Co., Lansdowne, Pa. Brick, 1 and 2 stories, 60x140 feet, wing 20x60 feet, slag roof, pine floors, metal lath, rolling steel sash, ornamental terra cotta, painting and glazing (stone work, cement and concrete work, iron and steel work reserved). Contract awarded W. W. Cochran, 2046 North Van Pelt street, Philadelphia.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Blair County, Route 47, Greenfield Township, 10,772 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$104,580.85. Contract awarded to H. P. Streicher Co., Inc., Toledo, Ohio.

Westmoreland County, Route 119, Unity

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Township, 14,815 feet. One course reinforced concrete. \$173,975.37. Contract awarded to Hermann & Gass, Latrobe, Pa.

**College (add.),** Selinsgrove, Pa., \$120,000. Architect, F. A. Rianhard, Fourth and Market streets, Williamsport, Pa. Owners, Susquehanna University, Dr. C. R. Aikens, Selinsgrove, Pa. Brick, steel, limestone, 2½ stories, 2 wings, each 32x84 feet, slate roof, hardwood floors, hollow tile, roof ventilators, waterproofing, heating extension, electric light, tile work, rolled steel sash, iron stairs, ornamental iron work. Contract awarded to A. Boyer, Northumberland, Pa.

**Grade School,** Riverside, Reading, Pa., \$127,777. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Reading School Board, O. B. Heim, secretary, Reading, Pa. Brick, 2 stories, 100x150 feet, composition roof, maple floors, hollow tile, roof ventilators, waterproofing and dampproofing (heating, electric work and plumbing reserved), metal lath, tile work, rolled steel sash and skylights, fire doors, iron stairs and work. Contract awarded to Fink Const. Co., 658 Penn street, Reading, Pa. Electric awarded to Reading Electric Co., 503 Penn street, Reading, Pa., \$3,385. Heating and ventilating awarded to Corbit Brothers, Third and Oley streets, Reading, Pa., \$29,716. Plumbing awarded to Corbit Brothers, Reading, Pa., \$8,900.

**Bank,** West Market street, Scranton, Pa. Architect, D. A. Morgan, Connell Building, Scranton, Pa. Owners, Providence Bank, D. J. Davis, president, 1901 North Main street, Scranton, Pa. Brick, stone, cut stone, steel, 1 story, 65x110 feet, slag roof, oak, cork tile, concrete floors, hollow tile, shoring, painting, glazing, ornamental iron work, rolling steel sash and skylights, tile and marble work, metal lath, electric light, steam heat, bronze work, imitation caen stone, mirene stone work. Contract awarded Sinclair & Griggs, Medical Arts Building, Philadelphia.

**School,** Jersey Shore, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, School Association, Borough of Jersey Shore, C. E. Peterson, secretary, Jersey Shore, Pa. Brick, 2 stories, 250x200 feet, flat asphalt roof, maple floors, hollow tile, roof ventilators, metal weather strips, damp-proofing (heating, electric and plumbing reserved), metal lath, rolled steel sash, kalamein doors, skylights, bond, iron stairs, ornamental iron work. Contract awarded to C. M. Thompson Co., Towanda, Pa. Heating contract awarded to B. G. Carpenter Co., Wilkes-Barre. Plumbing contract awarded to Edwards Hardware Co., Muncy, Pa. Electric contract awarded to A. R. Gulliver, Muncy, Pa.

**Residence and Garage,** Lake and Garfield avenues, Wyomissing, Pa., \$12,000. Architect, Warren D. Heinly, 7 South Fourth street, Reading, Pa. Owner, Wellington P. J. Printz, 1316 Garfield avenue, Wyomissing, Pa. Stone, 2 stories, 46x30 feet, thatch shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Frank Fisher, 812 Mulberry street, Reading, Pa.

**Central Power Plant,** Greensburg, Pa. Architects, M. E. Kressly Co., 13 North Fourth street, Harrisburg, Pa. Owners, Greensburg School District, Greensburg, Pa. Steam system, 60,000 square feet radiators, 18 rooms, ventilating system. Contract awarded to D. E. Ruffner, Greensburg, Pa.

**Residence,** Carlisle, Pa., \$20,000. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owner, S. W. Haverstick, Carlisle, Pa. Brick, 2½ stories, 30x40 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to H. A. Lackey, Carlisle, Pa.

**House, Garage and Gardener's House,** Wyomissing, Pa., \$400,000. Architects, Ritcher &

Eiler, 147 North Fifth street, Reading, Pa. Owner, Gustav Oberlaender, Wyomissing, Pa. Brick, stone, 2½ stories, 40x140 feet, slate roof, hardwood and concrete floors, hollow tile, metal weather strips, central heating plant, electric light, metal lath, tile and marble work, ornamental iron work. Contract awarded to Wyomissing Development Co., Wyomissing, Pa.

**Headhouse for Swimming Pool,** Haverford, Pa. Architect, Horace Wells Sellers, Stephen Girard Building, Philadelphia. Owner, Mrs. Clarence A. Warden, on premises. Stone, cement block, stucco, steel, 1 story, 39x22 feet, slate roof, cement floors, painting and glazing, rolling steel sash, bond, ornamental iron work. Contract awarded to J. B. R. Miller, 1505 Arch street, Philadelphia.

**School,** Westlambeter, Pa., \$29,978.45. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Westlambeter Township School Board, Mr. Musser, secretary, Westlambeter, Pa. Brick, 1 story and basement, 40x140 feet, slag roof, composition and maple floors, roof ventilators, hollow tile, rolled steel sash. Contract awarded to B. Frank Bachman, Woolworth Building, Lancaster.

**Residence,** Swarthmore, Pa. Architects, Savery & Scheetz, Stephen Girard Building, Philadelphia. Owner, William C. Taylor, care of architect. Stucco, cast stone, cement building block, 2½ stories, 36x26 feet, shingle roof, oak and pine floors, plumbing, tile work, ornamental iron work. Contract awarded to Pettit & Co., Norwood, Pa.

**Factory (alts.) to Apartments,** Lancaster, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, C. V. Adams, Woolworth Building, Lancaster, Pa. Partitions, plumbing, vapor heat, hardwood floors, tile work, general alterations. Contract awarded to J. H. Wickersham, Breneman Building, Lancaster.

**Store Front,** Lancaster, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Lancaster Chocolate Specialty Co., 148 North Queen street, Lancaster, Pa. Plate glass, copper work, tile and marble work. Contract awarded to L. V. Wright, 9 South Duke street, Lancaster, Pa.

**Residence (alts. and add.),** Merion, Pa. Architect, Charles Barton Keen, 338 South Smedley street, Philadelphia. Owner, Herbert H. Stockwell, Land Title Building, Philadelphia. Frame, 2 stories, 16 feet, 6 inches x 24 feet, slate roof, pine floors, hot water heat, electric light, tile work, mill work, plumbing. Contract awarded Milton W. Young, 2037 North Sixty-third street, Philadelphia.

**Residence,** Langhorne, Pa. Architect, Lawrence Visscher Boyd, Harrison Building, Philadelphia. Owner, H. L. Ridge, Langhorne, Pa. Frame, 2½ stories, electric light, shingle roof, pine floors. Contract awarded Fesmire Brothers, Huntingdon Valley, Pa.

**Residences (3 pairs),** Conshohocken, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, name withheld. Brick, 2½ stories, 8x27 feet, hot water heat, electric light, shingle roof, pine floors. Contract awarded Merion Const. Co., 2315 Walnut street, Philadelphia.

**Residences (2 pairs),** Berwyn, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Bryn Mawr Ice Co., Bryn Mawr, Pa. Brick, 2½ stories, 18x27 feet, shingle roof, pine floors, hot water heat, electric light. Contract awarded Merion Const. Co., 2315 Walnut street, Philadelphia.

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

**Franklin County,** A-585, Quincy Township. One course reinforced concrete. \$118,595.95. Contract awarded to Bester-Long Co., Hagerstown, Md.

**Forest County,** Route 98, Tionesta and

Green Townships and Tionesta Borough, 33,525 feet. One course reinforced concrete. \$227,142.41. Contract awarded to Penn-Erie Const. Co., Erie, Pa.

**Greene County,** Route 325, Sec. 2, Washington and Franklin Townships, Waynesburg Borough, 25,246 feet. One course reinforced concrete. \$357,969.87. Contract awarded to Froemming Brothers, Inc., Milwaukee, Wis.

**York County,** A-523, Fawnw Township, 13,125 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$108,311.11. Contract awarded to Comerford Const. Co., Fifth and Sansom streets, Philadelphia.

**Chester County,** A-1430, West Nottingham Township, 15,016 feet. One course reinforced concrete. \$107,884.92. Contract awarded to Sutton Const. Co., 1317 Washington avenue, Philadelphia.

**Clearfield County,** R-231, A-2042, Decatur and Woodward Townships, 12,080 feet. One course reinforced concrete. \$111,611.75. Contract awarded to Avery & Bailey, Phillipsburg, Pa.

**Armstrong County,** R-203, Manor Township, 21,468 feet. One course reinforced concrete. \$214,744.70. Contract awarded to Greunke Brothers, New Castle, Pa.

## New Jersey Construction News

**Community House,** Moorestown, N. J. Architects, Karcher & Smith, 34 South Seventeenth street, Philadelphia. Owners, Moorestown Community House, E. K. Johnson, chairman, Camden, N. J. Preliminary plans in progress. Too early for details.

**Printing Plant (alts. and add.),** Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden Courier, Camden, N. J. Brick, reinforced concrete, steel, 2 stories. Architects taking bids due June 2nd. J. M. Yardley, 1716 Sansom street; Bennett McLaughlin, 17 South Seventeenth street; H. John Homan Co., Eighteenth and Cherry streets; F. V. Warren Co., 1913 Arch street; Moore & Co., Schaff Building; Wills Bill Co., 1706 Sansom street, Philadelphia; George Baehman, J. W. Draper, both of Camden, N. J.

**Industrial School,** Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. H. Young, secretary, Atlantic City, N. J. Brick, reinforced concrete, 3 stories, 43x125 feet, reinforced concrete roof, hardwood floors (heating, plumbing, electric work reserved), roof ventilators, rolled steel sash and skylights. Low bidders: P. G. Hannum, Georgia avenue and Thorofare, Atlantic City, \$132,889. Electric, Electrical Equipment Co., 16 North Ohio avenue, Atlantic City, N. J., \$4,100. Heating and ventilating, Currie Co., 1232 Atlantic avenue, Atlantic City, \$23,414. Plumbing, Frank Walsh, 908 Atlantic avenue, Atlantic City, \$8,175.

**Studio and Apartment (alts. and add.),** 216 East Hanover street, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Jerome H. Fritz, 148 East State street, Trenton, N. J. Brick, steel, 3 stories, 22x70 feet, slag roof, hardwood floors, vapor heat, electric light, metal lath, tile and marble work, rolled steel sash and skylights, ornamental iron work. Revised plans in progress.

**School,** Northfield, N. J. Architect, H. A. Stort, Guarantee Trust Building, Atlantic City. Owners, Northfield School Board, Mr. Krentz, secretary, Northfield, N. J. Brick, 1 story, 4 rooms, pine floors (heating, electric and plumbing reserved). Revised plans in progress. Owners ready for bids.



**Bakery**, Ohio Memorial avenue, Atlantic City, N. J. Architect, A. F. Amodio, 2304 Atlantic avenue, Atlantic City, N. J. Owners, Seashore Bakery Co., 13 South Missouri avenue, Atlantic City. Fireproof, steel, concrete, 1 story, 50x75 feet, composition roof, concrete and wood floors, hollow tile, bakery equipment, roof ventilators, waterproofing and dampproofing, electric light, rolled steel sash and skylights, hollow metal doors. Plans in progress. Architect will be ready for bids in one week.

**Church (add.) and Parsonage**, Atlantic City, N. J. Architect, A. F. Amodio, 2304 Atlantic avenue, Atlantic City. Owners, St. Michael's Church, Rev. John Quaremba, 6 North Mississippi avenue, Atlantic City, N. J. Brick, leaded glass, general alterations. Owners taking sub-bids.

**Apartment**, 4704 Ventnor avenue, Ventnor, N. J., \$40,000. Architects, Pallister & Hainie, Guarantee Trust Building, Atlantic City, N. J. Owner, Mrs. I. Fisher, 456 North Maine avenue, Atlantic City. Brick, 3 stories, 40x70 feet, slag roof, pine floors, hot water heat, electric light. Owner taking sub-bids.

**Garage and Apartment**, Atlantic City, N. J. Architect, A. F. Amodio, 2304 Atlantic avenue, Atlantic City, N. J. Owner, C. Camaratta, 104 South Chelsea avenue, Atlantic City. Hollow tile and stucco, 2 stories, 30x34 feet, slag roof, electric light, tile work, rolled steel sash. Architect taking sub-bids.

**Store (alts. and add.)**, 2200 Arctic avenue, Atlantic City. Architect, A. F. Amodio, 2304 Atlantic avenue, Atlantic City. Owner, Frank Portale, on premises. Brick, 1 story, 25x40 feet, tin roof, tile and hardwood floors, hot water heat, electric light, copper work, metal ceilings, general alterations. Owner will take sub-bids.

**Stores and Apartments (5)**, South Broad street, Trenton, N. J. Architect, R. G. Consoley, Commonwealth Building, Trenton, N. J. Owner, Ralph Thatcher, 960 South Broad street, Trenton, N. J. Brick or stone, 3 stories, 77x45 feet, pine floors, hollow tile, copper work, plate glass, rolled steel skylights, blue stone, tile and marble work, electric work, fire escape. Architect taking bids.

**School (add.)**, Somers Point, N. J. Architect, Charles H. Adams, Chelsea Bank Building, Atlantic City. Owners, Somers Point School Board, K. Braddock, Somers Point, N. J. Brick, frame, steel, 2 stories and basement, 25x34 feet, slag roof, cement and pine floors, dampproofing (heating, electric work and plumbing reserved). Owners ready for bids due June 2nd.

**Sub-Station Buildings**, Automatic Train Control, Hammonton and Atlantic City, N. J. Architect, Samuel T. Wagner, Reading Terminal Building, Philadelphia. Owners, Atlantic City Railroad, care of Philadelphia and Reading Railroad Company, Twelfth and Market sts., Phila. Bricks, steel, 1 story, 15x12 feet, 17x14 feet, asbestos shingle roof, cement floors, rolling steel sash, steel doors. Architect taking bids due June 4th.

**Union National Bank (alts. and add.)**, Atlantic City, N. J. Architects, Simons, Brittain & English, 929 Chestnut street, Philadelphia. Owners, Union National Bank, Atlantic City, N. J. Brick, cut east stone, steel, 3 stories and basement, 90x69 feet, composition roof, composition, cement and pine floors, hollow tile, plumbing, shoring, ornamental iron work, floor hardener, bond, rolling steel sash, metal lath, electric light, steam heat, ornamental plaster. Owners taking bids due June 3rd.

**Residence**, River Road, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, F. B. Traver, Trenton, N. J. Frame, 2½ stories, 55x35 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Architect taking bids due May 29th.

**Hotel (add.)**, Lakewood, N. J., \$50,000. Architect, H. G. Aitken, American Mechanics' Building, Trenton, N. J. Owner, M. Rabino-witz, Eighth and Forest streets, Trenton, N. J. Frame, 3 stories, 50x80 feet, slag roof, yellow pine floors, hollow tile (heating, electric work and plumbing reserved), metal lath, tile work, kalamein doors, fire escapes, ornamental iron work, architectural terra cotta. Architect taking bids due June 5th.

**Reimprovement of Curtis Avenue**, Woodbury, N. J. Engineer, J. Owen Carter, Woodbury, N. J. Owners, Council of the City of Woodbury, C. S. Davis, City Clerk, Council Chamber, City Hall, Woodbury, N. J. Furnishing material and labor for scarification, etc., of present paving and resurfacing pavement on Curtis avenue, City of Woodbury, Gloucester County, N. J. Owners taking bids due June 3rd, 7 P. M. (Standard Time). Certified check not less than 10 per cent. of amount of bid must accompany each bid. Bond required.

## New Jersey Contracts Awarded

**High School**, Orange, N. J., \$642,602. Architect, Ernest Sibley, Palisade, N. J. Owners, Board of Education, City of Orange, N. J. Brick, reinforced concrete, artificial stone trim, steel, 3 stories and basement, 265x205 feet, slate and composition roof, cement, oak, maple and linoleum floors, metal lath, tile and marble work (plumbing, heating, electric reserved), painting and glazing, safety treads, shoring, waterproofing and dampproofing, ornamental iron work, iron stairs, bond, kalamein doors, rolling steel skylights, metal lumber. Contract awarded Nelson Pedley Const. Co., Corn Exchange Building, Philadelphia.

**Rectory**, Pemberton, N. J. Architect, Henry A. Brown, Burlington, N. J. Owners, Grace Protestant Episcopal Church, Pemberton, N. J. Hollow tile, stucco, 2 stories, asbestos roof, wood floors, hot air heat, electric light, tile work, bond. Contract awarded to William C. Cook, Mount Holly, N. J.

**Residence**, 45 Maple avenue, Trenton, N. J., \$6,000. Architect, private plans. Owner, Mrs. J. McDonough, 86 Stuyvesant street, Trenton, N. J. Brick, 2½ stories, 11x52 feet, slate roof, pine floors, electric work. Contract awarded to John Corrigan, 618 Stuyvesant street, Trenton.

**Residence**, Liberty street, Trenton, N. J., \$4,000. Architect, private plans. Owner, Mary Faiss, Trenton, N. J. Frame, 1½ stories, 28x40 feet, slate roof, pine floors, electric work. Contract awarded to A. Geiger, 505 Dayton street, Trenton, N. J.

**Residence**, 530 Centennial avenue, Trenton, N. J., \$5,900. Architect, private plans. Owner, William Stockert, Trenton, N. J. Frame, 2½ stories, 16x30 feet, slate roof, electric lighting. Contract awarded to A. Geiger, 505 Dayton street, Trenton, N. J.

**Residence**, Ventnor, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owner, Scott Johnson, Atlantic City, N. J. Contract awarded to P. G. Han-num, Georgia avenue, Atlantic City.

## Delaware Construction News

**Residence (alts. and add.)**, Wilmington, Del. Architect, Edmund B. Gilchrist, 1618 Latimer street, Philadelphia. Owner, Holiday Meeds, Dupont Building, Wilmington, Del. Stone, frame and stucco, 2½ stories. Plans in progress.

## Delaware

### Contracts Awarded

**Store (alts. and add.)**, 218 Market street, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, P. Goldstein, care of architect. Plate glass, copper work, hardwood floors, tile work, 1 story add., general alterations. Contract awarded to C. J. Dougherty, 2515 West Eighteenth street, Wilmington.

**Garage**, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, care of architect. Brick, concrete block, 1 story, 50x150 feet, rubberoid roof, cement floors, steam heat, electric light, rolled steel sash, rolling steel doors. Contract awarded to Mr. Batholme, Seventh and Rodney streets, Wilmington.

**Residence (alts. and add.)**, Wilmington, Del. Architects, Brown & Whiteside, Inc., Dupont Building, Wilmington, Del. Owner, George W. Moreton, 1323 Gilpin avenue, Wilmington, Del. Brick, slate roof, hardwood floors, steam heat, electric light, tile work, alterations to bath room, living room and general interior alterations. Contract awarded to H. M. Johnson, Wilmington, Del.

**Service Station**, Newark, Del. Architects, Brown & Whiteside, Inc., Dupont Building, Wilmington, Del. Owners, Hearn Oil Co., Third and Commerce streets, Wilmington, Del. Brick and concrete, 1 story, 60x30 feet, tin roof, cement floors, electric lighting, tile work. Contract awarded to C. J. Dougherty, 2515 West Eighteenth street, Wilmington, Del.

## Miscellaneous Construction News

**Residences (8)**, Mariemont, Cincinnati, Ohio. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owners, Mariemont County, Cincinnati, Ohio. Frame, stuccoed, 2½ stories, shingle roof, hardwood floors, hot water heat, electric light. Owners will build.

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del. Owners taking bids due June 4th at 2 P. M. Deposit of \$10 (refunded upon return of plans in good condition).

Contract CN-20, Basin Cor.-New Port-Lincoln Highway, 4.05 miles. Excavation, borrow, broken stone base course, cement concrete pavement, longitudinal metal joint, Class A concrete, Class B concrete, reinforcement, 15-inch corrugated pipe, 15-inch R. C. pipe, 18-inch R. C. pipe, 24-inch R. C. pipe, 30-inch R. C. pipe, 36-inch R. C. pipe, relaid pipe 18 inches and under, pipe underdrain, concrete gutter, wire cable guard rail, wood shoulder curb, timber piling.

Contract D CK-22, Willow Grove-Wyoming, 5.39 miles. Excavation, borrow, broken stone base course, cement concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, 15-inch corrugated pipe, 15-inch R. C. pipe, 18-inch R. C. pipe, 24-inch R. C. pipe, 36-inch R. C. pipe, relaid pipe 18 inches and under, wire cable guard rail, wood shoulder curb.

Contract OS-33, Mission Gumboro, 3.24 miles. Excavation, borrow, broken stone base course, stone cement concrete pavement, or slag cement concrete pavement, Class A concrete, Class B concrete, reinforcement, corrugated iron pipe, 15-inch R. C. pipe, 18-inch R. C. pipe, 24-inch R. C. pipe, 36-inch R. C. pipe, wood shoulder curb.

**Church and Sunday School**, Concord, North Carolina. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. James' Lutheran Church, C. A. Cook, secre-



tary, Building Committee, Concord, N. C. Brick, 1 story and basement, 50x103 feet, slate roof, hardwood floors, hollow tile, steam heat, electric light, metal lath. Preliminary plans completed.

**Residence (alts. and add.),** Hagerstown, Md. Architect, H. E. Yessler, Schmidt Building, York, Pa. Owner, Alexander Armstrong, Hagerstown, Md. Brick, 2-stories, 24x20 feet, hardwood floors, electric light, tile and marble work, plumbing, decorating. Plans in progress.

**Apartment (alts. and add.),** Hagerstown, Md. Architect, H. E. Yessler, Schmidt Building, York, Pa. Owner, Augustus Ludwig, Hagerstown, Md. Brick, 2 stories, 18x22 feet, hardwood floors, electric lighting, interior and exterior alterations. Owner taking sub-bids.

**Residence and Garage,** Pinehurst, N. C. Architect, J. L. Conarroe, 225 South Sydenham street, Philadelphia. Owner, name withheld. Timber and hollow tile, 2½ stories, 45x30 feet and 20x18 feet, garage, 2 stories, 20x25½ feet, hot water heat, electric light, tile and marble, slate roof, pine floors. Architect taking bids due May 31st.

## Miscellaneous Contracts Awarded

**Church,** Ozane Park, Long Island, N. Y. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, St. Mary's Gate of Heaven Roman Catholic Church, Ozane Park, Long Island. Brick, stone, 66x176 feet, slate roof, steam heat, electric light. Contract awarded P. J. Hoey Co., Brooklyn, N. Y.

**Church (add.),** Ridgeley, Maryland. Architect, John A. McKibbin, Industrial Trust Building, Wilmington, Del. Owners, St. Benedict's Church, Rev. E. J. Kraemer, Ridgeley, Md. Frame, 1 story, 30x70 feet, shingle roof, pine floors, electric work. Contract awarded to James Walker, Ridgeley, Md.

**Gymnasium Building,** 30 West Sixteenth street, New York City. Architect, Emil G. Perrot, Boyertown Building, Philadelphia. Owners, St. Francis Xavier, on premises. Contract awarded W. L. Crow Const. Co., 108 Park avenue, New York City.

**Grade School,** Leroy, N. Y. Architects, Tooker & Marsh, 101 Park Ave., N. Y. Owners, Board of Education, Leroy, N. Y. Brick, reinforced concrete, steel, 2 stories and basement, 167x69 feet, wing 63x43 feet (plumbing, electric and heating separate), built-up roof, linoleum, cement and maple floors, hollow tile, safety treads, roof ventilators, metal ceilings, waterproofing and dampproofing, terra cotta, ornamental iron and stairs, bond, hollow metal doors, tile and marble work, metal lath, painting and glazing. Contract awarded Peter G. Hauck, Rochester, N. Y.

**Buildings (2),** Newark, Del. Architect, private plans. Owners, Continental Fibre Co., Newark, Del. Reinforced concrete and steel, 2 stories, 40x130 feet, wing 60x140 feet, slag roof, concrete floors, steam heat, electric lighting, rolling steel sash, waterproofing, ornamental iron work. Contract awarded Austin Co., 1015 Chestnut street, Philadelphia.

**Church, Sunday School and Parsonage,** Cumberland, Md. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. Luke's Evangelical Church, Rev. H. Hall Sharke, Cumberland, Md. Granite, steel, 1½ stories, 146x70 feet, 2 stories, 40x60 feet, slate roof, maple floors, metal lath, roof ventilators, electric lighting, tile and marble work. Contract awarded to Wise Granite & Const. Co., Richmond, Va.

The BUILDERS' GUIDE is in its thirty-eighth year of continuous publication.

## Proposals

**TREASURY DEPARTMENT,** Office of the Supervising Architect, Washington, D. C., May 15, 1924. Sealed Proposals will be opened in this office at 3 P. M., June 12, 1924, for the construction, including mechanical equipment, of a one-story concrete and brick non-fireproof Post Office Building, approximately 60 by 95 feet, at Dubois, Pa. Drawings and specifications may be obtained from the Custodian of the site at Dubois, Pa., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

**TREASURY DEPARTMENT,** Office of the Supervising Architect, Washington, D. C., May 12, 1924. Sealed Proposals will be opened in this office at 3 P. M., June 18, 1924, for the construction, including mechanical equipment, of a one-story brick and tile non-fireproof Post Office Building (approximately 88 by 55 feet) at Salisbury, Md. Drawings and specifications may be obtained from the Custodian of the site at Salisbury, Md., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

## NOTICE TO BIDDERS

Sealed Bids will be received by the Camden County Board of Chosen Freeholders for the complete installation of Electric Work (excepting lighting fixtures) in and about a group of buildings for the Camden County Tuberculosis Hospital, Asyla, N. J.

Drawings and specifications may be seen and all information obtained by application to the office of Arnold H. Moses, A. I. A., Architect, 412 Temple Building, Camden, N. J., or to Frank H. Schaefer, Consulting Mechanical Engineer, Temple Building, Camden, N. J.

Bids will be received on the 5th day of June, 1924, at 2 o'clock P. M., Daylight Saving Time (1 o'clock P. M., Standard Time).

**TREASURY DEPARTMENT,** Office of the Supervising Architect, Washington, D. C., May 20, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., June 6, 1924, for restoration of stone work, new roof, gutters, downspouts, etc., for the United States Post Office and Custom House, at Oswego, N. Y. Drawings and specifications may be obtained from the Custodian at Oswego, N. Y., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

**TREASURY DEPARTMENT,** Office of the Supervising Architect, Washington, D. C., May 20, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., June 13, 1924, for remodeling at the United States Post Office at Greensburg, Pa. Drawings and specifications may be obtained from the Custodian at Greensburg, Pa., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

**TREASURY DEPARTMENT,** Office of the Supervising Architect, Washington, D. C., May 21, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., June 16, 1924, for the construction of a non-fireproof extension (one story and 30 feet x 30 feet in plan) to the Parcel Post Annex at the United States Post Office, Scranton, Pa., including mechanical equipment and incidental altera-

tions and repairs. Drawings and specifications may be obtained from the Custodian of the building or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

**TREASURY DEPARTMENT,** Office of the Supervising Architect, Washington, D. C., May 22, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., June 17, 1924, for the construction of a retaining wall, 42 feet long, at the United States Post Office at Altoona, Pa. Drawings and specifications may be obtained from the Custodian of the building or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

## ANNUAL SPRING OUTING OF THE BUILDERS' EXCHANGE AT CEDAR- BROOK COUNTRY CLUB MAY 22

More than two hundred members of the Philadelphia Builders' Exchange and Employers' Association attended the Annual Spring Outing and Planked Shad Dinner of the Exchange at Cedarbrook Country Club last Thursday afternoon, May 22nd. The afternoon was spent in playing golf, baseball and other games. More than fifty members participated in a round or more of golf, and prizes were awarded for the low metal scores. The first prize of a dozen golf balls went to Thomas M. Cooper of the Utica Heater Company, who turned in a score of 73. The second prize went to F. M. Robinson, general manager of the Crane Company. The third prize went to W. C. Norwood, of the Bastian-Morley Company, who tied with George D. Van Seiver with a score of 78 and won the toss for the prize when the coin was flipped.

The baseball game was engineered by John Pruss, of the Kuehnle Shop, and was a distinct success. The game was between the sub-contractors and the general contractors. C. Albert Kuehnle was pitcher for the sub-contractors. William M. Anderson was umpire, and his decisions were satisfactory, except for a dispute when he called Kuehnle out at second. John S. McQuade met with a serious accident which did not extend deeper than his clothing. The fellows all had a good time, and we will long remember the baseball game at Cedarbrook.

At six o'clock the members sat down to a Planked Shad Dinner, which was right up to the reputation of the Club, followed by an entertainment of vaudeville which lasted an hour and a quarter.

The members were delighted with the afternoon's outing which gave all an opportunity to get better acquainted and to transact a little business on the side.

**Repetition tends to create habit, the more often we see, do or hear a thing, the quicker we are likely to be influenced by it. The consecutive appeal of a number of advertisements will develop certain memories and associations tending to overcome the natural habit of procrastination.—Making advertising pay.**

**"Camouflage" doesn't pay in advertising. Don't call your cannon a bit of landscape. Be honest and gain the confidence of the public.**



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co. ....Darby, Pa.

Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

Lee T. Ward Co. ....617 Filbert St., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarriek Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F.....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc. ....1844 N. Front St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co. ....Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

The Beckwith Co. ....2401 Chestnut St., Phila.

## HAULING CONTRACTORS.

McCarriek Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ....19th and Washington Ave., Phila.

Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

Wood, Alan, Iron & Steel Co. ....Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W. Co. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOLEUM.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Fellin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Ketcham, Howard.....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.

Roman Mosaic & Tile Co. ....435 Green St., Phila.

## MASON BUILDER.

D'Lauro, Jo.....55 E. Mermaid Lane, Phila.

## MASTIC FLOORING.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## ORNAMENTAL IRON.

Pettit, Frank, Ornamental Iron Works,  
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## PAINTS AND VARNISHES.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## PAVING BRICKS.

Ketcham, O. W. ....121 N. 18th St., Phila.

## PHOTOSTATS.

Weber, F., Co. ....125 S. 12th St., Phila.

## PLUMBING FIXTURES.

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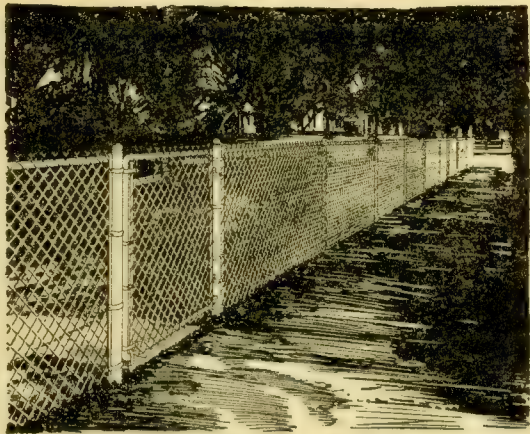
Vol. XXXIX, No. 23  
June 4, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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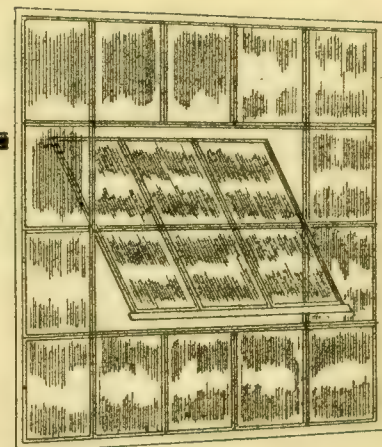
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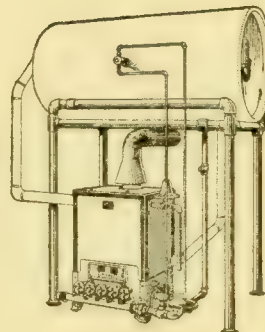
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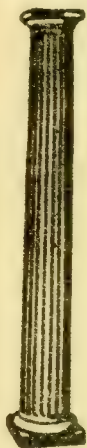
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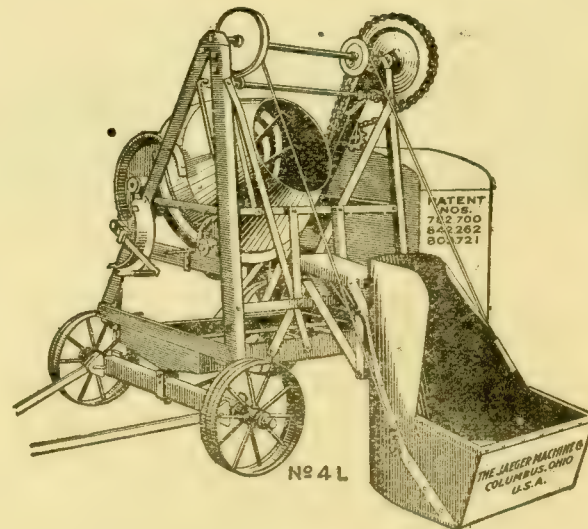
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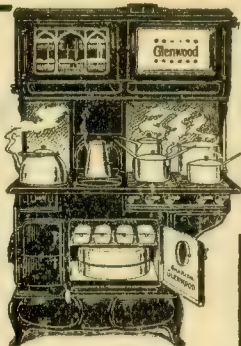


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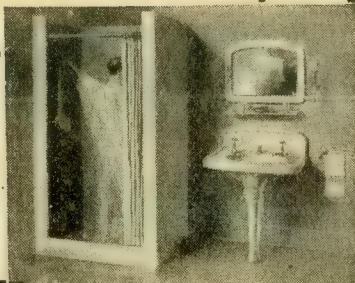


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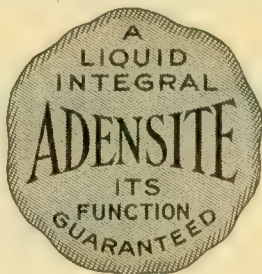
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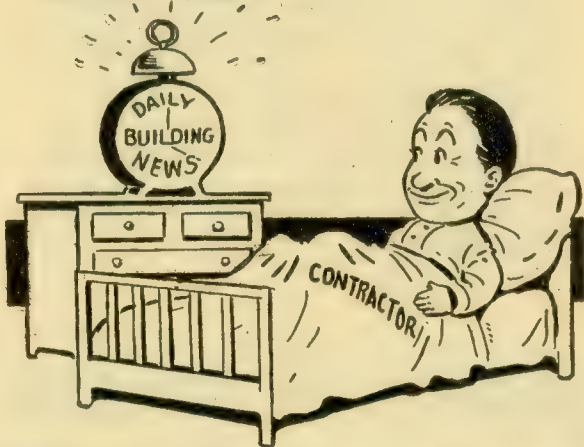
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# BUILDERS' GUIDE

VOLUME XXXIX  
Number 23

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

PHILADELPHIA  
June 4, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

PUBLISHED WEEKLY  
BY

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## As The Editor Sees It



### ANNOUNCEMENT OF THE PHILADELPHIA CERTIFICA- TION PROGRAM FOR REC- OGNIZING AND ENCOUR- AGING CRAFTSMANSHIP

By the Philadelphia Building Congress

**R**ECOGNIZING the character and long established good name which Philadelphia has acquired as the cradle of liberty, the city of homes and the workshop of the world—a reputation which would be impossible without the fine part taken by its architects, engineers, builders, construction workers, and others of financial and allied interests who have given this city Independence Hall and its other enduring historical monuments, its city and suburban homes, its industrial establishments, office buildings, hotels, places of public assemblage and other structures and public utilities, and

Recognizing that in all such work the enjoyment, comfort, health and safety of the people depend upon the ability of the architect to design and properly plan attractive and economically sound buildings; the skill of the engineer to provide for their structural safety and equipment; the integrity and experience of the builder and the contractor to construct; and the pride of craft, interest and efficiency of the workers to render service, both "skilled" and "unskilled," and

Recognizing the precedent set by the

earlier buildings and structures in Philadelphia and its environs, and the revival which set in with the 20th Century, after the stimulus given by the Centennial Exhibition, the Columbian Exposition, and other contributing causes, and

Desiring to encourage and to preserve for all time, in Philadelphia and its metropolitan area, the true spirit of craftsmanship, to give recognition to those whose skill, patience and toil have built the community well, and to retain permanently as citizens those who will continue their useful work, improve with experience and broaden through contact with all elements in the industry, thus stimulating others to follow their example.

*It is hereby announced, that,*

The Philadelphia Building Congress, for the remainder of the current year, in co-operation with all bodies having the desire to encourage a better appreciation of good architecture, sound construction, pride in craft, interest in work and efficiency in production, will make a broad survey of construction activities and personnel in order to ascertain:

The names and addresses of all field workers in the building industry (as distinguished from shop workers engaged in the manufacture of building materials) who are qualified to perform and are performing satisfactory services in their respective crafts or in related lines of work.

The names and addresses of all builders, sub-contractors, or other employers who encourage such workers and afford them opportunities to do their best or to improve themselves.

The names and addresses of all architects and engineers who encourage their co-workers in the service of owners and the community to become better craftsmen or workers.

*And it is further announced, that,*

The Philadelphia Building Congress will cause to be issued engrossed certificates dated January 1st, 1925, endorsed by its officers and properly qualified committees, as follows:

**Craftsmen.** To those, now designated by various names, such as Mechanics, Artisans, Skilled Workers, etc., who in any building craft have shown skill, ability, efficiency, willingness and the desire to improve their own knowledge and technique as well as that of fellow workers, helpers or apprentices.—*a Certificate as a Craftsman.*

**Assistant Craftsman.** To those, now designated as Improvers, Helpers, etc., who give indication of the proper qualifications and the desire to become craftsmen, or to those who are satisfactorily completing terms of apprenticeship, and have shown the characteristics described in the preceding paragraph,—*a Certificate as an Assistant Craftsman.*

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*Junior Craftsman.* To those, now designated as Apprentices, Learners, etc., who, after satisfactory completion of such terms as shall be deemed sufficient, indicate the characteristics described in the first paragraph,—a *Certificate* as a *Junior Craftsman*.

*Guildsman.* To those engaged in any of the Crafts, who have shown especial skill in developing the artistry or handicraft possibilities in their particular field of work, such as designing, laying off, modeling, carving, wrought-work, and have given visible evidences of individuality,—a *Certificate* as a *Guildsman*.

*Architects and Engineers.* To those, who having designed, specified and supervised buildings which have been successfully erected, who have shown knowledge of appropriateness of design with the most advantageous use of materials, who have encouraged pride of craft on the part of co-workers and have given individual recognition of it when deserved,—a *Certificate* as a *Master Craftsman*.

*Builders and Sub-contractors.* To those, who have satisfactorily either erected buildings or other structures or parts thereof, or installed equipment therein, and have encouraged pride of craft on the part of co-workers and have given individual recognition of it when deserved,—a *Certificate* as a *Co-operating Master Craftsman*.

The award of all such certificates shall be made, upon due knowledge of ascertainable facts, as soon as practical after the end of the current year. Awards shall be made, in each class, upon evidence of sufficient merit and in an individual capacity without regard as to whether or not the recipient is affiliated with any organization, association or other group. Each certificate shall be non-transferable and shall be superseded by another certificate, if the same recipient is, at the end of the next succeeding year, considered to be again entitled to a certificate, either in the same or another class.

It is hoped that the success of this program will be such as to warrant consideration of,

*Workmen.* To those, now designated as Common Laborers, Unskilled Laborers, or "Helpers," etc., who have shown aptitude, efficiency, willingness, and the desire to successfully perform their allotted task with better understanding of its relation to the work of others,—a *Certificate* as a *Construction Workman*.

Further detailed announcements will be made from time to time. Meanwhile the co-operation of everyone interested, including the public, is earnestly desired, in the furtherance of this Philadelphia Craftsmanship Certificate Program. All suggestions or other communications should be addressed to

Philadelphia Building Congress,  
D. Knickerbacker Boyd, President,  
704 Otis Building, Philadelphia.

Approved by the Executive Committee.  
(Attest) R. C. Kramer, Secretary.

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**Garage**, 908-14 North Third street, Philadelphia, \$25,000. Architect, private plans. Owner, M. J. Lichow, Northwest Corner Fifth and Parrish streets, Philadelphia. Brick, 1 story, 78x117 feet, slag roof, cement floors. Owner will build.

**Residence**, West side Eighty-first, South of Tinicum avenue, Philadelphia, \$5,000. Architect, private plans. Owner, Charles Haage, Eighty-first and Tinicum avenue, Philadelphia. Brick, 2 stories, 26x36 feet, shingle roof, electric light, hardwood and pine floors. Owner will build.

**Bank Building (alts. and add.)**, Broad and Columbia avenue, Philadelphia. Architect, E. A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Columbia Avenue Trust Co., on premises. Plans in progress.

**Stores and Apartment**, Southwest Corner Belfiel and Tulpehocken streets, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, A. F. Quinn, 2619 Kensington avenue, Philadelphia. Brick, 2 story, 30x30 feet, slag roof, pine floors, plate glass, electric light, flush bulks. Architect ready for sub-bids.

**Store (alts. and add.)**, 903-05-07 Market street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, Price Gas & Electric Co., on premises. Electric light, tile work, metal cornice, painting and glazing, metal ceilings, plastering, plate glass. Architect taking bids.

**Church**, 6029 Ludlow street, Philadelphia, \$20,000. Architect, J. S. Fernald, 5533 Wyalusing avenue, Philadelphia. Owners, American Congregation Church, care of architect. Stone, 1½ stories, 38x70 feet, asbestos shingle roof, pine floors. Permit issued.

**Store**, Northwest Corner Broad and Locust streets, Philadelphia. Architect, H. E. Kennedy, 1324 Walnut street, Philadelphia. Owners, Middle City Realty Co., Louis Cahan, president, 1324 Walnut street. Brick, cut stone, steel, 2 stories and basement, slag roof, oak floors, hollow tile, shoring, ornamental iron work, tile and marble work, vapor heat, electric light, ornamental plastering. Revised plans in progress.

**Club House**, 1838 East Cambria street, Philadelphia. Architect, F. V. Nickels, 15 South Twenty-first street, Philadelphia. Owners, Veterans of Foreign Wars, Captain Allan Capron Post, No. 22, Frank Gordon, on premises. Brick, 2 stories, 36x64 feet, slag roof, maple floors, oil burning system, electric work, hot water heat. Plans in progress.

**Mechanical Building (add.)**, Fifty-fourth and Cedar avenue, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Misericordia Hospital, on premises. New third floor. Plans in progress.

**School Building (alts.)**, Nineteenth and Tioga streets, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Holy Souls Roman Catholic Church, on premises. Renovation of entire

first floor, new partitions, etc. Plans in progress.

**Store and Apartment**, Thirty-eighth and Lancaster avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Plans in progress.

**Store and Apartments**, Northwest Corner Thirty-eighth and Baring streets, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. General alterations. Plans in progress.

**Stores (4), Apartments (12) (alts.)**, 1727-29 Vine street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Irving King, 132 South Fourth street, Philadelphia. Stone, 4 stories and basement, 40x120 feet, general renovation. Plans in progress.

**Store and Apartments**, 122 West Cheltenham avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, E. A. Havens Co., Land Title Building, Philadelphia. General alterations. Plans in progress.

**Residence**, Commercial Museum, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, House Beautiful Exposition, care of architect. Hollow tile, 1½ stories, tile roof, hardwood floors, electric light, tile work, plumbing, furnishing complete. Plans in progress.

**Double Deck Ball Park Stands**, Twenty-first and Lehigh avenue, Philadelphia. Engineer, P. M. Sax, Penfield Building, Philadelphia. Owners, American League Baseball Club, on premises. Steel and concrete, granite double deck, slag roof. Engineer taking sub-bids.

**Office (alt. and add.)**, 5130 Walnut street, Philadelphia. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, Dr. De Forrest W. Ewing, on premises. Brick, 2 stories, 14x16 feet, slag roof, tile, marble or sandionyx. Plans in progress. Architect will be ready for bids in a few days.

**Studio (alts. and add.)**, 1608-12 Latimore street, Philadelphia. Architect, W. Woodburn Potter, Real Estate Trust Building, Philadelphia. Owner, C. Yarnall Abbott, 1711 Chestnut street, Philadelphia. Brick, 3 stories. Plans in progress. Architect ready for bids in one week.

**Bridges (2)**, Sixty-eighth street over Baltimore and Ohio Railway; Erie avenue, over Pennsylvania Railway, Philadelphia, \$200,000. Architect, private plans. Owners, Department of Public Works, Bureau of Surveys, City Hall. Steel and concrete. Plans completed. Owner will soon take bids.

**Apartment House**, Sixty-eighth avenue and Old York Road, Philadelphia. Architects, Stuckert & Co., Crozer Building, Philadelphia. Owner, T. K. Boesch, care of architect. Stone, brick, 3 stories, 80x40 feet (6 suites), slate and composition roof, hardwood and composition floors, hot water heat, oil burning equipment, electric light, tile and marble work, gas ranges. Architect taking sub-bids due June 6th.

**Store and Dwelling (alts. and add.)**, Northwest Corner Germantown and Somerset. Architect, W. H. Wooters, 816 West Allegheny avenue, Philadelphia. Owner, F. Winepol, Jr., on premises. Brick, 1 story, 12x16 feet, tin roof, metal lath, marble work, hollow metal skylights, plate glass, copper bars, structural steel, carpentry and mill work, painting, plastering. Owner ready for general bids.

**Shop Building**, Lancaster avenue and Lee avenue, Philadelphia. Architects, McIlvain & Roberts, Otis Building, Philadelphia. Owners, Le Boutellier & Dolan, on premises. Brick, stone, reinforced concrete, steel, 1 story, 50x84 feet, slag roof, cement floors, painting and glazing, shoring, bond, rolled steel sash, steam heat, electric light. Architects taking bids due June 6th.

**Mechanical School (alts. and add.)**, Girard College, Corinthian and Girard. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Board of Directors, City Trust, Girard College, W. L. Nevin, Esq., chairman, on premises. Brick, cut stone, steel, granite, 1 story and basement, 159x152 feet, slag roof, cement floors, plumbing, rolling steel doors and sash, tile and marble work, electric light. Architect taking bids due June 6th.

**Present Building (alts.)**, New Maternity Building, Twentieth and Susquehanna avenue. Architects, Norman Hulme & J. J. Dull, 1524 Chestnut street, Philadelphia. Owners, Women's Homeopathic Hospital, on premises. Stone, brick, cut stone, steel, 3 stories and

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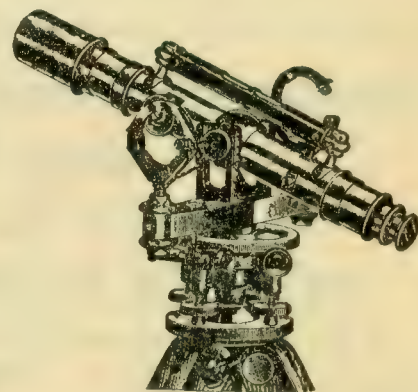
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**Contract No. 15**, completion of anchorages, Delaware River Bridge, Philadelphia. Owners, Delaware River Bridge Commission, Engineering Department, Ralph Mojeski, Widener Building, Philadelphia. Eight cylindrical piers to support masonry towers of the anchorages. Construction of concrete masonry, granite facing, steel roadway, supports and interior finish and equipment in both anchorages. Reinforced concrete, reinforced steel, granite structural steel, waterproofing, brick work, metal sash, hollow metal doors, copper roofs, skylights, (3) elevators, plumbing, electric work. Owners taking bids due June 18th.

**Schools (alts.)**, various locations, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Sanitary improvements and general alterations, including heating, plumbing and electric. Owners taking bids due June 5th at 12 M.

**Sales and Service Building (heating bids)**, Stenton avenue and Wistar street, Philadelphia. Architect, Philip S. Tyre, 1509 Arch street, Philadelphia. Owner, Henry W. Pletcher, care of architect. Architect taking bids on heating due June 5th, 4 P. M.

**Stable**, Southwest Corner Eleventh and Ontario streets, Philadelphia, \$10,000. Architects, William F. Koelle & Co., Twenty-sixth and Oxford streets, Philadelphia. Owners, Breyer Ice Cream Co., Eighth and Cumberland streets, Philadelphia. Brick, 2 stories, 60x84 feet, 6 inches, slag roof. Architects will build.

**Residences (3)**, 11-13-15 East Highland avenue, Philadelphia, \$10,000 each. Architect, private plans. Owner, Melvin H. Grebe, 5 East Highland avenue, Philadelphia. Brick, 2 stories, 16x56 feet, tin roof, hot water heat, electric light. Owner will build.

**Residences (2)**, North side Walnut street, West of Ridge avenue, \$6,800 each. Architect, private plans. Owners, C. M. Swartley & Son, 6835 Ridge avenue, Philadelphia. Brick, 2 stories, 16x45 feet, hot water heat, electric light. Owner will build.

**Bridge Line of Erie avenue**, under Philadelphia and Bustleton Branch, Philadelphia. Owners, Department of Public Works, Bureau

of Surveys, 216 City Hall. Owners taking bid due June 10th at 11 A. M. (Standard Time). Certified check of 5 per cent. must accompany each bid. Inquire Room 416.

**Supplies**, Philadelphia. Owners, Bureau of Water, 216 City Hall, Philadelphia. Furnishing and laying 16-inch cast iron water pipe, soot blowers, cast iron pipe laterals for filters, furnishing and erecting steam turbine generator. Owners taking bids due June 10th, 11 A. M. (Standard Time). Certified check, 5 per cent. of bid must accompany each bid. Inquire Room 796.

**Playground Equipment, Etc.**, Philadelphia. Owners, Bureau of Recreation, Department of Public Welfare, 595 City Hall. Furnishing and erecting outdoor play apparatus. Also separate bids for sand box with shelter. Hanover Playground, East Columbia and Thompson, and John Greenleaf Whittier, Seventeenth and Clearfield streets, Philadelphia. Owners taking bids due June 11th, 11 A. M. (Standard Time). Certified check for 5 per cent. of bids must accompany each bid.

**Residences (15)**, Sixty-ninth and Buist avenue, Philadelphia, \$83,500. Architect, private plans. Owner, James J. Moore, 4039 Lancaster avenue, Philadelphia. Brick, 2 stories, 16x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences and Garages (6)** (2) 1200-02 Dyre street, and (4) 1201-03 and 1200-02 Hawthorth street, Philadelphia, \$40,200. Architect, private plans. Owner, Harry Drake, 3139 Frankford avenue, Philadelphia. Brick, 2 stories, 20x37 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric light, garages, 1 story, 16x18 feet. Owner will build.

**Residences (2)**, North side Fry street, East of Ridge avenue, \$4,000 each. Architect, private plans. Owner, George M. Robinson, 635 Summit avenue, Philadelphia. Brick, 2 stories, 14x40 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Garages (2)**, 1733-39 Moravian street, Philadelphia, \$3,500 total. Architect, private plans. Owner, William R. Dougherty, 1610 Sansom street, Philadelphia. Brick, 1 story, 17 feet, 10 inches x 36 feet, slag roof, cement floors, electric work. Owner will build.

**Residences (6)**, Twelfth and Loudon streets, Philadelphia, \$38,000. Architect, private plans. Owner, John Myer, 4700 North Eighth street, Philadelphia. Brick, 2 stories, 16x44 feet, 13x8 feet and 15x30 feet, 11x19 feet, hot water heat, electric light. Owner will build.

**Residences (42)**, Buist avenue, Seventy-third street, Berbro, Bisley and Theodore streets, Philadelphia, \$144,400. Owners, Sil-

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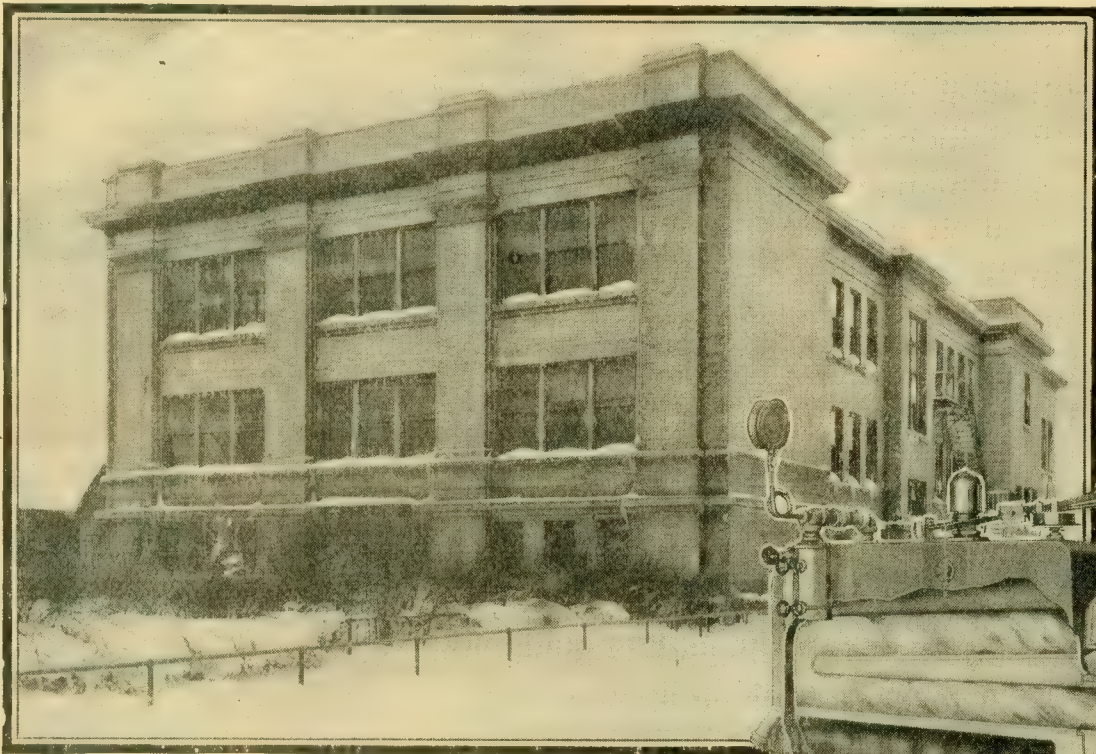
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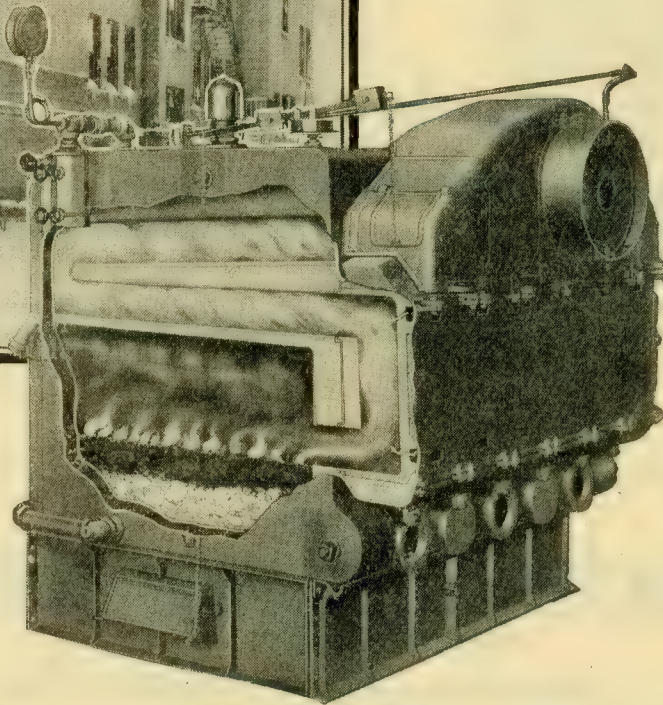
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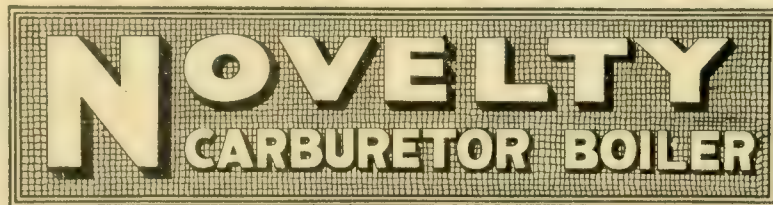
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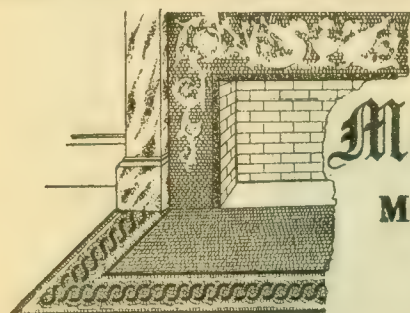
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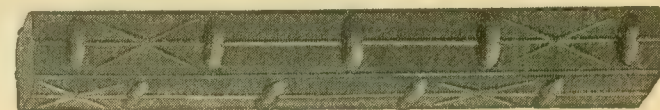
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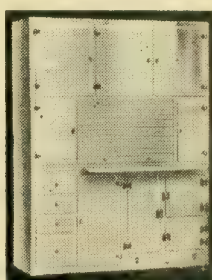
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ver & Green, 4018 Girard avenue, Philadelphia. Brick, 2 stories, irregular size, hot water heat, electric light. Owners will build.

**Residences (131)**, 5212-34 Torresdale avenue, Twenty-fourth and Ritner streets, 1600-64 South Etting street, Twenty-eighth and Tasker streets, Marston and Tasker streets, Philadelphia, \$424,500. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 2 stories, various sizes, hot water heat, electric light. Owner will build.

**Residence**, Southeast Corner Frontenac and Brighton street, \$5,000. Architect, private plans. Owner, John J. Artman, 2017 North Twentieth street, Philadelphia. Frame, 2 stories, 39x28 feet, hot water heat, electric light. Owner will build.

**Store and Storage Building (alts. and add.)**, 4353 Frankford avenue, \$2,500. Architect, private plans. Owner, Charles Booth, 4355 Frankford avenue, Philadelphia. Brick, 1 story add., 15x32 feet, general alterations. Owner will build.

**Residences (2)**, 6101-03 Cobb's Creek Parkway, Philadelphia, \$35,000 total. Architect, private plans. Owner, Charles Armstrong, 6006 Cobb's Creek Parkway, Philadelphia. Brick, 2 stories, (1) 19x34 feet, 30x25 feet, and (1) 17x35 feet, 20x22 feet, slag and tile roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (3)**, East side Roanoke street, South of Springfield avenue, \$20,000 each. Architect, private plans. Owner, Judson M. Zane, Land Title Building, Philadelphia. Stone, 3 stories, 22x44 feet, shingle roof,

hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Asphalt Mixing Building**, West side of Schuylkill, North of Walnut street, Philadelphia. Architect, private plans. Owners, Union Paving Co., Thirtieth and Locust streets, Philadelphia. Structural steel, corrugated iron sidings and roof, 2 stories, boiler room. Owners will build.

**Residences (2)**, 4664-66 Oakland street, Philadelphia, \$5,000 each. Architect, private

plans. Owner, Wilfred Robinson, 7319 Rising Sun avenue, Philadelphia. Brick, 2 stories, 20x40 feet, tile roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, South side Red Lion Road, West of Bustleton Pike, \$3,500. Owner, John O. Ellis, 2959 North Third street, Philadelphia. Frame, 1 story, 24x36 feet, shingle roof, electric lighting. Owner will build.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Apartment (alts. and add.)**, 323 South Thirteenth street, Philadelphia, \$2,500. Architect, private plans. Owner, Walter A. Thompson, 1019 South Second street, Philadelphia. Brick, 2 stories, 10x10 feet, general repairs. Contract awarded to Louis Cohen & Son, 1904 North Twelfth street.

**Building No. 8**, Sixty-eighth to Seventieth and Elmwood avenue, Philadelphia, \$1,000,000. Architects, Harris & Richards, Drexel Building, Philadelphia. Owners, General Electric Co., Witherspoon Building, Philadelphia. Brick, concrete, 6 stories, 604x105 feet, Barrett Specification Roof, concrete, plank, wood block floors, safety treads, painting and glazing, shoring, waterproofing, terra cotta, orna-

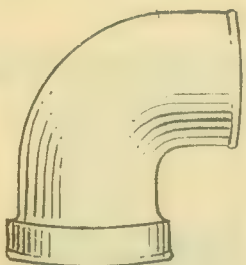
mental iron work, floor hardener, hollow metal, tin clad and rolling doors, rolling steel sash (heating, electric, sprinkler work, cranes and plumbing, elevators and elevator doors, railroad tracks, tank and tank tower reserved). Contract awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Track Enclosure**, Thirteenth and Glenwood avenue, Philadelphia. Architect, Louis Wirsching, Jr., 85 Ninth avenue, New York City. Owners, National Biscuit Co., on premises. Brick, cut stone, steel, 1 story, 28x18 feet, composition roof, cement floors, roof ventilators, metal window guards, ornamental terra cotta, ornamental iron work, cold water painting, bond, rolling steel sash. Contract awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Office and Garage**, Nineteenth and Somerset streets, Philadelphia, \$25,561. Architect, private plans. Owners, George M. Spiegle & Co., Eighteenth and Somerset streets, Philadelphia. Brick, 2 stories, 103x22 feet, slag roof, oak floors, vapor heat, electric light, tile work. Contract awarded George P. Clayton, 1817 North Twentieth street, Philadelphia.

**Manufacturing Building (add.)**, Southwest Corner Jasper and Butler streets, \$60,000. Architect, private plans. Owners, Charles P. Cochran Co., on premises. Brick, concrete and

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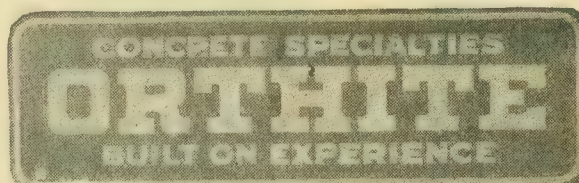
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steel, 2 stories and 3 stories, 79x155 feet, 42x155 feet, sag roof, cement floors, steam heat, electric light, rolling steel sash, ornamental iron work. Contract awarded William Steele & Sons, 219 North Broad street, Philadelphia.

**Residence (alts. and add.),** 7003 North Twelfth street, Philadelphia, \$6,000. Architect, Gabriel Roth, 1629 Chestnut street, Philadelphia. Owner, Walter H. Kohn, on premises. Painting and glazing, tile work, hardware, oak floors, carpentry and mill work, iron work, plastering, cement work, copper work, Spanish tile roof, alternate for hot water heat. Contract awarded Frank E. Wallace, 337 South Camac street, Philadelphia.

**Office and Lodge Building,** 1523 Girard avenue, Philadelphia. Architect, private plans. Owners, Great Council of Pennsylvania I. O. R. M., 1523 Girard avenue, Philadelphia. Brick, cut stone, steel, limestone, 3 stories, 133x35 feet, slag roof, composition and maple floors, hollow tile, plumbing, shoring, ornamental iron work, tin-lined doors, metal lath, vapor heat, electric light. Contract awarded F. G. Stewart, 1520 Locust street, Philadelphia.

**Store Front and Alts. to Building,** 2027 Walnut street, Philadelphia. Architects, Norman Hulme & John H. Dull, 1524 Chestnut street, Philadelphia. Owner, J. Cutler Fuller, on premises. Steel work, brick work, cut stone, carpentry and mill work, iron work, painting and glazing, hardware, electric light and heating alterations, marble work, plastering. Contract awarded Smith Hardican Co., 1809 Callowhill street, Philadelphia.

**Store (alts.),** 1410 Chestnut street, Philadelphia, \$55,000. Architect, David B. Bassett, 1520 Locust street, Philadelphia. Owners, A. H. Geuting Co., 1308 Chestnut street, Philadelphia. Reinforced concrete, brick, cut stone, carpentry and mill work, structural steel, iron work, marble and terrazzo work,

metal lath, plastering, alterations to steam heat and electric light, plumbing, painting and glazing, hardware, bronze work. Contract awarded F. G. Stewart, 1520 Locust street, Philadelphia.

**Store and Apartments (alts.),** Twenty-second and Ridge avenue, Philadelphia, \$4,600. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, William Shore, on premises. Cut stone, electric light, carpentry and mill work, cement work, plumbing, painting and glazing, metal ceiling, metal bulks, ornamental iron work. Contract awarded George E. Hawk, 1628 North Twelfth street, Philadelphia.

**Residences (2),** Hillcrest avenue, Chestnut Hill, Pa. Architect, W. K. Henkels, 106 West Highland avenue, Chestnut Hill, Pa. Owners, George Braun and John Muehleisen, care of architect. Frame, cinder block and mineralite stucco, 2½ stories, 18x40 feet each, slate roof, pine floors, hot air heat, electric light, tile work. Contract awarded Joseph T. Phister, Reg., 106 West Highland avenue, Philadelphia.

**Stores (3), Apartments (alts. and add.),** 1269-73 East Cheltenham avenue, Philadelphia. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, Max Perel, 1244 East Cheltenham avenue, Philadelphia. Brick, 2 stories, 16x30 feet, slag roof, pine floors, electric light, general alterations, plumbing. Contract awarded E. W. Wilson, 238 South Thirtieth street, Philadelphia.

**Orphans' Home,** Southeast Corner Ninth and Shunk streets, Philadelphia. Architects, J. E. Fieldstein and A. C. Bieber, Otis Building, Philadelphia. Owner, name withheld. Brick, steel, cut stone, 2 stories and basement, 100x42 feet, slag roof, maple and composi-

tion floors, painting and glazing, rolled steel skylights, tile and marble work, metal lath, oil burning system (heating, plumbing, electric, kitchen equipment reserved). Contract awarded Simon Reece, 2424 North Park avenue, Philadelphia.

**Church (alts. and add.),** Seventieth and Woodland avenue, Philadelphia. Architects, Lachman & Murphy, Drexel Building, Philadelphia. Owners, Siloam Methodist Episcopal Church, on premises. Stone, cut stone, 2 stories, irregular in size, pine floors, slate roof, controlled heat, electric light, ornamental iron work. Contract awarded D. A. McClelland, Drexel Building, Philadelphia.

**Store and Residence (2) (alts. and add.),** 5210-12 Chestnut street, \$11,000 each. Architect, private plans. Owner, Charles Segall, 6238 Carpenter street, Philadelphia. Brick, 1 story add., 16x16 feet, general alterations. Contract awarded to Frank Lucci, 1603 Ellsworth street, Philadelphia.

**Manufacturing Building,** 1510 North Twenty-fifth street, Philadelphia, \$9,000. Architect, private plans. Owner, A. B. Taylor, on premises. Brick, 1 story, 16x57 feet, 2 stories, 16x31 feet. Contract awarded to Frank I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Storage Building (alts.),** North side Merion avenue, West of Fiftieth street, \$4,360. Architect, W. J. Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad Company, Broad Street Station, Philadelphia. General alterations. Contract awarded to Armstrong & Latta, 1926 Sansom street, Philadelphia.

**Store and Residence (add. and alts.),** 2432 South Seventh street, \$3,000. Architect, private plans. Owner, H. Polsky, on premises.

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Brick, 2 stories, 7x12 feet, general alterations. Contract awarded to J. Rothman, 1832 South Eighth street, Philadelphia.

**Store and Tenement (alts. and add.),** Northeast Corner Twenty-third and Fairmount avenue, \$3,000. Architect, private plans. Owner, A. Portroff, on premises. Brick, 1 story, 10x7 feet, second story, 15x14 feet, general alterations. Contract awarded to W. E. Edwards, 721 Walnut street, Philadelphia.

**Residence,** South side Afton street, West of Tabor Road, \$5,000. Architect, private plans. Owner, T. Boldurian, 827 North Third street, Philadelphia. Brick, 2 stories, 26x24

feet, 1 story, 13x8 feet. Contract awarded to Frank Hartman, 370 North Evans street, Pottstown, Pa.

**Building (alts.),** 516 South street, Philadelphia, \$3,400. Architect, private plans. Owner, J. B. Kinley, Real Estate Trust Building, Philadelphia. General alterations. Contract awarded to B. N. Gamber, 3434 North Seventeenth street, Philadelphia.

**Residence and Garage (add.),** 5262 Parkside avenue, Philadelphia, \$2,900. Architect, private plans. Owner, L. Creskoff, on premises. Brick, 2 stories add., 18x16 feet. Contract awarded to Wilbur S. Green, 1504 Montrose street, Philadelphia.

**Garage,** 4008-10 Germantown avenue, Philadelphia, \$30,000. Architect, private plans. Owners, J. J. Felin & Co., on premises. Brick, 1 story, 40x256 feet, slag roof, cement floors, electric work. Contract awarded to H. H. Brocklehurst, 512 West Norris street, Philadelphia.

**Residence and Garage,** South side Monument avenue, East of Wynnefield avenue, \$31,500. Architect, private plans. Owner, Harry L. Cooper, 129 East Roosevelt Boulevard, Philadelphia. Stone, 3 stories, 45x27 feet, 2 stories, 18x14 feet, garage, 1 story, 20x26 feet, slate roof, hardwood pine and cement floors, hot water heat, electric light, tile work. Contract awarded to H. A. Hamilton, Greene and Cheltenham avenues, Philadelphia.

**Garage,** Southeast Corner Ridge avenue and Sedgley avenue, Philadelphia, \$28,000. Architect, private plans. Owner, Max Lecomowitz, Southeast Corner Fifty-seventh and Pine streets, Philadelphia. Brick, 1 story, 155x116 feet, slag roof, cement floors. Contract awarded to Sol Marcus, 429 South Fifty-seventh street, Philadelphia.

**Church (alts.),** Northwest Corner Eighteenth and Spring Garden streets, \$12,000. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owners, Fifth Baptist Church, on premises. Carpentry, mill work, plastering, painting, glazing, brick work. Contract awarded to George F. Payne & Co., Stock Exchange Building.

**Garage,** 3721 York Road, Philadelphia, \$6,000. Architect, private plans. Owner, R. M. Gregory, on premises. Brick, 1 story, 18x132 feet, slag roof, cement floors. Con-

tract awarded to Oscar C. Wehmeyer, 313 East Eleanor street.

**Coal Silos (7),** South side Parkside avenue, West of Forty-eighth street. Architect, private plans. Owners, S. Margolis & Co., 815 Washington avenue, Philadelphia. Reinforced concrete, 18x50 feet. Contract awarded to J. B. Nicholson, Inc., 342 Madison avenue, New York.

**Office and Residence (alts. and add.),** 6060 Ridge avenue, \$10,000. Architect, private plans. Owners, Manayunk Trust Co., 4338 Main street, Philadelphia. Brick, 2 stories add., 20x20 feet, slag roof, steam heat, general alts. Contract awarded to E. L. Cuthbertson, 334 Roxboro avenue, Philadelphia.

**Residence,** North side Princeton avenue, West of Loretta street, \$8,500. Architect, private plans. Owner, C. H. Spalding, 2105 West Cheltenham avenue, Philadelphia. Frame, 2 stories, 28x30 feet, hot water heat, electric light. Contract awarded to United Home Builders' Corporation, Rising Sun avenue and Unruh street, Philadelphia.

**Residence,** 1815 Orthodox street, Philadelphia, \$8,000. Architect, private plans. Owner, Samuel Kruger, 2017 Orthodox street, Philadelphia. Brick, 2 stories, 18x62 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to C. Lakowicz, 4655 Torresdale avenue, Philadelphia.

**Residence,** South side Hartell avenue, East of Burholme avenue, \$6,100. Architect, private plans. Owner, Charles J. Lerdigh, Fox Chase, Philadelphia. Frame, 2 stories, 26x34 feet, 1 story, 16x4 feet. Contract awarded to Albert H. Hebsacker, 49 Park avenue, Fox Chase.

**Residence,** Northwest Corner Seventy-ninth and Gibson avenue, Philadelphia, \$6,500. Architect, private plans. Owner, A. Sakal, 1419 South Second street, Philadelphia. Brick, 2 stories, 16 feet, 9 inches x 52 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to A. Mamucan, 2742 South Marshall street, Philadelphia.

**Residences (2),** North side Howell street, East Endrick street, \$10,000 total. Architect, private plans. Owner, Patrick Reilly, 1708 East Hunting Park avenue, Philadelphia. Brick, 2 stories, 16x60 feet, hot water heat, electric light. Contract awarded to J. J.

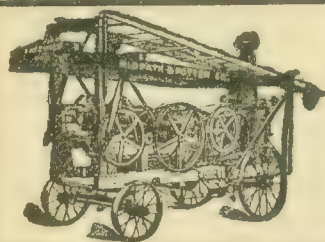


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Cloarkin, 850 East Ontario street, Philadelphia.

**Residence**, Northwest Corner Hasbrook and Rebecca street, Philadelphia, \$7,500. Architect, private plans. Owner, Ernest H. Henderson, Jr., 836 Passmore street, Philadelphia. Frame, brick, 2 stories, 27x48 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Earl F. Tygert, 728 Robbins street, Philadelphia.

**Apartment (alts. and add.) and Garage**, 4630 Penn street, \$9,100. Architect, private plans. Owner, Harry T. Dungan, 1138 West Venango street, Philadelphia. Brick, 3 stories, 14x9 feet, 2 stories, 16x21 feet, third story, 13x13 feet, garage, 1 story, 23x17 feet, general alterations. Contract awarded to J. Fleischer & Sons, 739 Roosevelt Boulevard.

**Residence**, East side Lawndale avenue, South of Faunce street, \$6,000. Owner, Stephan Wurm, 7500 Lawndale avenue, Philadelphia.

Brick, 2 stories, 16x47 feet, slag roof, hot water heat, electric work. Contract awarded to Joseph O'Vany, 1728 North Third street, Philadelphia.

**Store and Residence (alts. and add.)**, 143 North Eighth street, Philadelphia, \$4,800. Owners, Eddlestein & Bornstein, 215 South Fifteenth street, Philadelphia. Brick, 1 story, 4x36 feet, 16x12 feet, general alterations. Contract awarded to Negin & Klyman, 1809 South Fourth street, Philadelphia.

**Garage (alts.)**, 2914 Diamond street, Philadelphia, \$4,500. Owner, Louis Siegfried, on premises. **General alterations**. Contract awarded to D. W. Munro, 2813 Diamond street, Philadelphia.

**Residence and Store (add.)**, 1437 South Eighth street, Philadelphia, \$3,000. Owner, M. Verdaci, on premises. Brick, 2 stories, 11x27 feet. Contract awarded to F. Donato, 1423 South Eighth street, Philadelphia.

## PENNSYLVANIA Construction News

**Hall**, Nazareth, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, I. O. O. F., care of Mr. Hartzell, Cramer Hosiery Mills, Nazareth, Pa. Brick, steel, 3 stories, 40x110 feet, slag roof, tile and hardwood floors, roof ventilators, cast stone, steam heat, electric light. Contract awarded to Frank Hahn, Nazareth, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Beaver County, A-1952, Hopewell Township. One course reinforced concrete. Contract awarded to J. B. Reed Co., McKees Rocks, Pa., \$83,214.75.

Berks County, A-2801-2802, Maxatawny and Long Swamp Townships, Topton Borough. One course reinforced concrete. Contract awarded to General Paving Co., Allentown, Pa., \$101,325.70.

**Residence**, Wayne, Pa. Architects, De Armond, Ashmead & Bickley, 22 South Fifteenth street, Philadelphia. Owner, E. W. Gardner, care of architect. Cinder block and stucco, 2½ stories, 42x35 feet, shingle roof, oak and pine floors, hot water heat, electric light. Architects taking bids due June 4th.

**Residence**, Ardmore, Pa. Architect, Henry L. Reinhold, 1513 Walnut street, Philadelphia. Owner, Mr. Albert M. Taylor, Ardmore, Pa. Architect taking bids.

**Store and Apartment Building**, Plains, Pa.

Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, A. J. Kaufer, 17 River street, Plains, Pa. Frame, 2 stories, 41x75 feet, tin roof, metal ceilings, electric light. Owner ready for bids.

**Store and Apartment**, Main and Walnut streets, Luzerne, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, G. Greenwald, 50 Main street, Luzerne, Pa. Frame, 2 stories, 45x80 feet, slag roof, hardwood floors, metal ceilings, steam heat, electric light, tile work. Architect ready for bids.

**Storage Building**, Wilkes-Barre, Pa. Architects, Mack & Sahm, Coal Exchange Building, Wilkes-Barre, Pa. Owners, M. L. Oppenheim, Wilkes-Barre, Pa. Brick, slow burning. 6 stories, 40x145 feet, asphalt roof, pine floors, freight elevators, electric light, rolled steel sash, kalamein doors, dampproofing. Architect taking bids due June 10th.

**Rectory**, Hazleton, Pa. Architect, Peter B. Sheridan, Markle Bank Building, Hazleton, Pa. Owners, Holy Rosary Church, Hazleton, Pa. Frame, 2½ stories. Architect will be ready for bids in two weeks.

**Residence**, Hazleton, Pa. Architect, Peter B. Sheridan, Markle Bank Building, Hazleton, Pa. Owner, Mrs. Mary Gallagher, Hazleton, Pa. Frame and stucco, 2½ stories, 53x28 feet. Architect about ready for bids.

**Colonial Residence and Garage**, Phoenixville, Pa. Architect, J. Vincent Poley, 162

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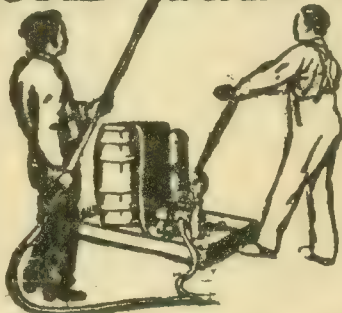
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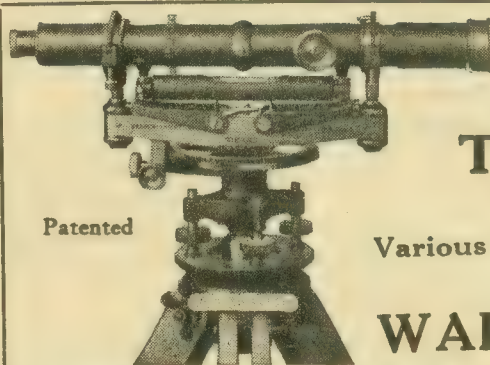
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Second avenue, Royersford, Pa. Owner, M. E. Latshaw, 376 Second avenue, Phoenixville, Pa. Stone, 2½ stories, 36x42 feet, Vermont green slate roof, oak and tile floors, vapor heat, electric light, Morgan doors, bond, terra cotta, laundry equipment, plumbing. Architect taking bids.

**Bungalow**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Daniel J. Mowrey, 338 Washington street, Royersford, Pa. Tapestry brick, 1½ stories, 30x40 feet, asbestos shingle roof, oak and tile floors, hot water heat, electric light, tile work, Morgan doors, bond, terra cotta. Plans in progress.

**Bungalow**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, William Mowrey, 338 Washington street, Royersford, Pa. Brick, 1½ stories, 30x40 feet, asbestos roof, oak and tile floors (heating, plumbing, electric work reserved), tile work. Plans in progress.

**Church**, Mt. Carmel, Pa. Architect, J. A. Barrett, Bowman Building, Scranton, Pa. Owners, First Church of God, Rev. C. O. Houston, Mt. Carmel, Pa. Brick, 1 story and basement, 52x53 feet, hardwood floors, electric light, tile work. Plans in progress.

**Bank (alts.)**, Carbondale, Pa. Architects, E. H. Davis & George M. D. Lewis, Union Bank Building, Scranton. Owners, Pioneer City Bank, Mr. Bocksigge, cashier, Carbondale, Pa. Interior alterations, tile and marble work. Preliminary plans in progress.

**Bank (alts. and add.)**, Peckville, Pa. Architects, E. H. Davis & George M. D. Lewis, Union Bank Building, Scranton. Owners, Peckville National Bank, care of architect. Stone, 1 story, bronze work, tile and marble work, vault. Plans in progress.

**High School**, Montrose, Pa. Architects, E. H. Davis & George M. D. Lewis, Union Bank Building, Scranton. Owners, Montrose School Board, A. J. Wheaton, secretary, Montrose, Pa. Brick, stone, 2 stories and basement, 8 rooms. Plans in progress.

**Club House**, North Washington street, Scranton, Pa., \$600,000. Architects, E. H. Davis & George M. D. Lewis, Union Bank Building; D. H. Morgan & W. S. Lacondes, Connell Building, Scranton. Owners, Scranton Board of Trade, Colonel L. A. Watres, president, 516 Spruce street, Scranton, Pa. Fireproof, brick, stone, steel, 3 stories, 90x160 feet, hardwood floors, hollow tile, electric light, tile and marble work. Plans in progress.

**Club (alts. and add.)**, Scranton, Pa. Architect, F. A. Nelson, Connell Building, Scranton, Pa. Owners, Century Club, 612 Jefferson avenue, Scranton, Pa. Brick, stone. Plans in progress.

**Orphans' Home**, Tipton, Pa. Architects, Scholl & Richardson, 136 Robeson street, Reading, Pa. Owners, Tipton Orphanage, Tipton, Pa. Brick, 2 stories, 42x56 feet, slate roof, wood floors, steam heat, electric light. Plans in progress.

**Building**, Minersville, Pa. Architect, W. D. Hill, Pottsville, Pa. Owners, Yuengling Realty Co., Pottsville, Pa. Brick, tile, 30x75 feet, built-up roof, yellow pine floors, metal lath, hollow tile, metal ceilings, terra cotta, store fixtures (plumbing, heating and electric work reserved). Plans in progress.

**Hospital**, York, Pa., \$1,000,000. Architect, Edward Leber, Hay Building, York, Pa. Owners, York Hospital, York, Pa., care of G. H. Whitelev. Plans in progress.

**School**, Old Forge, Pa. Architect, A. Pradzick, 821 Moosic street, Scranton, Pa. Owner, name withheld. Frame and stucco, 2 stories and basement, 45x70 feet, shingle roof, electric lighting. Plans in progress.

**Parish House**, Dunmore, Pa. Architect, A. I. Pradzick, 821 Moosic street, Scranton, Pa. Owners, All Saints' Roman Catholic Church,

Rev. M. C. Berna, Dunmore, Pa. Brick, 2 stories, 30x40 feet, slate roof, hardwood floors, electric lighting. Plans in progress.

**Residence**, North Washington street, Scranton, Pa. Architect, D. H. Morgan, Connell Building, Scranton, Pa. Owner, W. C. Price, 135 South Main street, Scranton, Pa. Frame, 2½ stories, 90x220 feet, shingle roof, hardwood floors, electric light, tile work. Plans in progress.

**Residence**, Forty Fort, Pa., \$8,000. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Mrs. H. G. Shepp, Forty Fort, Pa. Frame, 2 stories, 6 rooms, asphalt shingle roof, pine floors, steam heat, electric light. Plans in progress.

**Library**, West Pittston, Pa. Architect, T. H. Atherton, Coal Exchange Building, Wilkes-Barre, Pa. Owners, West Pittston Library, care of architect. Brick, 1 story and basement, 40x60 feet, slate roof, hardwood floors, electric lighting. Plans in progress.

**Residence**, West River street, Wilkes-Barre, Pa., \$25,000. Architects, Innes & Levy, 176 South Main street, Wilkes-Barre, Pa. Owner, name withheld. Brick, stone, 2½ stories, 33x38 feet. Plans in progress.

**School**, Nanticoke, Pa. Architect, R. M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, Nanticoke School Board, J. Bednar, secretary, Nanticoke, Pa. Brick, steel, stone, 2 stories and basement, 160x115 feet, slag roof, hardwood floors, safety treads, roof ventilators (heating, electric and plumbing reserved), metal lath, tile and marble work, iron stairs. Owners will take bids in one week.

**Garage**, Scranton, Pa. Architect, J. H. Davey, Coal Exchange Building, Scranton, Pa. Owner, Aaron Bloomberg, 601 Adams avenue, Scranton, Pa. Concrete, steel, brick, 1 story, 40x70 feet, slag roof, concrete floors, hollow tile, steam heat, electric light, rolled steel sash. Plans in progress. Owner and architect ready for bids.

**Store**, Scranton, Pa. Architect, J. H. Davey, Coal Exchange Building, Scranton, Pa. Owner, Samuel Barton, 413 Linden street, Scranton, Pa. Brick, 1 story, 36x18 feet, hardwood floors, steam heat, electric light, stone trim, plate glass, copper work. Plans in progress. Architect ready for bids.

**Parish House**, Scranton, Pa. Architects, E. H. Davis & George M. D. Lewis, Union Bank Building, Scranton. Owners, First Presbyterian Church, Rev. Satelle, Scranton, Pa. Brick, steel, limestone, 2 stories, 48x83 feet, slag roof, hardwood floors, city heat, electric light, metal lath, tile and marble work. Plans in progress. Architects will be ready for bids in one week.

**School (alts. and add.)**, Olyphant, Pa. Architect, J. J. Howlev, Traders' Bank Building, Scranton, Pa. Owners, Olphant School Board, P. J. McGinty, president, Olyphant, Pa. Brick, steel, 1 and 3 stories, 105x77 feet, 28x77 feet, slag roof, hardwood floors (heating, electric work and plumbing reserved), tile work, roof ventilators, waterproofing and dampproofing. Owners ready for bids.

**Grade School**, Dickson City, Pa. Architect, J. J. Howlev, Traders' Bank Building, Scranton, Pa. Owners, Dickson City School Board, M. J. Connolly, Dickson City, Pa. Brick, 2 stories and basement, 6 rooms, slag roof, pine floors (heating, plumbing, electric work reserved). Owners ready for bids.

**Store Building**, Scranton, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, Joseph Mattioli, 1908 Prospect avenue, Scranton, Pa. Stone, frame, 2 stories, 30x40 feet, slag roof, pine floors, metal ceilings, steam heat, electric light, copper work, plate glass. Owner taking bids.

**Residence**, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owner, Harry Metzger, Bethlehem,

Pa. Brick, 1½ stories, 30x30 feet, slate roof, hardwood floors, hot water heat, electric light. Plans in progress. Owner will take bids.

**Residence and Garage**, Overbrook, Pa. Architects, Wallace & Warner, Franklin Trust Building, Philadelphia. Owner, William T. Dickson, 261 South Fifty-second street, Philadelphia. Hollow tile and stucco, 2½ stories, 88x30 feet, slate roof, hot water heat, electric light, tile and marble work, slate roof, hardwood floors. Architects taking sub-bids.

**School**, Newtown Square, Pa. Architects, R. Brognard Okie and D. Franklin Edmunds, 306 South Smedley street. Owners, School Board of Newtown Square, S. T. Campbell, Newtown Square, Pa. New plans, specifications, etc., may be secured from architects after June 6th. Bids due June 16th, 2 P. M. (Standard Time). Estimates also desired for artesian well for above building.

**Church and Sunday School**, Wylie and Deville streets, Pittsburgh, Pa., \$250,000. Architects, C. W. Bolton & Son, 1505 Race street, Philadelphia. Owners, Ebenezer Baptist Church, Rev. J. O. Austin, Junilla street, Pittsburgh, Pa. Stone, 2 stories and basement, 225x125 feet. Plans in progress.

**Sunday School Building**, Price and High streets, Pottstown, Pa. Architects, C. W. Bolton & Son, 1505 Race street, Philadelphia. Owners, Reformed Church of Pottstown, Walter D. Mehrling, Pottstown, Pa. Stone, 2 stories, 40x75 feet. Revised plans in progress. Architect will take bids soon from local contractors.

**Church and Sunday School**, Tipton, Pa. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, First Reformed Church, care of G. Smith, 240 East Main street, Kutztown, Pa. Stone, 1 story, 80x120 feet. Revised plans in progress.

**Synagogue**, Coatesville, Pa. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, Congregation Beth Israel, Coatesville, Pa. Local stone, 1 story, capacity 500 to 700, slag roof, wood floors, electric light. Plans completed.

**School and Hall**, Littlestown, Pa. Architects, Johnston & Starr, Spooner Building, Harrisburg, Pa. Owners, St. Aloysius' Roman Catholic Church, Littlestown, Pa. Preliminary plans in progress.

**Church and Sunday School**, State College, Pa., \$75,000. Architect, C. W. Bolton, 1505 Race street, Philadelphia. Owners, Faith Reformed Church, E. Romig, 317 South Burrows street, State College, Pa. Stone, 1 story and basement. Plans in progress.

**Residences (3) (2-family)**, Fairview avenue, near West Chester Pike. Architect and owner, T. P. Twibill, 1202 Liberty Building, Philadelphia. Brick, stone, 2 stories, shingle roof, hardwood floors, hot water heat, electric light. Owner ready for bids as soon as plans are completed.

**Residence**, Drexel Hill, Pa. Architects, Gleason Mulrooney & Burke, 404 South Broad street, Philadelphia. Owner, William Burke, care of architect. Brick, stone, stucco, 2½ stories, 30x32 feet, wing 10x20 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Revised plans in progress. Architect will be ready for bids in 10 days.

**Junior High School**, Borough of Wilson, Pa. Architect, Rasmussen & Wayland, 252 North Forty-sixth street, New York City. Owners, School District of the Borough of Wilson, Northampton County, Pa. Brick, cut stone, stone, steel, 2 stories, 202x136 feet, Barrett's Specification roof, maple floors, hollow tile, painting and glazing, roof ventilators, damp-proofing, ornamental iron work, iron stairs, rolling steel skylights, terrazzo work, metal lath. Owner taking bids due June 11th.

**High School**, Rosedale, Pa. (near Reading). Architects, Ritcher & Eiler, 147 North Fifth



street, Reading, Pa. Owners, Muhlenberg Township School District, A. E. Foust, Temple, Pa. Brick, stone, steel, Barrett Specification roof, maple floors, hollow tile, roof ventilators, metal lath, tile and marble work. Owners taking bids due June 24th.

**Residence**, Villa Nova, Pa. Architects, McIlvain & Roberts, Otis Building, Philadelphia. Owners, McIlvain & Co., care of architects. Stone, brick, 2½ stories, 76x23 feet, shingle roof, oak floors, plumbing, painting and glazing, ornamental iron work, bond, tile work, electric light, hot water heat. Architects taking bids due June 6th.

**Rubble Masonry Retaining Wall**, Providence Road, West of Lansdowne avenue, Yeadon, Delaware County, Pa. Engineer, A. F. Damon, Jr., Post Office Building, Upper Darby, Pa. Owners, Borough of Yeadon, T. Dann, secretary of Council, Borough Hall, Church Lane and Bailey Road, Yeadon, Pa. Owners taking bids due June 5th, 8 P. M. (Daylight Saving Time). Certified check for \$100 must accompany each bid.

**Residence**, Laurel and Hemlocks streets, Hazleton, Pa. Architect, J. B. Chamberlin, Hazleton National Bank Building, Hazleton, Pa. Owner, Dr. H. A. Wettstine, Kellmer Building, Hazleton, Pa. Hollow tile and stucco, 2½ stories, 42x58 feet. Architect taking bids due June 15th.

**Residence**, Huntingdon, Pa. Architect, Henry L. Reinhold, Jr., 2315 Walnut street, Philadelphia. Owner, C. H. Miller, Huntingdon, Pa. Architect taking bids.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due June 16th at 10 A. M.

Beaver County, R-204, Chippewa Township, 3,491 feet. One course reinforced concrete. Certified check, \$1,000.

Bradford County, R-15,343, A-2335, 2340, Rome and Orwell Townships and Rome Borough, 23,715 feet. One course reinforced concrete. Certified check, \$4,000.

Bucks County, R-150, Bensalem and Bristol Township and Bristol Borough, 43,970 feet. One course reinforced concrete. Certified check, \$4,000.

Clarion County, A-2577, Sec. 2, Beaver Township, 10,572 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$2,000.

Fayette County, R-117, North Union Township, 8,339 feet. One course reinforced concrete. Certified check, \$1,500.

Lebanon County, R-376, West Cornwall and South Londonderry Townships, 14,864 feet. One course reinforced concrete. Certified check, \$2,500.

Somerset County, A-1616, Somerset Township, 5,870 feet. One course reinforced concrete. Certified check, \$1,500.

Warren County, A-1788, Freehold Township, 5,118 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,500.

Washington County, R-118, A-2845, Bentleyville Borough, 1,781 feet. One course reinforced concrete and hillside vitrified brick. Certified check, \$1,000.

Allegheny County, A-268, A-568, Elizabeth Township, 11,000 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. Certified check, \$1,000.

Berks and Lehigh Counties, R-158, Hereford and Upper Milford Townships, 29,741 feet. Either bituminous surface course, Spec. D or E, on prepared broken stone base. Certified check, \$2,000.

Chester County, R-215, New Garden and Kennett Townships, 19,613 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. Certified check, \$2,000.

Luzerne County, R-170, Fairview and Wright Townships, 22,300 feet. Either bi-

tuminous surface course, Secj. E or D, on prepared broken stone base. Certified check, \$2,000.

Monroe County, R-169, Tobyhanna Township, 7,750 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. Certified check, \$1,000.

Montgomery County, R-158, Red Hill Borough, 6,966 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. Certified check, \$1,000.

Westmoreland County, A-1824, Hempfield Township, 18,500 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. Certified check, \$2,000.

Bridge, Adams County, Route 42, over Rock Creek, between Cumberland and Mt. Joy Townships. Certified check, \$1,000. Two-span reinforced concrete, each span 32 feet clear. Owners taking bids due June 16.

Road Work, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due June 17th at 10 A. M.

Columbia County, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. Certified check, \$2,000.

Elk County, R-97, Johnsonburg Borough, Ridgway Jones Township, 34,871 feet. One course reinforced concrete. Certified check, \$4,000.

Fayette County, R-247, Dunbar Township, 10,855 feet. Either bituminous surface course on concrete foundations or one course reinforced concrete. Certified check, \$1,500.

Forest County, R-380, Jenks Township, 5,280 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,000.

Jefferson-Clearfield Counties, R-59, Sandy, Washington and Snyder Townships, 38,260 feet. One course reinforced concrete and 4-inch unbound macadam with oil treatment. Certified check, \$4,000.

Luzerne County, R-184, A-1219, Conyngham Borough, 6,598 feet. One course reinforced concrete. Certified check, \$1,500.

Lycoming County, R-291-A-2207, Montoursville Borough, 6,531 feet. One course reinforced concrete. Certified check, \$1,500.

Lycoming County, R-355, A-1036, Muncy Township, Sec. 1, 5,867 feet. One course reinforced concrete. Certified check, \$1,000.

Monroe County, A-2734, Hamilton and Ross Townships, 14,732 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,500.

Schuylkill-Carbon Counties, R-162, Coaldale and Lansford Borough, 16,838 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

Schuylkill County, R-185, Rush and Kline Townships, McAdoo Borough, 24,468 feet. One course reinforced concrete. Certified check, \$4,000.

Tioga County, R-102, Shippen and Gaines Townships, 34,000 feet. One course reinforced concrete. Certified check, \$4,000.

Tioga County, A-31, Jackson Township, 18,351 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

Warren County, R-88, Freehold and Pitt Townships, 41,432 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Washington County, R-118, Fallowfield Township, 15,634 feet. One course reinforced concrete. Certified check, \$3,000.

**"Camouflage" doesn't pay in advertising**  
Don't call your cannon a bit of landscape.  
Be honest and gain the confidence of the public.

## Pennsylvania

### Contracts Awarded

**Residence** (alts. and add.), Merion Station, Merion, Pa. Architect, J. L. Conarro, 225 South Sydenham street, Philadelphia. Owner, J. L. Mackin, on premises. Hollow tile and stucco, 2½ stories, 33x25 feet, 18x20 feet, 7x18 feet, oak floors, slate roof (heating and plumbing reserved), metal lath, tile work, stone, brick, mill work, copper work, general alterations. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**Apartment**, Franklin street, Wilkes-Barre, Pa., \$80,000. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Brick, 3 stories, 34x74 feet, tile roof, hardwood floors, vapor heat, electric light, tile and marble work, colored tile, steel work. Contract awarded to O. J. Behrens, 179 Blackman street, Wilkes-Barre.

**Residence**, Yeager street, Wilkes-Barre, Pa. Architect, T. H. Atherton, Coal Exchange Building, Wilkes-Barre. Owner, H. S. Smith, 520 Rutter avenue, Wilkes-Barre, Pa. Brick, frame, 2 stories, 27x35 feet, asphalt roof, hardwood floors, electric light. Contract awarded to Miles Fry, Wilkes-Barre, Pa.

**Apartment** (alts. and add.), Scranton, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, W. A. Fetzer, 1612 Penn avenue, Scranton, Pa. Frame, stucco, 3 stories, 38x36 feet, asphalt shingle roof, pine floors, steam heat, electric light. Contract awarded to Mann & Belke, 931 Madison avenue, Scranton.

**Dormitory Building**, Clark's Summit, Pa. Architect, Edward Langley, Scranton Life Building, Scranton, Pa. Owners, Scranton Poor District, Willard Matthews, Connell Building, Scranton, Pa. Brick, stone, steel, 2 stories and basement, 57x110 feet, slag roof, tile floors, hollow tile, electric light, metal lath, tile and marble work, iron stairs, ornamental iron work. Contract awarded to S. Sykes Sons, 218 Larch street, Scranton, Pa.

**Garage**, Harrisburg, Pa. Architect, Albert Kelsey, Perry Building, Philadelphia. Owner, M. E. Olmstead, Harrisburg, Pa. Brick and stucco, 2 stories, 64 feet, 6 inches x 31 feet, slate roof, cement floors, steam heat, electric light. Contract awarded Peter T. Hurst, 128 Locust street, Harrisburg, Pa.

**Apartment (duplex)**, Scranton, Pa. Architect, F. A. Nelson, Connell Building, Scranton, Pa. Owner, H. R. Van Deusen, care of architect. Frame, 2 stories, 30x45 feet, shingle roof, hardwood floors, city heat, electric light, tile and marble work. Contract awarded to H. B. Trauger, 102 West Market street, Scranton.

**Residence** (alts. and add.), Villanova, Pa. Architect, Arthur H. Brockie, 244 South Fifteenth street, Philadelphia. Owner, Dr. W. D. Cadwalder, care of architect. Concrete and cement work, carpentry and mill work, electric work, hardware, steam heating, sheet metal doors (vault). Contract awarded Gray Brothers, Rosemont, Pa.

**Bridge Reconstruction**, No. 8-77, from Creek South of Darby Creek, over Chester Branch, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Steel and concrete. Contracts awarded. Superstructure, McClintock-Marshall, Morris Building, Philadelphia. Substructure, Martin & Breen, 1613 Sansom street, Philadelphia.

**Road Work**, Pennsylvania. Butler County, R-71, Summit Township, 23,732 feet. One course reinforced concrete. Contract awarded to Charles Winters Co., Rendrew, Pa., \$247,971.05.

Wyoming County, R-11 and 232, Tunkhannock Township and Borough, 23,544 feet. One course reinforced concrete. \$333,948.20. Contract awarded to Winston & Co., Harrisburg, Pa.



## New Jersey Construction News

**School**, Woodbury Heights, N. J. Architect, J. H. Mowere, Phoenixville, Pa. Owners, Board of Education, Alex. Beith, Jr., Woodbury Heights, N. J. Deposit, \$15.00. Refund, \$15.00. Owners taking bids due June 16th, 7.30 P. M. (Standard Time). Certified check for \$1,000 for each contract must accompany each bid.

**Club House**, Cooper street, between Sixth and Seventh, Camden, N. J. Architect, Joshua Jefferies, 312 Market street, Camden, N. J. Owners, Camden B. P. O. E., A. Austermuhl, 624 Penn street, Camden, N. J. Architect selected. Plans in progress.

**Hall**, West Broad street, Paulsboro, N. J., \$40,000. Architects, Hewitt & Ash, 1827 Arch street, Philadelphia. Owners, Borough of Paulsboro, J. J. Vanneman, Mayor, Paulsboro, N. J. Brick, 2 stories and basement. Plans in progress.

**Residence**, Scudder's Falls, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Lewis H. Lawton, 428 Hamilton avenue, Trenton, N. J. Hollow tile and stucco, 2½ stories, 42x90 feet, Spanish tile roof, hardwood floors, hollow tile, vapor heat, electric light, metal lath, tile, marble and terrazzo work, leaded glass, cut stone, ornamental iron work. Architect taking bids due June 14th.

**Junior High School**, Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, Trenton School Board, R. C. Belville, secretary, 9 South Stockton street, Trenton, N. J. Fireproof, 2 stories, 350x380 feet, concrete and hardwood floors, hollow tile, roof ventilators (heating, electric and plumbing reserved), metal lath, tile and marble wrk, rolled steel sash, bond, iron stairs, ornamental iron work. Owners taking bids due June 20th.

**Gloucester County Building**, Woodbury, N. J. Architect, C. R. Peddle, 136 South Fourth street, Philadelphia. Owners, Gloucester County, Woodbury, N. J., W. A. Lacy, chairman, Richwood, N. J. Brick, stone, steel, limestone, reinforced concrete, 3 stories and mezzanine and basement, 115x79 feet, slag roof, cement floors, painting and glazing, waterproofing, ornamental iron work, iron stairs, bond, rolled steel sash, tile, marble and terrazzo work, metal lath. Owners taking bids due June 12th, 10 A. M.

**Hospital (alts. and add.)**, Bridgeton, N. J. Architects, Stearns & Woodnutt, Stephen Girard Building, Philadelphia. Owners, Bridgeton Hospital Association, Bridgeton, N. J. Brick, cut stone, steel, 3 stories, 140x39 feet, slag roof, marbleoid and cement floors, hollow tile, electric light, elevators, ornamental iron work, iron stairs, rolling steel skylights, tile, marble and terrazzo work, metal lath, steam heating, metal lumber. Architect taking revised bids due June 10th.

**Residence (alts. and add.)**, 406 Penn street, Camden, N. J. Architects, De Armond, Ashmead & Bickley, Franklin Trust Building, Philadelphia. Owner, Wilfred W. Fry, care of N. Mayer & Son, 308 Chestnut street, Philadelphia. Brick and cut stone, 3 stories, vapor heat, electric light, tile and marble work, slate roof, hardwood floors. Architects ready for sub-bids.

**Residences (4)**, Trenton, N. J., \$23,000. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, M. Kelly, 244 Tioga street, Trenton, N. J. Brick, 2½ stories, 14x46 feet, slate roof, pine floors, hot water heat, electric light. Owner will build.

## New Jersey Contracts Awarded

**School (alts. and add.)**, Barrington, N. J. Architect, John L. Coneys, Drexel Building, Philadelphia. Owners, Board of Education, Borough of Barrington, Camden, N. J. Brick, cut stone, steel, 2 stories and basement, 38x59 feet, slate roof, maple floors (plumbing, heating, electric reserved), metal lath, bond, ornamental iron work, metal weather strips, painting and glazing, hardware. Contract awarded on following: General, Fred Lange, Audubon, N. J., \$29,959. Heating, Harry Knecht, West Collingswood, N. J., \$9,000. Plumbing and drainage, H. Knecht, West Collingswood, N. J., \$3,600. Contract awarded but not signed. Electric, Enterprise Elec. Co., 239 South Tenth street, Philadelphia, \$557.

**Battlement Wall** on roof of School, Massachusetts avenue, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, School Board, H. H. Young, secretary, Atlantic City, N. J. Brick, terra cotta, 600 feet long. Contract awarded Lam Building Co., 1001 Wood street, Philadelphia.

**Residence**, Trenton, N. J., \$9,000. Architect, private plans. Owner, Samuel Lavinthal, 8 North Warren street, Trenton, N. J. Frame, 2 stories, 28x30 feet, slate and tin roof, pine floors, electric lighting. Contract awarded to LeRoy Loabe, R. F. D. No. 6, Trenton, N. J.

**Residences (3)**, Trenton, N. J., \$10,800. Architect, private plans. Owner, Jacob Kahior, Trenton, N. J. Brick, 2½ stories, 28x30 feet, slag and tin roof, pine floors, electric lighting. Contract awarded to F. Cracker, 66 Asbury street, Trenton, N. J.

## Miscellaneous Construction News

**Church and Sunday School and Parsonage**, Ondonta, N. Y. Architects, C. W. Bolton & Son, 1505 Race street, Philadelphia. Owners, Methodist Episcopal Church, Ondonta, N. Y. Stone. Plans in progress.

**Post Office**, Salisbury, Md. Architect, James A. Wetmore, Washington, D. C. Brick, hollow tile, steel, 1 story and basement, 88x55 feet, slag roof, cement, pine and fibre floors, plumbing, roof ventilators, waterproofing, ornamental iron work, tile and marble work, precast cement. Architect taking bids due June 18th.

**Gwynn's Falls Park High School**, Baltimore, Md. Architects, Smith & May, Calvert Building, Baltimore. Owners, Mayor and City Council, Baltimore, I. S. Field, president, School Board, Baltimore, Md. Brick, casto stone, steel, granite, 3 stories and basement, 206x181 feet, slag roof, cement and maple mastic floors, elevators, roof ventilators, metal window guards, metal ceilings, shoring, waterproofing and dampproofing, ornamental terra cotta, ornamental iron work, iron stairs, bond, kalamein doors, rolling steel sash and skylights, terrazzo work, metal lath, ornamental plaster (heating, plumbing and electric and ventilating reserved). Low bidders: J. H. Miller, Inc., Baltimore, Md., limestone, \$917,000; terra cotta, \$878,000; cast stone, \$887,000. P. C. Street, Baltimore, Md., limestone, \$931,000; terra cotta, \$889,000; cast stone, \$899,000.

The man who doesn't advertise, these days, is forgotten. The world is too busy to look up dead ones.

## Proposals

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., May 29, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., June 30, 1924, for the construction, including mechanical equipment and approaches, of a one-story and mezzanine brick and tile non-fireproof Post Office building (approximately 72 by 66 feet), at Cohoes, N. Y. Drawings and specifications may be obtained from the Custodian of the site at Cohoes, N. Y., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

## SPECIFICATIONS FOR ROOFING MATERIALS

Requirements for roofing materials for use on relatively flat roof surfaces are specified in a series of circulars issued by the Bureau of Standards, Department of Commerce. These specifications were prepared by the technical committee on bituminous roofing and waterproofing materials of the Federal Specifications Board and are intended to serve as master specifications for the purchase of such materials by the government. They cover materials for three, four, and five-ply asphalt and coal tar pitch built-up roofing surfaced with gravel, slag, crushed stone, promenade tile, and slate slabs; and give the physical characteristics of the product required as well as methods of sampling and testing deliveries.

The specifications were prepared after considering suggestions received from producers and manufacturers of roofing materials, roofing contractors, architects, engineers, and large users of built-up roofing. They are considered fair to both manufacturer and consumer, and are expected to result in securing products suitable for the particular conditions of use outlined. At the same time they allow a wide latitude in selection of raw materials and methods of production. They are based on tentative specifications originally prepared by the Bureau of Standards in January, 1921.

The following U. S. Government Master Specifications may be obtained from the Superintendent of Documents, Government Printing Office, Washington, D. C., for 5 cents each:

### Circulars

- 156 Coal tar saturated rag felt for roofing and waterproofing.
- 157 Coal tar pitch for roofing.
- 158 Surfacing materials for bituminous built-up roofing.
- 159 Asphalt for mineral surfaced roofing.
- 161 Asphalt saturated rag felt for roofing and waterproofing.
- 162 Asphalt primer for roofing and waterproofing.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.

Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

Lee T. Ward Co. ....617 Filbert St., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co..829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F.....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Adensite Co., Inc. ....321 Land Title Bldg., Phila.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc..1844 N. Front St., Phila.

Concrete Waterproof Paint Co..829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

The Beckwith Co. ....2401 Chestnut St., Phila.

## HAULING CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ....19th and Washington Ave., Phila.

Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W. Co. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOLEUM.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Fellin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Ketcham, Howard.....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
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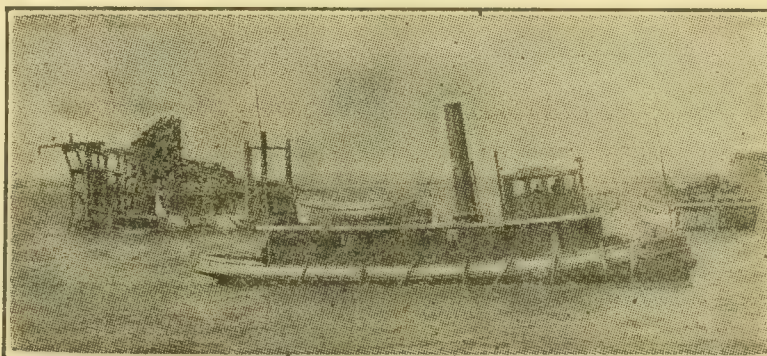
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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 24  
June 11, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

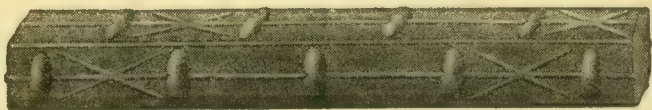
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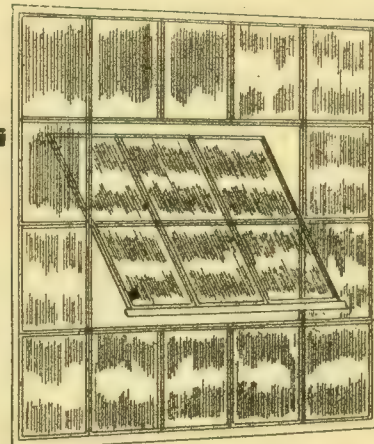
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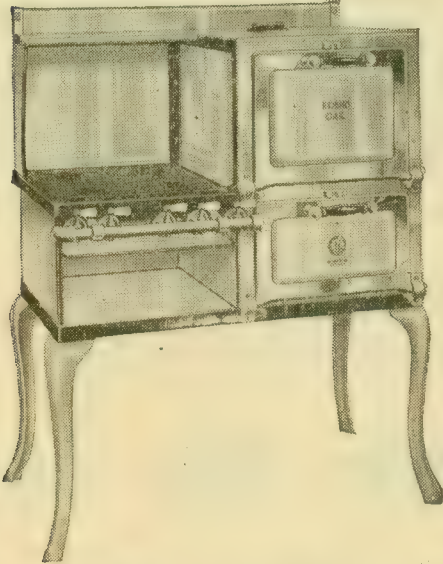
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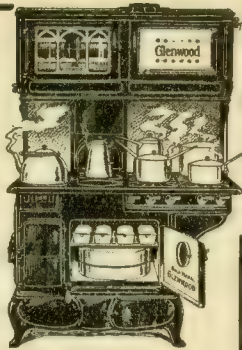


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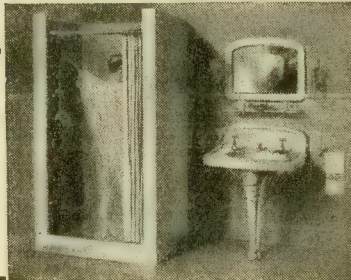


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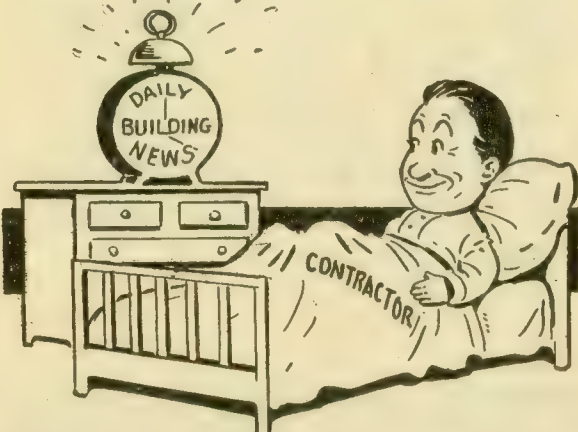
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 24

PHILADELPHIA  
June 11, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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## As The Editor Sees It



Determined to take action which will reduce the shortage of skilled labor in the Construction industry, general contractors throughout the entire country are appealing to boys and youths who are graduating from schools and colleges within a few days, laying before them the benefits to be gained from entry into the building trades.

The campaign against the lure of the "white collar" job, initiated several weeks ago by the Associated General Contractors of America, is being aided by the co-operation of the Federal Board for Vocational Education. The government agency has issued a bulletin to its agents and educators generally in every state, outlining the efforts being exerted by the contractors and indicating the means which may be taken by those within its sphere of operation to add to the success of the movement.

The text of the bulletin issued by the Federal Board follows:

"Building trades employers in each community are planning to visit the public schools this year and explain to the graduating classes the advantages of apprenticeship in the building trades, according to the program announced in the current issue of the *Constructor*, national organ of the Associated General Contractors. An appeal to members of the Associated General Contractors to volunteer for this service was featured in the issue. Supplement-

ing this appeal, the *Constructor* published an article by G. A. McGarvey, of the Industrial Education Division of the Federal Board for Vocational Education, giving practical suggestions to contractors how to successfully address an adolescent audience. The plan has attracted wide attention on the part of employing builders who are confronted with the perennial problem of recruiting satisfactory apprentices.

"Such a step on the part of the contractors is a development of the first significance to vocational education. It is another indication of the increasing willingness of employers to co-operate with the public schools. It will strengthen the feeling of mutual serviceability between the schools and the economic interests of the community.

"The value of vocational talks to school pupils by practical business men must be far-reaching. A dynamic presentation to school boys of the advantages of building trades employment will do much to counteract the present mistaken tendency of youths to crowd into the "white-collar" occupations. The message of the employer will reach the boy at the turning point in his life. It will come to him at his most impressionable and plastic age. It will be a service of vocational guidance which is acutely needed by many of the pupils of our public schools.

"With the contractors taking the initiative in such a program, it behooves our

school heads to meet them half-way, and more. The vocational teachers and supervisors should act as liaison officers to this end. Contact should be established in each locality between the public school principals and the officers of the local building trades employers' association in order that adequate preliminary arrangements for the visits be made. The occasion of the visits should be staged with careful forethought. A cordial spirit of welcome should greet the contractors when they come.

"The plan is, of course, experimental on the part of the Associated General Contractors this year. But, by a proper spirit of co-operation, the schools have an opportunity to persuade the contractors to make the program permanent. Moreover, through the contacts thus established, the schools will often be able to win the interest and support of the contractors in the part-time vocational program for apprenticeship training. All in all, it is an exceptional opportunity for the schools to cement ties of co-operation between themselves and industry. The program should have the support of every progressive educator."

Circulation of this bulletin throughout the educational system of the country assures contractors that their efforts to induce boys and youths leaving school this year to enter the building trades will have an invaluable assistance.

By taking this move this year, general

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contractors throughout the country will be laying the foundation for a systematized and highly productive method of securing apprentices each year in the future. If the movement can be so well established this year as to implant itself as a practicable annual action, educators will be able and glad to work hand in hand through weeks leading up to graduation week each year.

### WHY DEPARTMENT STORES BURN

*Electricity*, misused, was responsible for a fire waste of \$1,024,050, notwithstanding the abrupt decline in the loss from this factor in 1921 over the two previous years. It is possible, even probable, that two or three large fires in 1919 and 1920 swelled the total, and that the aggregate, therefore, does not represent a steady succession of small losses, which would be the more alarming situation. The hazards of faulty wiring and of heedless use of electrical appliances must be evident to department store proprietors. Probably, too, misuse of ordinary light dropcords figured to no small extent in the electrical hazard. Worn and broken insulation of cords, combined with bad splicing, are dangers so real as to make advisable the limiting of their use to strict necessity. Overloading of circuits too, is something to be avoided, particularly in the electrical department where scores of lamps are simultaneously lighted. Other electrical hazards are the employment of makeshift fuses after proper ones have burned out, unguarded paper and cloth light shades, and temporary wiring used for running electrical toys, for illuminating Christmas trees and for special displays. These changes and alterations in all cases should be made by a competent electrician.

#### *Defective Flue Causes Million Dollar Fire*

Another prominent agent in the destruction by fire of departmental stores is *Defective Chimneys and Flues*. Last March a six-story department store in Providence, Rhode Island, was gutted, with a loss exceeding one million dollars, by a fire directly traceable to a defective flue. The blaze, in a vent flue on the top floor, was discovered early in the evening by a watchman who rang in an immediate alarm. Along with two other small fires, one on the second and one on the third floor, this blaze was extinguished by the fire department; but an hour later firemen still in the building saw flames starting up on the sixth floor again, this time at a point near the continuation of the flue, seventy feet away from the original fire. Second, third and fourth alarms were sounded in rapid succession but before the fire finally was put out half of the roof and large areas

on the sixth and fifth floors had been destroyed, while the water damage extended throughout the building. This incident shows plainly the danger of defective vents and flues.

As part of the heating plant, chimneys and flues require the same close inspection and careful maintenance as are given the furnace itself. The right and wrong ways to erect chimneys are clearly defined. If a chimney is built solidly from ground to cap, is lined with fire-clay and is thoroughly cleaned at regular intervals, no trouble need be looked for. If flues are properly installed so that all adjacent woodwork is protected against the heat, and if pipes are kept free from soot accumulations, they will be safe.

Nowadays a number of the more important department stores have fur storage rooms containing high values concentrated in a relatively small space. Such rooms should be of fireproof construction, with approved insulating material in the walls. A writer in the *National Fire Protection Association Quarterly* suggests the following arrangements for such departments:

Racks and pegs for hanging furs should be of metal. The lighting of this room should be by stationary electric incandescent lamps, having all circuits controlled by switches outside the room. A small fireproof room adjoining should contain brine coils from refrigerating system and air may be circulated throughout the room by a slow-moving fan controlled from outside. Special devices, such as sprinklers and thermostats, should be installed here, as well as thermostatic control of the fan, so that any fire which raises the temperature abnormally would shut down the fan automatically. Temperatures should be recorded on a thermometer in the engine room with automatic notification if the temperature increases unduly.

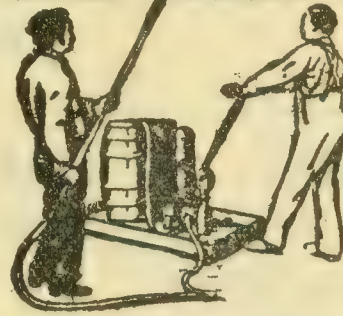
In the majority of stores a special room, located commonly in the basement, is set aside for the preparation of window displays.

#### *Not Always Accidental*

Unfortunately, the loss officially attributed to *Incendiarism* probably does not tell the whole story. Underwriters well remember that the slump in business which began late in 1919, and continued for at least eighteen months, was marked by more than a few fires of "mysterious" origin. To arson probably can be ascribed one of the most disastrous department store fires of recent years, occurring in Hartford, Connecticut. Due to the presence of large open areas and of unprotected stairways and elevator shafts, the flames spread rapidly and involved adjoining buildings. The store itself was of rambling construction, consisting of several independ-

(Continued on Page 384)

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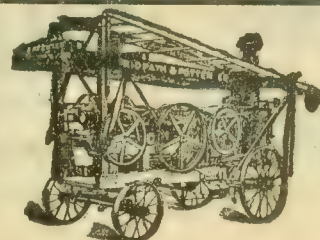
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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS;  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Garage**, 1848½ Russell street, Philadelphia, \$3,000. Architect, private plans. Owner, George D. Mills, Jr., Norristown, Pa. Brick, 1 story, 16x181 feet, slag roof, cement floors. Owner will build.

**Residence and Garage**, Stenton avenue, Germantown, Philadelphia, \$25,000. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Stone, 2½ stories, 50x42 feet, slate roof, hardwood floors, metal weather strip, waterproofing, oil heating equipment, electric light, tile work, metal lath, bond, ornamental iron work. Plans in progress.

**Supplies**, Philadelphia. Purchasing agent, E. J. Lafferty, 312 City Hall, Philadelphia. Crushed pebbles, valves, lubricating oils, grease, etc., hardware, bolts, nuts, rivets, washers, etc., iron casting, carbon paper, type-writer ribbons.

**Sewers, etc.**, Philadelphia. Owners, Department of Public Works, Bureau of Survey, 216 City Hall. Main sewers, sewerage treatment project. Proposal for electric testing instrument. Proposal for sedimentation units. Owners taking bids June 19th, 11 A. M. Inquire Room 416.

**Garage**, 5215 Germantown avenue, Philadelphia. Architect, private plans. Owner, William Bechtel, on premises. Brick and steel, 1 story, 35x216 feet, slag roof, cement floors, rolling steel sash, ornamental iron work. Owner taking bids due June 12th.

**Normal School Building**, Forty-eighth and Spruce streets, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Site selected, but not yet purchased. Work contemplated.

**Community Center**, Oregon avenue, East of Randolph street, Philadelphia. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, Mizpah Community Center, on premises. Brick, stone, 2 stories and basement, 86x45 feet, slag roof, mineral and pine floors, painting and glazing, plumbing, ornamental iron work, bond, tile work, metal lath, electric light, steam heat. Architect taking new bids due June 16th.

**Group of Building**, Fox street and School House Lane, Germantown. Architects, Zant-zinger, Borie & Medary, Otis Building, Philadelphia. Owners, William Penn Charter School, Twelfth above Chestnut street, Philadelphia. Preliminary plans in progress. Too early for details.

**Stores and Garage**, Locust avenue, 220 feet East of Boyer street, Philadelphia. Architect, H. H. Klein, Bulletin Building, Philadelphia. Owners, Louis & Samuel Levin, care of architect. Reinforced concrete and brick. 1 story, 100x200 feet, slag roof, cement floors, plate glass, hollow metal skylights, fire doors, steam heat, electric light. Plans completed. Architect ready for general bids.

**Church**, Cobb's Creek Boulevard and Cedar avenue, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owners, St. Carthage's Roman Catholic Church, Rev. P. F. O'Neill, on premises.

Stone, cut stone, brick, steel (plumbing, heating, electric reserved), tile roof, cement and maple floors, painting and glazing. Revised plans ready for bids in two weeks.

**Church**, 5443 Greene street, Philadelphia. Architects, Day & Klauder, Franklin Bank Building, Philadelphia. Owners, Second Church of Christ Scientist, on premises. Architects ready for bids.

**Two-Family Residences (10)**, York Road and Queen Lane, Philadelphia. Architect, private plans. Owners, T. P. Twibill Const. Co., 1202 Liberty Building, Philadelphia. Brick, stone, 2 stories, 6 rooms, pine floors, electric light. Plans in progress. Owners will be ready for bids July 1st.

**Store and Residences (2)**, Southeast Corner Twelfth and Chambers streets, Philadelphia. Architect, private plans. Owners, T. P. Twibill Const. Co., 1202 Liberty street, Philadelphia. Brick, 2 stories, 7 rooms, garages. Plans in progress.

**Manufacturing Building**, Marshall street, between Oakdale and Harold streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Hardwick Magee, 1220 Market street, Philadelphia. Brick, cut stone, reinforced concrete, 4 stories and basement, 266x94 feet, slag roof, cement floors, safety treads, roof ventilators, waterproofing, ornamental terra cotta, ornamental iron work, floor hardener, tin clad, kalamein, hollow metal doors, sheet metal skylights, rolling steel sash, metal lath. Architects taking bids due June 17th.

**Church (alts. and add.)**, Seventeenth and Summer streets, Philadelphia. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owners, Order of the Eastern Star Temple, Fred Boyer, 1610 Diamond street, Philadelphia. Metal lath, bond, oak floors, carpentry and mill work, roof ventilators, cement work, brick work, cut stone, steel, steel sash, composition floors, iron work, plastering, tile and marble and mosaic work, painting and glazing, plumbing (steam heating alterations), electric work, metal lath. Architects taking bids due June 16th, 4 P. M. sharp.

**Church and Sunday School**, Southwest Corner Twelfth and City Line, Philadelphia. Ar-

chitect, Wesley Leshner Blithe, 608 Chestnut street, Philadelphia. Owners, Oak Lane Methodist Episcopal Church, on premises. Stone, cut stone, steel, 1 story and gallery, 188x65 feet, wing 40x98 feet, slate and slag roof, composition, cement and maple floors, painting and glazing, dampproofing, ornamental iron work, bond, tile work, metal lath (plumbing, heating and electric reserved), concrete cast stone. Architect taking bids due June 12th.

**Store and Apartment Building**, Northeast Corner Thirty-seventh and Walnut streets, Philadelphia. Architect, Charles H. Schaef, 11 South Sixteenth street, Philadelphia. Owner, Mr. Joseph Rabinowitz, 305 Shubert Building, Philadelphia. Brick, 4 stories, 36x120 feet, tile and slag roof, composition floors, electric elevators, roof ventilators, metal ceilings, vault lights, incinerators, kalamein and hollow metal doors, steel sash, tile and marble work, metal lath, vapor heat, electric light. Architect taking bids due June 14th.

**Residence and Garage**, Montgomery avenue, Chestnut Hill. Architects, Willing, Sims & Talbutt, 126 South Eighteenth street, Philadelphia. Owner, Jay Cooke, Esq., care of architect. Brick, cut stone, stone, 2½ stories, 64x65 feet, wing 81x23 feet, slate roof, oak and pine floors, tile and marble work, bond, ornamental iron work, waterproofing. Architects taking bids due June 14th.

**Residence (alts. and add. to Apartments)**, Huey and Harper avenue, Philadelphia. Architect, Charles M. Talley, Telford, Pa. Owner, David Colvey, on premises. Stucco, shingle and all slate roof, composition, oak and pine floors, painting and glazing, carpentry and mill work, stone work, plastering, plumbing, ornamental iron work, tile work, hot water heat, electric light. Alternate oil burning. Architect taking bids due as soon as possible.

**Woodland Office Building (alts.)**, Southwest Corner Fifty-fourth and Woodland avenue, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, care of T. H. Greist, 261 North Broad street, Philadelphia. Brick work, carpentry and mill work, electric work, hard-

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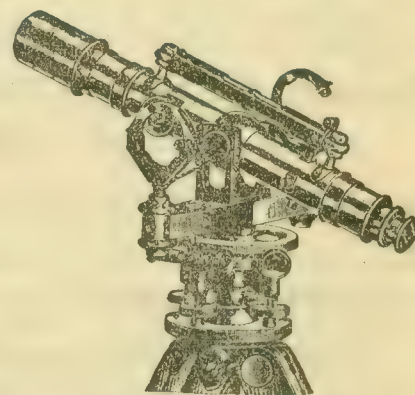
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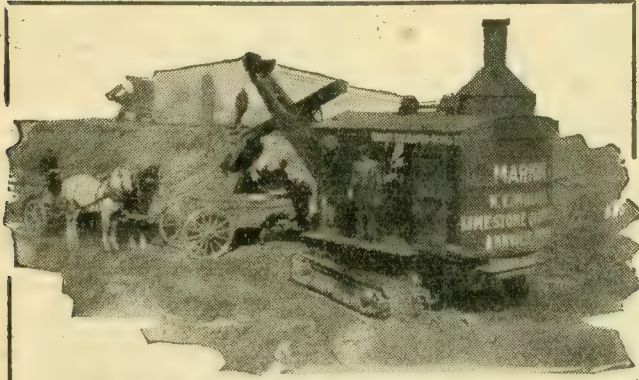
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ware, steam heating alterations, metal work, painting and glazing, plastering, sheet metal work, structural steel, tile work. Architect taking bids due June 17th.

**Factory**, Nineteenth and Hunting Park avenue, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Wakefield Knitting Mills, on premises. Brick and steel, 2 stories and basement, 142x42 feet, slag roof, cement and maple floors, rolling steel sash, galvanized iron skylights, rolling steel doors, Hard-N-Type floor hardener, ornamental terra cotta, ornamental iron work (plumbing, heating and electric end elevators reserved). Architect taking bids due June 13th at noon.

**Rebuilding Bulkhead**, Bridge street, Delaware River. Architect, private plans. Owners, Department of Wharves, Docks and Ferries, Pier No. 4, South Wharves. Rebuilding of portion of timber bulkhead on north side out shore end pier foot of Bridge street, Delaware River. Repairs to railroad tracks serving Municipal Pier No. 78, South Wharves. Owners taking bids due June 16th at noon (Daylight Saving Time), 211 Pier No. 4, South Wharves.

**Bank**, Southeast Corner Broad and Tasker streets, Philadelphia. Architect, Thomas Edward Ash, 1012 Walnut street, Philadelphia. Owners, Security Title & Trust Co., of South Philadelphia, on premises. Stone, cut stone, steel, 2 stories, 123x21 feet, slag roof, cement floors, elevators, painting and glazing, ornamental iron work, iron stairs, bond, kalamain doors, rolling steel sash, marble work, metal lath. Architect taking bids due June 12th.

**Building (remodeling)**, 2606 Columbia avenue, Philadelphia. Architect, Leo Malatesta, 1919 North Sixty-first street, Philadelphia. Owner, W. L. Collins, on premises. Electric work, brick work, carpentry and mill work, painting and glazing, plastering. Architect taking bids due as soon as possible.

**Stores (7)**, Delaware avenue and South street, Philadelphia. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, Michael Barbrus, 2117 Ritner street, Philadelphia. Brick, 2 stories, 90x30 feet, slag roof, pine floors. Owner taking bids.

**Gas House (alts.)**, Holmesburg, Pa. Owners, Department of Public Welfare, Bureau of Charities and Correction, 592 City Hall. Resetting 3 benches of 5 retorts each. Owners taking bids due June 16th, 11 A. M. (Standard Time).

**Residence**, 3125 Blakiston street, Philadelphia, \$12,000. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, Charles Hollander, on premises. Frame, 2 stories, 20x15 feet, 26x18 feet and 20x11 feet, shingle roof, hardwood and pine floors, hot

air heat, electric light, tile work. Architect will build.

**Garage**, Northeast Corner Sixth and Spring Garden streets, Philadelphia, \$6,000. Architect, private plans. Owner, Michael G. Marion, 401 Fairmount avenue, Philadelphia. Brick, 1 story, 32x131 feet, slag roof, cement floors. Owner will build.

**Residences (2)**, South side Ripley street, East of Castor Road, \$4,500 each. Architect, private plans. Owner, Isaac Ghaney, 1941 East Cumberland street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hot water heating, electric lighting. Owner will build.

**Residence**, South side Erwig avenue, East of Eighty-sixth street, Philadelphia, \$4,500. Architect, private plans. Owner, Albert Rodgers, 8622 Ashwood avenue, Philadelphia. Brick, 2 stories, 15x36 feet, slag roof, hot air heat, electric light. Owner will build.

**Residences (6)**, East side President street, North of Academy Road, \$4,000 each. Architect, private plans. Owner, John Gimfel, Academy Road and Grant avenue, Philadelphia. Frame, 2 stories, 16x37 feet, slag roof, hot water heat, electric light. Owner will build.

**Residence**, North side Watson street, East Napple street, \$4,000. Architect, private plans. Owner, Peter Cassalia, 209 West Columbia avenue, Philadelphia. Frame, 2 stories, 22x26 feet, 15x10 feet, hot air heat, electric light. Owner will build.

**Residences (2)**, 3548 Wattee street and 3555 Sepviva street, \$3,200 each. Architect, private plans. Owner, Fred Kaser, 3564 Wittee street, Philadelphia. Brick, 2 stories, 14x25 feet, 12x14 feet, slag roof, hot air heat, electric light. Owner will build.

**Residences and Garages (2)**, Jefferson and Upsal streets, and Ardleigh street and Rumford Road, Philadelphia, \$23,200. Architect, private plans. Owner, Raymond L. J. Riling, 1425 West Venango street, Philadelphia. Stone, 3 stories, 31x39 feet, garage, 1 story, 17x21 feet, 25x34 feet, 16x8 feet, garage, 1 story, 10x20 feet, hot water heat, electric light, tile work, slate roof, hardwood and pine floors. Owner will build.

**Residences (8)**, Johnston and Randolph streets, Philadelphia, \$30,800. Architect, private plans. Owners, Jones & Lyman, 2860 South Fifteenth street, Philadelphia. Brick, 2 stories, 16x37 feet and 15x37 feet, hot water heat, electric light. Owners will build.

**Residences and Stores (4) (add.)**, 5123-29 Walnut street, \$10,000. Architect, private plans. Owner, Sol Hopkins, 400 South Sixtieth street, Philadelphia. Brick, 2 stories, 15x12 feet each. Owner will build.

**Shop and Garage (add.)**, 5806-08 Filbert street, \$6,000. Architect, private plans. Owner, J. Edward Brinton, on premises. Brick, 1 story, 15x50 feet, 17x97 feet, 38x8 feet, sec-

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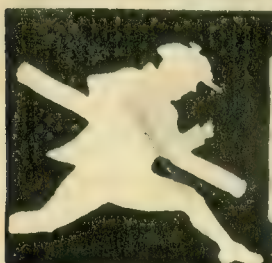
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ond story add., 30x50 feet. Owner will build.

**Residences (2)**, North side Arrott street, East of Castor Road, \$5,500 each. Architect, private plans. Owner, C. P. Colliet, 4257 Orchard street, Philadelphia. Brick, 2 stories, 16x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (67)**, Thirty-second street, Allegheny avenue and Patton street, \$343,000. Architect, private plans. Owner, Morris L. Miller, Thirty-second and Allegheny avenue, Philadelphia. Brick, (65) 2 stories, 15x26 feet, 10x10 feet, and (2) 3 stories, 16x60 feet, slag roof, hardwood, pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, West side Veree Road, North of Hartel street, \$6,000 each. Architect, private plans. Owner, Edwin Davis, 7301 Oxford Pike, Philadelphia. Frame, 2 stories, 26x41 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Shop**, 1303 East Moyamensing avenue, Philadelphia, \$5,000. Architect, private plans. Owner, Joseph Weber, 2627 South Second street, Philadelphia. Brick, 2 stories, 17½x26 feet, 8 inches, 15x14 feet, slag roof, electric work. Owner will build.

**Residences (5)**, West side Edgewood avenue, North of Theodore avenue. Architect, private plans. Owner, Joseph G. Louderback, 2527 South Edgewood street, Philadelphia. Brick, 2 stories, 15x28 feet, 12x11 feet, hot water heating, electric lighting. Owner will build.

**Residences (11)**, Fifth and Shunk streets, Philadelphia, \$51,500. Architect, private plans. Owners, Litman & Silverman, 2414 South Fourth street, Philadelphia. Brick, 2 stories, various sizes, slag roof, hot water heat, electric light. Owners will build.

**Residences (25)**, 6600-48 North Seventeenth street, Philadelphia, \$176,000. Architect, private plans. Owners, William Fischer & Sons, Broad street and Sixty-seventh avenue, Philadelphia. Brick, 2 stories, various sizes, slag roof, hot water heat, electric light, hardwood and pine floors. Owners will build.

**Residences (4)**, North side Princeton avenue, West of Ditman street, \$5,000 each. Architect, private plans. Owner, Daniel Gerecke, Disston and Algard streets, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light. Owner will build.

**Garage**, Northeast Corner Beulah and Oregon avenue, Philadelphia, \$18,000. Architect, I. W. Levin, Victory Building, Philadelphia. Owner, M. Hoffman, 4908 Brown street, Philadelphia. Brick, 2 stories, 46x65 feet, slag roof, cement floors. Owner will build.

**Garage**, Northeast Corner Snyder avenue and Vandalia street, Philadelphia, \$8,000. Architect, private plans. Owners, Gulf Refining

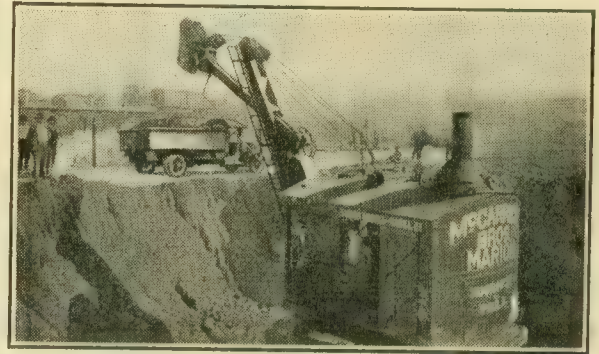
Co., Widener Building, Philadelphia. Brick, 1 story, 40x46 feet, slag roof, cement floors. Owners will build.

**Garage**, 7-15 East Highland avenue, Philadelphia, \$4,000. Architect, private plans. Owner, Melvin H. Grebe, 5 East Highland avenue, Philadelphia. Brick, 1 story, 88x17 feet, 8 inches, cement floors, electric work. Owner will build.

**Residences (2)**, West side Herrick street, North of Walnut Lane, \$4,000 each. Architect, private plans. Owner, Walter Rowland, 4403 Dexter street, Philadelphia. Brick, 2 stories, 20x31 feet, hot air heat, electric light. Owner will build.

**Delaware River Bridge**, Contract No. 16, Philadelphia Sewers, Philadelphia. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Low bidders: Lombardi Co., Lincoln Building, Philadelphia, \$173,464.25; Joseph Lombardi, Lincoln Building, Philadelphia, \$184,105.

**Various Schools**, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Low bidders: No. 144, Lee School, painting, H. B. Roth & Son, Sixth and Callowhill, \$2,920. No. 145, Campbell School, general, McCloskey Co., 1620 Thompson, \$71,256; Mitchell Brothers, 2125 Race street, Philadelphia, \$84,590. No. 146, Campbell School, plumbing, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$19,890. No. 147, Campbell School, heating, no bids received. No. 148, Campbell School, electric, J. F. Buchanan, 1904 Sansom street, \$1,967. No. 149, Stokley School, general, Carr & Courtney, 3025 Poplar, \$6,795; E. C. Durrell, 1713 North Twenty-fourth street, \$7,779. No. 150, Stokley School, plumbing, Daniel J. Keating, 2042 Rittenhouse street, \$7,700. No. 151, Stokley School, heating, L. J. Somers, 2436 Brown street, \$385. No. 152, Dunlap School, general, William Langhorne, 304 South Fiftieth street, \$10,829; McCloskey Co., 1620 Thompson street, \$10,899. No. 153, Dunlap School, plumbing, D. J. Keating, 2042 Rittenhouse street, \$7,400. No. 154, Dunlap School, heating, L. J. Somers, 2436 Brown street, \$378. No. 155, McDaniel School, general, Carr & Courtney, 3025 Poplar, \$3,300; E. C. Durrell, 1713 North Twenty-fourth street, \$3,697. No. 156, McDaniel School, plumbing, D. J. Keating, 2042 Rittenhouse street, \$6,500. No. 157, McDaniel School, heating, L. J. Somers, 2436 Brown street, \$332. No. 163, Muhr School, general, William Langhorne, 304 South Fiftieth street, \$7,086; E. C. Durrell, 1713 North Twenty-fourth street, \$7,539. No. 164, Muhr School, plumbing, Bulman Brothers, Fifth and Cumberland, \$6,266. No. 165, Muhr School, heating, L. J. Somers, 2436 Brown street, \$314. No. 166, Bridesburg School, general, Mitchell



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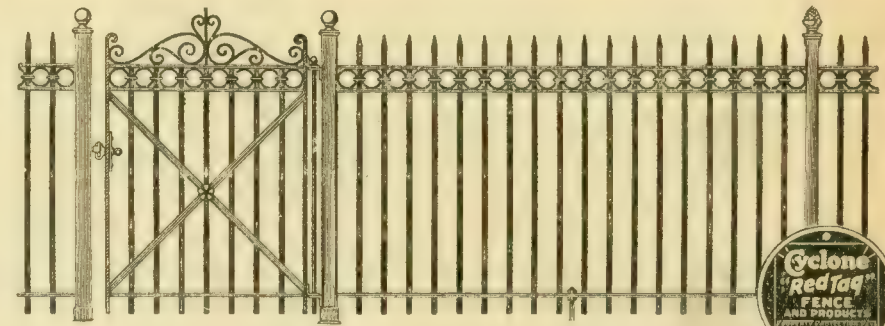
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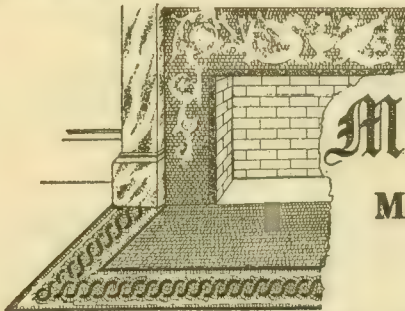
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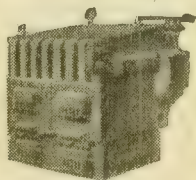
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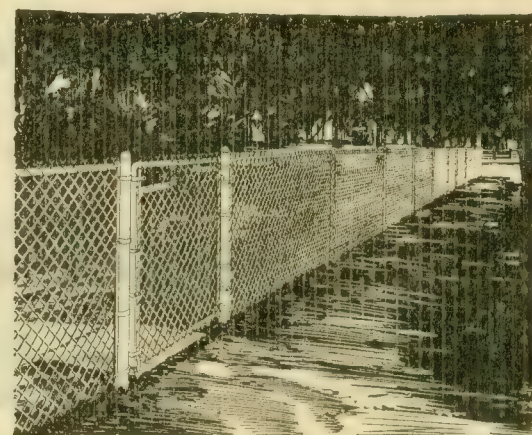
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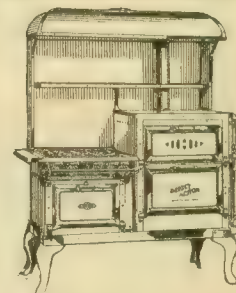
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Brothers, 2125 Race street, \$7,696; E. C. Durrell, 1713 North Twenty-fourth street, \$8,041. No. 167, Bridesburg School, plumbing, Bulman Brothers, Fifth and Cumberland, \$7,366. No. 168, Bridesburg School, heating, L. J. Sommers, 2436 Brown street, \$348. No. 169, Stowe School, painting, O. B. Cannon, 5315 Greenway avenue, \$1,625. No. 170, Jones School, painting, Edward Kooperman & Son, Twenty-ninth and Poplar, \$835. No. 171, various repairs heating equipment, McClintock & Brothers, 5608 Race street, \$2,211. No. 172, Curten School, painting, James McAlpin & Son, 1713 North Twenty-fourth street, \$2,169. No. 173, Andora and Annex School, painting, James McAlpin & Son, 1713 North Twenty-fourth street, \$775. No. 174, Surtain School, general, E. C. Durrell, 1713 North Twenty-fourth street, \$6,814; McCloskey Co., 1620 Thompson street, \$7,790. No. 175, Surtain School, plumbing, Bulman Brothers, Fifth and Cumberland, \$6,266. No. 176, Surtain School, heating, L. J. Somers, 2436 Brown street, \$310. No. 178, Alcorn School, painting, William Christy & Son, 1614 McKean, \$3,595; Kuehnle-Albert Co., Seventeenth and Vine streets, \$3,595. No. 181, various heating equipment repairs, McClintock Brothers, 5608 Race street, \$1,301. No. 182, West Philadelphia High School repairs, Mitchell Brothers, 2125 Race street, Philadelphia, \$4,997; George Dobbins, 1020 South Forty-seventh street, \$5,880. No. 183, various schools, painting, James McAlpin & Son, 1713 North Twenty-fourth street, \$5,080. No. 192, Cramp No. 2, painting, James McAlpin & Son, 1713 North Twenty-fourth street, \$3,190. No. 194, E. M. Stanton, painting, H. S. Rau, 944 North Eleventh street, \$1,989.

No. 200, various schools, painting, J. J. Murphy & Co., 1835 Ludlow, \$3,098. No. 201, Harmer School, painting, H. B. Roth & Son, 601 Callowhill, \$1,687. No. 205, South Philadelphia High, alterations, Walker Kepler, 531 Chestnut street, \$5,191. No. 215, Vaughan School, painting, H. B. Roth & Son, 601 Callowhill, \$2,000. No. 216, Mt. Airy School, painting, Edward Kooperman & Sons, Twenty-ninth and Poplar street, \$1,739. Portable

schools, Carr & Courtney, 3025 Poplar street, Philadelphia, \$50,516; William Linker Co., 735 Cherry street, Philadelphia, \$56,700.

**South Philadelphia High School**, Broad and Jackson, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Low bidder, No. 213, South Philadelphia High, oil burning equipment, Penn Engineering Co., 1119 North Howard street, Philadelphia, \$19,020.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Residence and Garage**, Southwest Corner Castor Road and Herbert street, Philadelphia, \$27,000. Architect, private plans. Owner, Dr. Alfred Gray, 1818 Orthodox street, Philadelphia. Stone, 3 stories, 43x28 feet, 19x10 feet, 12x28 feet, garage, 1 story, 19x23 feet, slate roof, hardwood, pine and cement floors, hot water heat, electric light, tile work. Contract awarded to George Gray, 1224 Wakeling street, Philadelphia.

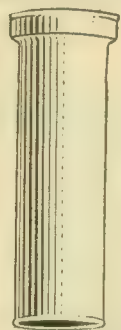
**Apartment House**, Lincoln Drive and Emlen street, Philadelphia. Architect, T. B. Lippincott, 11 South Sixteenth street, Philadelphia. Owner, Wynnefield Taylor, care of architect. Concrete steel, brick, limestone, 7 stories, 128x48 feet, slag roof, composition and hardwood floors, vapor heat, electric light, tile and marble work, metal sash, fire tower, tin-clad doors, artificial stone, terra

cotta, oil-burning equipment, automatic elevators. Contract awarded to Wark Co., 1600 Walnut street, Philadelphia.

**Building (alts.)**, Market street and Eighth street, Philadelphia. Architect, Louis H. Friedland, 562 Fifth avenue, New York City. Owners, Strawbridge & Clothier, Eighth and Market streets, Philadelphia. New store front, revolving doors, entrance bulkheads, show window enclosures, heating, lighting and plumbing, alterations, exterior marble work, granite, carpentry and mill work, oak floors, steel and iron work, hardware, bronze work, tile work, metal lath, plastering, travertine floors, imitation caen stone. Contract awarded F. L. Hoover & Son, 1023 Cherry street, Philadelphia.

**Residences (12)**, Sixty-second and Yocum streets, Philadelphia, \$75,000. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, Carmine Palimere, care of architect. Brick, 2 stories, 16x33 feet, slag roof, oak, pine and composition floors, hot water heat, electric light. Contract awarded Woodland Const. Co., Sixty-fifth and Chester avenue, Philadelphia.

**Building Remodeling**, 1337-41 Arch street, Philadelphia, \$9,415. Architect, Willis Atwood Hall, Post Office Building, Sixty-ninth and Market streets, Philadelphia. Owner, George C. Bowker, on premises. Composition floors, painting and glazing, carpentry and mill work, iron work, marble work, sheet



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metal work, tile and concrete work, lowering floors, underpinning and shoring, plastering, art. glass, metal ceiling, metal lath. Contract awarded A. N. Tatro & Co., Broad and Arch streets, Philadelphia.

**Vare Recreation Center**, Twenty-sixth and Norris streets, Philadelphia. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, Philadelphia. Contract awarded: S. Sidney Lewis, Real Estate Trust Building, Philadelphia, \$136,478. Plumbing, L. J. Sommers & Son, 2436 Brown street, Philadelphia, \$7,893. Heating, L. J. Sommers & Son, 2436 Brown street, Philadelphia, \$12,670. Electric, Merit Electric Co., 630 Race street, Philadelphia, \$8,500.

**Factory**, South side Westmoreland, East of Twenty-fifth street, Philadelphia, \$100,000. Architect, Clarence E. Wunder, 1620 Locust street, Philadelphia. Owners, Rosenau Brothers, Inc., on premises. Brick, cast stone, steel, 1 story and basement, 200x70 feet, slag roof, maple floors, painting and glazing, metal window guards, dampproofing, ornamental iron work, bond, fire and rolling steel doors, rolling steel sash and skylights, metal lath (plumbing, heating and electric separate bids). Contract awarded Bowden Const. Co., 1935 Chestnut street, Philadelphia.

**Building (add.)**, Berkley, Wayne and Green streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Moore Push Pin Co., on premises. Brick, steel, 1 story, 90x59 feet (heating, plumbing reserved, slag roof, cement floors, painting and glazing, shoring, salt glazed terra cotta, coping, ornamental iron work, floor hardener, bond, tin clad doors, sheet metal skylights, rolling steel sash. Contract awarded Harry Gill, Jr., 2515 Germantown avenue, Philadelphia.

**Alterations to Building**, No. 27, Merion avenue, West Philadelphia, \$14,000. Architect, W. H. Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad Company, Broad Street Station, Philadelphia. Brick, cement work, kalamein doors, metal lath, plastering, cement and carpentry and mill work, plumbing, steel and iron work, slate work, Barrett Specification roof. Contract awarded Fred A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Apartment House**, Forty-third and Walnut

streets, Philadelphia. Architect, C. E. Oeschlager, 1615 Walnut street, Philadelphia. Owner, name withheld. Brick, ornamental terra cotta, cut stone, steel, 10 stories and basement, 215x135 feet, slag roof, oak, pine and cement floors, elevators, painting and glazing, shoring, ornamental iron work, hollow metal doors, copper skylights, tile and marble work, metal lath, electric light, steam heat, refrigeration plant. Contract awarded Armstrong & Latta, 1926 Sansom street, Philadelphia.

**Apartment House**, 2130-32 Locust street, Philadelphia. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owners, 2130 Locust Street Corporation, care of architect. Brick, steel, granite, 4 stories and basement, 38x40 feet, wing 59x24 feet, slag roof, cement, oak and pine floors, shoring, ornamental iron work, bond, kalamein doors, bond, galvanized iron skylights, tile and marble work, metal lath. Contract awarded Barnett Co., 1324 Walnut street, Philadelphia.

**Store and Apartment (alts. and add.)**, 2452 North Broad street, Philadelphia, \$25,000. Architect, H. B. Weldon, 1520 Locust street, Philadelphia. Owner, Charles H. Grakelow, 2450 North Broad street, Philadelphia. Shoring and underpinning concrete and cement work, brick work, artificial stone, steel and iron work, carpentry and mill work, metal lath, plastering, steel kitchen tile work, copper sash, leaded glass, slag roof, oak and pine floors, hardware. Contract awarded Smith Hardican Co., 1709 Callowhill street, Philadelphia.

**Factory and Coal Trestle**, 1337-39 Mt. Vernon street, Philadelphia. Engineer, Howard J. Webster, Harrison Building, Philadelphia. Owners, J. S. Ivins Sons, 619 North Broad

street, Philadelphia. Brick and steel, 2 stories, 30x50 feet, 9 inches, slag roof, pine floors, steam heat, electric light, rolling steel sash, fire doors. Contract awarded A. R. Raff Cont. Co., 1635 Thompson street, Philadelphia.

**Various Schools**, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Contracts awarded: W. F. Miller School, W. Langhorne Co., 304 South Fiftieth street, \$51,600. Kan School, William Langhorne Co., 304 South Fiftieth street, \$2,932. Palmer School, William Langhorne, 304 South Fiftieth street, \$2,932. Morris School, William Langhorne Co., 304 South Fiftieth street, \$6,995. Meffett School, Mitchell Brothers, 2125 Race street, \$6,390. Booker School, Mitchell Brothers, 2125 Race street, \$2,985.

**Store (alts.)**, 903-05-07 Market street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, Price Gas & Electric Co., on premises. Electric light, tile work, metal cornice, painting and glazing, metal ceilings, plastering, plate glass. Contract awarded to S. Kaplan, 243 South Sixty-second street, Philadelphia.

**Building (add.)**, 1006 Vine street, Philadelphia. Architect, private plans. Owners, Stern Metal Works, 1006 Vine street, Philadelphia. Brick, 2 stories, 32x80 feet (plumbing, heating, electric and elevators reserved), slag roof, cement floors. Contract awarded Morris Wolf, 3819 Poplar street, Philadelphia.

**Alterations and Additions**, Southwest Corner Ridge and Green Lane, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, George C. Bowker,

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4371 Main street, Philadelphia. Contract awarded to C. M. Swartley, 6835 Ridge avenue, Philadelphia.

**Warehouse (alts.),** Southwest Corner Third and Florist streets, \$46,000. Architect, C. W. Gilmore, 10 South Eighteenth street, Philadelphia. Owners, Philadelphia Insulated Wire Co., Third and Race streets, Philadelphia. Brick work, cement work, carpentry, mill work, painting, glazing. Contract awarded to A. Raymond Raff Co., 1635 Thompson street.

**Building (add.),** 1215-19 Columbia avenue, Philadelphia, \$45,000. Architect, private plans. Owners, Forrest Laundry, Camac and Columbia avenue, Philadelphia. Reinforced concrete, 2 stories add., 50x80 feet, cement work, electric work, slag roof. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Church (alts. and repairs),** Northeast Corner Nineteenth and Green streets, \$30,000. Architect, Frank L. Randolph, 1211 Arch street, Philadelphia. Owners, Highway Mission, Oxford and Twenty-second streets, Philadelphia. General alterations and repairs, carpentry, mill work, plastering. Contract awarded to Frank K. Stahl, 2711 North Park avenue, Philadelphia.

**Warehouse,** Northwest Corner Twenty-fourth and York streets, Philadelphia, \$9,000. Architect, private plans. Owner, R. Fritz, 2347 North Carlisle street, Philadelphia. Brick, 1 story, 37½x112½ feet, slag roof, steel sash, cement floors. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Residence,** North side Fuller street, West of Frontenac street, \$5,500. Architect, private plans. Owner, Joshua M. Holmes, Valley Road, Philadelphia. Frame, 2 stories, 25x44 feet, shingle roof, hardwood and pine floors, shingle roof, hot water heat, electric light. Contract awarded to Henry E. Durst, 1338 North Tenth street, Philadelphia.

**Building (alts.),** North side Armat street, East of Germantown avenue. Owners, Abbott's Alderney Dairies, Thirty-first and Chestnut streets, Philadelphia. General alterations. Contract awarded to William G. Uhlers Sons, Northeast Corner Twenty-fifth and Snyder avenue.

**Garage,** West side Hutchinson street, South of Duncannon street, Philadelphia, \$25,000. Architect, private plans. Owner, Ida Abramson, Ninth and Walnut streets, Philadelphia. Brick, 1 story, 75x160 feet, slag roof, cement floors, electric work. Contract awarded to M. C. Yoskin, 5934 Baltimore avenue, Philadelphia.

**Store,** Southeast Corner Germantown avenue and Willow Grove avenue, \$12,000. Architect, private plans. Owners, Hudson & Hein, on premises. Brick, 1 story, 31 feet, 8 inches x 125 feet, slag roof, electric lighting.

Contract awarded to William H. Grebe, 5 East Highland avenue, Chestnut Hill.

**Store and Apartment (alts.,** Southwest Corner Nineteenth and Parrish streets, Philadelphia, \$10,000. Architect, H. G. Harmer, 1716 Spring Garden street, Philadelphia. Owner, Patrick J. McShea, on premises. Painting, glazing, plastering, carpentry, mill work, alterations. Contract awarded to Carr & Courtney, 3025 Poplar street, Philadelphia.

**Garages (2),** West side Sixtieth street, South of Springfield avenue, Philadelphia, \$7,500 each. Architect, private plans. Owner, Harriet Connell, 4535 Chester avenue, Philadelphia. Brick, 1 story, 26x18 feet, 18x14 feet, 43x18 feet, slag roof. Contract awarded to E. G. Burrell, 2056 South Seventy-first street, Philadelphia.

**Store and Residence (alts. and add.),** 5319 Greene street, \$6,000. Architect, private plans. Owner, D. Konnjian, 4551 Wayne avenue, Germantown, Philadelphia. Brick, 1 story, 3x36 feet, 11x24 feet, general alterations. Contract awarded to M. Knosen & Co., 3955 Pennsgrove street, Philadelphia.

**Residences (2),** 6441-43 Vine street, Philadelphia, \$5,000 each. Architect, private plans. Owner, Joseph Caochio, care of builder. Brick, 2 stories, 16x42 feet, hot water heat, electric light. Contract awarded to Carmine Mattea, 433 North Sixty-fifth street, Philadelphia.

**Residence,** West side Mascher street, North of Chew street, \$5,000. Architect, private plans. Owner, George Finkfohner, 5615 North Second street, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hot air heat, electric light. Contract awarded to Charles Townsend, 5512 North Fairhill street, Philadelphia.

**Store and Residence (alts. and add.),** 3104 G street, \$4,700. Architect, private plans. Owner, I. Hymontz, on premises. Brick, 2 stories add., 11x10 feet, general alterations. Contract awarded to Gold & Bull, 1036 Wolf street, Philadelphia.

**Garage,** 1020-22 Cantrell street, Philadelphia, \$3,500. Architect, private plans. Owner, Luigi Sassam, 1015 Tree street, Philadelphia. Brick, 1 story, 28 feet, 6 inches x 56 feet, 6 inches, slag roof, cement floors. Contract awarded to M. Parisano, 1334 South Eighth street, Philadelphia.

**Store and Residence (alts. and add.),** 4446 Germantown avenue, \$3,000. Architect, private plans. Owner, Rosa Lamb Estate, on premises. Brick, 1 story add., 9x12 feet, general alterations. Contract awarded to J. Maurer & Co., 1304 North Second street, Philadelphia.

**Store and Residence (alts. and add.),** 1113 South street, \$2,700. Architect, private plans. Owner, Mrs. Steiner, 1111 South street, Philadelphia. Brick, third story add., 17x34

feet, general alterations. Contract awarded to A. MacTavish, 2026 Waverly street, Philadelphia.

**Store and Residence (alts.),** 6654 Leeds street, Philadelphia, \$2,100. Architect, private plans. Owner, Mrs. Kinloke, on premises. General alterations. Contract awarded to Hayes & Mick, Collingdale, Pa.

**Apartment House (alts. and add.),** 1128 Rockland street, \$2,000. Architect, private plans. Owner, Charles W. Seltzer, 1128 Rockland street, Philadelphia. Brick, 1 story add., 7x15 feet, general alterations. Contract awarded to Gilbert S. Smith, 1715 Chestnut street, Philadelphia.

**Store (alts.),** 1235 Market street, Philadelphia, \$2,000. Architect, private plans. Owners, Colonial Trust Co., 1237 Market street, Philadelphia. General alterations. Contract awarded to James Riemer, 653 First avenue, New York.

**Church,** Southeast Corner Orthodox street and Penn street, Philadelphia, \$6,800. Architect, private plans. Owners, Society of Friends, on premises. Frame, 1 story, 24x40 feet, shingle roof, electric light. Contract awarded to Clement Webster, 4832 Penn street, Philadelphia.

**Garage,** 1509-13 Melon street, Philadelphia, \$4,850. Architect, private plans. Owner, William Binde, 662 North Fifteenth street, Philadelphia. Brick, 1 story, 45x60 feet, slag roof, cement floors. Contract awarded to H. D. Meeke, 917 North Nineteenth street, Philadelphia.

**Garage,** 717 Fairmount avenue, Philadelphia, \$20,000. Architect, private plans. Owner, Joseph Malendowicz, 429 Richmond street, Philadelphia. Brick, 2 stories, 32x75 feet, 38x144 feet, 1 story, 16x39 feet, 13x22 feet, slag roof, cement floors. Contract awarded to D. Wajdyk, 2540 South Jessup street, Philadelphia.

**Store and Storage Building (alts. and add.),** 3653 Woodland avenue, \$3,500. Architect, private plans. Owner, G. W. Gomersall, on premises. Brick, 1 story add., 16x19 feet, general alterations. Contract awarded to William E. Hale, 1516 Summer street, Philadelphia.

**Store and Residence (alts.),** 1303 Montgomery avenue, \$2,820. Architect, private plans. Owner, Frank N. Percival, 6229 Market street, Philadelphia. General alterations. Contract awarded to Frank N. Percival, 6229 Market street, Philadelphia.

**Residence,** North side Disston street, West of Loretto avenue, \$5,000. Architect, private plans. Owner, Charles Pritz, 430 Blavis street, Philadelphia. Frame, 2 stories, 28x35 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to J. Maurer & Co., 1304 North Second street, Philadelphia.

**Residence,** North side Lesser street, West of Eighty-third street, \$3,000. Architect, private plans. Owner, John C. Craig, 8229 Holstein avenue, Philadelphia. Brick, 1 story, 24x33 feet. Contract awarded to Alfred Sansom, 8724 Albertson avenue.

**Residence (add.),** 39 North Fifty-third street, Philadelphia, \$2,000. Architect, private plans. Owner, Joseph Proctor, on premises. Brick, 2 stories add., 12x15 feet, 6 inches, slag roof, electric work. Contract awarded to Steinmetz Const. Co., 6016 Irvine street.

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**Residence**, 8521 Laycock avenue, Philadelphia, \$3,500. Architect, private plans. Owner, F. Brinson, 8529 Laycock avenue, Philadelphia. Brick, 2 stories, 16x38 feet, hot air heat, electric light. Contract awarded to W. H. Spear, 8562 Laycock avenue, Philadelphia.

**Office (alts.)**, East side Juniper street, South of Spruce, \$3,000. Architect, private plans. Owners, Social Service Association, on premises. General alterations. Contract awarded to H. H. Burrell, 206 South Quince street, Philadelphia.

**Store and Office (alts. and add.)**, 5227 Vine street, Philadelphia, \$6,000. Architect, private plans. Owner, Harry S. Brisch, 5429 Haverford avenue, Philadelphia. Brick, second story add., 20x76 feet, general alterations. Contract awarded to H. P. Collins, 230 North Fifty-third street, Philadelphia.

## Pennsylvania Construction News

**Memorial Building**, Willow Grove, Pa. Architect, T. Frank Miller, 1012 Walnut street, Philadelphia. Owners, Willow Grove Community Memorial Building, J. Dyre Moyer, Willow Grove, Pa. Brick, cut stone, 3 stories, 80x96 feet (plumbing, heating and electric reserved), slag roof, maple floors, metal lath, bond, ornamental iron work, architectural terra cotta. Architect taking bids due June 21st.

**Alterations and Addition (new porch)**, 213 Kent Road, Wynnewood, Pa. Architect, Ralph White, Pennsylvania Building, Philadelphia. Owner, Phillips Cass, on premises. New porch, 1 story, 8x10 feet, shingle roof, oak floors, tile and marble work, plastering, stucco, carpentry and mill work, metal weather strips, painting and glazing, shoring. Architect taking bids June 12th.

**Church**, Derry street, Harrisburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg. Owners, Olivet Presbyterian Church, Dr. S. Bower, 1926 Bellevue Road, Harrisburg, Pa. Stone, 1 story and basement, 80x100 feet, electric light. Plans in progress.

**Residence**, Academy Manor, Harrisburg, Pa. Architects, Johnston & Starr, Spooner Building, Harrisburg, Pa. Owners, Harrisburg Academy, Dr. Brown, on premises. Brick and stone trim, 2½ stories, 30x50 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Store and Office**, Carlisle, Pa. Architect, F. G. Fahnestock, Patriot Building, Harrisburg, Pa. Owner, S. W. Haverstick, Carlisle, Pa. Brick, 3 stories, 34x86 feet, slate roof, hardwood floors, electric light. Plans in progress.

**Residence (alts. and add.)**, Camp Hill, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, C. G. Heyd, 230 South Forty-ninth street, Philadelphia. General alterations, hardwood floors, electric light, tile work, 2 story add., 14x20 feet. Plans in progress.

**Rectory**, Baltimore avenue, Lansdowne, Pa., \$100,000. Architect, George I. Lovatt, 223 South Svidenham street, Philadelphia. Owners, St. Philomena's Roman Catholic Church, Rev. F. J. Markee, on premises. Stone, 3 stories, slate roof, hardwood floors, electric

light, tile and marble work. Plans about to be started.

**Residence**, 100 Lansdowne Court, Lansdowne, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Mrs. Leah V. Welsh, care of architect. Stone, frame, 2½ stories, 40x26 feet, shingle roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Residence (alts. and add.)**, Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, James Shane, care of architect. Brick, 2½ stories, 25x75 feet, slate roof, hardwood and pine floors, vapor heat, electric light, tile and marble work. Plans in progress.

**Stores and Apartments (alts. and add.)**, Marietta, Pa. Architect, H. Y. Shaub, 54 North Queen street, Lancaster, Pa. Owner, Barr Spangler, Marietta, Pa. Brick, steel, 3 stories, 60x100 feet, slag roof, hardwood floors, electric light, tile work, copper work, bronze work. Plans in progress.

**Residence**, Lancaster, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, H. Hershe, care of architect. Frame, 2½ stories, 30x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Bank**, Duncannon, Pa. Architects, Hersh & Sholler, Altoona, Pa. Owners, Duncannon National Bank, Duncannon, Pa. Architects selected. Too early for details.

**Hotel, Store, Restaurant and Dance Hall**, Ashland, Pa. Architect, W. H. Lee, 1505 Race street, Philadelphia. Owner, name withheld. Brick and steel, 4 stories, 50x125 feet (75 rooms), slag roof, wood and cement floors, elevators, tile and marble work, steam heat, electric light. Plans in progress.

**Theatre and Stores**, Nesquehoning, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owner, B. F. Freed, Nesquehoning, Pa. Concrete bloc and brick, 2 stories, 40x130 feet, 700 seating capacity, tile roof, wood floors, hot air heat, electric light. Plans in progress.

**Garage and Apartment**, Minersville, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Williams & Lauderman, Minersville, Pa. Brick, steel, 3 stories, 50x30 feet, composition roof, concrete and hardwood floors, roof ventilators, waterproofing, steam heat, electric light, tile work, fire doors. Plans in progress.

**Residence and Garage (3)**, Rest Haven, Upper Moylan Township, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, H. P. Schneider, 3713 Old York Road, Philadelphia. Brick, frame, stucco, (2) 2½ stories, (1) 2 stories, 26x42 feet, 20x22 feet, shingle roof, hardwood floors, cement work, electric light, hot water heat, tile and marble work. Owner will build and is ready for sub-bids.

**Residence and Garage**, Meadow Lane, Merion, Pa. Architect, E. Allen Wilson, 1208

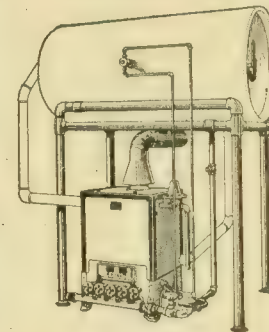
Chestnut street, Philadelphia. Owner, John J. Marshall, 1115 Marlyn Road, Philadelphia. Stone, plaster, 3 stories, 660x28 feet, 1 story, 22x22 feet, slate roof, hardwood floors, cement work, tile and marble work, hot water heat, electric. Plans in progress. Owner will take sub-bids.

**Renovation and Repairs to Montgomery County Court House**, Norristown, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, The County Commissioners, Norristown, Pa. Plans completed. Architect will receive estimates.

**Residence**, North Second street, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, care of architect. Brick, 2½ stories, 28x35 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Architects taking sub-bids.

**Sunday School**, Red Lion, Pa., \$40,000. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owners, Reformed Lutheran Church, care of architects. Brick, 1 story and basement, 74x54 feet, slate roof, maple floors, steam heat, electric light. Architects ready for revised bids.

**Rectory**, Minersville, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Stanislaus' Polish Cong., Rev. Anthony K. Brzozowski, Spruce street, Minersville, Pa. Brick, 2½ stories, 32x47 feet, slate roof, hardwood floors, hot water



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**School (alts. and add.),** Hamburg, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, School Board, Hamburg, Pa. Brick, steel, 2 stories, 12 rooms, slate roof, hardwood floors, hollow tile, safety treads, roof ventilators (heating, electric work reserved), metal lath, iron stairs. Owners ready for bids due June 26th.

**High School,** Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Lancaster City School District, Lancaster, Pa. Brick, granite, stone, steel, 4 stories, 68x200 feet, cement and maple floors, slag roof, hollow tile, metal lath, tile and marble work, galvanized iron skylights, bond (heating, electric work and plumbing reserved). Owners taking bids due July 3rd.

**High School,** Rosedale, near Reading, Pa. Architects, Ritcher & Eiler, Reading, Pa. Owners, Muhlenberg Township Board of Education, A. E. Foust, Temple, Pa. Brick, cast stone, reinforced concrete steel, 2 stories and basement, 252x44 feet, wing 59x55 feet, wing 26x78 feet, built-up roof, hollow tile, safety treads, waterproofing, ornamental iron work, bond, rolling steel sash, metal lath (plumbing, heating, electric separate bids). Owners taking bids due June 24th.

**Creamery,** Myerstown, Pa. Architects, Rapp Const. Co., Lebanon, Pa. Owners, Hershey Chocolate Co., Myerstown, Pa. Brick, concrete, steel, 1 and 2 stories, 50x100 feet, slag roof, concrete floors, hollow tile, electric light, glazed tile, rolled steel sash. Architects taking bids due as soon as possible.

**Masonic Temple (alts. and add.),** Lincoln avenue, near Eighth avenue, Moore, Pa. Architect, private plans. Owners, Masonic Temple, Grover Talbot, chairman, Moore, Pa. Brick, cut stone, stucco, 2 stories add., 45x72 feet, slate roof, maple and mineral floors, metal lath, rolling steel doors, bond, ornamental iron work, hardware, painting and glazing, plastering. Owners taking bids due June 13th.

**Convent Building,** Mt. Carmel, Pa. Architect, Paul Monaghan, 1713 Sansom street, Philadelphia. Owners, Our Mother of Consolation Roman Catholic Church, Mt. Carmel, Pa. Architect taking bids due June 14th.

**Residence,** Doylestown, Pa. Architect, A. Oscar Martin, Doylestown, Pa. Owner, Otto Kolbe, Doylestown, Pa. Stone, 2½ stories, 36x27 feet, slate roof, mineral, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Architect taking bids due June 18th.

**Office,** Lewistown, Pa., \$25,000. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Penn Sand & Glass Co., Lewistown, Pa. Brick, 2 stories, 40x50 feet, slag roof, hardwood floors, safety treads, waterproofing and dampproofing, electric light, tile work, rolled steel skylights, iron stairs, ornamental iron work. Owners taking bids due June 16th.

**Club House,** Reading, Pa. Architects, High & Huber, 230 North Sixth street, Reading, Pa. Owners, Northeastern Republican Club, M. A. Laurel, Tenth and Walnut streets, Reading, Pa. Brick, steel, concrete, 2 stories and basement, 40x106 feet, Johns Mansville roof, hardwood and pine floors, hollow tile, safety treads, roof ventilators, steam heat, electric light, metal lath, tile work, rolled steel skylights, steel doors, ornamental iron work, architectural terra cotta. Architects taking bids due June 13th.

**High School,** Mechanicsburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Mechanicsburg School Board. Forest Mercer, president, Union Trust Building, Harrisburg, Pa. Brick, 2 stories and basement, 30x80 feet, slag roof, hardwood and composition floors, hollow tile,

roof ventilators (heating, electric and plumbing reserved), metal lath, rolled steel skylights. Owners taking bids due June 28th.

**High School,** Lansdowne avenue, Upper Darby, Delaware County, Pa. Architect, H. W. Castor, Stephen Girard Building, Philadelphia. Owners, School District of Upper Darby, Delaware County, Pa. Brick, stone, cut stone, steel, reinforced concrete, 3 stories and basement, 60x288 feet (plumbing, heating and electric reserved), slag roof, linoleum and cement floors, painting and glazing, architectural terra cotta, ornamental iron work, bond, rolling steel and kalamein doors, rolling steel sash and skylights, terrazzo work, metal lath. Low bidders: D. A. McClelland Co., Drexel Building, Philadelphia, \$337,452; Friel McLeister, 1615 Spruce street, Philadelphia, \$343,343. Heating, Bowers Brothers & Co., 2015 Sansom street, Philadelphia, \$45,356. Electric, Bryn Mawr Electric Co., Bryn Mawr, Pa., \$7,990. Plumbing, William Newell & Son, 1707 Sansom street, Philadelphia, \$25,378.

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Low bidders on work opened June 3rd, 1924.

Washington County, R-113, West Bethlehem and West Pike Run Townships, Centreville and Bealsville Borough, 25,842 feet. One course reinforced concrete. Meredith, McVaugh & Webb, Jamestown, Pa. \$288,728.85.

McKean County, R-95, Sec. 5, Hamlin Township, 20,826 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. D. LeRoy Dennis, Eldred, Pa. \$192,268.15.

Delaware County, A-2436, Lower Chichester Township, 4,847 feet. One course reinforced concrete. Juniata Co., Empire Building, Philadelphia: Crushed stone, \$48,274.36; gravel, \$47,692.15.

Clarion County, A-2577, Sec. 1, Beaver Township, 15,655 feet. One course reinforced concrete. Standard Paving & Cont. Co., Chicago, Ill. \$130,661.85.

Susquehanna County, R-14, Jessup and Bridgewater Townships, Montrose Borough, 27,214 feet. One course reinforced concrete. Comerford Const. Co., Fifth and Sansom streets, Philadelphia: Crushed stone, \$260,575.81; gravel, \$257,847.66. Public Service Production Co., Newark, N. J.: Crushed stone, \$261,433.02; gravel, \$254,863.22.

Indiana County, R-223, Sec. 2, East and West Wheatfield Township, 34,995 feet. One course reinforced concrete. Paul Const. Co., Cresson, Pa. \$357,018.15.

Bucks County, R-178, Sec. 3, Doylestown and North Britain Townships, Chalfonte Borough, 23,062 feet. One course reinforced concrete. E. Riley Mixner Co., Goshen, N. J. \$177,658.34.

Washington County, R-108, Sec. 2, North Strabane Township, 7,358 feet. One course reinforced concrete. Philip Di Rienzo, Fayette City, Pa. \$90,080.54.

Greene County, R-110, Sec. 1, Whiteville Township, 26,540 feet. One course reinforced concrete. S. J. Groves & Sons, Minneapolis, Minn. \$381,991.45.

Jefferson County, R-61, A-2660, Warsaw Township, 15,071 feet. One course reinforced concrete. Joe Wiesner, St. Mary's, Pa. \$135,330.85.

Luzerne County, R-4, Sec. 4, Plymouth Township, 7,282 feet. One course reinforced concrete. B. G. Coon Const. Co., Luzerne, Pa. \$96,672.60.

Westmoreland County, R-143, Sec. 2, Ros-traver Township, 12,991 feet. One course reinforced concrete. Frazier & Mansfield, McKeesport, Pa. \$193,748.47.

Jefferson County, R-338, Henderson and Winslow Townships, Sykesville Borough, 21,281 feet. One course reinforced concrete.

Miller Const. Co., Punxsutawney, Pa. \$232,833.70.

Bridge, Northumberland, Pa., Snyder and Union Counties, over West branch of Susquehanna River, Route 25. Whittaker & Diehl, Harrisburg, Pa. \$409,579.98.

**Paving,** Upper Darby, Pa. Owners, Commissioners of Upper Darby Township, A. F. Damon, Municipal Building, Upper Darby. Low bidder: Union Paving Co., Thirtieth and Locust streets, Philadelphia. \$328,000.

**Street Paving,** Shenandoah, Pa. Owners, Borough of Shenandoah, T. R. Edwards, chairman, Street Paving, 111 North Jardin street, Shenandoah, Pa. Repairing sheet asphalt streets with 1-inch binder and 2-inch wearing surface, 800 square yards. Owners taking bids due June 17th at noon.

**Sewers and Manholes,** Radnor Township, Pa. Owners, Commissioners of Radnor Township, Charles H. Stewart, secretary, Maguire Building, Wayne, Pa. Terra cotta, approximately 8,000 feet, 8-inch terra cotta and necessary manholes in Glenbrook avenue, County Line Road, Bryn Mawr avenue, Moore avenue, Brook street, Miller street and Township Line Road, Radnor Township. Owners taking bids due June 23rd at 3 P. M. (Standard Time). Certified check for \$1,500, made payable to treasurer of Radnor Township, required.

## Pennsylvania Contracts Awarded

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Luzerne County, Route 4, Sec. 4, Plymouth Township, 7,282 feet. One course reinforced concrete. \$96,672.60. Contract awarded to B. G. Coon Const. Co., Luzerne, Pa.

**Road Work,** Radnor Township, Pa. Engineer, A. L. Rogers, 15 East Lancaster avenue, Philadelphia, and Ardmore, Pa. Owners, Commissioners of Radnor Township, Charles H. Stewart, Maguire Building, Wayne, Pa. Widening, construction of bituminous macadam and the improvement of section of ryn Mawr avenue, from the Lower Merion Township line to the Radnor and Chester Road. \$53,760.10. Contract awarded Good Roads Co., Commercial Trust Building, Philadelphia.

**Bridges,** East of Pockeland, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Reinforced concrete and steel. Contracts awarded to Keystone Struc. Co., Pottstown, Pa. O'Rourke Brothers, 430 Walnut street, Philadelphia.

**Convent (alts.) and School,** Lost Creek, Pa., \$62,000. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Mary Magdeline's Parish, Rev. T. Kelly, Lost Creek, Pa. Frame, 2½ stories add., 38x70 feet, school, 1 story and basement, 8 rooms, slate roof, pine floors, hot water heat, electric light, tile work. Contract awarded to F. H. Keiser, Pottstown, Pa.

**Church and Sunday School,** Mertztown, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Paul's Lutheran Reformed Church, care of architect. Brick, 1 story, 30x35 feet, slate roof, pine floors, steam heat, electric light, new windows, plastering. Contract awarded to Fink Const. Co., 658 Penn street, Reading, Pa.

**School (add.),** Topton, Pa. Architect, C. J. Young, 226 North Sixth street, Reading, Pa. Owners, Topton School Board, A. H. Smith, Topton, Pa. Brick, 2 stories, general alterations (heating, electric work and plumbing reserved), 35x66 feet, 9 inches, Barrett Specification roof, yellow pine floors, roof



ventilators. Contract awarded to G. A. Koch, 818 North Eleventh street, Reading, Pa.

**Fire House**, Bally, Pa. Architects, High & Huber, 230 North Sixth street, Reading, Pa. Owners, Goodwill Fire Co., Bally, Pa. Brick, 2 stories and basement, 120x55 feet, John Mansville roof, cement and pine floors, steam heat, electric light. Contract awarded to Shafer & Ackerman, Allentown, Pa.

**Residence**, Lawndale, Pa. Architect, private plans. Owner, J. F. Detterer, Lawndale, Pa. Frame and stucco, 1½ stories, 41x22 feet, shingle roof, oak and pine floors, plumbing, tile work, hot water heat, electric light. Contract awarded C. C. Eddleman, 1627 Sansom street, Philadelphia, who is taking sub-bids.

**Grading**, Birdsboro, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Grading site of proposed engine coaling station on west side of Schuylkill and grading new track location on both sides of rebuilt railroad bridge in new location. Contract awarded H. C. Denburger, Bethlehem, Pa.

**Filtration Plant (two buildings)**, Dowingtown, Pa. Consulting engineer, W. Easby, Commonwealth Building, Philadelphia. Owners, Borough of Dowingtown, Pa. Brick and steel, 1 story, 14x14 feet, slag roof, cement floors (equipment separate contract); pump house without pump. Small concrete dam. Contract awarded W. I. Pollock, Dowingtown, Pa., \$40,050. Also laying 3 and 3¾ miles cast iron water mains, 6-inch to 12-inch. Contract awarded W. I. Pollock, Dowingtown, Pa., \$17,804.35.

**Bridge**, over track of Reading, over State Highway, East of Girardville, Pa., No. 290. Architect, private plans. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Reinforced concrete and steel. Contract awarded C. H. Reimard & Son, Bloomsburg, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Adams County, A-207, R-231, Mount Pleasant Township. \$229,596.90. Contract awarded to Union Const. Co., Lancaster, Pa.

York County, R-333, Manchester Township, \$172,776.40. Contract awarded to Paul R. Hostetter, York, Pa.

## New Jersey Construction News

**Elks' Home**, Seventh and Cooper streets, Camden, N. J. Architect, J. C. Jefferis, 312 Market street, Camden, N. J. Owners, B. P. O. E. of Camden, No. 293, H. Ellis, Camden, N. J. Fireproof, 4 stories and basement, 70x150 feet. Preliminary plans in progress.

**Detention House**, Pensauken Township, Camden County, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden County Board of Chosen Freeholders, J. Riggins, Court House, Camden, N. J. Fireproof, 2 stories, 50x200 feet, slate roof, tile and composition floors, cinder block, vapor heat, electric light, metal lath, tile work, rolled steel sash, fire doors, iron stairs, ornamental iron work, safety treads, metal window guards, waterproofing and dampproofing. Plans in progress.

**Hotel Breakers**, New Jersey avenue and Boardwalk avenue, Atlantic City. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City. Owners, Hotel Breakers, care of Mr. Meyers, on premises. Brick, steel, 5 stories, general alterations. Sketches in progress.

**School**, Ventnor, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Ventnor City School Board,

care of architect. Brick. Preliminary plans in progress.

**Residence**, Atlantic City, N. J. Architect, S. G. Dobbins, Segal Building, Atlantic City, N. J. Owner, S. G. Dobbins, Segal Building, Atlantic City, N. J. Stucco and cinder block, 2½ stories, 48x26 feet, tile roof, hardwood floors, electric light, tile work. Revised plans in progress.

**Bank (add.)**, Paulsboro, N. J. Architect, C. R. Peddle, 136 South Fourth street, Philadelphia. Owners, First National Bank, Paulsboro, N. J. Rear additions. Plans in progress. Too early for details.

**School**, French Estate, near Westmont, Haddon Township, N. J. Architect, C. R. Peddle, 136 South Fourth street, Philadelphia. Owners, Board of Education, Haddon Township, N. J. Reinforced concrete and brick, 2 stories, 8 rooms. Plans in progress.

**Theatre (alts. and add.)**, Pleasantville, N. J. Architect, William H. Lee, 1505 Race street, Philadelphia. Owner, C. N. Zimmerman, Pleasantville, N. J. Complete renovation, new steel balcony, concrete work, 104x42 feet, steam heat, electric light. Plans completed. Owner building.

**Store and Warehouse**, Hanover street, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Earl Watson, 116 East Hanover street, Trenton, N. J. Brick, steel, 1 story, 30x125 feet, slag roof, concrete floors, steam heat, electric light, metal lath, rolled steel sash, hollow metal skylights, fire doors. Plans in progress.

**Store and Apartment (alts. and add.)**, North Warren street, Trenton. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owner, Joseph Schnorbus, 339 North Warren street, Trenton, N. J. Brick and stone, 2 stories, 75x300 feet, slag roof, hardwood floors, metal ceilings, hot water heat, electric light, tile work, plate glass, copper work, metal ceilings. Plans in progress. Architects will be ready for bids in one week.

**Junior High School**, Trenton, N. J. Architects, William Klemann, Trenton, N. J., and E. Sibley, Palisade, N. J. Owners, Board of Education, Trenton, N. J. Brick, cut stone, 3 stories and basement, 384x333 feet (plumbing, heating, electric separate), slag roof, maple, linoleum, cement floors, hollow tile, roof ventilators, metal ceilings, shoring, ornamental iron work, iron stairs, bond, hollow metal fire and kalamein doors, rolling steel sash and skylights, tile, marble and terrazzo work, metal lath, flagstone floors. Alternate for cast stone. Deposit, \$50. Plans may be obtained from W. A. Klemann, First National Bank Building, Trenton, N. J. Owners taking bids due June 20th.

**Station**, Oaklyn, N. J. Architect, Samuel T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Brick, stucco, concrete block, 1 story, 35x17 feet, slate roof, Georgia pine floors, carpentry and mill work, cement and concrete work, painting and glazing, plastering, hardware, drainage, bluestone, ornamental iron work, iron grills, electric light, hot air heat. Architect taking bids due June 14th.

**High School**, Delanco, N. J. Architect, Herbert C. Ziegler, Riverside, N. J. Owners, Board of Education, Beverly Township, N. J. Brick, cut stone, 1 story and basement, 260x190 feet, wing 76x66 feet, slag roof, cement and maple floors, safety treads, ornamental iron work, iron stairs, bond, rolling steel sash and skylights, marble work, metal lath. Owner taking bids due June 21st.

**Residence**, River Road, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, F. B. Traver, care of architect. Frame, 2½ stories, 55x35 feet, slate roof, hardwood floors, hot water heat, electric

light, tile and marble work. Architect taking bids due June 14th.

**Stores and Apartments (5)**, South Broad street, Trenton, N. J. Architect, R. G. Consoley, Commonwealth Building, Trenton, N. J. Owner, R. Thatcher, 960 South Broad street, Trenton, N. J. Brick or stone, 3 stories, 77x45 feet, tin roof, pine floors, dumb waiters, hollow tile, plate glass, copper work (heating, plumbing and electric work reserved), metal lath, tile and marble work, blue stone, rolled steel skylights. Architect taking bids due June 14th.

**School**, Woodbury Heights, N. J. Architect, John H. Mowere, Phoenixville, Pa. Owners, School Board of Woodbury Heights, Alex. Beith, Woodbury Heights. Brick, 1 story and basement, 155x67 feet, Barrett's built-up roof, composition, maple and cement floors, hollow metal sash (plumbing, heating, electric, waterproofing separate bids). Owners taking bids due June 16th.

**Office and Apartment (alts. and add.)**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, J. H. McCullough, 523 East State street, Trenton, N. J. Brick, stone, 3 stories, 90x42 feet, slag roof, hardwood floors, rubber tile roof, metal lath, vapor heat, electric light, tile and marble work, plumbing. Architect taking sub-bids due June 13.

**Street Paving**, Atlantic City, N. J. Owners, City of Atlantic City, Harry T. Headley, Director, Department Streets and Public Improvements, Atlantic City. Sheet asphalt pavement, vitrified fire clay block pavement, granite block pavement, concrete foundations, granite curbing. Board of Commissioners, City Hall, taking bids due June 12th at 3 P. M. (Daylight Saving Time). Certified check required.

**Road Work**, New Jersey. Owners, State Highway Department, Trenton, N. J.

Burlington County, Route 2, Section 6, Burlington to Bridgeboro, sheet asphalt binder course.

Camden County, Route 3, Section 11, Berlin to Hammonton. Widening, excavation, borrow, gravel surface.

Union County, Route 9, Section 15, Westfield to Lehigh Valley Railroad. Excavation, rock excavation, back fill, reinforced concrete. Owners taking bids due June 16th at 11 A. M. (Standard Time). Deposit of \$10 required. Certified check (10 per cent.) required.

**Asbury Park High School**, Asbury Park, N. J. Architects, Ernest A. Arend, 105 West Fortieth street, New York City, and Guilbert & Betelle, Newark, N. J. Owners, Board of Education, Asbury Park, N. J. Brick, granite, limestone, steel, 2 stories and basement, 316x78 feet, wing 98x163 feet (plumbing, heating and electric separate bids), slag roof, cement, linoleum, maple floors, hollow tile, waterproofing, dampproofing, structural terra cotta, ornamental iron work, bond, fire kalamein doors, rolling steel sash, tile, marble and terrazzo work, metal lath, artificial marble, caen stone, ornamental plaster, soapstone. Owners taking bids due June 18th.

## New Jersey Contracts Awarded

**High School**, North Plainfield, N. J. Architects, J. T. Simpson and B. Ralston, Newark, N. J. Owners, Board of Education, North Plainfield, N. J. Brick, limestone, steel, reinforced concrete, 2 stories, 178x136 feet, slag roof, maple and cement floors, hollow tile, painting and glazing, waterproofing and dampproofing, bond, fire doors, metal lath. Contract awarded T. M. Gibbs Const. Co., 215 South Broad street, Philadelphia.



**Industrial School**, Atlantic City, N. J., \$132,889. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Atlantic City School Board, H. H. Young, Atlantic City. Brick, reinforced concrete, 3 stories, 43x125 feet, concrete roof, hardwood floors (heating, plumbing, electric reserved). Contract awarded to P. G. Hannum, Georgia avenue, Atlantic City. Electric awarded to Electrical Equip. Co., 16 North Ohio avenue, Atlantic City, N. J., \$4,100. Heating and ventilating to Currie Co., 1232 Atlantic avenue, Atlantic City, N. J., \$23,414. Plumbing to Frank Walsh, 908 Atlantic avenue, Atlantic City, \$8,175.

**Printing Plant (alts. and add.)**, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden Courier, Camden, N. J. Reinforced concrete, brick, steel, 2 stories and basement, 60x30 feet, slag roof, cement floors, plumbing, painting and glazing, architectural terra cotta, waterproofing and dampproofing, ornamental iron work, iron stairs, bond, tin-covered doors, hollow metal skylights, rolling steel sash. Contract awarded L. R. Hurley, 515 Lawrence street, Camden, N. J.

**Club House (add.)**, Absecon, N. J. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, Seaview Golf Club, C. H. Geist, president, 215 South Broad street, Philadelphia. Brick, hollow tile and stucco, 3 stories, 113x46 feet, slate roof, pine floors, hollow tile, painting and glazing, ornamental iron work, tile and marble work, copper skylights, fire doors. Contract awarded H. E. Batton, 1713 Sansom street, Philadelphia.

**Iron Foundry**, Trenton, N. J. Architect, William Klemann, First National Bank Building, Trenton, N. J. Owners, Trenton Malleable Iron Co., New York avenue, Trenton. Brick, steel, 1 and 2 stories, 110x50 feet, cement, tile roof, concrete floors, freight elevators, electric light, rolled steel sash and skylights, fire doors. Contract awarded to Joseph Dragan, Trenton, N. J.

**Store Front**, 319 Broadway, Camden, N. J. Architects, Edwards & Green, Van Russ Building, Camden, N. J. Owner, H. Duckat, on premises. Copper work, hardwood floors, electric light, plate glass, metal bulks. Contract awarded to A. O. Lieberman, Van Russ Building, Camden, N. J.

**Residence (alts. and add.)**, Camden, N. J. Architect, J. C. Jefferis, 312 Market street, Camden, N. J. Owner, Dr. G. H. Marshall, 689 Ferry avenue, Camden, N. J. Brick, 2 stories, 14x35 feet, slag roof, pine floors, electric light, metal bath. Contract awarded to Richartz & Furner, 1838 Fillmore street, Camden, N. J.

## Miscellaneous Construction News

**Club House**, Wilmington, Del. Architects, E. William Martin and R. R. Neely, 2301 Spruce street, Philadelphia. Owners, Wilmington Country Club, W. H. J. Fenns, chairman of Building Committee, Dupont Building, Wilmington, Del. Brick, cut stone, steel, stucco, 2½ stories, 177x58 feet, slate roof, pine and cement floors, hollow tile, ornamental iron work, rolling steel sash, tile and marble work, electric light, steam heat. Owners will build.

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del. Owners taking bids due June 25th at 2 P. M. Certified check (10 per cent.) required. Deposit of \$10 (refunded).

Contract No. 26A, sidewalk at Farnhurst, .25 miles, 6,500 sq. ft. sidewalk pavement.

Contract No. CK-19, Bowers Beach Road, 3.48 miles. Excavation, borrow, stone base

course, cement concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, corrugated iron pipe, R. C. pipe, wood shoulder curb, standard cast iron gratings.

Contract CK-23, Whiteleysburg-Hollandsville, 3.80 miles. Clearing, grubbing, excavation, borrow, broken stone base course, cement concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, corrugated iron pipe, R. C. pipe, wood shoulder curb.

Contract No. CS-32, Milford-Brick Granary, 3.88 miles. Excavation, borrow, stone base course, cement concrete pavement, longitudinal metal joint, Class A concrete, reinforcement corrugated iron pipe, R. C. pipe, Class A concrete gutter, wire cable guard rail, shoulder curb, timber piling.

Road Grader, No. 8-foot road grader with engine steering pole and back sloper and ditcher, weight 3,300-4,000.

## Miscellaneous Contracts Awarded

**Residence, Garage and Servants' Quarters**, Westview, Winston-Salem, N. C. Architect, C. Barton Keen, 338 South Smedley street, Philadelphia. Owner, B. F. Huntley, Winston-Salem, N. C. Hollow tile and stucco, 2½ stories, 40x88 feet, 1 story, 40x38 feet, tile roof, hardwood floors, cement work (vapor heat, electric light, plumbing, tile and marble work reserved). Contract awarded J. A. Jones Const. Co., Charlotte, N. C.

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del.

Contract CS-33, stone, \$132,435; slag, \$128,910. Contract awarded to N. L. Bonham Co., Bridgeton, N. J.

Contract CK-22, Willow Grove-Wyoming. \$169,503. Contract awarded to Hannaman-Burroughs Co., Salisbury, Md.

Contract CN-20, Basin Corner Newport and Lincoln Highway. Contract awarded to D. E. O'Connell & Sons, Ridley Park, Pa. \$159,592.50.

## Proposals

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., May 29, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., June 30, 1924, for the construction, including mechanical equipment and approaches, of a one-story and mezzanine brick and tile non-fireproof Post Office building (approximately 72 by 66 feet), at Cohoes, N. Y. Drawings and specifications may be obtained from the Custodian of the site at Cohoes, N. Y., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from Page 372)

ent tructures opening into each other, all unsprinklered. The loss reached \$750,000, and it is the opinion of inspecting engineers that a sweeping conflagration was averted only by the hard work of the fire department. This fire, too, furnishes another demonstration—they are presented daily—of the injustice of permitting unprotected structures to continue to menace individually safeguarded property

such as were some of the exposed buildings in this case.

Many large department stores have halls or small theatres in which are held recitals, fashion shows and other affairs. Obviously, in such cases, every hazard peculiar to the independent theatre exists in this section of the store, and ever safeguard, including automatic sprinklers, fire curtain and exit facilities, identified with public theatres, belongs also in these private halls.

Probably the best interior fire alarm for large department stores is a system of call bells rung in code. Boxes connecting with the central alarm system of the city also should be introduced.

Every department store, however humble, should install "first aid" fire-fighting equipment for combating incipient blazes. Of these appliances the most serviceable, perhaps, are fire extinguishers and fire buckets kept filled with water and, like the extinguishers, conveniently placed. Large stores, of course, will have stand pipes and reels of hose located at strategic points.

It frequently happens that thoughtlessness or carelessness in the excessive use of water results in spoilage far greater than the damage inflicted by the fire itself. Foresighted merchants, however, can render unlikely the commonest sort of water damage, should fire occur, by the simple expedient of leaving two or three inches of air space between fixtures—cabinets, shelves and counters—and side walls and interior partitions. Water thrown on higher floors of a building of joisted construction has a tendency to seek as its channel of descent the cracks which may have developed between floors and walls. If nothing is in contact with the wall, the water will flow to the basement in an uninterrupted sheet.

All live men are advertisers, and the only man who should not advertise is the man who has nothing to offer to the world in the way of human service, and such a man is a dead one, whether he knows it or not. Advertising is a legitimate and ethical proposition. Life is too short for you to hide yourself away, mantled in your modesty, and let the world hunt you out. Even the dead are advertisers, for on visiting a beautiful cemetery the other day, I noticed that on nearly every marble slab was given a list of the virtues, talents and beautiful qualities which the dead man was supposed to have carried in stock. This is what you call non-productive advertising, or advertising from an emotional standpoint.—Elbert Hubbard.

"Facts are stubborn things." Advertise only the truth about your product and watch the result.



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## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

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Blue Print Shop.....1520 Sansom St., Phila.  
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Weber, F., Co. ....125 S. 12th St., Phila.  
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Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
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## CONCRETE TILE.

Higson Concrete Products Co.....Darby, Pa.

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176 E. Tulpehocken St., Phila.

## CONCRETE WORK.

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Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co.....Perry Bldg., Phila.

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24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

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McDevitt, John F.....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

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Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

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Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

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Cox, Abram, Stove Co.,  
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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 25  
June 18, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

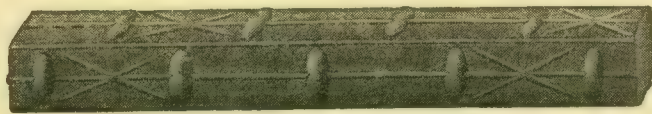
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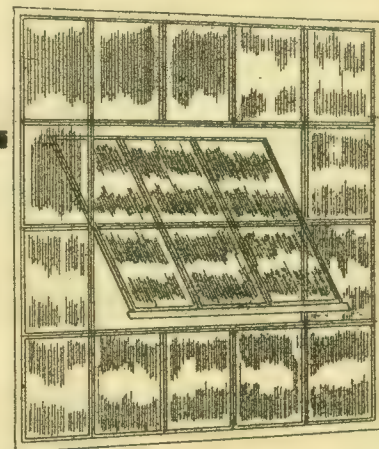
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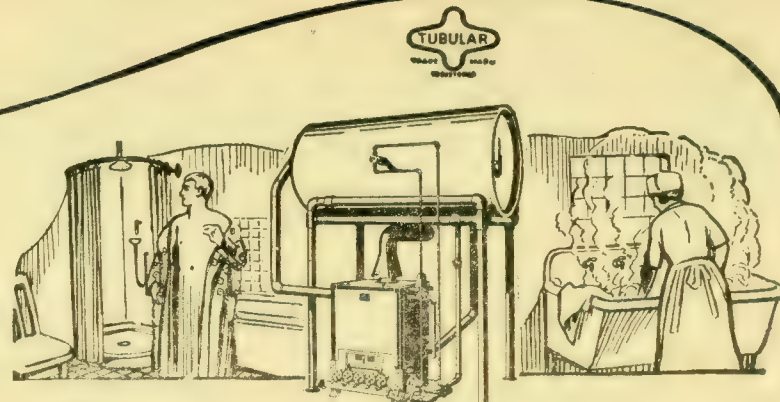
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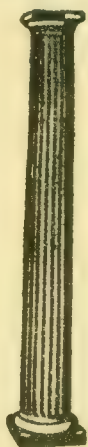
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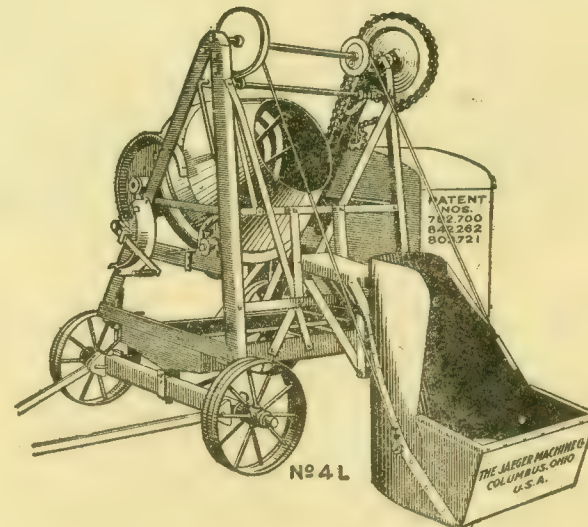
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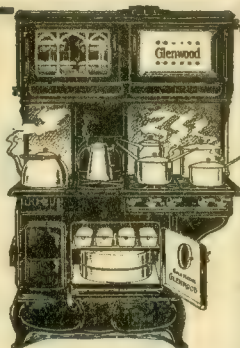


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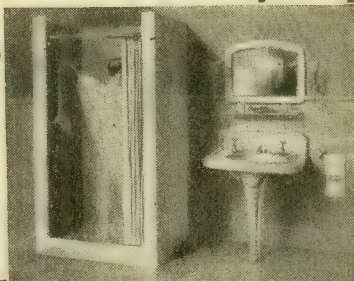


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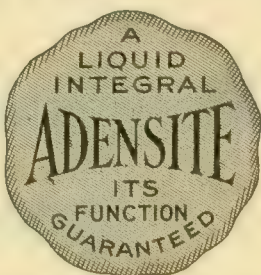
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
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VOLUME XXXIX  
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## BUILDERS' GUIDE

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## Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residences (16)**, Winston Road, Willow Grove avenue and Abington avenue, Philadelphia, \$211,500. Architect, private plans. Owners, St. Martin's Home Co., 213 South Broad street, Philadelphia. Concrete, block and brick, 3 stories, various sizes, hot water heat, electric light, tile work. Owners will build.

**Residences (25)**, Fifty-fourth and Upland Way, Philadelphia, \$117,500. Architect, private plans. Owners, Belinsky Brothers, 2630 South Ninth street, Philadelphia. Brick, 2 stories, (23) 15x32 feet, 12x11 feet, (2) 30x12 feet, 13x13 feet, hot water heat, electric light. Owners will build.

**Service Stations (2)**, Second and Christian streets, and Front and Palmer streets, Philadelphia, \$15,000. Architect, private plans. Owners, Gulf Refining Co., 516 Widener Building, Philadelphia. Brick, 1 story, 14x14 feet, cement floors. Owners will build.

**Residence**, 4482 Edgemont street, Philadelphia, \$6,500. Architect, private plans. Owners, James N. Wiza, M. D., 4420 East Thompson street, Philadelphia. Brick, 2 stories, 29x40 feet, 1 story, 20x14 feet, hardwood and pine floors, electric light. Owner will build.

**Stores (alts.)**, Front and York, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Albert M. Greenfield, Fifteenth and Chestnut streets, Philadelphia. Architect taking bids due June 25th.

**Hospital Building and Nurses' Home**, Sixth and Spruce streets, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, Jewish Maternity Hospital, on premises. Preliminary plans in progress.

**Alterations to Building**, 514 South Fifth street, Philadelphia. Architect, A. H. Mueller, 901 Walnut street, Philadelphia. Owners, Colonial Cafe Corporation, on premises. New terra cotta front, interior alterations. Plans in progress.

**Club House**, site not selected, Philadelphia. Owners, Girard College Alumni Club, H. Koffenhaffer, 1502 Poplar street. Work contemplated.

**Bridge**, Thirty-fourth street, over Schuylkill River. Owners, City of Philadelphia; Bureau of Surveys, 216 City Hall, Philadelphia. Work contemplated.

**Playgrounds (alts.)**, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. American, Philip, Reed and Earp streets, \$219,000; grading, surfacing, fencing, curb and footway paving, shelter building. Penrose Memorial Playground, Twelfth and Susquehanna, \$29,800; grading, surfacing, fencing, curbing and footway paving, shelter house. C-D, Ontario and Westmoreland streets, \$10,000; shelter building. Hancock Square Building, Hancock and Master, \$7,000; shelter building. Weccacoe, Catherine, between Fourth and Fifth, \$30,500; shelter building, regrading, resurfacing. Roxborough Playground, Pennsadales and Mitchell, \$39,200; grading, surfacing, fencing, sidewalk and curbing, walls, shelter building. Mill Creek Playground, Forty-seventh and Aspen, \$14,000; shelter building. Belfield Playground, Twenty-first and Chew streets, \$16,300; grading, surfacing, resurfacing 2 sections, cement walks at old building. East Germantown Playground, Cheltenham avenue and Anderson, \$17,600; regrading, surfacing, shelter building. Whitehall Commons Playground, Torresdale and Wakeling street, Philadelphia, \$40,000; swimming pool. Plans in progress. Will soon take bids.

**Bath House**, Ruffner, East of Germantown avenue, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Work contemplated.

**Residence, Garage and Servants' Quarters**, Spring Avenue, Ogontz. Architects, Druckemiller & Williams, 1537 Chestnut street,

Philadelphia. Owner, name withheld. Brick, plastered, 2½ stories, 33x83 feet, 1½ stories, 30x35 feet, tile roof, hardwood and cement floors, hot water or vapor heat, electric light, tile and marble work. Plans in progress. Ready for bids in two weeks.

**Two-Family Apartments (6)**, Twelfth and Nedro streets, Philadelphia. Architect, A. H. Mueller, 901 Walnut street, Philadelphia. Owner, Phyl Greenspan, 142 South Eleventh street, Philadelphia. Brick and stucco, 2 stories and basement, 20x53 feet, slag and Spanish tile roof, hardwood, composition and cement floors, vapor heat, electric light, marble and tile work. Owner will be ready for sub-bids in a week.

**Residence**, Commercial Museum, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, House Beautiful Exposition, care of architect. Hollow tile, 1½ stories, tile roof, hardwood floors, electric light, tile work, plumbing, furnishing complete. Architect taking sub-bids due June 26th.

**Residences (14)**, Nedro and Lambert streets, Philadelphia. Architect, E. A. Wilson, 1208 Chestnut street, Philadelphia. Owners, Parker & Datesman, 815 East Cheltenham avenue, Philadelphia. Brick, 2 stories, 15x35 feet, slag and tin roof, pine floors, hot water heat, electric light. Garages in basement. Owners taking sub-bids.

**Garage**, 420 East Rittenhouse street, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Joseph Canuari, care of architect. Brick, 1 story, 20x35 feet, slag roof, cement floors, electric light. Plans in progress. Architect ready for bids in a week.

**Residence and Store**, East Cheltenham avenue and Dayton street, Philadelphia. Architect, J. Naschold, 5224 North Second street, Philadelphia. Owner, George Locadco, care of ar-

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chitect. Stone and brick, 3 stories, 20x56 feet, slate roof, hardwood and pine floors, plumbing, painting and glazing, electric light, hot water heat, flush bulks, plate glass. Plans in progress. Architect ready for bids in two weeks.

**Residence**, East Tulpehocken and Ardleigh streets, Philadelphia. Architect, J. Naschold, 5224 North Second street, Philadelphia. Owner, Arthur Sylvester, care of architect. Stone, 2½ stories, 36x28 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Plans in progress. Architect ready for bids in one week.

**Apartments**, Grifford street, Castor Heights, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Hans Haemmer, care of architect. Stone, brick and frame, 2 stories, 26x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Plans in progress. Architect ready for sub-bids in a week.

**Maternity Building**, York and Tabor Road, Philadelphia. Architect, H. W. Castor, Stephen Girard Building, Philadelphia. Owners, Jewish Hospital, on premises. Stone, steel, concrete, brick, electric light, tile and marble work, fire doors, iron stairs, elevators, cement floors. Plans in progress. Will be ready for bids in a month.

**Contracts No. 105 or Nos. 105-A and 105-B**, Philadelphia Subway. Architect, private plans. Owners, Department of City Transit, 1211 Chestnut street, Philadelphia. Construction of about 10,131 lineal feet of 4-track subway in Broad street, from North of Stiles street to South side of Clearfield street. Owners taking bids due July 15th, 11 A. M. (Standard Time). Deposit, \$50. Refund, \$50. Certified check of 5 per cent. of each bid must accompany the bid.

**Club Building**, Eighteenth and Locust streets, Philadelphia. Architects, Zantlinger, Borie & Medary, Otis Building, Philadelphia. Owners, Penn Athletic Club of Philadelphia, care of E. B. Morris, Jr., Chairman of Building Site Committee, Morris Building, Philadelphia. Reinforced concrete, cut stone, granite, steel, 9 stories and basement, 2 mezzanines, 195x175 feet, steam heat, electric light, metal lath, tile, marble, terrazzo work, hollow metal sash, tin clad and kalamein doors, bond, iron stairs, ornamental iron work, slag roof, cement, oak, composition, cement, cork tile, rubber tile floors, elevators, plumbing, shoring, waterproofing and damp-proofing, Indiana limestone, artificial stone, ornamental plaster, imitation caen stone. E. B. Morris, Jr., Chairman of Building and Site Committee, Morris Building, taking bids July 1st at noon.

**Residence (alts.)**, 3110 Coulter street, Philadelphia. Architect, E. T. Boggs, 119 S. Fourth street, Philadelphia. Owner, F. P.

Clark, on premises. Carpentry and mill work, electric work, plastering, painting and glazing, plumbing, tile work. Architect taking bids due June 19th.

**Building (alts. and add. to Bank)**, Susquehanna avenue and Bancroft street. Architect, Norman Hulme, 1524 Chestnut street, Philadelphia. Owners, Susquehanna Title & Trust Co., 1611-15 West Susquehanna avenue. Brick, hollow tile, cut stone, steel, 2 stories add., 12x44 feet, tin roof, rubber and cement floors, painting and glazing, carpentry and mill work, plumbing, bronze work, ornamental iron work, kalamein doors, copper skylights, rolling steel sash, marble and terrazzo work, metal latr, electric light, excavation. Architect taking bids due June 20th.

**Storage Building**, Bigler street and Delaware River, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Publicker Commercial Alcohol Co., Swanson and Delaware avenue. Brick, steel, concrete, 3 stories and basement, 88x57 feet, slag roof, asphalt cement floors, hollow tile, painting and glazing, plumbing, waterproofing, ornamental iron work, bond, fire doors, rolling steel sash, excavation, piles. Architect taking bids due June 20th at noon.

**Office (alts. and add.) Coal Yard**, Thirteenth and Callowhill streets, Philadelphia. Architect, S. T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Reading Railroad, Twelfth and Market streets, Philadelphia. Lessee, Edwin J. Cummings, Inc., 413 North Thirteenth street, Philadelphia. Brick and steel, second story add., 38x14 feet, one story, brick, heater room, 9x9 feet, slag roof, pine floors, plumbing, painting and glazing, ornamental iron work, bond, hot water heat, electric light. Architect taking bids due June 20th.

**Alterations and Addition**, 425 South Fortieth street, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owners, Sporkin & Fleisher, Pennsylvania Building, Philadelphia. Brick, steel (heating reserved), electric light, metal lath, tile and marble work, fire doors, ornamental iron work, slag roof, oak and cement floors. Architect taking bids due June 23rd.

**Residence**, Chestnut Hill, Pa. Architect, John H. Rackie, 4448 Frankford Avenue, Philadelphia. Owner, Dr. Seth A. Brumm, Stock Exchange Building, Philadelphia. Stone, 2½ stories, 70x65 feet, slate roof, hardwood floors, hot water heat, electric light, tile work, rolling steel. Owner taking bids due June 22nd.

**Stores and Apartments (5) (alts. and add.)**, Northeast Corner Forty-ninth and Florence. Architect, I. W. Levin, Victory Building, Philadelphia. Owner, L. Kramer, on premises. Brick, 3 stories, 27x23 feet, slag roof, pine floors, hot water heat, electric light,

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**Residence (alts.),** 2008 Walnut street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Dr. Bower, on premises. Architect taking bids due June 20th.

**Store and Apartment,** Thirty-eighth and Lancaster avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Architect taking bids due June 20th.

**Grading, Paving, etc.,** Philadelphia. Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Owners taking bids due June 23rd, 12 A. M. (Standard Time). Grading, asphalt paving, furnishing asphalt paving mixtures, concrete mixers.

**Bathing Pool Improvement,** League Island Park, Philadelphia. Owners, Department of Public Welfare, Bureau of City Property, City Hall. Low bidder: Edward Fay & Son, 2 South Mole street, Philadelphia, \$13,897.50.

**Residences (2) and Garage,** Northwest Corner Pleasant and Mount Airy avenues, \$16,000. Architect, private plans. Owner, Russell Forbes, 1120 Fillmore street, Philadelphia. Stone, 3 stories, 26x41 feet, slate roof, hardwood and pine floors, cement floors, electric work. Owner will build.

**Residence,** 1415 Bleigh street, Philadelphia, \$4,500. Architect, private plans. Owner, August Salavsky, 1413 Bleigh street, Philadelphia. Frame, 2 stories, 22x26 feet, hot water heat, electric light. Owner will build.

**Residences (9),** West side Higbee street, North of Erdrick, \$43,300. Architect, private plans. Owner, Ernest B. Albrech, 142 West Olney avenue, Philadelphia. Brick, 2 stories, (8) 15x28 feet, 12x9 feet, (1) 15x37 feet, hot water heat, electric light. Owner will build.

**Residence,** West side Palmetto street, South of Benner street, \$4,200. Architect, private plans. Owner, Herbert Shapple, 4254 North Darien street, Philadelphia. Frame, 1 story, 25x33 feet, shingle roof, hardwood and pine floors, electric lighting. Owner will build.

**Residence,** North side Cheltenham avenue, West of Reach street, \$3,300. Architect, private plans. Owner, P. J. Morgard, on premises. Frame, 3 stories, 16x45 feet, shingle roof, electric lighting. Owner will build.

**Building (add.),** North side Penrose avenue, East of Schuylkill River, \$60,000. Architect, private plans. Owners, Gulf Refining Co., Widener Building, Philadelphia. Reinforced concrete, brick, 4 stories, 60x100 feet, steam heat, electric light. Owners will build.

**Apartment,** 4600-08 North Broad street, Philadelphia, \$15,000. Architect, Charles S. Parker, 5018 Schuyler street, Philadelphia. Owner, Edward W. Slifer, 6246 North Broad street, Philadelphia. Brick, 3 stories, 79 feet, 11 inches x 36 feet, hot water heat, electric light, hardwood and pine floors, slag roof, tile work. Owner taking sub-bids.

**Residences (17),** 1701-21 Nedro avenue, Philadelphia, \$6,500 each. Architect, private plans. Owner, W. J. Baltz, Sixty-sixth and Lawnton avenue, Philadelphia. Brick, 2 stories, 16x31 feet, 12x14 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence and Store,** Northwest Corner Price and Stockton streets, \$5,200. **Residence**

**and Garage,** Haines and Stockton streets, \$5,000. Owners, Gussman & Berman, 6107 Pine street, Philadelphia. Brick, 2 stories, 16x40 feet, hot water heat, electric light, slag roof, hardwood and pine floors. Owners will build.

**Residence (add.),** 203 East Wister street, Philadelphia, \$4,000. Architect, private plans. Owner, Louis Lombardi, on premises. Brick, second and third story adds., 20x33 feet. Owner will build.

**Residences (2),** 7511-13 Bingham street, Philadelphia, \$4,000 each. Architect, private plans. Owner, William D. Merkel, 7511 Bingham street, Philadelphia. Frame, 2 stories, 16x32 feet, hot water heating, electric lighting. Owner will build.

**Residences (6),** 532-40 Roxborough avenue, Philadelphia, \$24,500. Architect, private plans. Owner, C. F. Begold, Green Lane, Philadelphia. Brick, 2 stories, 15x39 feet, hot water heating, electric lighting. Owner will build.

**Residences (2),** East side Tulip street, South of Levick, \$4,000 each. Architect, private plans. Owners, Tacony Housing Association, Tacony, Philadelphia. Brick, 2 sto-

ries, 15x40 feet, electric lighting. Owners will build.

**Residences (4),** Carpenter and Jefferson streets, Philadelphia, \$62,000. Architect, private plans. Owner, Eugene Raymond, Jr., Lincoln Building, Philadelphia. Stone, 3 stories, various sizes, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residence,** Northeast Corner Ellet street and Mt. Pleasant avenue, \$15,000. Architect, John C. Cornelius, Jr., Otis Building, Philadelphia. Owner, D. Wendell Hullurd, 7016 Greene street, Philadelphia. Stone, 2 stories, 48x22 feet, 17x11 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence and Garage,** Southeast Corner Frontenac and Loney streets, \$5,250. Architect, private plans. Owner, Isaac Hoffman, 2756 Plum street, Philadelphia. Frame, 1 story, 26x46 feet, shingle roof. Owner will build.

**Shop,** 4843 North Hope street, Philadelphia, \$3,000. Architect, private plans. Owner, Frank McKendry, 4843 North Front street, Philadelphia. Brick, 1 story, 16x30 feet, slag roof, electric work. Owner will build.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Store and Office (alts. and add.),** 641 North Thirteenth street, Philadelphia, \$3,500. Architect, private plans. Owner, Joseph Roetenberg, on premises. Brick, 3 stories add., 8x15 feet, general alterations. Contract awarded to J. Satler, 1408 North Marshall street, Philadelphia.

**Store and Apartment (alts. and add.),** 5229 Chestnut street, Philadelphia, \$12,000. Architect, private plans. Owner, David G. Coulter, Lincoln and Grant avenue, Manoa Heights, Delaware County. Brick, 2 stories, 16x80 feet, slag roof, pine and hardwood floors, hot water heat, electric light, metal lath, metal bulks, metal ceilings. Contract awarded J. H. Hutt, 5519 Spruce street, Philadelphia.

**Garage (add.), Concrete Runway,** 5524 Pine street, Philadelphia, \$12,500. Architect, private plans. Owners, Rudley Brothers, on premises. Brick, second story addition, 63x80 feet, slag roof, pine floors (heating reserved), electric work. Contract awarded J. H. Hutt, 5919 Spruce street, Philadelphia.

**Building (alts.),** 110-112 South Front street, Philadelphia, \$30,000. Architect, Arthur Brockie, 154 South Fifteenth street, Philadelphia. Owners, I. Reifsnnyder & Co., on premises. Plumbing, electric work, concrete and cement work, cut stone, plastering, carpentry and mill work, pine floors, metal weather strips, shoring, waterproofing, kalamein doors, tile and marble work, steel work, painting and glazing, Armstrong cork tile floors, metal lath, linoleum automatic ventilators, slate work, iron work. Contract awarded Ketcham & McQuade, 1029 Brown street, Philadelphia.

**Store Building,** Sixteenth and Ramstead streets, Philadelphia. Architect, Leroy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Daniel C. Donoghue, 1418 South Penn Square, Philadelphia. Brick, cut stone, granite, 2 stories and basement, 50x72 feet, slag roof, maple floors, painting and glazing, plumbing, roof ventilators, architectural terra cotta, ornamental iron work, bond, metal lath, tile work, steam heat, electric

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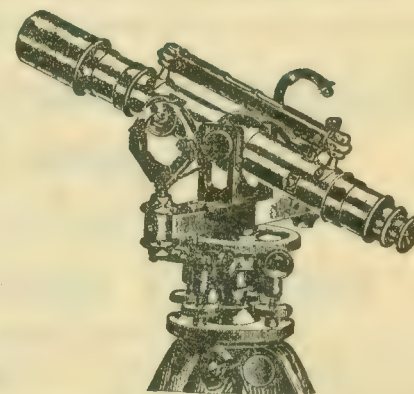
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light. Contract awarded John Schnabel, Inc., Denekla Building, Philadelphia.

**Residence**, Second and City Line, Philadelphia. Architect, John T. Brugger, 505 Chestnut street, Philadelphia. Owner, Charles Diehl, care of architect. Stone, brick, steel, frame siding, 2½ stories, 36x25 feet, shingle roof, oak and pine floors, painting and glazing, steel casement sash, tile. Contract awarded to Friel-McLeister, Inc., 1615 Spruce street, who are taking sub-bids.

**Residence (alts. and add.)**, 4442 Germantown avenue, Philadelphia. Architect, private plans. Owner, C. London, on premises. Rear addition, brick, 1 story, 10x12 feet, slag roof, pine floors, plastering, paniting, plumbing, leaded glass, mill work. Contract awarded J. Maurer Co., 1304 North Second street, Philadelphia.

**Residence**, Wakeling and Large streets, Philadelphia, \$16,500. Architect, Joseph Lowery, Land Title Building, Philadelphia. Owner, John W. Connor, Frankford, Philadelphia. Stone, 2½ stories, 43x43 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work. Contract awarded to J. D. Fotheringham, 1000 Arrott street, Philadelphia.

**Concrete and Steel Coal Trestle, Reinforced Concrete Bin Walls**, 3100 Germantown avenue, Philadelphia. Architect, private plans. Owners, S. Margolis Co., 3100 Germantown avenue, Philadelphia. Concrete and steel coal trestle, 192 feet long, concrete bin walls. Contract awarded Armstrong & Latta, 1926 Sansom street, Philadelphia.

**Alterations and Additions**, Small Mammal House, Thirty-fourth and Girard avenue. Architect, private plans. Owners, Zoological Society of Philadelphia, on premises. Brick, hollow tile, cut stone, steel, 1 story, 50x20 feet, built-up roof, cement floors, hollow tile, painting and glazing, metal weather strip, hot water heat, metal lath, rolled steel sash, ornamental iron work. Contract awarded J. Morris Daniels, 320 South Quince street, Philadelphia.

**Substructure of Church**, Fifty-seventh and Haverford avenue, Philadelphia. Engineer, Francis P. Canavan, 7032 Greenway avenue, Philadelphia. Owners, St. Martini Evangelical Lutheran Church, Rector A. W. Lange, 1255 North Fifty-eighth street, C. D. Peters, chairman Building Committee, 3227 B street, Philadelphia. Bond, excavation, stone work, steel hardware, painting and glazing, plumbing, steam heat, electric light, 65x26 feet, substructure. Contract awarded William F. Newbery Co., Otis Building, Philadelphia.

**Residence (alts. and add.)**, Twentieth and Walnut streets, Philadelphia, \$10,000. Architect, Arthur H. Brockie, 254 South Fifteenth

street, Philadelphia. Owner, Miss Nina Lea, on premises. Brick and steel, 1 story, 62x22 feet, slate roof, oak and pine floors, plumbing, painting, glazing, metal lath, tile work, marble work, ornamental iron work, leaded glass, metal casements. Contract awarded to C. C. Eddleman, 1627 Sansom street, Philadelphia.

**Apartment**, 1639 Columbia avenue, Philadelphia, \$62,500. Architect, private plans. Owner, Max Katz, Southwest Corner Marshalls and Fairmount avenue, Philadelphia. Brick, 3 stories, 16x87 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to D. Wittenberg, Holmes, Delaware County, Pa.

**Various Schools**, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Contracts awarded: Dunlap School, Fifty-first and Race; William Langhorne, 304 South Fiftieth street, \$10,929; plumbing, L. Somers & Son, 2436 Brown street, \$7,130; heating, L. Somers & Son, 2436 Brown street, Philadelphia, \$378. McDaniel School, Twenty-first and Moore streets: Carr & Courtney, 3025 Poplar street, Philadelphia, \$3,300; plumbing, D. J. Keating, 2042 Rittenhouse street, \$6,500; heating, L. J. Somers & Son, 2436 Brown street, \$332. Muhr School, Twelfth and Allegheny avenue, Philadelphia: William Langhorne, 304 South Fiftieth street, Philadelphia, \$7,086; plumbing, Bulman Brothers, Fifth and Cumberland streets, Philadelphia, \$6,266; heating, L. J. Somers & Son, 2436 Brown street, Philadelphia, \$314. Bridesburg School, Richmond and Jenks, Philadelphia: Mitchell Brothers, 2125 Race street, Philadelphia, \$7,696; plumbing, Bulman Brothers, Fifth and Cumberland streets, \$7,366; heating, L. J. Somers & Son, 2436 Brown street, \$348. Surtain School, Thirty-first and Oxford streets, Philadelphia: E. C. Drrell, 1713 North Twenty-fourth street, Philadelphia, \$6,814; plumbing, Bulman Brothers, Fifth and Cumberland streets, Philadelphia, \$6,266; heating, L. J. Somers & Son, 2436 Brown street, Philadelphia, \$310. West Philadelphia High School, Forty-eighth and Walnut streets, Philadelphia: Mitchell Brothers, 2125 Race street, Philadelphia, \$4,997. Stokley School, Thirty-second and Berks, Philadelphia: Carr & Courtney, 3025 Poplar street, Philadelphia, \$6,795; plumbing, D. J. Keating, 2042 Rittenhouse street, Philadelphia, \$7,700; heating, L. J. Somers & Son, 2436 Brown street, Philadelphia, \$385. Rejected: Campbell School, Eighth and Fitzwater streets, Philadelphia. Portable schools, various locations, Philadelphia.

**Manufacturing Building**, Northwest Corner A and Venango streets, \$16,800. Architects, William Steele & Sons Co., 219 North Broad

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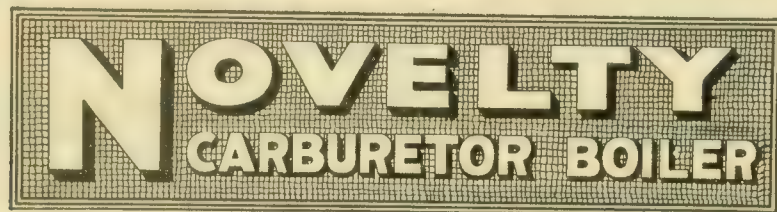
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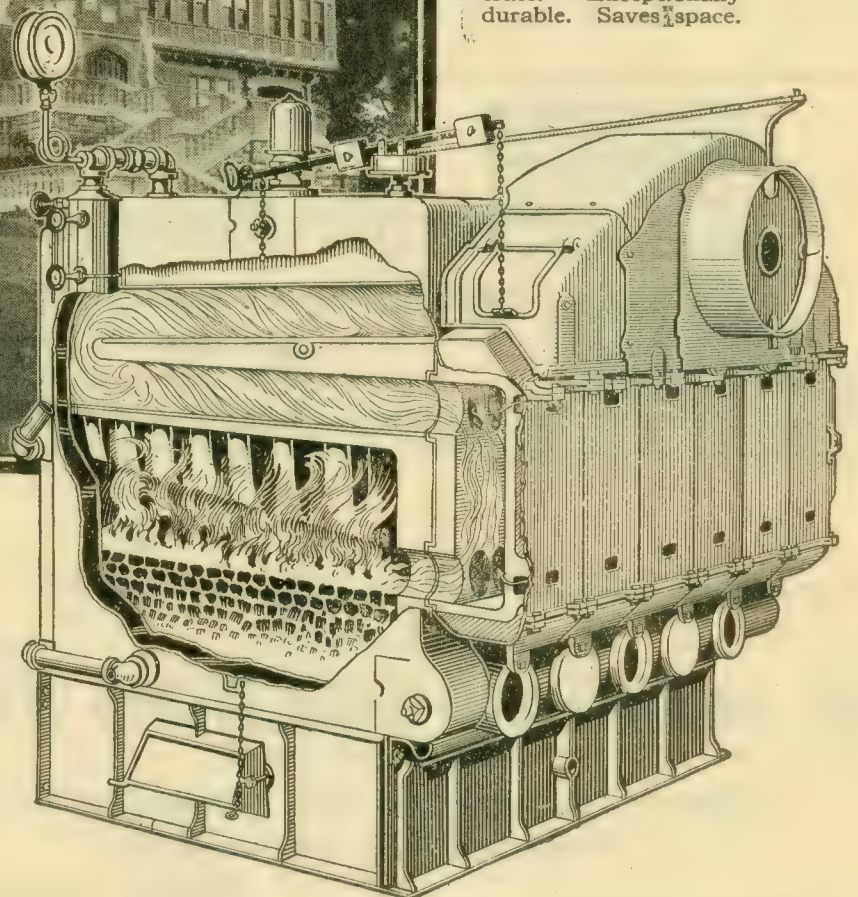
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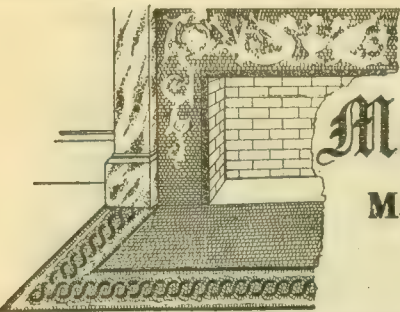
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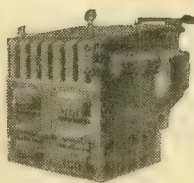
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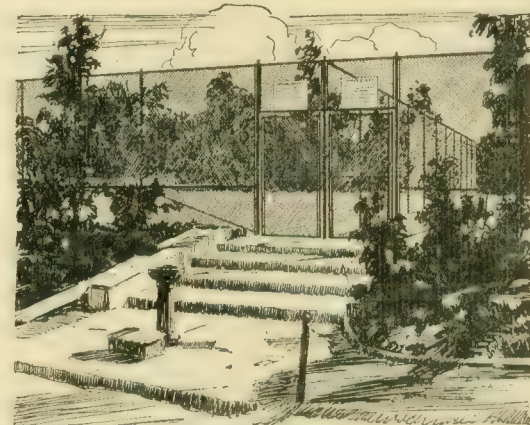
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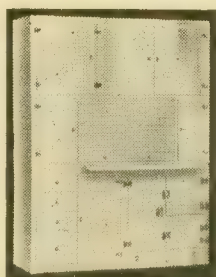
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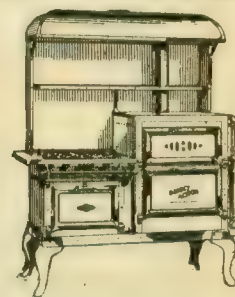
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street, Philadelphia. Owners, Standard Packing Box Co., on premises. Brick, 1 story, 64x95 feet, electric work, steel sash, steam heat. Contract awarded to William Steele & Sons Co., 219 North Broad street.

**Mill Building (alts.)**, Northwest Corner C and Allegheny avenue, \$10,000. Architects, William Steele & Sons Co., 219 North Broad street, Philadelphia. Owners, Saxonia Dress Goods Co., on premises. General alterations. Contract awarded to William Steele & Sons Co., 219 North Broad street, Philadelphia.

**Apartment (alts. and add.)**, 4529-31 Walnut street, \$15,000. Architects, Newbauer & Supowitz, 929 Chestnut street, Philadelphia. Owners E. R. French Co., 117 South Forty-sixth street, Philadelphia. Brick, 4 stories add., 44x20 feet, general alterations. Contract awarded to Bratton Co., 416 South Forty-first street, Philadelphia.

**Warehouse (add.)**, 711-13-15-17 Filbert street, Philadelphia, \$8,000. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Lit Brothers, Eighth and Market streets, Philadelphia. Brick, fourth story add., 30x60 feet. Contract awarded to Keystone State Const. Co., 210 South Thirteenth street.

**Hotel (add.)**, 208 South Eighth street, Philadelphia, \$12,000. Architect, private plans. Owners, Norenstein & Fishman, on premises. Brick, 4 stories, 22x21 feet, 18x40 feet and 22x22 feet, slag roof, electric work, heating extension. Contract awarded to S. Lazarus, 4914 Parkside avenue, Philadelphia.

**Factory (add.)**, 1015-17 Winter street, Philadelphia, \$11,000. Architect, private plans. Owner, Samuel Stern, 1006 Vine street, Philadelphia. Brick, 2 stories add.,

32x80 feet, electric work, slag roof. Contract awarded to Morris Wolf, 3819 Poplar street, Philadelphia.

**Residence**, West side Second street, South of Sixty-sixth avenue, Philadelphia, \$10,000. Architect, private plans. Owner, Adolph Ruoff, 409 West Chew street, Philadelphia. Brick, 3 stories, 18x42 feet, hardwood and pine floors, electric lighting, tile work. Contract awarded to Harold E. Miller, 2528 Coral street, Philadelphia.

**Garages (2)**, 3812 North Lawrence street, Philadelphia, \$7,000. Architect, private plans. Owner, P. J. Kane, 3813 North Fifth street, Philadelphia. Brick, 1 story, 16x69 feet and 16x36 feet, slag roof, cement floors. Contract awarded to Willart Co., 202 West Sheldon avenue, Philadelphia.

**Residence**, East side Ferndale street, North of Veree Road, \$3,500. Architect, private plans. Owner, James Ryan, Jr., 3238 North Front street, Philadelphia. Brick, 2 stories, 16x41 feet. Contract awarded to George R. Bestrain, 5911 North Warnock street.

**Residences (6)**, South side Chadwick, South of Dickinson, \$8,500. Architect, private plans. Owners, M. Sussman & Son, Seventeenth and Dickinson streets, Philadelphia. Brick, 1 story, (5) 25x19 feet and (1) 26x21 feet, slag roof, cement floors. Contract awarded to Annunziato & Riviello, 1907 South Tenth street.

**Service Station**, Southwest Corner Forty-fifth and Woodland avenue, \$60,000. Architect, E. A. Stopper, 108 South Eighteenth street, Philadelphia. Owner, D. Henwood, 717 South Sixty-third street, Philadelphia. Brick, 1 story, 120x150 feet, cement floors, electric light. Contract awarded to W. N.

Manuel, Fifty-eighth and Ellsworth streets, Philadelphia.

**Residence and Garage**, West side Frontenac and Loney streets, \$5,250. Architect, private plans. Owner, Henry M. Hoffman, 3310 Princeton avenue, Philadelphia. Frame, 1 story, 20x46 feet, shingle roof. Contract awarded to Isaac Hoffman, 2756 Plum street, Philadelphia.

**Residence (add.)**, 768 South Fifteenth street, Philadelphia, \$3,500. Owner, Dr. Robert W. Henry, on premises. Brick, 2 stories, 5x13 feet, second story add., 11x10 feet and 11x26 feet. Contract awarded to J. F. Trent, Nineteenth and Addison streets, Philadelphia.

**Garage (alts.)**, Northeast Corner Twentieth and Spencer streets, \$8,000. Architect, private plans. Owners, Bell Telephone Co. of Pennsylvania, Seventeenth and Parkway, Philadelphia. General alterations, steam heat, electric light, brick work. Contract awarded to Knox-Landers Co., 1132 Vine street, Philadelphia.

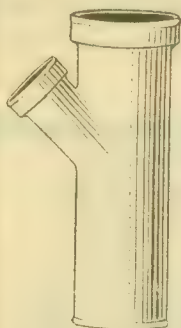
**Garage**, 4908-14 Wayne avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Joseph Waldon, 1305 Widener Building, Philadelphia. Brick, 1 story, 10x90 feet, slag roof, cement floors, electric work. Contract awarded to M. J. Reeser, 251 South Felton street, Philadelphia.

**Store and Residence**, 954 North Eighth street, Philadelphia, \$2,500. Architect, private plans. Owner, Herbert J. Bougher, 1820 North Broad street, Philadelphia. General alterations. Contract awarded to A. Warshawsky, 814 North Fortieth street, Philadelphia.

**Factory**, West side Salmon street, South of Pickwick street, \$20,000. **Factory (alts.)**, Southeast Corner Botanic street and Island Road, \$2,500. Architect, private plans. Owner, John M. Kennedy, 406 South Van Pelt street, Philadelphia. Brick, 1 story, 60x160 feet, slag roof, electric work, steel sash, general alterations to factory building. Contract awarded to Joseph K. Long, 1619 North Robinson street, Philadelphia.

**Store (alts.)**, 4660-62-64 Paul street, Philadelphia, \$2,500. Architect, private plans. Owner, L. Milgrim, 205 South Fifteenth street, Philadelphia. General alterations. Contract awarded to S. H. Levin, 1631 South Fifth street, Philadelphia.

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Baltimore avenue, \$2,000. Architect, private plans. Owner, A. Finkelstein, 303 South street, Philadelphia. Brick, 1 story add., 3x21 feet, general alterations. Contract awarded to Sanberg & Naulty, 909 Walnut street, Philadelphia.

**Garage**, 5143-45 Stiles street, Philadelphia, \$2,000. Architect, private plans. Owner, Charles Segall, on premises. Brick, 1 story, 18x57 feet, slag roof, cement floors, electric work. Contract awarded to Frank Lucci, 1603 Ellsworth street, Philadelphia.

**Store and Residence (alts. and add.)**, Southwest Corner Eighth and Dickinson streets, Philadelphia, \$5,000. Architect, private plans. Owner, Benjamin Fyne, on premises. Brick, 1 story, 16x6 feet, general alterations. Contract awarded to Bannett Co., 1633 South Fifty-fourth street, Philadelphia.

**Building (alts. and add.)**, 1723 Jefferson street, Philadelphia, \$5,000. Architect, private plans. Owner, Samuel Grossman, 3233 West Berks street, Philadelphia. Brick, 1 story add., 4x16 feet, general alterations. Contract awarded to D. Wittenberg, Holmes, Pa.

**Store (alts.)**, 903-07 Market street, Philadelphia, \$4,390. Architect, private plans. Owner, Frank Puci, 34 North Ninth street, Philadelphia. General alterations. Contract awarded to Simon Kaplan, 243 South Sixty-second street, Philadelphia.

**Residences (2)**, West side Castor avenue, North of Princeton avenue, \$4,000 each. Architect, private plans. Owners, Werner & Boeckler, Neshaminy Falls, Pa. Frame, 2 stories, 16x38 feet, hot water heat, electric light. Contract awarded to Charles Werner, Neshaminy Falls, Pa.

**Residence (add.)**, 1915 Panama street, Philadelphia, \$3,400. Owner, Casper Howell, on premises. Mansard, third story add., 16x32 feet. Contract awarded to Frank W.

Allison, 265 South Twentieth street, Philadelphia.

**Garage**, Southeast Corner Horrocks and Arrott streets, Philadelphia, \$3,000. Owner, J. H. Horrocks, on premises. Brick, 1 story, 21x35 feet, slag roof, cement floors. Contract awarded to F. Crompton & Bro., 4614 Oakland street.

**Residence and Office (alts.)**, Northwest Corner Ninth and Noble streets, \$7,000. Architect, private plans. Owner, F. C. Rogers, 367 North Front street, Philadelphia. General alterations. Contract awarded to Sanberg & Naulty, 909 Walnut street, Philadelphia.

**Residence**, South side Convent Lane, West of Torresdale avenue, \$5,000. Architect, private plans. Owner, Peter McCabe, Convent Lane, West of Torresdale avenue, Philadelphia. Frame, 2 stories, 24x26 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to John F. Shea, 1414 North Sixteenth street, Philadelphia.

**Building (alts.)**, 715 Walnut street, Philadelphia, \$4,500. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owners, Townsend, Elliott & Munson, on premises. General alterations. Contract awarded to E. R. Hall, 34 South Seventeenth street, Philadelphia.

**Residence**, Northeast Corner Edmund street and St. Vincent street, Philadelphia, \$4,500. Architect, private plans. Owner, Luigi Cancellieri, Tacony, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hot water heat, electric light. Contract awarded to M. Fonaro, Cottman and Edmund streets, Philadelphia.

**Shop (add.)**, 4555 Germantown avenue,

Philadelphia, \$4,500. Architect, private plans. Owner, Mrs. M. Kennedy, 5433 Germantown avenue, Philadelphia. Brick, 1 story, 22x25 feet, second story, 2x50 feet. Contract awarded to John Roman, 414 East Bringhurst street, Philadelphia.

**Residence and Store (alts.)**, 1633 Fairmount avenue, \$4,200. Architect, private plans. Owner, E. P. Rotzell, 25 West Mount Airy avenue, Philadelphia. General alterations. Contract awarded to W. N. Manuel, 5849 Ellsworth street, Philadelphia.

**Store and Two-Family Residence (add.)**, 5513 Germantown avenue, \$4,000. Architect, private plans. Owner, J. S. Besk, on premises. Brick, 2 stories add., 15x16 feet. Contract awarded to L. W. Crossan, 1311 North Fifty-fifth street, Philadelphia.

**Garage**, South side Pearl street, West of Thirty-fifth street, \$3,500. Architect, private plans. Owner, Anthony Gelzinis, 304 North Thirty-fifth street, Philadelphia. Brick, 1 story, 30x39 feet, slag roof, cement floors. Contract awarded to K. G. Hickie, 2313 North Twentieth street, Philadelphia.

**Residences (2) (add.)**, 1907-09 South Twelfth street, \$3,300. Architect, private plans. Owners, Close & Aikens, Broad and Norris streets, Philadelphia. Brick, 2 stories add., 10x13 feet. Contract awarded to Louis B. Goff, Twenty-fifth and Snyder avenue, Philadelphia.

**Garage**, North side Wishart street, East of Richmond street, \$3,200. Architect, private plans. Owner, A. MacDonald, 3157 Richmond street, Philadelphia. Brick, 1 story, 26x18 feet, 18x54 feet, slag roof, cement floors. Contract awarded to A. Earl Barnes, 2044 East Clementine street.

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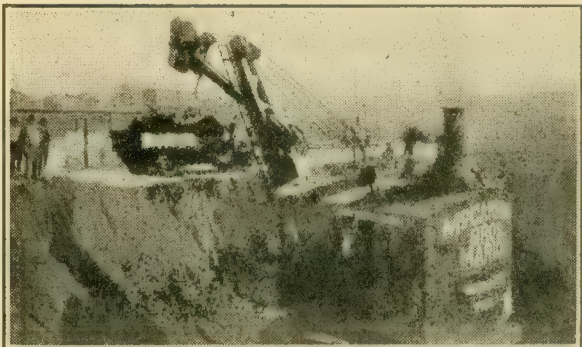
Philadelphia, Pa.

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Philadelphia, \$3,000. Architect, private plans. Owners, Walkinkrodt Chemical Co., 158 South Sixth street, Philadelphia. General alterations. Contract awarded to William Meyer, 131 North Broad street, Philadelphia.

**Store and Residence**, 811 South Sixth street, Philadelphia, \$2,500. Architect, private plans. Owner, Julius Goldstein, on premises. Contract awarded to Belinsky Brothers, 2030 South Ninth street.

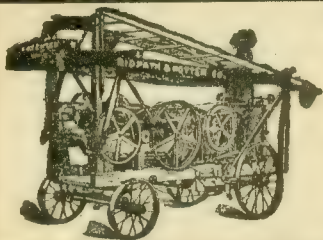


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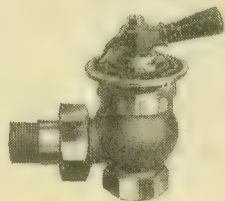
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# Construction News

**Laundry Building**, Sunbury, Pa. Architects, J. F. Stetler & Son, Middleburgh, Pa. Owners, Peerless Laundry Co., care of R. W. Thompson, Lewisburg, Pa. Architects will be ready for bids about June 30th.

**Mill**, Bloomsburg, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Bloomsburg Silk Mills, Bloomsburg, Pa. All bids rejected.

**Schools (2)**, Haverford Township, Pa. **Moving Picture Booth and Garage**, Oakmont, Pa. **Addition to School**, Monaca, Pa. Stone, brick (plumbing, heating and electric separate), slag roof, cement floor, bond, iron work, reinforced concrete, carpentry and mill work, plastering, stone work, painting and glazing, slate work, cut stone, iron work, maple floors, hardware and metal lath. Owners taking revised bids.

**Hotel (add.)**, Mt. Pocono, Pa. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Pocono Manor Association, Mt. Pocono, Pa. Reinforced concrete, steel, brick and stone, 7 stories, basement, 66x137 feet, slate and slag roof, cement floors, elevators, waterproofing, glazed terra cotta, ornamental iron work, fire doors, metal lath, tile work, electric light. Architect taking bids due June 20th at 10 A. M.

**School (alts.)**, Jarrettown, Pa. Architects, Schermerhorn & Phillips, 213 South Fifth street, Philadelphia. Owners, Upper Dublin Township, William Worman, Fort Washington, Pa. General remodeling, new lighting and plumbing, remodeling of heating system. Plans in progress.

**School (alts. and add.)**, East Orelan, Pa. Architects, Schermerhorn & Phillips, 213 South Fifth street, Philadelphia. Owners, Upper Dublin Township, William Worman, Fort Washington, Pa. Stone and brick, 2-room addition, hot air heat, slag roof, plumbing, general alterations. Plans in progress.

**Garage and Apartment**, Allentown, Pa. Architect, A. J. Bibighaus, 530 Hamilton street, Allentown, Pa. Owner, Robert M. Dannecker, 204 North Second street, Allentown, Pa. Concrete, brick, steel, 3 stories, 44x39 feet, Barrett Specification roof, concrete and wood floors, vapor vacuum heat, electric light, rolled steel sash, iron stairs. Plans in progress.

**Rectory**, Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owners, Sts. Peter and Paul Greek Parish, Rev. Thomas Ovushkiveitch, Bethlehem, Pa.

Brick, 2½ stories, 30x45 feet, slate roof, hardwood floors, tile work, electric lighting. Plans in progress.

**Bank**, New Egypt, Pa. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, First National Bank, New Egypt, Pa. General interior alterations, bronze work, tile floors, tile and marble work, electric lighting. Plans in progress.

**Hospital**, York, Pa., \$1,000,000. Architect, not yet selected. Owners, York Hospital, York, Pa., care of G. H. Whiteley. Work contemplated. Too early for details. (Note correction.)

**Bank**, Frackville, Pa., \$125,000. Architects, Tilghman Moyer Co., 824 Hamilton street, Allentown. Owners, Peoples Trust Co., care of architects. Granite, steel, 1 story, 80x34 feet, slag roof, tile or marble floors, hollow tile, electric light, metal lath, tile and marble work, bronze work, vaults, bank fixtures, ornamental iron work. Plans in progress. Architects will build.

**School**, Center Valley, Pa. Architect, A. J. Bibighaus, 530 Hamilton street, Allentown, Pa. Owners, Upper Saucon Township School Board, Emaus, Pa. Steel, brick, concrete, 1 story, 73x60 feet, Barrett Specification roof, concrete and Duraflex floors, hollow tile (heating, plumbing and electric work reserved). Owners taking bids due June 23rd.

**Undertaking Establishment (alts. and add.)**, Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owners, Laramy & Riegel, 16 Broad street, South Bethlehem, Pa. Brick, steel, concrete, 2 stories add., 16x26 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath. Owners taking revised bids due June 24th.

**Central School (add.)**, Saxar avenue and Powell Road, Springfield, Pa. Architects, Mackenzie & Wiley, Bankers Trust Building, Philadelphia. Owners, School District of Springfield Township, Mrs. W. Marshall, secretary, Swarthmore, Pa. Stone, cut stone, limestone, brick, 1 story and basement, 77x109 feet (plumbing, heating, electric separate), slag roof, composition, cement and maple floors, metal lath, rolling steel skylights, bond, ornamental iron work, iron stairs, waterproofing, dampproofing, excavating. Deposit, \$25. Refund, \$15. Owners taking bids due June 25th at 7 P. M. (Standard Time).

**Residence and Garage**, Jenkintown Manor,

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Pa. Architect, H. Rex Stackhouse, 1120 Locust street, Philadelphia. Owner, A. R. McKee, care of architect. Stone, 2½ stories, 55x28 feet (plumbing, heating, electric and tile reserved), shingle roof, oak and pine floors, ornamental iron work. Architect taking bids due June 23rd.

**School (add.),** Tamaqua, Pa. Architect, Benjamin Rush Stevens, 1827 Arch street, Philadelphia. Owners, Tamaqua Borough School District, Tamaqua, Pa. Brick and steel, 2 stories and basement, 76x24 feet, slag roof, cement and composition floors, rolling steel sash (plumbing, heating, electric reserved). Owners taking bids due June 24th.

**Residence and Garage,** Spring avenue, Rambler Road, Elkins Park, Pa. Architects, Boyd, Abel & Gugert; Richard McCaskey, Otis Building, Philadelphia. Owner, Harry D. Drescher, Land Title Building, Philadelphia. Stone, cut stone, 2½ stories, 1½ stories, 50x46 feet, garage 27x23 feet (hot water heating, electric light separate bids), slate and slag roof, oak, pine and cement floors, tile work, ornamental iron work, flagstone paving, excavation, painting and glazing (plumbing separate). Owner taking bids due June 23rd.

**Stores (3), Apartments,** 711-15 Parker avenue, Collingdale, Pa. Architect, private plans. Owners, W. H. Hoehler and F. H. Kuhnert, Collingdale, Pa. Excavation, stone work, brick work, wiring, stucco, plastering, concrete and cement work, painting and glazing, plumbing, sheet metal, roofing, heating, etc. (steel and iron work reserved). Owners taking bids due as soon as possible.

**Hotel,** Third and Market streets, Berwick, Pa. Architects, Dreher & Churchman, Otis Building, Philadelphia. Owners, Berwick Hotel Co., W. J. Johnson, Berwick, Pa. 5 stories, 75x100 feet. Architects taking bids due June 25th.

**School (fire rebuilding),** Blooming Glen, Pa. Architect, J. S. Landes, Souderton, Pa. Owners, Hilltown Township School Board, A. T. Smith, Hatfield, Pa. Brick, 1 story, 35x38 feet, asbestos shingle roof, pine floors, hot air heat, electric light. Owners taking bids due June 19th.

**Church,** Ambler, Pa. Architect, private plans. Owners, Zion Baptist Church, Ambler, Pa. Stone, 1½ stories and basement, 70x40 feet, slate roof, pine floors, steam heat, electric light. H. P. Schneider, 3713 York Road, taking sub-bids.

**Mill Building No. 6 (alts. to roof),** Bridgeport, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, James Lees Sons Co., Bridgeport, Pa. Slag roof, painting, carpentry and mill work, masonry, bond. Architects taking bids due June 19th.

**Grading and Paving,** Radnor Township, Pa. Owners, Commissioners of Radnor Township, Maguire Building, Wayne, Pa., Charles Stewart, secretary. Owners taking bids due June 27th, 3 P. M. (Standard Time). Widening construction of bituminous macadam, changes in grading on Matsonford Road, King of Prussia Road, at Radnor Station to County Line Road. Approximately 9,000 square yards. Deposit, \$5. Certified check of \$800 must accompany each bid.

**Street Paving, Curbing and Sewer,** Kingston, Pa. Owners, Borough of Kingston, Charles H. Blochberger, secretary, Kingston Borough Council, South College avenue, Kingston, Pa. Paving work, curbing and storm sewer. Owners taking bids due June 23rd at 7.30 P. M. Certified check required.

**Bridge,** Norristown, Pa. Engineer, J. B. Long, 59 Boyer Arcade, Norristown, Pa. Owners, Commissioners of Montgomery County, William C. Irvin, County Controller, Court House, Norristown, Pa. Reinforced concrete, 7 spans, 115 feet each, total width

60 feet. Owners taking bids due July 1st at 10 A. M. (Standard Time). Bids will be opened at 11 A. M. (Standard Time). Certified check required (\$15,000).

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due July 1st at 10 A. M.

**Berks County,** R-197, Mt. Penn Borough and Lower Alsace Township, 12,196 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,500.

**Bradford County,** R-212, Troy and Sylvania Boroughs and Columbia Township, 24,757 feet. One course reinforced concrete. Certified check, \$4,000.

**Bradford-Wyoming Counties,** R-241, Tuscarora and Wyalusing Townships, Laceyville Borough, 26,253 feet. One course reinforced concrete. Certified check, \$4,000.

**Chester County,** R-274, Sadsbury, Highland, West Fallowfield and Upper Oxford Townships, Parkersburg Borough, 55,070 feet. One course reinforced concrete. Certified check, \$4,000.

**Dauphin County,** R-139, Paxtang Borough, 4,580 feet. One course reinforced concrete. Certified check, \$1,500.

**Indiana County,** R-63, Rayne and East Mahoning Townships, 35,345 feet. One course reinforced concrete. Certified check, \$4,000.

**Luzerne County,** R-235, Huntingdon and Union Townships, 26,100 feet. One course reinforced concrete. Certified check, \$4,000.

**Lycoming County,** R-19, Picture Rock Borough, Shrewsbury Township, 39,700 feet. One course reinforced concrete. Certified check, \$4,000.

**Monroe County,** R-168, Coolbaugh Township, 32,824 feet. One course reinforced concrete. Certified check, \$4,000.

**McKean County,** R-100-210, Annin and Eldred Townships, 41,150 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

**Schuylkill County,** R-140, Pine Grove Borough, Pine Grove, Washington and Wayne Townships, 32,002 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

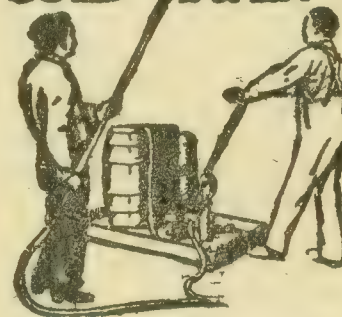
**Westmoreland County,** R-119, Ligonier Township, 16,261 feet. One course reinforced concrete. Certified check, \$3,000.

**York County,** R-333, Newberry, Conewago and Manchester Townships, 44,008 feet. One course reinforced concrete. Certified check, \$4,000.

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## Pennsylvania

### Contracts Awarded

**Residence**, Merion, Pa. Architects, Savery & Scheetz, Stephen Girard Building, Philadelphia. Owner, Edward C. Jacoby, care of architect. Stone, 2½ stories, 60x30 feet, wing 18x20 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Contract awarded H. E. Grau Co., 1707 Sansom street, Philadelphia.

**Bridge**, over Canal and Schuylkill River, at Birdsboro, Pa. Architect, private plans. Owners, Philadelphia & Reading, Twelfth and Market streets, Philadelphia. Eight-span steel and concrete, 3-deck plate solid concrete floor, concrete and I beam box. Contracts awarded: Substructure, Folwell & Alskog, Chicago, Ill. Superstructure, American Bridge Co., Widener Building, Philadelphia. Waterproofing, Minwax Co., Harrison Building, Philadelphia.

**Buildings**, Aspenwall, Allegheny County, Pa., \$760,252. Architect, Const. Division, United States Veterans' Bureau, Washington, D. C. Owners, United States Veterans' Bureau, F. T. Hines, Director, Arlington Building, Washington, D. C. Reinforced concrete, brick, steel, built-up slate roof, mastic and pine floors, hollow tile, safety treads, painting and glazing, waterproofing and dampproofing, ornamental iron work, iron stairs, bod, hollow metal doors, rolling steel sash, tile and marble work, metal lath (plumbing, heating, electric elevators separate bids), infirmary, 4 stories, 140x38 feet, wing 57x144 feet, wing 212x30 feet, ambulant quarters, 2 stories and basement, 121x28 feet, recreation building, 1 story and basement, 107x80 feet, nurses' quarters, 2 stories and basement, 137x38 feet, attendants' quarters, 2 stories and basement, 131x38 feet, officers' quarters, 2 stories, 39x33 feet, garage, 1 story and basement, 42x35 feet, store house, 1 story and basement, 100x42 feet, boiler house, 1 story and basement, 95x41 feet, septic tank and house, 1 story, 47x26 feet. Contract awarded W. F. Trimble & Son, Pittsburgh, Pa.

**Building**, Williamsport, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Smith Printing Co., Williamsport, Pa. Brick, cut stone, reinforced concrete, steel, 1 story and basement, 168x128 feet, wing 74x79 feet, slag roof, cement and maple floors, hollow tile, slag roof, safety treads, shoring, ornamental terra cotta, ornamental iron work, floor hardener, fire and kalamein doors, rolling steel sash, tile work, metal lath, metal partitions. Contract awarded Central Const. Co., Harrisburg, Pa. Plumbing awarded to Carl Plankenhorn, Williamsport, Pa.

**Motor Building**, Briefs avenue and Sixty-ninth street, Upper Darby, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, George Wilcox, Land Title Building, Philadelphia. Brick, cut stone, cut limestone, reinforced concrete, granite, 2 stories and basement, 196x100 feet, irregular slag roof, composition and cement floors, hollow tile, painting and glazing,

plumbing, rolling steel sash, metal lath, electric light, steam heat, electric light, ornamental iron work. Contract awarded Bowden Const. Co., 1935 Chestnut street, Philadelphia.

**Residence (alts.)**, Swarthmore, Pa. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owner, J. Barnard Walton, Swarthmore, Pa. Hollow tile plastered, 2½ stories, 27x38 feet, slate roof (alts.), oak and pine floors, carpentry and mill work, painting and glazing, plumbing, plastered tile work, hot water heat, electric light. Contract awarded G. W. Potts, Media, Pa.

**Residences (3) and Garages (3)**, Beverly Hills, Delaware County, Pa., \$40,000. Architect, private plans. Owner, Charles J. Armor, 122 North Seventh street, Philadelphia. Stone and stucco, 3 stories, 25x38 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded Eugene Powell, 96 North Lansdowne avenue, Lansdowne.

**Addition of Porch**, Narberth, Pa. Architect, Charles F. Schaefer and Thomas Lippincott, 11 South Sixteenth street, Philadelphia. Owner, D. M. Ellis, on premises. Stone work, 1 story, 16x14 feet, excavation, cut stone, cement work, tin roof, carpentry and mill work, painting and glazing, plumbing. Contract awarded W. J. Ryder, 1715 Sansom street, Philadelphia.

**Residence (alts. and add.)**, Haverford, Pa. Architects, McIlvain & Roberts, Otis Building, Philadelphia. Owner, Mrs. Francis Griscom, Haverford, Pa. Stone and frame, 2½ stories, 20x20 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work. Contract awarded Herbert G. Campion, Otis Building, Philadelphia.

**Residence**, Haverford, Pa. Architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia. Owner, John Y. Hastings, 819 Filbert street, Philadelphia. Stone, 2½ stories, 60x50 feet, garage, 20x22 feet, shingle roof, oak and pine floors, hollow tile, plumbing, rubber tile, bond, rolled steel doors, hollow metal sash, tile work, metal lath, electric light, hot water heat. Contract awarded H. G. Campion, Otis Building, Philadelphia.

**Apartment House**, Mahoney City, Pa. Architect, private plans. Owner, Wassil Kravinsky, Mahoney City, Pa. Brick, stone, steel, concrete, 3 stories, 60x150 feet, tin roof, hardwood floors, steam heat, electric light, metal lath, tile and marble work, ornamental iron work. Contract awarded Stofflet & Tillotson, Wesley Building, Philadelphia.

**Theatre (remodeling)**, Lansford, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Chamberlain Amusement Co., Mahoney City, Pa. Plumbing, plastering, tile work, electric light, steam heat, built-up roof, general remodeling. Contract awarded Stofflet & Tillotson, Wesley Building, Philadelphia.

**Swimming Pool, Bath House, Tennis Court Grading**, East End Park, Mahoney City, Pa. Architect, private plans. Owners, Church Community Center, Mahoney City, Pa. Swimming pool, reinforced concrete, 120x60 feet, bath house, frame, 1 story, 120x20 feet, composition roof, plumbing, grading, drainage,

electric light. Contract awarded Stofflet & Tillotson, Wesley Building, Philadelphia.

**Residence**, Sellersville, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, M. B. Brandt, Sellersville, Pa. Brick, hollow tile and stucco, 2½ stories, tile or shingle roof, hardwood floors, hot water heat, electric light, tile and marble work. Contract awarded Ely Utz, Sellersville, Pa.

**Store, Apartment Building and Residence**, Bethlehem, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owner, Frank Stoneback, 217 West Fairview street, Bethlehem, Pa. Brick, 2 stories and basement, 36x65 feet, slag roof, hardwood and pine floors, electric lighting, store fixtures. Contract awarded to R. S. Rathbun Const. Co., Guetter and Walnut streets, Bethlehem, Pa.

**School (add.)**, City Line and Berwick Road, Overbrook, Pa., \$45,000. Architects, Zantzing, Borie & Medary, Otis Building, Philadelphia. Owners, Episcopal Academy, Overbrook, Pa. Stone and frame, 1 story and basement, 50x90 feet, slate roof, maple floors, steam heat, electric light. Contract awarded C. C. Pace, Merion, Pa.

**Building (alts.)**, Morton, Pa. Architect, private plans. Owners, Delaware County Electric Co., care of Mr. Wilson, Tenth and Chestnut streets, Philadelphia. Slag roof, office partitions, fire doors, cement work, painting and glazing, hollow tile, structural steel, iron work (plumbing, heating and electric reserved). Contract awarded Chester Const. & Const. Co., Chester, Pa.

**Stores (2), Apartment**, Conshohocken, Pa. Architects, McKenzie & Wiley, Liberty Building, Philadelphia. Owner, William H. Baldwin, 110 Fayette street, Conshohocken, Pa. Brick, 2 stories, 40x80 feet, slag roof, hardwood floors, steam heat, electric light, tile work, metal ceilings, plate glass, flush bulks. Contract awarded Oscar C. Freas, Conshohocken, Pa.

**Rubble Masonry Retaining Wall**, Providence Road, West of Lansdowne avenue, Yeadon, Delaware County, Pa. Engineer, A. F. Damon, Jr., Post Office Building, Upper Darby, Pa. Owners, Borough of Yeadon, T. Dann, secretary of Council, Borough Hall, Church Lane and Bailey Road, Yeadon, Pa. Contract awarded Edward A. Mullen, 5512 Vine street, Philadelphia, \$9.85 a perch.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Erie County, R-88, Wattsburgh Borough, Venango Township, 15,180 feet. One course reinforced concrete. \$197,645.37. Contract awarded to Charles H. Fry Const. Co., Erie, Pa.

Erie County, R-258, A-2908, McKean and Washington Townships, 20,116 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Awarded to J. C. Devie Co., Alliance, O., \$167,044.86.

Jefferson County, R-189, Bell, Gaskill and Henderson, Punxsutawney and Big Run Boroughs, 48,218 feet. One course reinforced concrete. \$550,254.18. Contract awarded to M. Bennett & Sons, Indiana, Pa.

Jefferson County, Route 59, Snyder Township, 12,427 feet. One course reinforced concrete. \$120,790.30. Contract awarded to W. C. Quick & Co., Brookville, Pa.

Bucks County, Route 178, Sec. 3, Doylestown and New Britain Townships and Chalfont Borough, 23,062 feet. One course reinforced concrete. \$177,658.34. Contract awarded to E. Riley Mixner Co., Goshen, N. J.

Indiana County, Route 223, East and West Wheatfield Townships, 34,995 feet. One course reinforced concrete. \$357,018.15. Contract awarded to Paul Const. Co., Inc., Cresson, Pa.

McKean County, R-95, Hamlin Township, 20,826 feet. Either bituminous surface course

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on concrete foundation or one course reinforced concrete. \$192,268.15. Contract awarded to D. Leroy Dennis, Eldred, Pa.

Schuylkill County, R-140, Sec. 2, North Manheim and Schuylkill Haven Borough, 12,585 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$146,059.90. Contract awarded to Warren Bros. Co., Boston, Mass.

## New Jersey Construction News

**Residence**, Berkley avenue, Trenton, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton. Owner, E. C. Hutchinson, Hutchinson Road, Trenton, N. J. Brick, 2½ stories, 31x35 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**McKinley Hospital (add.)**, Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, William McKinley Memorial Hospital, Brunswick avenue, Trenton. Brick, steel, 3 stories, 40x100 feet, concrete and slag roof, hardwood floors, hollow tile, elevators, roof ventilators, electric light, metal lath, tile and marble work, fire doors, iron stairs, ornamental iron work. Plans in progress.

**Tower**, State and Stockton streets, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, State Street Methodist Episcopal Church, care of architect. Stone and cut stone, 20x20 feet, copper roof. Architect ready for bids.

**Residence**, Trenton, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton, N. J. Owner, Dr. E. Blackwell, 32 West State street, Trenton, N. J. Brick, 2½ stories, 41x34 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Architects ready for bids.

**Reception Building, Dining Hall, Employees' Houses (3), Convalescent Buildings (2)**, Morris Plains, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, New Jersey State Hospital for the Insane, Dr. Currie, Morris Plains, N. J. Architects will be ready for bids about June 28th.

**Club House**, Raleigh avenue and Boardwalk, Atlantic City, N. J. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owners, Cosmopolitan Club, care of architect. Brick, steel, terra cotta, 4 stories and basement, 72x97 feet, electric lighting. Plans in progress. Architect will be ready for bids in about one month.

**Gloucester County Building**, Woodbury, N. J. Architect, C. R. Peddle, 136 South Fourth street, Philadelphia. Owners, Gloucester County, Woodbury, N. J. Will take new bids in two weeks.

**Dining Hall (add.)**, Trenton, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, State Hospital for Insane, Dr. W. Natchley, Trenton, N. J. Brick, steel, hollow tile, 2 stories, 31x186 feet, slate roof, fireproof doors, hollow tile, waterproofing and dampproofing, metal lath, tile and marble work rolled steel sash, fire doors, bond, iron stairs (heating, plumbing and electric work reserved). Architects taking bids due June 25th.

**Studio (alts. and add.)**, 216 East Hanover street, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, J. H. Fritz, 148 East State street, Trenton, N. J. Brick, steel, 3 stories, 2x70 feet, slag roof, hardwood floors, vapor heat, electric light, metal lath, tile and marble work, rolled steel sash and skylights, ornamental iron work.

Architect taking revised bids due June 19th.

**Residence**, Scudders Falls, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Lewis H. Lawton, Broad Street Bank Building, Trenton. Hollow tile and stucco, 2½ stories, 42x90 feet, Spanish tile roof, hardwood floors, hollow tile, vapor heat, electric light, metal lath, tile, marble and terrazzo work, ornamental sash. Architect taking bids due June 21st.

## New Jersey Contracts Awarded

**School (add.)**, Somers Point, N. J. Architect, Charles H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owners, Somers Point School Board, R. Braddock, Somers Point, N. J. Brick, frame, steel, 2 stories and basement, 25x34 feet, slag roof, cement and pine floors, dampproofing (heating, electric work, plumbing reserved). Contracts awarded: Charles S. Corson, Linwood, N. J., \$27,606. Heating and ventilating, R. Johnson, Ocean City, N. J., \$6,791. Plumbing, Walter A. Smith, Somers Point, N. J., \$709. Electric, Edward A. Pratt, Somers Point, N. J., \$512.

**Stores and Apartments (3) and Lodge**, Phillipsburg, N. J. Architect, E. H. Wenzelberger, 3 Center Square, Easton, Pa. Owners, P. O. S. of A., George Smith, Phillipsburg, N. J. Brick, 3 stories, 50x67 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Contract awarded to Butz & Clader, Ainey Building, Allentown, Pa.

**Sub-Station Buildings**, Automatic Train Control, Hammonton and Atlantic City, N. J. Architect, Samuel T. Wagner, Reading Terminal Building, Philadelphia. Owners, Atlantic City Railroad, care of Reading Company, Twelfth and Market streets, Philadelphia. Brick, steel, 1 story, 15x12 feet, 17x14 feet, asbestos shingle roof, cement floors, rolling steel sash, steel doors. Contract awarded Curtis Grindrod, 10 South Eighteenth street, Philadelphia.

**Sunday School**, Maple and Center street, Merchantville, N. J. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, First Presbyterian Church, Rev. Gordon M. Russell, Merchantville, N. J. Stone, 1 story and basement and gallery, 68x42 feet, wing 52x40 feet, mineral and pine floors, composition roof, plumbing painting and glazing, bond, ornamental iron work, metal lath, tile work, steam heat, electric. Contract awarded George Bachman, Camden, N. J.

**School**, South Broad street, Trenton, N. J. Architect, private plans. Owners, St. John's Church, Rev. P. J. Hart, 153 North Warren street, Trenton, N. J. Brick, steel, 3 stories, 60x115 feet, slate roof, hardwood floors, hollow tile, safety treads, roof ventilators, steam heat, electric light, metal lath, iron stairs. Contract awarded to F. D. Priory, 11 West State street, Trenton.

**School (alts.)**, Smithville, N. J. Architect, H. A. Hill, Broad Street Bank Building, Trenton, N. J. Owners, Eastampton Township School Board, J. H. Hinchman, secretary, Smithville, N. J. General alterations, partitions work. Contract awarded to E. W. Esham, Mt. Holly, N. J.

**Pottery**, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, Trenton Potteries, Clinton and Ott streets, Trenton, N. J. Steel, brick, 1 story, 48x48 feet, cement tile floors, electric work. Contract awarded to William Burton, American Mechanics' Building, Trenton.

## Miscellaneous Construction News

**Sunday School**, Salisbury, Md. Architects, Norman Hulme and J. J. Dull, 1524 Chestnut street, Philadelphia. Owners, Asbury Methodist Episcopal Church, Rev. Hamilton P. Fox, 602 Division street, Salisbury, Md. Stone, steel, 2 stories, 55x110 feet. Plans in progress.

## Miscellaneous Contracts Awarded

**Warehouse (alts. and add.)**, 117 Market street, Wilmington, Del. Architects, Brown & Whiteside, Dupont Building, Wilmington, Del. Owners, Hudson Supply Co., Front and Market streets, Wilmington. Brick and concrete, elevators, steam heat, electric light, tile work, fire doors, rolling steel doors. Contract awarded to Smyth Const. Co., 826 Orange street, Wilmington, Del.

**Store Front**, 710 Market street, Wilmington, Del. Architect, C. R. Hope, Dupont Building, Wilmington, Del. Owners, Roebbling Piano Co., care of architect. Brick, steel, limestone, copper work, plate glass, tile and terrazzo work, electric lighting, plumbing. Contract awarded to Smyth Const. Co., 826 Orange street, Wilmington, Del.

## Proposals

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., June 9, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., July 7, 1924, for the construction of Mezzanine for Room 402, including all incidental changes and repairs in the U. S. Post Office and Court House, Pittsburgh, Pa. Drawings and specifications may be obtained from the Custodian at Pittsburgh, Pa., or at this office in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., June 12, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., July 10, 1924, for the construction of a one-story stucco face, none-fireproof extension about 82x45 feet in size at the U. S. Post Office and Court House, Charleston, W. Va. Drawings and specifications may be obtained from the Custodian of the building or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

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## BUILDING MATERIAL PRICES

The cost of building and the part that the price of building material plays in building costs is naturally a subject of keen interest these days. Moreover, the fact that one of the uppermost questions is that of whether or not building material prices may be lower in the future, it is in order for us to go into this building material price subject analytically that we may form some more definite ideas as to what the future may bring.

A charting of price levels and different commodities today as compared to pre-war days shows an average running from 31 per cent. for chemicals and drugs up to 96 per cent. for clothing above 1913. The general average of all groups is given as 52 per cent. above 1913, while building materials are listed as averaging 82 per cent. above, being the highest in the charting with the exception of clothing, and considerably above the general average of all groups.

The question is, will building material prices likely be lower in the future? And if so, how much lower than they are at present and how much above the old pre-war levels?

Building materials are made up of many items, but the leading items in major construction work are lumber, brick and hollow building tile, cement and the materials of concrete, steel and other metals used for structural purposes. Stone enters some, but not as a big factor in everyday building. The major factors in everyday building are lumber, clay products, cement products and metal products.

A study of these by items shows that lumber, while considerably above the pre-war level, is also considerably below the 1920 peak, and is more likely to go higher in the future than to come lower. There is an understandable reason for this. Our timber supply is limited, and we are cutting into our forest reserves at a rate that creates apprehension for the future and adds to the value of the remaining stumpage. So, broadly speaking, and looking at it in the light of future years, there is no prospect for cheaper lumber, but rather the indications are that the lumber item in building material, including flooring and general millwork, is as low as it need be expected, and in the future will likely cost more. That point will be pretty generally granted without argument, and incidentally it points toward a smaller use of lumber in wall construction in the future and a wider use of brick, clay products, cement products, and metal products.

The question, then, seems to hinge mainly on the prospect for lower prices in clay products, cement products and metal products.

Two important factors in the cost of clay products and cement products are

labor and fuel. Machinery enters too, but machinery itself is largely the product of labor and fuel, so we may still regard labor and fuel as the dominant factors in determining cost for both cement products and clay products. There has been some easing in fuel prices as compared to a year ago, on the whole perhaps \$1 a ton for coal. This brings some easement in the cost of producing both brick and cement, but it is just about compensated for by increased wage costs, so the general costs are practically the same.

If we analyze carefully the industry of brickmaking as an example to get a light on costs and furnish the probable trend of cost in the future we find that labor and fuel are the important items, but there are some others. There is capital invested, and there is that thing we call overhead, which includes wear and tear and depreciation, involves insurance, clerical work, salesmanship, advertising and a lot of items which, taken all together, make up an interesting feature of cost. There is an item of raw material, too, but this is plentiful enough that its value today and its prospective value in the future is not enough to play any important part in cost. Here the clayworking industry differs widely from the timber industry. There is no scare or apprehension about exhausting raw material supplies in the future.

Analyzing the cost items in brickmaking, we may take for granted that the cost coming from capital invested, from business management, and general overhead will not decline. In some instances there may be opportunities to trim a little but on the whole they may be regarded as fixed items. That leaves us, then, so far as manufacturing is concerned, the matter of fuel and wages as the factors which may fluctuate and in so doing will govern the range of costs and prices either upward or downward. As stated above, fuel has already eased a little bit but it is not likely to ease more because it is down to practically an unprofitable basis for mines under existing wages. So the only chance for cost reduction here is through more efficient burning, through better methods and devices that will burn 1,000 bricks with less coal. We are making some progress along this line, but in the main the profit from this progress must, for the moment, go to pay the cost of new installation. So we may regard fuel as having eased a little, about \$1 on the ton for coal, and as being permanent for the year on that basis.

In the matter of wages, there has been some stiffening during the year, which has just about made up for the easing in coal. And it may be that the tension will ease some and wages be lowered a little during the year. There is no thought, however, that wages will again go down to the pre-war levels. More-

over, no one desires anything of the kind. There is some inflation in wages in the building industry which should be reduced, but on the whole, good wages are good for the prosperity of the country as well as for the wage workers, and we may take it for granted that wages will continue higher on the whole, as compared to pre-war days, than general commodity prices. They may settle down a little, but they are on a new basis and there will not be enough reduction in wages in the clayworking industry to make any great reduction in the cost of brick making. Whatever reduction from the productive labor end is obtained will have to come through a wider use of labor-saving machinery, thus increasing the productivity per man. There is some chance for improvement here just as there is chance to improve some in fuel cost, by better devices and methods, and on the whole we will likely make some progress during the next few years. But it will not be such as to bring radical changes in the cost of producing brick.

On the whole, the cost of production for brick and hollow tile and similar clay products is now fairly well stabilized, and there is not much promise of materially lower prices except where local conditions have temporarily created shortages that have resulted in premium prices locally and temporarily for these products. High prices for these products will come down to the normal level, but taking the industry as a whole, whether it be in brick, hollow building tile, sewer pipe or drain tile prices have been so close to costs of production that there is not much chance for lower prices if the business is to continue yielding a profit, except where cost can be lowered by trimming down on wages or fuel. The opportunities for this will not be such as to make any great difference in price for the next year or two if all signs read right.

It seems to be pretty much the same story with cement and with metals. They have settled down on a stable basis with the present cost of fuel and wages, and it looks like stability of prices all around with the odds in favor of lumber going higher, thus making room for a wider use of clay products and other hard building material in modest home construction as well as the larger building undertakings of the country."—*The Clay Worker*.

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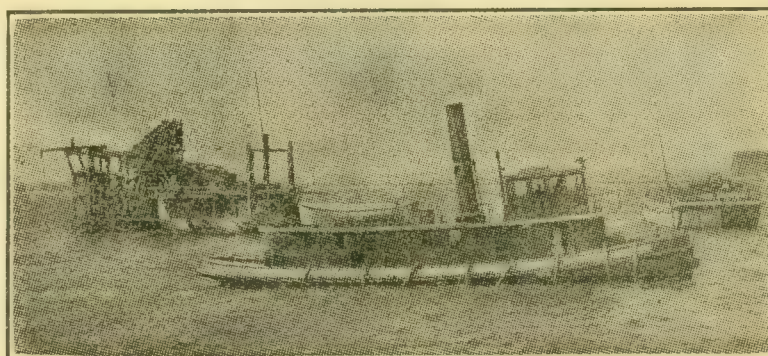
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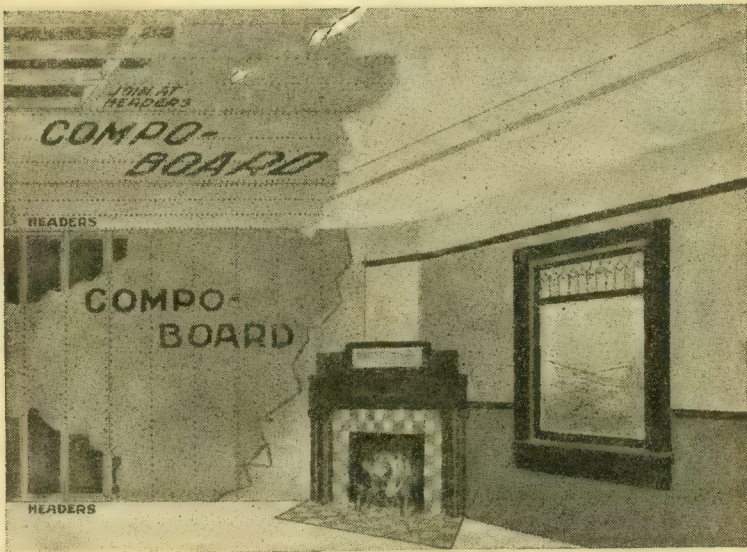
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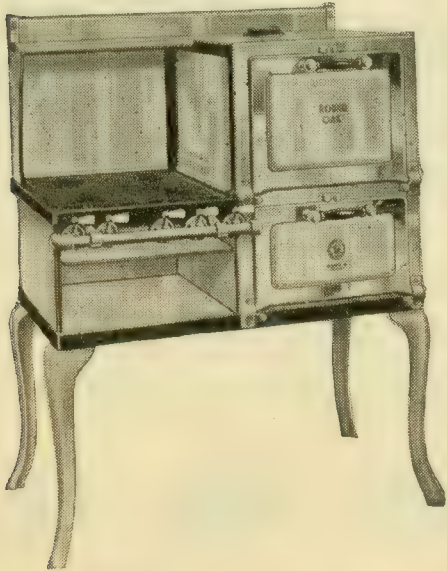
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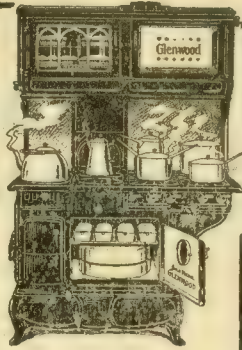


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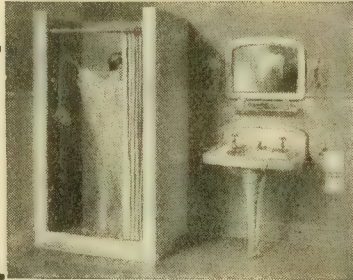


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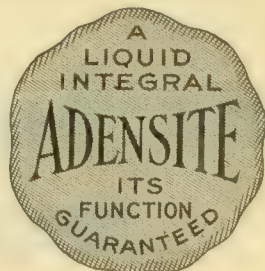
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 26

PHILADELPHIA  
June 25, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



HIGH interest for the entire construction industry is held in the fact that a government agency has refused to accept the theory that economy is promoted through the "separate contract system" under which individual agreements would be made between owners and those handling distinct installations such as plumbing, heating equipment, electrical fixtures and wiring.

The Interdepartmental Board of Contracts and Adjustments, an agency created by General Dawes while he was head of the Bureau of the Budget, has adopted a resolution which has the effect of refusing to abolish the general contract system from federal construction operations. This resolution was adopted by the board in answer to the request for adoption of the separate contracts procedure made by a joint committee of the National Association of Master Plumbers, the Heating and Piping Contractors' National Association and the Association of Electrogists-International.

The claims made by this committee in favor of the separate contracts system were replied to in a brief filed with the board by the Associated General Contractors of America, it being through this brief that a firm case for the joint contract system was established.

The board's decision acquires an added importance, it is pointed out, because of the effect which it will carry into the field of construction work other than that carried on by the government.

The text of the resolution, pointed to as emphasizing the necessity for general contractors' services in building operations, follows:

"WHEREAS, a joint committee of the National Association of Master Plumbers and the Heating and Piping Contractors' National Association and the Association of Electrogists-International, has requested the Interdepartmental Board of Contracts and Adjustments to take such action as will require the various departments and independent establishments of the Government, in connection with the performance of public works, to advertise separately, and contract separately, for the portions of the work which pertain to their respective specialties; and

"WHEREAS, this board has taken this question under careful advisement and has heard the arguments of the above-mentioned associations; of the representatives of the various departments and independent establishments of the government; and of numerous general contractors; and

"WHEREAS, in view of the evidence produced, taken together with the experience of competent government officials familiar with construction work, the board believes that the granting of this request of the associations above-mentioned would—

"(a) Unduly restrict the freedom of action of the heads of departments;

"(b) Be of doubtful value from the standpoint of actual economy in many,

if not in the majority, cases;

"(c) Result in placing responsibilities and duties upon supervising government officials which they are not always in a position to satisfactorily perform;

"(d) Take away from the Government any advantage which it might otherwise secure from the utilization of a general contractors' organization and powers of properly timing and co-ordinating the various parts of the work; and

"(e) Tend to delay the performance, give rise to claims for delays of one contractor by another, and create difficulties which are largely avoided when the work is performed under one contract. Therefore be it

*Resolved*, That it is the opinion of the board that it is to the interest of the United States that no action be taken which would place any restriction upon the authority of the heads of departments or independent establishments to exercise discretion as to the manner of awarding contracts or sub-dividing the work to be done; be it further

*Resolved*, That the question of the advisability of sub-dividing contracts in specific cases be called to the attention of contracting offices in the manual of instructions now being prepared by the Board."

F. L. Cranford, Brooklyn, N. Y., President of the Associated General Contractors of America, commenting upon adoption of the resolution, said:

It is almost axiomatic that states, cities

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and counties should turn to the Federal Government in determining their practices with respect to contract forms and practices in construction. Certainly if the Federal Government could establish fundamental laws and under these laws acceptable standard contracts and practices, in due course of time the way could be appointed for other governmental agencies to do likewise.

If we assume that there had been no national organization of general contractors to present the matter of separate contracts for mechanical equipment of buildings is it not conceivable that the Joint Committee of Master Plumbers, heating and piping contractors and electrical contractors would have fastened on the Federal Government a practice which some of the states unfortunately, have written into their laws? Should this practice become general in all of our governmental agencies, is it not logical to assume that other sub-trades would follow in its wake and gradually the business of general contracting be legislated out of existence? Is it not plain that the general contractors who work far from the metropolitan centers and in small towns, or even in the country, are virtually affected by such procedure as this?—*Associated General Contractors of America.*

#### TO CO-ORDINATE BUILDING MAINTENANCE WITH NEW CONSTRUCTION WORK

*Philadelphia Building Owners and Managers' Association So Decides*

The Philadelphia Building Congress was the first organization of its kind to officially appoint a Committee on the Co-ordination of Maintenance and Repairs with new Construction Work.

D. Knickerbacker Boyd, Architect, Chairman of this Committee was recently in Portland, Oregon, while on a trip to the Pacific Coast as Executive Vice President of the American Construction Council to organize local Congresses in co-operation with the industrial Relations Committee of the American Institute of Architects.

He addressed the members of the Oregon Association of Building and Construction and explained the activities of the Philadelphia Committee. These are "to secure the co-operation of the owners, managers and occupants in making a survey of the maintenance and repair requirements of buildings and structures in Philadelphia and vicinity, including Federal, State and Municipal Works, to compile and classify such data and to make studies to determine the periods when labor on new construction work is least employed so that in every way possible maintenance work and alterations in existing structures may be done at such times as conflict least

with new construction requirements and make for greater continuity of employment."

So impressed were leading members, who were present, of the Portland Association of Building Owners and Managers with the economic and social advantages of such a procedure that the Association officially decided to defer all usual spring and summer maintenance and repairs possible, especially indoor work, because a brief survey disclosed that much of such work frequently crowded into the summer months could be done just as easily and efficiently during slack winter periods.

The Boston Building Congress and then the New York Congress, which last month increased its membership over one thousand in a week, have been making similar recommendations. Now, however, comes official action by the Building Owners' and Managers' Association of Philadelphia, which after conferring with the Philadelphia Building Congress has taken this formal action:

"Resolved that the Board of Directors of the Building Owners' and Managers' Association of Philadelphia recommend to all members and to all owners and managers of large buildings in the city of Philadelphia that they defer such of their maintenance and repair work as can be conveniently postponed until such periods during the coming winter as there might be a lull, or easing-off of conditions, in the building and construction industry.

This action is being taken to help reduce the unemployment problem when winter comes again. 'Seasonal employment' is recognized as one of the evils in the labor situation. Large numbers of men, by the nature of their profession or trade, are employed only a part of the year.

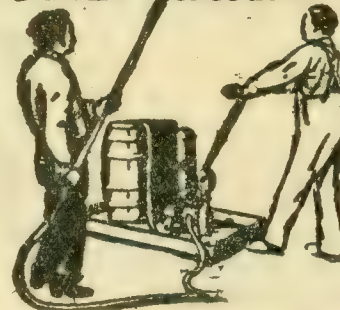
A brief survey has disclosed that much repair work, now crowded in the summer months, could be done just as easily and perhaps more efficiently during the slack winter periods."

Mr. George E. Melloy, 929 Chestnut Street, is President of the Building Owners' and Managers' Association of Philadelphia. Frank C. Stiefel, Curtis Publishing Company, Secretary, and Thomas F. Egan, Jr., 929 Chestnut Street, Executive Secretary.

The Philadelphia Building Congress is now recommending to the National Association of Building Owners and Managers that it takes up at its forthcoming Annual Convention in Colorado Springs, beginning on June 23rd, the important subject of having its local Associations throughout the country co-operate with local Building Congresses as has

(Continued on Page 415)

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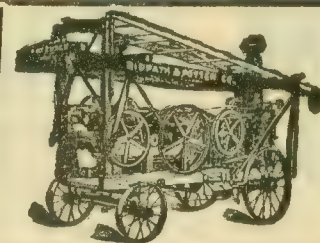
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CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Acid Building**, Greenwich Pier, Philadelphia. Owners, Pennsylvania Salt Co., Widener Building, Philadelphia. Asbestos covered metal walls, rp. tp. 50 feet high, 100x200 feet, concrete floors, wood sash, wood under slag roof. Owners are subletting and will build.

**Alterations and Additions**, 6811 Germantown avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Andrew Knopf, on premises. Slate and iron work, cut stone and brick work, slag roof, plastering, hardware, painting, electric work, plumbing, plate glass, stucco work. Architect taking bids due June 26th.

**Alterations (front)**, 1415 Locust street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, William Goldstein, on premises. Stucco work, Spanish tile roof, ornamental ironwork, electric work, carpentry and mill work. Architect taking bids due June 26th.

**Schools**, various locations, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut streets, Philadelphia. General repairs, heating, electric light, painting inside and outside, sanitary improvements, forced draft equipment, repairs to cement pavement, installation of water mains and fire hose, construction of new cases, new weather stripping. School, Nineteenth and Wharton streets. School (add.), Thirty-fifth and Fairmount avenue, Philadelphia. Owners taking bids due July 3rd, 11 A. M. (Standard Time).

**Alterations**, City Hall, Philadelphia. City architect, J. Molitor, 1315 Walnut street, Philadelphia. Owners, Department of Public Works, Bureau of City Property, City Hall. No. 1, Rooms 666-669-671A-675 City Hall, ventilating alterations and general construction. No. 2, Rooms 600-603, City Hall, ventilating equipment and general construction for the Law Library Association. Owners taking bids due July 2nd, 11 A. M. (Standard Time).

**Miscellaneous Work**, Philadelphia. Owners, Bureau of City Property, City Hall. No. 3, flag pole in Vernon Park. No. 4, repairing, refinishing and rehanging picture frames for oil portraits at Independence Hall. No. 5, railing surrounding War Memorial in Gorgas Park, Twenty-first Ward. Plans for No. 3-No. 4 may be obtained from Room 117, City Hall. Plans for No. 5 may be obtained from Room 117. Deposit, \$5. Owners taking bids due July 2nd, 11 A. M. (Standard Time).

**Residences (6)**, Seventieth and Saybrook avenue, Philadelphia, \$28,800. Architect, private plans. Owner, Walter Z. Jacoby, 1744 North Redfield street, Philadelphia. Brick, 2 stories, (1) 15x38 feet, (5) 14x29 feet, 11x9 feet, hot water heat, electric light. Owner will build.

**Residence**, 452 Harmon Road, Philadelphia, \$10,000. Architect, private plans. Owner, George F. Faustman, Jr., Harmon Road, Philadelphia. Frame, 2 stories, 24x28 feet,

shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Adam Wilkinson, Harmon Road, Philadelphia.

**Office (alts.)**, 1828 Diamond street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. W. J. Felsburg, Jr., 1828 Diamond street, Philadelphia. Stone and brick, 3 stories, mill work, electric light, plumbing, new partitions. Plans in progress.

**Store and Dwelling**, Southwest Corner Eighty-second and Crothers avenue, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, R. Franchetti, on premises. Tapestry brick, 2 stories, 19x60 feet, slag roof, pine floors, electric light, cement work, plumbing, plate glass, flush bulks. Plans in progress.

**Store and Dwelling**, Peach and Warrington avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, W. S. Buchanan, on premises. Brick, new third floor, 16x34 feet, slag roof, hardwood floors, plumbing, hot water heat, electric lighting. Plans about completed. Architect will be ready for general bids in a few days.

**Buildings (2)**, 609-11 South Eighth street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, P. Aguruso, Southeast Corner Eighth and South streets, Philadelphia. Tapestry brick, 3 stories, 28x32 feet, electric light, slag roof, pine floors, plumbing, plate glass, ornamental iron work, flush bulks, marble and red tile work. Plans about completed. Architect and owner will take bids in a few days.

**Store and Apartments (alts. and add.)**, 4070 Lancaster avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. H. Waldow, Widener Building, Philadelphia. Brick, 1 story, 9x13 feet, slag, tile roof, mineral stucco, plate glass, metal bulks, tile and marble work, steam heat, electric light. Architect ready for general bids in a few days.

**Stores and Apartments**, Lincoln Drive and Mt. Pleasant avenue, Philadelphia. Architect, Abraham Levy, Real Estate Trust Building,

Philadelphia. Owner, care of Samuel Levin, 1631 South Fifth street, Philadelphia. Brick, terra cotta, 2 stories, 20x87 feet, slag roof, hardwood floors, hot water heat, electric light, tile and marble work, hollow metal skylights, flush bulks. Plans completed. Owner will build.

**Cafe (alts.)**, 311 South Broad street, Philadelphia. Architect, Abraham Levy, Real Estate Trust Building, Philadelphia. Owner, name withheld. Terra cotta front, heating, tile and marble work, hardwood floors, painting, decorating, kitchen equipment, plumbing. Architect ready for sub-bids in ten days.

**Store and Office**, Southeast Corner Broad and Spruce streets, Philadelphia. Architect, Abraham Levy, Real Estate Trust Building, Philadelphia. Owner, Bernard Cohen, 225 South Broad street, Philadelphia. Limestone, brick, steel, 3 stories, 95x98 feet, slag roof, maple floors, elevators, tile and marble work, copper bulks, vapor heat, electric light. Architect will take sub-bids in a week.

**Stores and Offices (6)**, Southeast Corner Twentieth and Market streets, Philadelphia. Architect, Abraham Levy, Real Estate Trust Building, Philadelphia. Owner, name withheld. Limestone brick, 2 stories, 20x60 feet each, slag roof, maple floors, steam or gas radiator heat, electric light, marble work, hollow metal sash, copper bulks, plumbing. Owner ready for sub-bids.

**Residence (alts. and add.)**, Villa Nova, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, Frederick Phillips, on premises. Stone, 2½ stories. Plans about completed. Architect will take bids in a week.

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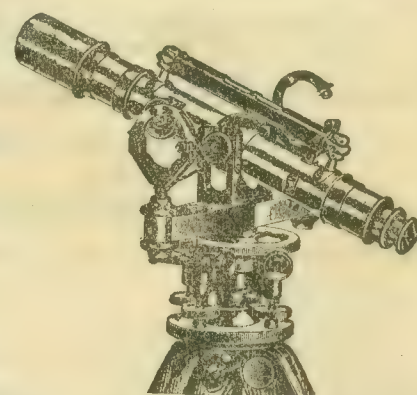
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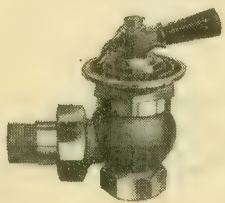
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**Juste Memorial and Superintendent's Cottage, Mt. Airy, Pa.** Architect, Herman Miller, 1420 Chestnut street, Philadelphia. Owners, Lutheran Orphans' Home and Asylum for the Aged, Mt. Airy. Stone, brick, steel, 2½ stories, 50x31 feet, shingle roof, pine and oak floors, hollow tile, hot water heat, electric light, tile work, ornamental iron work. Architect taking bids due July 1st.

**Store (alts.),** 527 South street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Mrs. Lena Baum, 2010 Diamond street, Philadelphia. Brick, cut stone, 3 stories and basement, 20x87 feet, slag roof, oak and stedman floors, metal lath, tile and marble work, rolling steel sash, galvanized iron skylights, bond, metal bulks, ornamental iron work, metal ceiling, shoring, waterproofing. Architect taking bids due June 27th at 11 A. M.

**Alterations and Additions, Northeast Corner Twelfth and Poplar streets, Philadelphia.** Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, Benjamin Kingsdorf, on premises. Brick, steel, 3 stories, 18x10 feet, slag roof, pine and oak floors, painting and glazing, tile and marble work, bond, metal bulks, ornamental iron work, shoring. Architect taking bids due June 30th.

**Alterations and Addition, 2258 North Broad street, Philadelphia.** Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, W. Harry Garrett, Penfield Building, Philadelphia. Bond, masonry work, carpentry and mill work, steel and iron work, cut stone and brick, repairs to roof, hardware, plastering, metal lath, electric work, painting and plumbing (heating reserved). Architect taking bids due June 26th.

**Bank Building (alts.),** 18-22 South Fifteenth street, Philadelphia. Architects, Frank E. Hahn and B. Boylinson, 1122 Chestnut street, Philadelphia. Owners, People's Bank & Trust Co., Twelfth and Arch streets, Philadelphia. Brick, cut stone, plastering, marble work, ornamental iron work, carpentry and mill work, painting and glazing, ornamental bronze work, hardware, electric work (lighting fixtures and Stedman floors reserved). Architects taking bids due June 26th.

**Tacony Central Office Building, East side Torresdale, South of Disston.** Architect, Eugene A. Stopper, 10 South Eighteenth street, Philadelphia. Owner, P. B. Costello, Torresdale avenue, Philadelphia. Lessee, Bell Telephone Co. of Pennsylvania, Seventeenth and Parkway, Philadelphia. Reinforced concrete brick, cut stone, steel, 3 stories and basement, 37x76 feet, slag roof, cement and pine floors, hollow tile, shoring ornamental terra cotta bond, kalamein doors, metal lath, steam heat, electric light. Architect taking bids due June 27th.

**Subway, Philadelphia.** Architect, private plans. Owners, City of Philadelphia, Department of City Transit, 1211 Chestnut street, Philadelphia. Contract 105, Stiles to Clearfield street, 10,131 feet long, (3) Stations, Columbia avenue, Dauphin, Lehigh avenue. Contract 105A, Stiles to Dauphin street, 5,649 feet long, (2) Stations, Columbia avenue and Dauphin Station. Contract 105A, Dauphin to Clearfield, 4,482 feet long, (1) Station, Lehigh Avenue Station. Four-track subway, reinforced concrete, brick, stone, steel, concrete floor, hollow tile concrete stairs, underpinning and shoring, waterproofing, ornamental iron work, bond, metal lath, steel piles, excavation, painting and glazing, terra cotta ducts, granolithic finish. Owners taking bids due July 15th, 11 A. M. (Standard Time).

**Residences (2), Kent Road and Bala avenue, Philadelphia.** Architects, H. E. Kennedy and N. R. Dalton, 1324 Walnut street, Philadelphia. Owner, Harry A. Stuebig, Jr., 5544 Girard avenue, Philadelphia. Stone, brick, 2½ stories, slate roof, oak and pine floors, painting and glazing, metal weather strip, bond, ornamental iron work, tile and marble work, electric light. Architects taking sub-bids and general bids.

**Miscellaneous Repairs and Interior Painting, United States Post Office "C" and Court House, Offices, Ninth and Market streets, Philadelphia.** Architect, private plans. Owners, United States Government, B. D. McCaughn, Custodian on Site. Owners taking bids due June 26th, 2 P. M. (Standard Time). Drawings and specifications may be obtained by applying to Custodian of Site.

**Custom House (alts.), Fifth and Chestnut streets, Philadelphia.** Supervising architect, James A. Wetmore, Washington, D. C. Owners, United States Government, care of A. Lincoln Acker, Custodian on Site. Owners taking bids due July 9th. Plans may be secured from the Custodian on Site.

**Post Office Station "D" (alts. and add.), Northeast Corner Eighteenth and Christian streets.** Architect, private plans. Owners, Estate of Franklin Evans, Mr. Howell, Girard Trust Co., Broad and Chestnut streets, Philadelphia. New entrances, heating repairs, electric work, plumbing, carpentry and mill work. Owners taking bids due as soon as possible.

**Miscellaneous Work, Philadelphia.** Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Owners taking bids due July 2nd, 11 A. M. (Standard Time). Sewage treatment project Outfall Pier at Northeast Sewerage Works, Wheatshaf Lane at Delaware River. Contract No. 1, pier bulkhead and out face. No. 2, mechanical installation. No. 3, electrical installation. No. 4, plumb-

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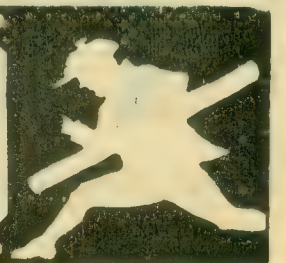


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ing installation. No. 5, heating installation. Certified check of 5 per cent. of bid must accompany each bid. Inquire 416 Room.

**Store and Dwelling (alts. and add.),** Southeast Corner Juniper and Race streets, Philadelphia. Architect, Abraham Levy, Real Estate Trust Building, Philadelphia. Owner, Henry Miller, on premises. Brick, 3 stories, 30x16 feet, slag roof, pine and composition floors, plumbing, metal ceilings, flush bulks, tile and marble work, metal lath, hot water heat. Owner taking general bids.

**Garage (alts.)** Northwest Corner Vernon Road and Sprague street, \$2,500. Architect, private plans. Owner, Elwood Wentz, on premises. General alterations. Owner will build.

**Sewers, etc.,** Philadelphia. Owners, Department of Public Works, Bureau of Survey, 216 City Hall. Main sewer on "J" street; low bidder, Joseph Lombardi, 1637 South Broad street, Philadelphia, \$143,203. Main sewer in Tyson street, et al.; low bidder, Peter & A. J. Ellis, 3342 North Eleventh street, Philadelphia, \$71,667.70. Main sewer in Benner street; low bidder, Peter & A. J. Ellis, 3342 North Eleventh street, Philadelphia, \$77,828. Main sewer in Cranford street; low bidder, Peter & A. J. Ellis, 3342 North Eleventh street, Philadelphia, \$162,963.60. Electric testing instruments; low bidder, H. C. Roberts Electric Supply Co., Eleventh and Race streets, Philadelphia, \$845. Sedimentation unites, Northeast Sewage Treatment Works: Item 1, construction and erection complete; low bid, Roberts Filter Mfg. Co., Darby, Pa., \$74,450. Item 2, furnishing electrical equipment; low bid, Roberts Filter Mfg. Co., Darby, Pa., \$2,350. Item 3, furnishing testing plumbing equipment; low bid, Roberts Filter Mfg. Co., Darby, Pa., \$1,000. Item 4, furnishing heating equipment; low bid, Roberts Filter Mfg. Co., Darby, Pa., \$1,000.

**Rebuilding Bulkhead,** Bridge street, Delaware River. Architect, private plans. Owners, Department of Wharves, Docks and Ferries, Pier No. 4, South Wharves. Low bidder, Latta & Roberts, Drexel Building, Philadelphia, \$4,266.

**Shop,** West side Eleventh street, South of Goodman street, Philadelphia, \$5,000. Architects, William F. Koelle & Co., 2601 Oxford street, Philadelphia. Owners, Breyer Ice Cream Co., 3325 Old York Road, Philadelphia. Brick, 1 story, irregular shape, slag roof, electric light. Architects will build.

**Garage,** 2908 East Bristol street, Philadelphia, \$4,900. Architect, private plans. Owner, G. T. Rearden, 2922 East Bristol street, Philadelphia. Brick, 1 story, 32x120 feet, slag roof, cement floors, electric light. Owner will build.

**Storage,** 2820 North Twenty-first street, Philadelphia, \$4,000. Owners, S. Mark Const.

Co., 2620 North Twenty-first street, Philadelphia. Brick, 1 story, 41 feet, 8 inches x 91 feet. Owners will build.

**Residences (8),** Fifty-second and Overbrook avenue, Philadelphia. **Garages (8),** total \$184,000. Architect, private plans. Owners, Rose Const. Co., 1303 North American Building, Philadelphia. Stone and brick, 3 stories, 22x21 feet, and 2 stories, 32x20 feet, garages, 1 story, 20x20 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Residences (12),** Wyoming, Whitaker and Tampa streets, \$73,000. Architect, private plans. Owner, Charles Finkelstein, 725 Roosevelt Boulevard, Philadelphia. Brick, 2 stories, 16x31 feet, 13x18 feet and 15x36x51 feet, and 3 stories, 22x31 feet, 17x19 feet, hot water heat, electric light, tile work, hardwood and pine floors. Owner will build.

**Garage,** Northwest Corner Twenty-sixth and Willard streets, Philadelphia, \$22,000. Architect, private plans. Owner, B. W. Glover, 3300 Chestnut street, Philadelphia. Brick, 1 story, 50x220 feet, slag roof, cement floors, electric lighting. Owner will build.

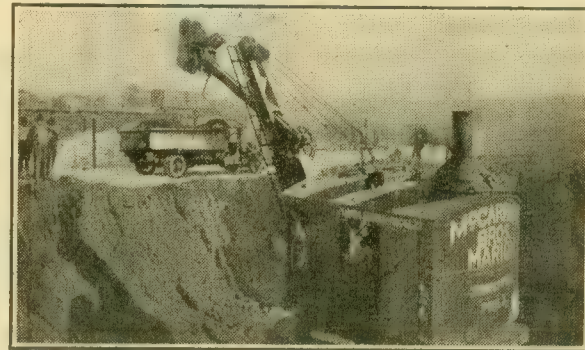
**Garage,** East side Seventy-second street, South of Elmwood avenue, Philadelphia, \$10,000. Architect, private plans. Owner, Thomas M. Cockerill, St. James Place and Paschall avenue. Brick, 1 story, 32x128 feet, sag roof, cement floors. Owner will build.

**Residences (2),** 3920-22 Richmond street, Philadelphia, total \$9,300. Architect, private plans. Owner, W. W. Smith, 3902 Richmond street, Philadelphia. Brick, 2 stories, 16x27 feet, 12x10 feet, hot air heat, electric light. Owner will build.

**Residences (11),** East side Sixteenth street, North of Sixty-seventh avenue, \$6,500 each. Architect, private plans. Owner, Frank Kaiser, 1517 South Sixth street, Philadelphia. Brick, 2 stories, 14x18 feet, 18x25 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residence,** Southwest Corner Hoffnagle and Ferndale streets, Philadelphia, \$3,500. Architect, private plans. Owner, Harry Dittus, 430 Rhaun street, Philadelphia. Frame, 1 story, 20x33 feet, hot air heat, electric light, shingle roof, hardwood and pine floors. Owner will build.

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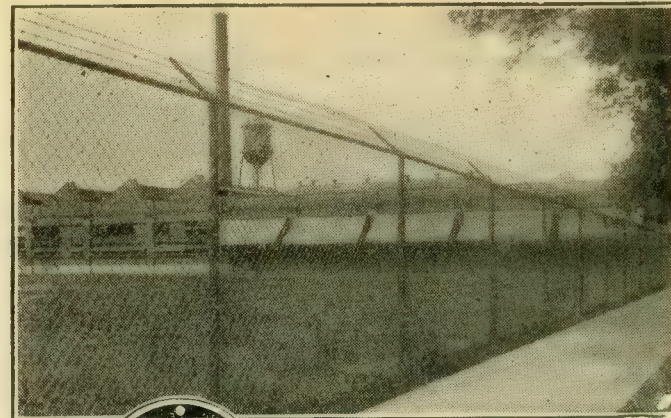
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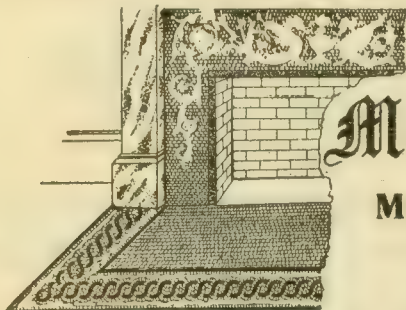
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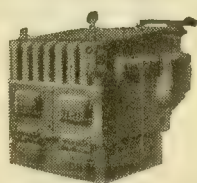
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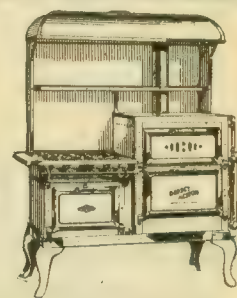
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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Group of Buildings**, Twentieth and Johnston street, Philadelphia, \$550,000. Architect, private plans. Owners, Philadelphia Rapid Transit Company, Construction Department, Eighth and Dauphin. Superstructure of: Office building, 2 stories, 130x65 feet, shop and inspection building, 1 story, 352x110 feet, sand handling buildings, 42x20 feet, wing 290x12 feet, trackless trolley building, 1 story, 164x80 feet, brick, steel, reinforced concrete, cut stone, slag roof, cement and linoleum floors, hollow tile, safety treads, roof ventilators, architectural terra cotta, ornamental iron work, iron stairs, floor hardener, bond, kalamein doors, fire and rolling steel doors, rolling steel sash and skylights, marble and terrazzo work, metal lath. Contract awarded H. E. Baton, 1713 Sansom street, Philadelphia.

**Manufacturing Building**, Marshall street, between Oakdale and Harold streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Hardwick & Magee, 1220 Market street, Philadelphia. Brick, cut stone, reinforced concrete, 4 stories and basement, 266x94 feet, slag roof, cement floors, safety treads, roof ventilators, ornamental iron work, waterproofing, ornamental terra cotta, floor hardener, tin-clad, kalamein and hollow

metal doors, sheet metal skylights, rolling steel sash, metal lath. Contract awarded Barclay White Co., 1713 Sansom street, Philadelphia.

**Mill Building**, Nineteenth and Hunting Park avenue, Philadelphia, \$28,900. Architect, C. E. Wunder, 1520 Locust street, Philadelphia. Owners, Wakefield Knitting Mills, on premises. Brick and steel, 2 stories and basement, 142x42 feet, slag roof, cement and maple floors, rolling steel sash, galvanized iron skylights, rolling steel doors, Hard-N-Type floors, floor hardener, ornamental terra cotta, ornamental iron work (plumbing, heating, electric and elevators reserved). Contract awarded to Harry Gill, Jr., 2515 Germantown avenue, Philadelphia.

**Mechanical School (alts. and add.)**, Girard College, Corinthian and Girard avenues, Philadelphia, \$375,000. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Board of Directors, City Trust Girard College, W. L. Nevin, Esq., on premises. Brick, cut stone, steel, granite, 1 story and basement 159x152 feet, slag roof, cement floors, plumbing, rolling steel doors and sash, tile and marble work, electric light. Contract awarded E. H. Keefer & Son, 1321 Rodman street, Philadelphia.

Stores (2), 1731-33 Chestnut street, Philadelphia.

**delphia. Engineer**, William H. Gravel, Otis Building, Philadelphia. Owner, name withheld. Brick, concrete, 2 stories and basement, 40x115 feet, slag roof, pine floors, painting and glazing, steam heat, electric light, metal lath, tile and marble work, kalamein doors. Contract awarded John Schnabel Inc., Denckla Building, Philadelphia.

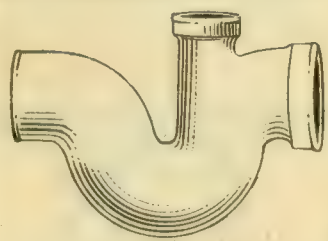
**Church (alts. and add.)**, Fifty-eighth and Thompson streets, Philadelphia, \$35,000. Architect, private plans. Owners, Weston Memorial Baptist Church, on premises. Brick, cut stone, cast stone, steel, 1 story, 46x75 feet, Barrett's Specification roof, pine floors, steam heat, electric light, metal lath, ornamental iron work. Contract awarded to James B. White & Baker, Kirkwood, N. J.

**Alteration and Addition**, 2606 Columbia avenue, Philadelphia. Architect, Leo J. Malatesta, 1919 North Sixty-first street, Philadelphia. Owner, N. L. Collins, on premises. Stone, granite, brick, steel, 3 stories, hot water heat, slag roof, electric light, tile and marble work, ornamental iron work, mineral and pine floors, plumbing, plastering, carpentry and mill work, painting and glazing, shoring. Contract awarded to J. N. Gill Const. Co., City Center Building, Philadelphia.

**Residence and Garage**, Montgomery avenue, Chestnut Hill, Pa. Architects, Willing, Sims & Talbutt, 126 South Eighteenth street, Philadelphia. Owner, Jay Cooke, Esq., care of architect. Brick, stone, cut stone, 2½ stories, 64x65 feet, wing 81x23 feet, slate roof, oak and pine floors, tile and marble work, bond, ornamental iron work, waterproofing. Contract awarded J. S. Cornell & Son, Morris Building, Philadelphia.

**Warehouse (add.)**, Unity and Griscom streets, Philadelphia. Architect, W. E. S. Dyer, Land Title Building, Philadelphia. Owners, Frankford Grocery Co., on premises. Reinforced concrete brick, steel, 4 stories, 64x84 feet, slag roof, bond, cement floors, ornamental terra cotta, floor hardener, fire doors, rolling steel sash and doors. Contract awarded Frank G. English & Son, 1610 North Carlisle street, Philadelphia.

**Factory**, 3608-12 Warren street, Philadelphia, \$30,000. Architect, private plans. Owners, Hoefflich Printing House, on premises. Brick, 2 stories, 50x80 feet, slag roof, cement and maple floors, elevators, ornamental iron



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work, galvanized iron skylights, rolling steel sash, metal lath, electric light, steam heat. Contract awarded F. B. Davis & Son, Inc., 240 North Sixteenth street, Philadelphia, who are taking sub-bids.

**Contract No. 15**, completion of Anchorages, Delaware River Bridge. Owners, Delaware River Bridge Joint Commission, Engineering Department, Ralph Modjeski, Widener Building, Philadelphia. Eight cylindrical piers to support masonry towers of the anchorages. Construction of concrete masonry, granite facing, steel roadway, supports and interior finish and equipment in both anchorages, reinforced concrete, reinforced steel, granite, structural steel, waterproofing, brick work, metal sash, hollow metal doors, copper roofs, skylights, (3) elevators, plumbing, electric work. Contract awarded to Keystone State Const. Co., 210 South Thirteenth street, Philadelphia, \$2,977,450.

**Residence and Store (alts. and add.)**, Green and Rittenhouse streets, Philadelphia. Architects, Gleason, Mulrooney & Burke, 404 North Broad street, Philadelphia. Owner, Irvin King, 132 South Fourth street, Philadelphia. Stone, concrete, brick and steel, stucco, 45x20 feet, slate roof (plumbing, heating and electric, stone foundations reserved), metal lath, floor hardener, waterproofing, shoring, painting and glazing, oak, pine and cement floors. Contract awarded Joseph C. Wallace, 4146 Westminster avenue, Philadelphia.

**Alterations and Additions**, 6312 North Park avenue, Philadelphia, \$8,000. Architect, private plans. Owner, P. Oliver Derr, on premises. Interior alterations and addition of 2 stories, 12x18 feet, mill work, carpentry, hardwood floors, roofing, electric work, porch enclosure, glazing, stair work and pine floors. Contract awarded Albert Dunlap, 7223 Oak avenue, Philadelphia.

**Temple**, Seventeenth and Summer streets, Philadelphia, \$35,000. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owners, Order of the Eastern Star Temple, F. Boyer, 1610 Diamond street. Metal lath, bond, oak floors, carpentry and mill work, roof ventilators, cement work, brick, cut stone, steel sash, composition floors, iron work, plastering, tile, marble, mosaic work, painting and glazing, plumbing (steam heat alterations), electric work. Contract awarded

W. Edward Pierce, 328 South Juniper street, Philadelphia.

**Garage (alts.)**, Sixty-third and Lancaster avenue, Philadelphia, \$1,400. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owner, J. McGuirk, on premises. Cement work, carpentry and mill work. Contract awarded J. T. Murphy, 1712 North Second street, Philadelphia.

**Garages (2)**, West side A street, North of Tioga street, total \$10,000. Architect, private plans. Owner, F. J. Schaeffer, 3600 North Water street, Philadelphia. Brick, 1 story, 16x144 feet and 32x134 feet, cement floors. Contract awarded to Tony Olivier, 1578 Adams avenue, Philadelphia.

**Greenhouse**, Southwest Corner Rex and Seminole avenues, Philadelphia, \$8,000. Architect, private plans. Owner, Thomas Gates, on premises. Stone and glass, 2 stories, 18x18 feet, and 1 story, 18x64 feet. Contract awarded to William H. Lutton Co., Jersey City, N. J.

**Residences (2)**, West side Rockwell avenue, South of Bleigh street, \$5,000 each. Architect, private plans. Owner, Joseph Hearn, 5136 Akron street, Philadelphia. Brick, 2 stories, 14x38 feet, hot water heat, electric light. Contract awarded to Bowker & Dash, 110 Ryers avenue, Cheltenham, Pa.

**Residence (add.)**, 5006 Spruce street, Philadelphia, \$4,000. Architect, private plans. Owner, F. A. Faught, on premises. Brick, 1 story add., 16x14 feet. Contract awarded to Frank R. Shriver, Sixty-first and Catharine streets.

**Store and Residence (add.)**, 4154 Lancaster avenue, \$3,000. Architect, private plans. Owner, Philip Heller, on premises. Brick, 2

stories, 14x22 feet. Contract awarded to David Reswick, 1710 North Lindenwood street, Philadelphia.

**Bins (5)**, East side Seventh street, South of Lindley avenue, \$20,000. Architect, private plans. Owners, Charles Hemberger & Brother, 4429 North Eighteenth street, Philadelphia. Concrete. Contract awarded to Spencer Const. Co., Baltimore, Md.

**Garage (add.)**, 5524 Pine street, Philadelphia, \$12,500. Architect, private plans. Owners, Rudley Brothers, on premises. Brick, second story add., 62x80 feet. Contract awarded to J. H. Hutt, 5919 Spruce street, Philadelphia.

**Delaware River Bridge**, Contract No. 16, Philadelphia Sewers, Philadelphia. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract awarded Lombardi Co., Lincoln Building, Philadelphia, \$173,464.25.

**Residences (2)**, Northeast and Northwest Corners Penn and Henry streets, \$15,000 each. Architect, private plans. Owner, Paul J. Quinn, Midvale avenue, Philadelphia. Stone, 3 stories, 45x22 feet, hot water heat, electric light. Contract awarded to Merion Const. Co., Ardmore, Pa.

**Florist Shop (alts. and add.)**, 112 South Twelfth street, \$8,500. Owner, H. H. Battles, on premises. Brick, 2 stories, 11x33 feet, general alterations. Contract awarded to Doyle & Co., 1519 Sansom street, Philadelphia.

**Store and Residence (add.)**, 1849 Germantown avenue, \$5,000. Architect, private plans. Owner, C. H. McBride, on premises. Brick, 2 stories add., 10x12 feet, 16x8 feet. Contract awarded to Samuel Rosen, 1317 South Fairhill street, Philadelphia.

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**Building (add.)**, 933 South Second street, Philadelphia, \$5,000. Architect, private plans. Owner, B. Goldstein, 935 South Second street, Philadelphia. Brick, 2 stories add., 17x71 feet, 6 inches. Contract awarded to Louis Lambkin, 108 South Ruby street, Philadelphia.

**Garage (alts.)**, 266 South Sixty-second street, Philadelphia, \$8,400. Architect, private plans. Owner, George Bingham, 6029 Walnut street, Philadelphia. General alterations. Contract awarded to Warren Brothers, 1113 Cherry street, Philadelphia.

**Residences (2)**, North side Longshore street, East of Frontenac, \$7,000 each. Architect, private plans. Owner, Charles C. Fischer, 4818 North Marvine street, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light. Contract awarded to Fischer & Scott, 4818 North Marvine street.

**Apartment (alts.)**, 2301 Delancy street, Philadelphia, \$2,500. Architect, private plans. Owner, Samuel Golder, 908 Finance Building, Philadelphia. General alterations. Contract awarded to Golder Const. Co., 263 South Fifteenth street.

**Residence and Store (alts. and add.)**, Southeast Corner Huntingdon and Lee streets, Philadelphia, \$3,500. Architect, private plans. Owner, Patrick McVeigh, 2400 West Norris street, Philadelphia. Brick, 2 stories, 14x7 feet, general alterations. Contract awarded to Thomas Reilly, 1616 Thompson street, Philadelphia.

**Office**, Northeast Corner Johnson street and Philadelphia & Reading Railroad, Philadelphia, \$3,000. Owners, Granville Slate Co., on premises. Stone, 1 story, 20x28 feet, slag roof, electric lighting. Contract awarded to A. Raymond Raff & Co., 1635 Thompson street.

**Residence**, 5831 North Camac street, Philadelphia, \$8,600. Architect, private plans. Owner, William Schaffner, 5932 North Camac street, Philadelphia. Brick, 3 stories, 26x31 feet, hot water heat, electric light. Contract awarded to William Keller, Ardsley, Pa.

**Residences (2)**, West side Oakley street, South of Longshore street, \$5,500 each. Architect, private plans. Owner, E. Chattick, 5432 North Eleventh street, Philadelphia. Frame, 2 stories, 16x18 feet, 20x16 feet, 1 story, 12x8 feet. Contract awarded to Hyman Korman, Oxford Pike and Levick street.

**Store and Storage (add.)**, 1170 South Ninth street, Philadelphia, \$2,000. Architect, private plans. Owner, Frank Liro, 937 Federal street, Philadelphia. Brick, 2 stories add., 10x8 feet. Contract awarded to Tony Cipriano, 2020 South Sixteenth street, Philadelphia.

**Store and Garage (add.)**, 5472 Baltimore avenue, \$3,500. Architect, private plans.

Owner, Charles O'Brien, 5401 Christian street, Philadelphia. Brick, 1 story, 24x50x6 feet, slag roof, cement and pine floors. Contract awarded to Daniel F. Wholey, 1100 West Indiana avenue.

**Residence (add.)**, 114 West Coulter street, Philadelphia, \$3,000. Owner, Edward M. Jones, on premises. Brick, second and third story adds., 16x13 feet. Contract awarded to John R. Wills, 601 Locust avenue, Philadelphia.

**Store and Residence (alts.)**, 121 South Twenty-second street, Philadelphia, \$2,500. Architect, private plans. Owner, Samuel Golder, 908 Finance Building, Philadelphia. General alterations. Contract awarded to Golder Const. Co., 263 South Fifteenth street, Philadelphia.

**Business Building (alts. and add.)**, Southwest Corner Carlisle and Federal streets, Philadelphia, \$2,500. Architect, private plans. Owner, William J. Toney, 1135 South Broad street, Philadelphia. Brick, 1 story add., 11x16 feet, general alterations. Contract awarded to N. Weiss, 719 West Huntingdon street, Philadelphia.

**Garage**, 5847 Woodbine avenue, Philadelphia, \$2,000. Architect, David J. Smyth, on premises. Stone, 1 story, 20x22 feet. Contract awarded to Dwyer & Co., 1519 Sansom street, Philadelphia.

**Residence and Garage (alts. and add.)**, 1823 Wallace street, \$4,000. Architect, private plans. Owner, G. Britton Massey, on premises. Brick, 1 story, 40x54 feet, slag roof, general alterations. Contract awarded to J. Jones Davies, 641 North Eighteenth street, Philadelphia.

**Store and Storage (add.)**, 1300 Wharton

street, Philadelphia, \$3,600. Architect, private plans. Owner, G. Franzini, Southeast Corner Reed and Clarion streets, Philadelphia. Brick, 3 stories add., 16x26 feet. Contract awarded to A. Sciamli, 1256 South Twenty-seventh street, Philadelphia.

**Building (alts. and add.)**, 1811 Spring Garden street, \$3,000. Architect, private plans. Owners, D. F. McAllister & Son, on premises. Brick, 1 story add., 4x60 feet, general alterations. Contract awarded to George Hill, Bywood, Delaware County, Pa.

**Rooming House (alts. and add.)**, 733 Corinthian avenue, \$2,800. Architect, private plans. Owner, William Bachman, on premises. Brick, 1 story add., 9x13 feet, general alterations. Contract awarded to J. Jones Davies, 641 North Eighteenth street, Philadelphia.

**Garage**, 2019 North Croskey street, Philadelphia, \$2,500. Architect, private plans. Owner, John Zerean, 3047 North Twenty-second street, Philadelphia. Brick, 1 story, 18x75 feet, slag roof, cement floors. Contract awarded to A. J. Makem, 201 Levering st., Philadelphia.

**Garage (add.)**, 2021 North Croskey street, Philadelphia, \$2,300. Architect, private plans. Owner, John Zerean, 3047 North Twenty-second street, Philadelphia. Brick, 1 story add., 18x60 feet, slag roof, cement floors. Contract awarded to A. J. Makem, 201 Levering st., Philadelphia.

**Manufacturing Building (alts.)**, Northeast Corner Hope and Clearfield streets, \$2,200. Architect, private plans. Owners, Franklin Process Co., on premises. General alterations. Contract awarded to John N. Gill Const. Co., 121 North Broad street.

## PENNSYLVANIA

# Construction News

**Mercy Hurst Group of Buildings**, Erie, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Sisters of Mercy, Erie, Pa. Architect taking revised bids due July 2nd at 10 A. M.

**Church (alts.)**, Williamstown, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, Sacred Heart Roman Catholic Church, Rev. J. F. Clark, on premises. Stone, new sanctuary and new sacristies (2). Architect will take bids from local bidders.

**East End Junior High School**, Lancaster, Pa. Architect, C. Emlen Urban, Lancaster, Pa. Owners, Lancaster City School District of Pennsylvania, J. H. Wickersham, presi-

dent, Lancaster, Pa. Stone, brick, limestone, cast stone, granite, steel, 3 stories and basement, 197x61 feet (plumbing, heating, electric separate)) Barrett Specification roof, cement and maple floors, hollow tile, metal lath, tile and marble work, bond, ornamental iron work and stairs, architectural terra cotta, waterproofing. Certified check of \$20,000 must accompany each bid. Owner taking bids due July 7th, 3.30 P. M.

**School**, Twelfth and Melrose streets, Chester, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, School Board of Chester County, George S. Mitchell, president, Larkins Building, Chester, Pa. Brick, fireproof, 2 stories and basement. Plans in progress.

**Residence**, Wynnewood, Pa. Architect, R. A. Kerns, Jr., 10 South Eighteenth street, Philadelphia. Owners, Wynnewood Realty Co., care of architect. Brick, hollow tile and stucco, 2½ stories, 80x20 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residences (6)**, Sharon Hill, Pa. Architect, Eugene Stopper, 10 South Eighteenth street, Philadelphia. Owner, John Connell, Liberty Building, Philadelphia. Frame and stucco, 2½ stories, 16x44 feet. Plans about to be started. Too early for details.

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**Church and Sunday School**, Allentown, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. Peter's Lutheran Church, Rev. R. H. Ischinger, Allentown, Pa. Brick, hollow tile. Preliminary plans in progress.

**Church and Sunday School**, Chester and Charlotte streets, Lancaster, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, First Church of God, F. C. Gates, secretary Building Committee, Lancaster, Pa. Preliminary plans in progress.

**Church**, Rockwood, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Reformed Church, care of Rev. H. L. Logsdon, Rockwood, Pa. Brick, hollow tile. Preliminary plans in progress.

**Residence**, Ambler, Pa. Architect, Joseph F. Lowery, Land Title Building, Philadelphia. Owner, H. Aigner, care of architect. Stone, 2½ stories. Plans in progress. Too early for details.

**Garage**, Wyncote, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owner, A. R. Nicholson, Wyncote, Pa. Brick or hollow tile and stucco, 1 story, 30x63x92 feet, slag roof, cement floors, hot water heat, electric light, rolling steel sash, hollow metal skylights. Owner will build.

**Garage and Showroom (alts. and add.)**, Quarry street and Chester Pike, Darby. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Warren Snell, on premises. Brick, concrete, 2 stories add., 54x88 feet, present building, 40x145 feet, slag roof, maple floors, elevator, fire doors, hollow metal skylights, rolled steel sash, new steam heat, electric light. Plans about completed. Owner ready to take sub-bids in a few days.

**School (alts. and add.)**, Roseville, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Warwick Township School Board, Dr. Walters, Roseville, Pa. Brick, 1 story, 50x60 feet, slag roof (plumbing, heating and electric work reserved), maple floors, safety treads, roof ventilators, dampproofing, rolled steel sash. Owners ready for bids due July 10th.

**Residence**, Elkins Park, Pa. Architect, Benjamin Franklin Betts, 335 South Eighteenth street, Philadelphia. Owner, Dr. J. Fred Herbert, Elkins Park, Pa. Stone, cut stone, steel, 2½ stories, 58x60 feet, slate roof, oak and pine floors, hot water heat, electric light, metal lath, tile, marble work, rolled steel sash, tin clad doors, bond, ornamental iron work. Architect taking bids due June 28th.

**Residence**, Merion, Pa. Architects, David Dunlap & Barney, 1805 Walnut street, Philadelphia. Owner, Jane Gilfillam, care of architects. Stone, cut stone, limestone, 2½ stories, 64x29 feet wing 29x22 feet, garage, 19x23 feet, slate roof, oak and pine floors, painting and glazing, dampproofing, ornamental iron work, hollow metal sash, tile and marble work, metal lath, electric work, hot water heat. Architects taking bids due July 1st.

**High School**, Port Allegheny, Pa. Architects, M. E. Kressley Co., 13 North Fourth street, Harrisburg, Pa. Owners, Port Allegheny School Board, L. C. Ratzer, secretary, Port Allegheny, Pa. Brick, steel, 2 stories, 200x80 feet, composition roof, concrete and pine floors, hollow tile, roof ventilators (heat-

ing, plumbing and electric work reserved), metal lath, fire doors, bond, iron stairs, ornamental iron work. Owners taking bids due July 14th.

**Residence and Garage (alts. and add.)**, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owner, J. Turner Moore, Colonial Trust Building, Reading, Pa. Stone and frame, 2 stories, 40x80 feet, slate roof, concrete and hardwood floors, electric lighting, general alterations. Architect taking bids due June 27th.

**Abington Friends' School**, Jenkintown, Abington Township, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Abington Friends' School, Jenkintown, Pa. Stone, frame, 1 story, 32x61 feet, tin roof, maple floors, painting and glazing (heating reserved), electric light, bond, ornamental iron work. Architects taking bids due June 26th.

**Rectory**, Mt. Union, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Catherine's Roman Catholic Church, Rev. John A. Herhoska, on premises. Brick, 3 stories, 26x30 feet (plumbing and heating reserved), shingle roof, pine floors, electric light, tile work. Architect taking bids due June 28th.

**Truesdale Twin Bridges**, over Brandywine Creek, between Delaware and Chester Counties, Pa. Engineers, R. J. Aydlotte, Media, Delaware County, Pa., and Harry K. Ellis, Phoenixville, Pa. Owners, County Commissioners of Delaware and Chester Counties, Media, Pa., and West Chester, Pa. Bridge (Delaware County), reinforced concrete, 6 barrel arch type, 550 feet long, 23 feet roadway between curbs. Bridge (Chester County), 6 steel girder (plate) type, structural steel and concrete, 550 feet long, 23 feet roadway between curbs. Owners taking bids on both types due July 7th at West Chester.

**Residence**, Ardmore, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, A. Wilson Moorhouse, care of architects. Architects taking bids due June 27th.

**School**, Newtown Square, Pa. Architects, R. Brognard Okie and D. Franklin Edmunds, 306 South Smedley street. Owners, School Board of Newtown Square, S. T. Campbell, Newtown Square, Pa. Low bidders: C. C. Eddleman, 1627 Sansom street, Philadelphia, \$57,100; Wills Bill Co., 1708 Sansom street, Phila., \$61,166. Plumbing, J. D. Rhoads, Newtown Square, Pa., \$3,975. Heating, Speare Co., 1823 Market street, Phila., \$4,995. Temperature, \$750. Electric, Merit Electric Co., 630 Race street, Philadelphia, \$680.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Low bidders on road work opened June 16th.

Lebanon County, R-376, West Cornwall and South Londonderry Townships, 14,864 feet. One course reinforced concrete. Swanger & White, Lebanon, Pa. \$155,753.40.

Chester County, R-215, New Garden and Kennett Townships, 19,613 feet. Either bi-

tuminous surface course, Spec. "E" or "D," on prepared broken stone base. Lincoln Const. Co., Strafford, Pa. \$44,672.

Montgomery County, R-158, Red Hill Borough, 6,966 feet. Either bituminous surface course, Spec. "E" or "D," on prepared broken stone base. Lincoln Const. Co., Strafford, Pa. \$16,714.40.

Beaver Co., R-204, Sec. 6, Chippewa Township, 3,491 feet. One course reinforced concrete. S. B. Markefy, New Brighton, Pa. \$41,486.15.

Bradford County, R-15-343-A-2336, 2340, Rome and Orwell Townships and Rome Borough, 23,715 feet. One course reinforced concrete. The Lane Const. Corp., Meriden, Conn. \$222,150.71.

Fayette County, R-117, Sec. 4, North Union Township, 8,339 feet. One course reinforced concrete. C. Russell McIntyre, Fairchance, Pa. \$85,852.35.

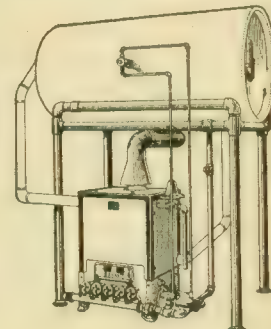
Allegheny County, R-288, A-568, Elizabeth Township, 11,000 feet. Either bituminous surface course, Spec. "E" or "D," on prepared broken stone base. Frazier & Mansfield, McKeesport, Pa. \$34,809.68.

Luzerne County, R-170, Fairview and Wright Townships, 22,300 feet. Either bituminous surface course, Spec. "E" or "D," on prepared broken stone base. The D. Grant Co., Inc., Oil City, Pa. \$55,750.

Warren County, A-1788, Freehold Town-

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ship, 5,118 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. E. M. Love & Son, Corry, Pa. \$47,976.30.

Bucks County, R-150, Bensalem and Bristol Townships, Bristol Township, 42,400 feet. One course reinforced concrete. Sutton & Corson Co., Ocean City, N. J. \$331,103.53.

Clarion County, A-2577, Sec. 2, Beaver Township, 10,572 feet. One course reinforced concrete and hillside vitrified brick. Standard Paving & Cont. Co., Chicago, Ill. \$98,330.25.

Westmoreland County, A-1824, Hempfield Township, 18,500 feet. Either bituminous surface course, Spec. "E" or "D," on prepared broken stone base. State Const. Co., New Kensington, Pa. \$42,755.70.

Low bidders on road work opened June 17, 1924:

Tioga County, R-102, Sec. 4, Shippen and Gaines Townships, 34,415 feet. One course reinforced concrete. David Schoentag, Saugerties, N. Y. \$405,613.

Lycoming County, R-355, A-1036, Sec. 2, Muncy Township, 5,867 feet. One course reinforced concrete. Continental Const. Co., Baltimore, Md. \$55,384.60.

Washington County, R-118, Fallowfield Township, 15,737 feet. One course reinforced concrete. H. P. Streicher Co., Inc., Toledo, Ohio. \$167,966.60.

Schuylkill-Carbon Counties, R-162, Coal Dale and Lansford Borough, 18,246 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Everton A. Corson, Ocean City, N. J. \$177,218.60.

Fayette County, R-247, Sec. 5, Dunbar Township, 10,855 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Georges Const. Co., Uniontown, Pa. \$81,200.30.

Monroe County, A-2734, Hamilton and Ross Townships, 14,732 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. The Juniata Co., Empire Building, Philadelphia. \$134,256.56.

Lycoming County, R-291, A-2207, Montoursville Borough, 6,531 feet. One course reinforced concrete. The Continental Co., Baltimore, Md. \$66,776.95.

Elk County, R-97, Sec. 4, Johnsonburg Borough, Ridgway Jones Township, 34,929 feet. One course reinforced concrete. Fred D. Ross, Bradford, Pa. \$440,479.27.

Columbia County, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. James Christiano, Shamokin, Pa. \$128,744.02.

Luzerne County, R-184, A-1219, Conyngham Borough, 6,598 feet. One course reinforced concrete. Freeland Const. Co., Hazleton, Pa. \$64,913.45.

Clearfield-Jefferson Counties, R-59, Sandy, Washington and Snyder Townships, 37,456 feet. One course reinforced concrete and 4-inch unbound macadam with oil treatment. Henry W. Horst Co., Rock Island, Ill. \$424,067.98.

Warren County, R-88, Freehold and Pittsfield Townships, 41,733 feet. One course reinforced concrete. J. C. Devine Co., Alliance, Ohio. \$401,242.79.

Schuylkill County, R-185, Rush and Klein Townships, McAdoo Borough, 24,468 feet. One course reinforced concrete. W. H. Murphy & Sons, Harrisburg, Pa. \$405,903.65.

Forest County, R-380, A-2685, Banks Township, 5,280 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Thomas W. Munro & Co., Dubois, Pa. \$41,647.15.

Tioga County, A-31, Jackson Township, 18,351 feet. Either bituminous surface course or one course reinforced concrete. R. D. Richardson Const. Co., Scranton, Pa. \$187,140.49.

## Pennsylvania Contracts Awarded

**Alterations and Addition**, Torresdale avenue, Torresdale, Pa. Architects, H. D. Dagit Sons Co., 34 South Seventeenth street, Philadelphia. Owners, St. Catherine Roman Catholic Church, Rev. J. E. Conkely, care of D. Cardinal Dougherty, Eighteenth and Race streets, Philadelphia. Bond, shoring, cement floors, carpentry and mill work, hardware. Contract awarded D. W. O'Dea, 420 Duncan non street, Philadelphia.

**Club**, Reading, Pa. Architects, High & Huber, 230 North Sixth street, Reading, Pa. Owners, Northeastern Republican Club, M. A. Laurel, Tenth and Walnut streets, Reading, Pa. Brick, steel, concrete, 2 stories and basement, 40x106 feet, Johns Mansville roof, hardwood and pine floors, hollow tile, safety treads, roof ventilators, steam heat, electric light, metal lath, tile work, rolled steel skylights, steel doors, ornamental iron work, architectural terra cotta. Contract awarded to H. J. Raudenbush, 1324 Perkiomen avenue, Reading, Pa.

**Shop Building**, Lancaster avenue and Lee avenue, Bryn Mawr, Pa. Architects, McIlvain & Roberts, Otis Building, Philadelphia. Owners, Le Boutellier & Dolan, on premises. Brick, stone, reinforced concrete, steel, 1 story, 50x84 feet, slag roof, cement floors, painting and glazing, shoring, bond, rolled steel sash, steam heat, electric light. Contract awarded H. G. Campion, Otis Building, Philadelphia.

**Residence**, Brookway avenue, Merion, Pa. Architects, Boyd, Abel & Gugert, Otis Building, Philadelphia. Owner, William F. Knatz, care of architect. Stone, 2½ stories, 55x55 feet (bond, heating, electric and plumbing reserved), slate roof, oak and pine floors, hollow metal sash, iron work. Contract awarded J. Cunningham, 6924 Market street, Philadelphia.

**Store and Apartment (alts. and add.)**, Norristown, Pa. Architect, H. G. McMurtrie, 1012 Walnut street, Philadelphia. Owner, Mrs. Rebecca Pagel, Norristown, Pa. Brick, 2 stories, 40x20 feet, tin roof, pine floors, lighting extension, plumbing, plate glass, tile and marble work, steam heat. Contract awarded Frank Schuler, Norristown, Pa.

**Church and Residence**, Chester, Pa. Architect, George Ewing, 34 South Seventeenth street, Philadelphia. Owner, First Italian Presbyterian Church, Chester, Pa. Stone, 1 story and basement, 24x65 feet, stone, 2 stories and basement, 15x48 feet, slate roof, maple floors, tile work, hollow metal sash, steam heat, electric light. Contract awarded John Mercadante, 303 West Seventh street, Chester, Pa.

**Hosiery Building**, Twelfth and Bern streets, Reading, Pa., \$70,000. Architect, private plans. Owners, Noe Equi Hosiery Co., on premises. Brick, steel, 3 stories, 45x145 feet. central steam heat, electric, slag roof, maple floors, elevator, rolled steel sash, fire door. Contract awarded Beling & Bush, Drexel Building, Philadelphia.

**Residence**, Wayne, Pa. Architects, De Armond, Ashmead & Bicklev, 22 South Fifteenth street, Philadelphia. Owner, E. W. Gardner, care of architect. Cinder block and stucco, 2½ stories, 42x35 feet, shingle roof, oak and pine floors, hot water heat, electric light. Contract awarded Hart & Parlamen, Devon, Pa.

**Store (alts. and add.)**, 662 Penn street, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owner, David A. Harris, on premises. Brick, concrete, 2 stories, 30x70 feet, composition roof and floors, elevators, steam heat, electric light, tile and

marble work. Contract awarded to Fink Const. Co., 658 Penn street, Reading, Pa.

**Church and Parsonage**, York, Pa. Architect, H. E. Yessler, Schmidt Building, York, Pa. Owners, Grace Methodist Episcopal Church, Rev. A. C. Shue, 611 West Philadelphia street, York, Pa. Stone, 1 and 2½ stories, slate roof, hardwood floors, steam heating, electric lighting. Contract awarded to Paul R. Hostetter Co., 31 West Philadelphia street, York, Pa.

**Nurses' Home and Sun Parlor**, Gettysburg, Pa. Architect, R. E. Stair, Guardian Trust Building, York, Pa. Owners, Anna M. Warner Hospital, S. C. Bingham, president, Board of Directors, Biglerville, Pa. Brick, 2 stories, 60x40 feet. Contract awarded to L. Sachs, Gettysburg, Pa.

**Garage**, Merion, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, Mr. Thomas Fisher, Merion, Pa. Contract awarded to Mowrer Brothers, Cynwyd, Pa.

**High School**, Lansdowne avenue, Upper Darby, Delaware County, Pa. Architect, H. W. Castor, Stephen Girard Building, Philadelphia. Owners, School District of Upper Darby, Delaware County, Pa. Contract awarded: D. A. McClelland Co., Drexel Building, Philadelphia, \$337,450. Heating, Bowers Brothers & Co., 2015 Sansom street, \$45,356. Plumbing, William Newell & Son, 1707 Sansom street, Philadelphia, \$25,378.

**Bridge**, J street, Phoenixville, Pa., \$279,899.50. Engineer, H. H. Quimby, 3920 Girard avenue, Philadelphia. Owners, Chester County, D. M. Golder, Controller, West Chester, Pa. Reinforced concrete and steel, 113 feet long, 35 feet wide span bridge, 55 feet above water. Contract awarded Hoover-Ryan Const. Co., Pottstown, Pa.

**Culvert**, over Tohickon, North of Shelly, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad, Twelfth and Market streets, Philadelphia. Concrete and I beam box culvert. Contract awarded to Martin & Breen, 1613 Sansom street, Philadelphia.

**Road Work**, Pennsylvania. Owners, Pennsylvania Department of Highways, Harrisburg, Pa.

Delaware County, A-2436, Lower Chichester Township, 4,827 feet. One course reinforced concrete. \$48,274.36. Contract awarded to Juniata Co., Empire Building, Philadelphia.

Adams County, bridge. Route 42 over Rock Creek, between Cumberland and Mt. Joy Townships. \$12,566.38. Contract awarded to McIlvaine & Co., Chambersburg, Pa.

Susquehanna County, R-14, Jessup and Bridgewater Townships and Montrose Borough. One course reinforced concrete. \$260,575.81. Contract awarded to Comerford Const. Co., Fifth and Sansom streets, Philadelphia.

Luzerne County, Route 4, Plymouth Borough, 5,914 feet. One course reinforced concrete. \$154,959.80. Contract awarded to J. M. Boyd, Kingston, Pa.

**Schools (2)**, Haverford Township, Pa. Architects, Boyd, Abel & Gugert, Otis Building, Philadelphia. Owners, Haverford Township School Board, Haverford, Pa. Moving Picture Booth and Garage, Oakmont, Pa. Stone, brick (plumbing, heating and electric separate), slag roof, cement floors, bond, iron work, reinforced concrete, carpentry and mill work, plastering, stone work, painting and glazing, slate work, cut stone, iron work, maple floors, hardware and metal lath, 96x22 feet. Contracts awarded: Bowden Const. Co., 1935 Chestnut street, Philadelphia; electric, J. F. Buchanan Co., 1904 Sansom street, Philadelphia; plumbing and heating, Wayne Plumbing & Heating Co., Wayne, Pa. Addi-



tion to School, Manoa, Pa. Stone, brick (plumbing, heating, electric separate), slag roof, cement floors, bond, iron work, reinforced concrete, carpentry and mill work, plastering, stone work, painting and glazing, slate work, cut stone, iron work, maple floors, hardware and metal lath, 8 stories and basement, 60x51 feet. Contracts awarded: W. Harry Roberts, Oakmont, Pa.; electric, Mellville Elec. Co., Bryn Mawr, Pa.; heating, Wayne Plumbing & Heating Co., Wayne, Pa.; plumbing, I. R. Wanawhite, Oakmont, Pa.

## New Jersey Construction News

**Convent**, Perth Amboy, N. J. Architect, Robert Schuman, Trenton, N. J. Owners, Holy Trinity Roman Catholic Church, Rev. J. Sozueky, Perth Amboy, N. J. Brick, limestone, steel, stone, 3 stories and basement, 50x100 feet, slate roof, pine and oak floors, architectural terra cotta, tile and marble work, hot water heat, electric light. Architect taking bids due as soon as possible.

**High School**, Lambertville, N. J. Architect, William Klemann, First National Bank Building, Trenton, N. J. Owners, Lambertville Board of Education, Hunterdon Township, N. J. Stone, cut stone, brick, steel, 2 stories and basement and mezzanine, 121x56 feet, slag roof, maple floors, hollow tile, elevators, roof ventilators, shoring, waterproofing, ornamental terra cotta, bond, fire doors, rolling steel sash, tile and marble work, metal lath, steam heat, electric light, alternate cast stone. Owners taking bids due June 30th.

**Alteration**, Third Ward School, Lambertville, N. J. Architect, William A. Klemann, First National Bank Building, Trenton, N. J. Owners, Board of Education, Lambertville, N. J. Bond, art stone, tile work, brick work, concrete work, carpentry, painting. Owners taking bids due June 30th, 8 P. M.

**High School**, Asbury Park, N. J. Architects, E. A. Arend, 105 West Fortieth street, New York, and Guilbert & Betelle, Newark, N. J. Owners, Board of Education, Asbury Park, N. J. Low bidder: Burke Brothers, 1480 Broadway, New York City, \$645,000.

## New Jersey Contracts Awarded

**School**, Woodbury Heights, N. J. Architect, J. H. Mowere, Phoenixville, Pa. Owners, Board of Education, Alex. Beith, Jr., Woodbury Heights, N. J. Brick, 1 story and basement, 155x67 feet, Barrett built-up roof, composition, maple and cement floors, hollow metal sash (plumbing, heating and electric, waterproofing separate bids). Contract awarded Wills Bill Co., 1706 Sansom street, Philadelphia, \$46,464. Heating, American Heating & Ventilating Co., 200 North Twenty-fifth street, Philadelphia, \$4,444. Plumbing, J. W. Matthews Co., Fifteenth and Race streets, Philadelphia, \$1,200. Electric, Enterprise Electric Co., 238 South Tenth street, Philadelphia, \$654.

**Junior High School**, Trenton, N. J. Architects, William Klemann, Trenton, N. J., and E. Sibley, Palisade, N. J. Owners, Board of Education, Trenton, N. J. Brick, cut stone, 3 stories and basement, 384x333 feet (plumbing, heating, electric separate), slag roof, maple floors, linoleum and cement floors, hollow tile, roof ventilators, metal ceilings, fire and kalamein doors, shoring, ornamental iron work, iron stairs, bond, hollow metal doors, rolling steel sash and skylights, tile, marble and terrazzo work, metal lath, flagstone floors.

Contracts awarded: J. H. Morris, Trenton, N. J. (cast stone alt. accepted), \$1,034,587. Plumbing, Piper Brothers, Trenton, N. J., \$58,320. Electric, Jackson Co., Trenton, N. J., \$39,900. Heating, Piper Brothers, Trenton, N. J., \$107,280.

**Union National Bank (alts. and add.)**, Atlantic City, N. J. Architects, Simons, Brittain & English, 929 Chestnut street, Philadelphia, and Pittsburgh. Owners, Union National Bank, Atlantic City, N. J. Brick, cut cast stone, steel, 3 stories and basement, 90x69 feet, hollow tile, composition roof, composition, cement and pine floors, plumbing, shoring, ornamental iron work, floor hardener, bond, rolling steel sash, metal lath, electric light, floor hardener, steam heat, ornamental plaster. Contract awarded J. V. Mathis & Son, Atlantic City, N. J.

**Hospital (alts. and add.)**, Bridgeton, N. J. Architects, Stearns & Woodnutt, Stephen Girard Building, Philadelphia. Owners, Bridgeton Hospital Association, Bridgeton, N. J. Brick, cut stone, steel, 3 stories, 140x39 feet, slag roof, marbleoid and cement floors, hollow tile, electric light, elevators, ornamental iron work, iron stairs, rolling steel skylights, tile, marble and terrazzo work, metal lath, steam heat, metal lumber. Contract awarded D. A. McClelland Co., Drexel Building, Philadelphia.

**Store and Apartments**, South Broad street, Trenton, N. J. Architect, R. G. Consolloy, Commonwealth Building, Trenton, N. J. Owner, R. Thatcher, 960 South Broad street, Trenton, N. J. Brick or stone, 3 stories, 77x45 feet, tin roof, pine floors, dumb waiters, hollow tile, plate glass, copper work (heating, plumbing and electric work reserved), metal lath, tile and marble work, blue stone, rolled steel skylights. Contract awarded to Thomas Day & Son, 219 East Hanover street, Trenton.

**Cottage**, Mansfield avenue, Margate City, N. J. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City, N. J. Owner, Benjamin Meisse, care of architect. Stucco, brick, 2 stories, 32x30 feet, hardwood floors, hot water heat, electric light, tile work. Contract awarded to Charles Thompson, Pleasantville, N. J.

**School (alts.)**, Illinois avenue, Atlantic City, N. J. Architect, H. W. Stout, Guarantee Trust Building, Atlantic City, N. J. Owners, School Board, H. H. Young, secretary, Atlantic City N. J. Alterations, installation of new ventilating heating system. Contract awarded Lam Building Co., 1001 Wood street, Philadelphia, \$25,000.

## Proposals

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., June 18, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., July 10, 1924, for miscellaneous items of shelving and equipment at the United States Veterans' Hospital at Castle Point, N. Y. Drawings and specifications may be obtained from the Superintendent at Castle Point, N. Y., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., June 16, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., July 15, 1924, for the construction of a one-story brick non-fireproof Post Office building, approximately 75 by 50 feet in size, at Water-

loo, N. Y. Drawings and specifications may be obtained from the Custodian of the site at Waterloo, N. Y., or at this office in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from Page 404)

been done in Portland, Oregon, and Philadelphia in making surveys of construction activities and material supplies so that maintenance work, repairs and additions to existing structures may be co-ordinated with new building work to the best advantage in each locality.

## THE KIND OF TOWN WE WOULD LIKE TO LIVE IN

BY JOHN IHLDER

*Manager, Civic Development Department, Chamber of Commerce of the United States*

The excellence of a town depends so much upon the ability and the spirit of its people that these may quite upset any comparative rating based upon actual, tangible accomplishment, though, of course, with ability and the right spirit the people of any given community are bound to secure a lot of accomplishments.

The trouble is that we have to mark them on what they have done to date and can not take into account, what may be the fact, that they have been overcoming some great natural handicap which absorbed most of their energy without showing much positive result, or, what again may be a fact, that they have only recently learned how to work together effectively. In either case the marks given their town are likely to be low, and yet, because of the spirit they have developed, the things they are now doing, the accomplishments they are sure to have to their credit in the near future, they may have a town that we would find it very inspiring to live in. For it is where men are now achieving, not where they have achieved and are now sitting back admiring the past, that we would want to live.

On the other hand, there is no limit to achievement except the limit imposed by our personal limitations. So where we find a community that has done a lot and is still going ahead with the same vision and enthusiasm and energy to fresh achievement, there we probably shall find the people with whom life would be best worth living.

I assume that the existence of a town or city depends upon business. The first test of community excellence therefore is, What kind of a place is it for business? And the answer to this question goes a long way toward answering that other important question. "Is it the kind of a town we—you and I—would like to live in?" For, I also assume that we must earn the living we are going to live.

Having assured ourselves of the ex-



cellence of our town from the essential point of its providing us with a living, the next question is, what does it provide *beyond* mere living. For essential as we feel that mere living is, that alone will not satisfy us; much less will it make others who are already making a living elsewhere look upon our town with desire.

Some day the hard-boiled man wakes up to find that his associates who have made their pile, have moved to some other place to spend it, and the fellow who is irked by the sight of toil, realizes that it is on the profits of business that he exists. As these two scold each other the audience begins to wake up to the fact that business is the basis of most of what makes life worth living, beauty, art, music; comfortable homes, a gracious social life; all these come from the profits of business. And at the same time it wakes up to the complementary fact that business is not an end in itself but is a means to an end, "that we may live more abundantly."

So we begin to understand that while business is the first essential to our town, it is not the whole town, and consequently instead of spoiling the rest of the town it must make the rest of the town a better place to live in. I am therefore going to suggest an enlargement of our first test:

"While the existence of a town or city upon business, that existence is not justified unless the profits of business make life in that town constantly more and more worth living."

Assuming that we are agreed upon this double-barreled proposition, we shall proceed by defining a series of excellence by which to measure our town.

First Item.—My first item in grading our town is to assume that it has a variety of industries none of which are mutually harmful. A blast furnace and a silk mill, for example, do not make ideal neighbors.

Second Item.—The industries of our town should be those for which the town offers peculiar advantages.

Third Item.—Commerce—This is put third instead of first because in spite of historical development, commerce has come to depend, especially in retail business, somewhat on industry.

Fourth Item.—Has our town a plan which will guide its future growth, and regulations which will prevent short-sighted and greedy individuals from handicapping business and spoiling those things upon which we spend the profits of business.

Fifth Item.—Does our town have good housing?

Sixth Item.—Education—Does our town provide enough schools for all its children and are all its schools good?

Other Items.—Recreation—Public—

outdoor, playgrounds, parks, etc.—indoor, music, etc.

Commercial—bowling alleys, pool rooms, movies, theaters, music, etc.

Public Health—Site of the city, natural drainage, water supply, sewage, waste disposal, health departments.

Security—Fire, Police—courts, jails.

Neatness and Repair—Public and semi-public buildings,—railway station, streets and public places, private buildings.

The condition of these indicates whether our town has or has not community spirit, alertness, self respect.

Taxes and bonded indebtedness if too high indicate slackness in administration or worse, indifferent citizenship, lack of results from expenditures. If too low indicate an indifferent citizenship and lack of civic pride. Municipal expenditures should be investments which in large measure produce financial results by facilitating business and raising values. Some, like expenditures on schools, are investments in the future.

Expenditures for present improvements, like street paving, should be entirely completed, bonds paid up, during the life of the improvement.

If city has a debt incurred to meet current expenses or to pay for improvements which are now used up it indicates a low standard of citizenship.

Beauty—Beauty like happiness is best when secured as a by-product. An ugly thing is not made beautiful by putting a useless ornament on it. Real satisfaction comes from having the things we use every day beautiful. And they will be beautiful if they fully meet the needs of use. The present day automobile is becoming a thing of beauty, but the main consideration is that it shall be useful. Our town will be beautiful when we give enough thought to our buildings and to our streets to make them fully efficient. The trouble now is that they are half baked, lick and a promise jobs.

Individuality—Our town should have individuality, not be a copy of some other place. If it has a good tradition in architecture, follow that tradition, don't build an imitation New York hotel in Charleston. Make use of natural beauties, river, valley, hills, etc. They are never quite the same as those in other towns. Use local names for your streets so that they will recall your history or make those who repeat them think of your town. When one says Fifth Avenue he probably thinks of New York, but there are a hundred other fifth avenues. When one says Peachtree Street he does not have to add Atlanta.

City Government—We won't try to set up a score for the government but will assume that under our democratic system, if the community stands well on the other items listed then it must have a fairly good government because it has a good citizenship.

Citizenship—Of course we have all begun to realize by this time that there is no way of getting a good government without having a good, active citizenship. Perpetual motion is as much a dream in civic affairs as it is in mechanics. But an active, effective citizenship means effort, constructive effort. So our town has its quota of civic and social agencies which afford opportunity for citizens to choose the subjects in which they are most interested, study them, experiment with them, and then, on the basis of knowledge, put them over. So we have a live chamber of commerce to present the business man's point of view on community problems and we have philanthropic agencies to deal with our social problems.

The Spirit of the People.—If there is any one thing that makes us want to live in a town it is the spirit of the people. I put this last because it is an intangible and we Americans want something we can get a grip on. But this intangible is so important that it can't be left out. Anyone of you who has lived among strangers for awhile knows the joy of again being among his own people. And our own people are those who are friendly, helpful, willing to get in and push. That spirit is not natural always, but it can be cultivated. And where that spirit is there is also a good town, the kind of town we would like to live in.

## ZINC ROOFS UNDER TEST

Tests of corrugated zinc roofing are now under way at the Bureau of Standards of the Department of Commerce for the purpose of determining the loads that can safely be carried by this material. Unlike most roofing materials zinc fails not by breaking but by bending slowly under load, the material taking a permanent set. It is therefore not considered desirable where heavy loads must be born continuously, unless it is well supported. But where the normal load is light, as it is apt to be in the tropics, zinc roofing may prove more durable than galvanized steel, as the latter fails rapidly from corrosion in such climates.

The test made on the roofing consists in loading the corrugated sheet with sand, the sheet being supported on a framework representing the roof purlins. The load is left in place for a month or more and the deflection is measured each day.

Fifty years ago the grocer set out a keg of mackerel and a box of kindling wood, and sat down to wait for customers. Today he carries street-car and newspaper advertising and dresses his windows as smartly as the department store. If it didn't pay he'd still be sitting behind the stove waiting for customers with a mackerel keg out front doing service for a sign.



## Changing an Attitude of Mind

It has been the tendency of the public to look upon insurance as something on which it must first be "sold" by convincing arguments of the insurance man.

That this attitude is undergoing a change is evidenced in the number of people who no longer wait for the agent to solicit their business but who seek out the agent and ask for insurance advice.

By its national advertising the Insurance Company of North America is helping materially to bring about that hoped for time when people will "consult their insurance agent as they consult their doctor or lawyer."

Represent North America.

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Erickson & Weiss, Fisher's Ave. and Mascher St.

**ARTESIAN WELLS.**  
Ridpath & Potter Co.,  
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Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
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Well, J. H., Co. ....1315 Cherry St., Phila.

**ASPHALT CONSTRUCTION.**  
Rulon, Ralph V. ....239 N. 30th St., Phila.

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Blue Print Shop. ....1520 Sansom St., Phila.  
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**BLUE PRINT PAPER.**  
Blue Print Shop. ....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
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Well, J. H., Co. ....1315 Cherry St., Phila.

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Ketcham, O. W. ....121 N. 18th St., Phila.

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**BUILDING NEWS.**  
Daily Building News. ....Perry Bldg., Phila.

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West Jersey Sand & Supply Co.,  
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Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

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176 E. Tulpehocken St., Phila.

**CONCRETE WORK.**  
Massiah, Frederick. Juniper and Cypress Sts., Phila.

**CONTRACT BONDS.**  
Patton, Edward W. ....400 Lincoln Bldg., Phila.

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Lee T. Ward Co. ....617 Filbert St., Phila.

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Gillingham Co. ...Norris and Richmond Sts., Phila.

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**DAILY BUILDING NEWS.**  
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Potts, Horace T., & Co. ....Erie Ave. & "D" St., Phila.

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**SEWER PIPE.**  
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McDevitt, John F. ....1403 N. 20th St., Phila.

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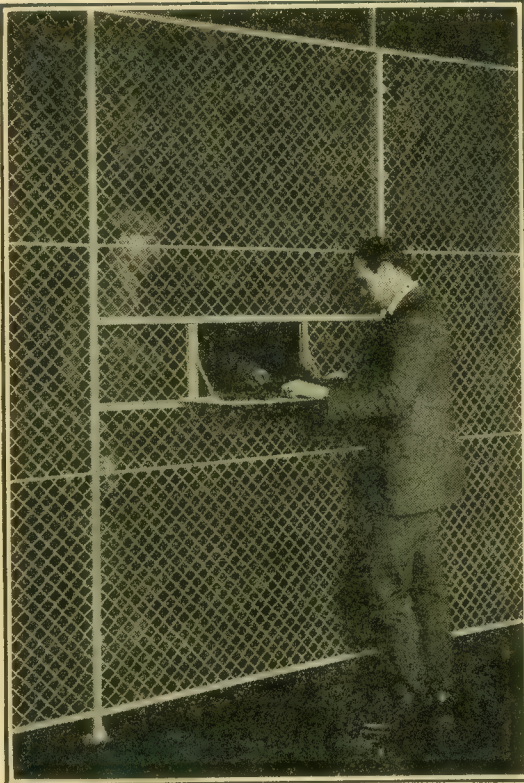
# Builders' Guide

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Vol. XXXIX, No. 27  
July 2, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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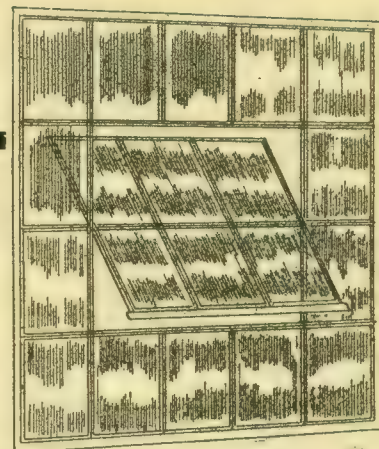
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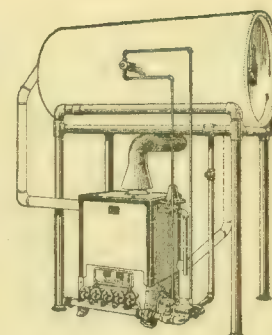
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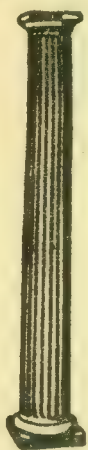
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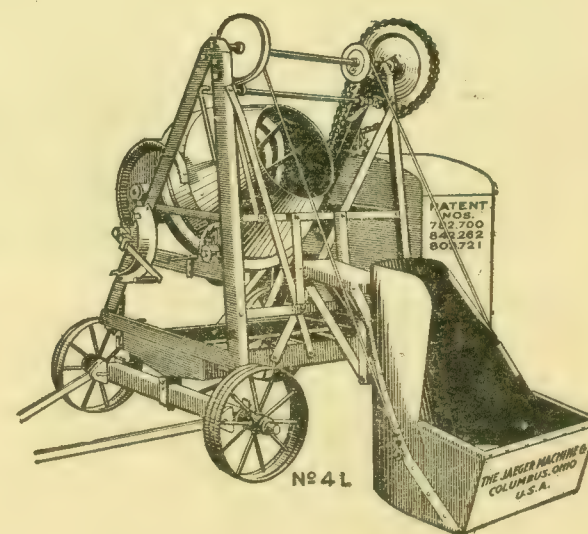
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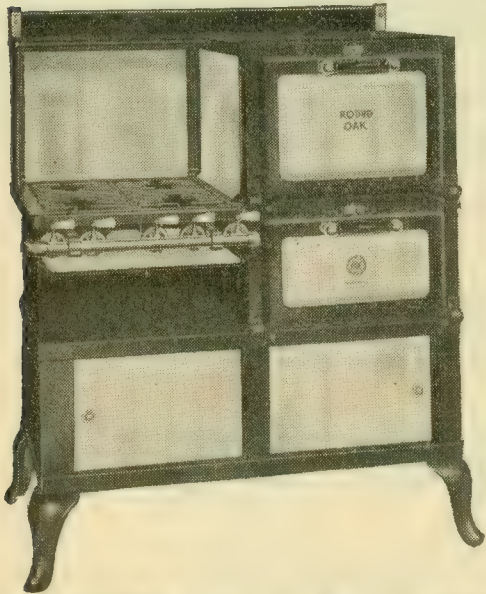
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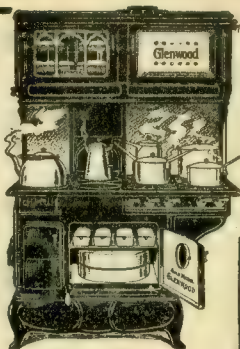


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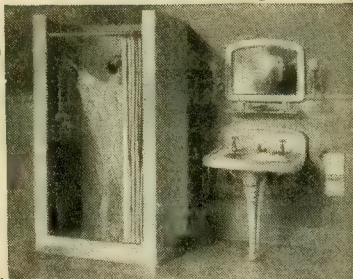


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Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 27

PHILADELPHIA  
July 2, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## As The Editor Sees It



### ELIMINATION OF IRRESPONSIBLE OFFICIAL CONTRACTORS

*Public Works Official, Surety Company  
Representatives and Associated General  
Contractors of America Discuss  
Subject with Secretary Hoover*

Steps of vital importance to the nation, looking to the elimination of the irresponsible contractor through the co-operative action of surety companies, public officials and contractors' organizations were taken recently when nationally prominent public works officials, officials of surety companies and representatives of the Associated General Contractors of America met with Secretary of Commerce Hoover at the Department of Commerce.

The Associated General Contractors were responsible for the conference that organization seeking to find some plan whereby the industry, with the co-operation of surety companies and public works officials, might devise some plan whereby the incompetent, irresponsible official contractor might be eliminated. Benefits from such an action, it was pointed out would be derived through the elimination of losses to the surety companies, through the elimination of hazards caused to the more responsible contractor and to the state governments.

Secretary Hoover, shortly after Gen. R. C. Marshall, of the Associated General Contractors called the meeting to order, told those present that since he had

become head of the Department of Commerce more than 500 similar conferences had been held in the Department. He spoke of the growing tendency on the part of industries to ask the Government for assistance in solving their difficulties. Co-operation by organizations and by allied industries, he said, holds the only hope of keeping the United States an individualistic nation with the proper development of private initiative. He discussed business booms and depressions, showing how depressions can be best prevented by overcoming the boom period with their accompanying wastefulness.

Methods of surety companies in their investigations before underwriting were described as lacking an adequate system in many cases, and several speakers urged the establishment of a credit rating system. It was revealed that there is a committee of surety companies which is working toward a closer understanding as to the process of classification and ratings under such classifications but that this work is not necessarily a credit rating system alone.

The action taken included a resolution favoring the elimination of the bid bond on contracts and the sureties consent. Discussion of this brought out a sentiment in favor of the use of securities like liberty bonds.

Another action taken was adoption of a resolution that all contractors should furnish full and accurate information at the time of making application for surety

bonds both as to their financial standing, experience and contingent liability from work on hand, and that none of this information should be more than six months old. Discussion of this showed an agreement that in the bonding of a contractor, experience should be the most important factor, and that the next should be his equipment, its amount and condition, while the third should be the financial condition.

An important contribution to the discussion was information given by state highway officials as to the contractors who bid for work in their various states.

A further action was to refer to a committee of three to be appointed by the chairman the improvement of methods of ascertaining credit information, the committee being charged with working out a better method than now obtains.

Another committee of three was ordered by the meeting to survey the present practice of surety companies in giving free service in engineering information and estimates. Discussion of this brought out a wide variance of opinion as to the value of present practices in this direction.

Further discussion was given to the practice of certain agents in splitting commissions with the contractor. This was denounced by representatives of the agent's organization as hampering the efficiency of a large body of men who are giving honest service to both their companies and their clients.

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The meeting referred to committees' problems of other forms of securities, uniform enforcement of the time penalty and the publication of the name of surety companies on each security bond.

It was decided that these committees would have had time to complete their studies to a point where a report might be made at a meeting to be held late in September.

The man who doesn't advertise because he can't afford to "do it right" will never reach a position of affluence because everything worth while in the world had to have a beginning, and there can be no "get there" for the fellow who fails to make a start.

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Man and the giraffe are the only two living things that can't swim naturally. Throw a day-old kitten into the Mississippi and it will paddle its way to shore. The giraffe can't swim because he's not built that way. Man can't swim, just because he is afraid. The chances are that the reason you are not in the swim—financially or otherwise—is because you are afraid.—Glen Buck.

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CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Bank Building (alts. and add.),** Broad and Columbia avenue, Philadelphia. Architect, E. A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Columbia Avenue Trust Co., on premises. Brick, cut stone, steel, 1 story (plumbing, heating, electric vault doors, elevators reserved), cement floors, painting and glazing, shoring, waterproofing, ornamental iron work, bond, hollow metal doors, galvanized iron sash, marble work, metal lath. Architect taking bids due July 8th.

**Twin Residence,** Phil-Elena and Anderson streets, Germantown, Philadelphia. Architect, Charles J. Mitchell, 15 South Twenty-first street, Philadelphia. Owner, Harold Bolger, 1139 East Chelton avenue, Philadelphia. Stone, frame, stucco, 2½ stories, 50x38 feet, tile roof, oak floors, hot water heat, electric light, tile work. Plans in progress. Owner will build and will take sub-bids in 10 days.

**Department Store,** Sixth and South streets, Philadelphia. Architect, Paul Cret, Otis Building, Philadelphia. Owners, Max Silverman & Son, on premises. Architect taking bids due July 7th at noon.

**Alterations,** 108 Walnut street, Philadelphia. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, Freed Furnace Co., on premises. Roof repairs, plastering, painting and glazing, plumbing, electric. Architect taking bids due July 7th.

**Residences (26),** Fifty-second and Lebanon avenue, Philadelphia, \$192,000. Architect, private plans. Owner, Daniel E. Hogan, 6044 Columbia avenue, Philadelphia. Brick, 2 stories, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (5),** 2112-20 Spencer street, Philadelphia, \$26,000. Architect, private plans. Owner, Sol. Frank, 108 Pine street, Philadelphia. Brick, 2 stories, 18x34 feet, hot water heat, electric light. Owner will build.

**Garage,** West side Sixth street, North of Lindley avenue, \$10,000. Architect, private plans. Owner, Harry C. Willer, 4940 North Broad street, Philadelphia. Stone, 1 story, 205x20 feet, cement floors, electric light. Owner will build.

**Apartment Houses (6),** Southwest Corner Thirty-ninth and Walnut streets, Philadelphia, \$100,000. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 3 stories, hot water heat, electric light, metal lath, tile and marble work, store fixtures, bond, metal bulks, iron stairs, ornamental iron work, terra cotta, waterproofing, metal ceiling, slag and Spanish tile roof, pine and oak floors. Plans in progress.

**Apartment,** 6020 Green street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, George Howland Chase, Washington, D. C. Plans in progress.

**City Hall (Annex),** Juniper and Filbert streets, Philadelphia. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, City of Philadelphia, Bureau of City

Property, Department of Public Works, City Hall. 15 stories, 106x175 feet. Approximately \$2,000,000. Plans in progress.

**Auto Show Room,** Broad street and Boulevard, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 2 stories, hot water heat, electric light, marble work, bond, metal bulks, ornamental iron work, Spanish tile roof, tile floors. Plans in progress.

**Bridge,** Penrose Ferry over Schuylkill River, Pa., \$2,500,000. Architect, private plans. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Plans drawn. Work contemplated.

**Miscellaneous Work,** Philadelphia. Owners, Department of Public Works, Bureau of Water, 216 City Hall. Necessary alterations to Roxborough, Belmont, Shawmont Stations, water basins, conduits, pumps and other facilities. Plans in progress.

**Shelter Building,** Recreation Center, Philip, Reed and Earp streets, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Grading, surfacing, fencing, curb and footway, paving. Ready for bids in a few days.

**Elevator, Police Tower,** City Hall, Philadelphia. City architect, J. Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Works, Bureau of City Property, City Hall. Ready for bids in a few days.

**Fire Bureau Headquarters,** Race street, East of Broad street, Philadelphia. Owners, Department of Public Works, Bureau of Fire, City Hall, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Plans in progress.

**Apartment House,** 6236-38 North Broad street, Philadelphia. Architect, Edward A. Roth, Drexel Building, Philadelphia. Owner, D. Simpson, care of architect. Brick and stone, 3 stories and basement, 50x145 feet, composition roof, hardwood floors, plumbing, elevators, radio connections, vapor heat, electric light, tile and marble work, laundry equipment, incinerators, kitchen cabinet. Ar-

chitect will be ready for bids July 5th, due July 15th.

**Apartment House,** Oak Lane avenue and Lawnton street, Oak Lane, Philadelphia. Architect, Edward A. Roth, Drexel Building, Philadelphia. Owner, Arthur I. Fink, Land Title Building, Philadelphia. Brick, 3 stories, 72x105 feet, (18) apartments, composition roof, hardwood floors, plumbing, radio connections, laundry equipment, incinerator, kitchen cabinet, tile and marble work, vapor heat, electric light. Architect will be ready for bids July 18th.

**Storage Building,** No. 20, Forty-ninth and Merion avenue, Philadelphia. Architect, William H. Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad, Mr. Dothard, secretary, Broad Street Station, Philadelphia. Brick and steel, 3 stories. Plans in progress. Owners will be ready for bids soon.

**Residence (alt. and add. to Apartment),** 528 Pine street, Philadelphia. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owner, name withheld. Brick, general alterations, hardwood floors, plumbing, hot water heat, electric light, tile work. Architect will be read yfor bids in a week.

**Residences (10),** Sixty-fifth and Webster avenue, Philadelphia. Architect, Guy B. Johnson, 5413 Media street, Philadelphia. Owners, Woodland Const. Co., Sixty-fifth and Chester avenue, Philadelphia. Brick, stone and hollow tile, 2 stories, (2) 23x65 feet, (8) 16x50 feet, tile and slag roof, hardwood, composition and canvas floors, hot water heat, electric light, tile and marble work. Owners taking sub-bids.

**Automobile Service Station,** Forty-eighth and Chestnut street, Philadelphia. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, name withheld. Brick, steel, 1 story, 215x280 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash, hollow metal skylights, fire doors. Architect ready for bids.

**Electrical Work,** Bloomsburg, Pa. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Hardwick-Marree Co., Bloomsburg, Pa. Architects taking bids on electric work due July 8th.

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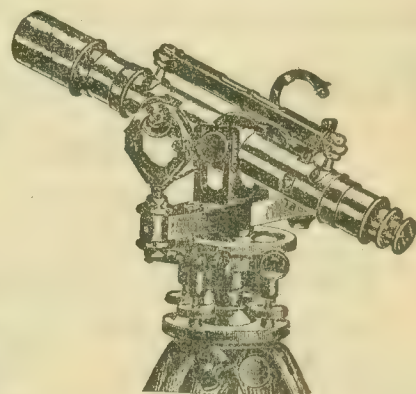
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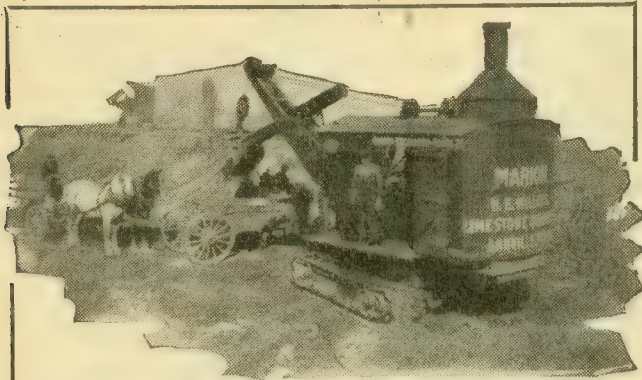
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Corner Thirty-seventh and Walnut streets, Philadelphia. Architect, Charles H. Schaef, 11 South Sixteenth street, Philadelphia. Owner, Mr. Joseph Rabinowitz, 305 Schubert Building, Philadelphia. Brick, 4 stories, 36x120 feet, slag and tile roof, composition floors, electric elevators, roof ventilators, metal ceilings, steel sash, vault lights, incinerators, kalamein and hollow metal doors, tile and marble work, metal lath, vapor heat, electric light. Demolition under way. Architect and owner taking sub-bids due as soon as possible.

**Moving Picture Theatre**, Fifty-fourth and Arlington avenue, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Kenin & Shapiro, Fifty-seventh and Florence, Philadelphia. Brick, stone, 3 stories, steel and concrete floors, fan intake and exhaust, waterproofing and dampproofing, roof ventilators, ornamental plaster, ornamental iron work, iron stairs, fire doors, metal lath, tile and marble work, electric light. Revised plans completed. Architect ready for bids.

**Residence (alts.)**, 5102 Newhall street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. Deyoe, care of architect. Ready for bids in a few days.

**Stores and Apartments**, Southwest Corner Fifteenth and Catherine streets, Philadelphia. Architect, Edward A. Roth, Drexel Building, Philadelphia. Owner, Benjamin Landers, Sixteenth and Christian streets, Philadelphia. Revised plans in progress. Architect will be ready for bids in three weeks.

**Apartment House**, Nineteenth and Walnut streets, Philadelphia. Architects, McLanahan & Beneker, Bellvue Court Building, Philadelphia. Owners, The Nineteenth & Walnut Streets Corporation, care of architects. Concrete, steel, limestone, granite, brick, 21 stories and lobby, (2) wings, 135x42 feet, wing 39x50 feet, slag roof, cement, oak floors, elevators, metal weather strip, shoring, ornamental terra cotta, ornamental iron work, bond, kalamein doors, hollow metal sash, marble and tile work, metal lath, electric light, painting and glazing, steel lockers, caulking, ash hoist, wire screens, bronze, metal partitions. Architects taking bids due July 8th.

**School (add.)**, Thirty-fifth and Fairmount avenue, Philadelphia. Brick, cut stone, limestone and steel, 3 stories, 2 wings, 68x34 feet, 131x65 feet (plumbing, heating and electric separate), composition roof, maple floors, hollow tile, safety treads, roof ventilators, metal weather strips, metal ceilings, dampproofing, wire work, ornamental iron work, bond, fire doors, rolling steel sash, tile and marble

work, metal lath. Owners taking bids due July 3rd.

**Public School**, Nineteenth and Wharton and Garnet streets, Philadelphia. Brick, cut stone, steel, limestone, composition roof, cement and maple floors, hollow tile, safety treads, roof ventilators, metal weather strips, metal ceilings, waterproofing and dampproofing, wire work, ornamental iron work, bond, fire doors, rolling steel sash, tile and marble work, metal lath (plumbing, heating, electric separate). Owners taking bids due July 3rd.

**Approach Superstructure**, Contracts Nos. 17-18, Delaware River Bridge. Architect, private plans. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract No. 17, Philadelphia approach, between Front and Fourth streets, Philadelphia. Contract No. 18, construction of Camden approach, between Camden anchorages West of Delaware avenue and Third street, Camden. Furnishing, fabricating, painting and erecting steel superstructure. Approximately 11,600 tons of steel work in Philadelphia, and 13,500 tons in Camden. Contract time for entire work, 22 months. Unit price bids are asked for each contract. Deposit, \$25.00 on each contract. Refund, \$25.00. Each proposal must be accompanied with a certified check for \$50,000. Owners taking bids due July 16th at 1.30 P. M. (Standard Time).

**Club House Building**, 17 East Price street, Germantown. Architects, Huston & Lewis, Presser Building, Philadelphia. Owners, Germantown Republican Club, on premises. Brick, steel, precast stone, 2 stories and basement, 109x53 feet, slag roof, maple floors, metal weather strips, architectural terra cotta, ornamental iron work, metal lath, tile and marble work, steam heat, electric light. Architects taking bids due July 10th.

**Garage**, Northwest Corner Twenty-fourth and Reed to Ringgold, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, Walter Smith, care of architect. Brick, 1 story, 102x128 feet, gypsum roof, concrete floors, steam heat, electric light, rolling steel sash, hollow metal skylights, flush bulks, steel columns and girders, plate glass, plumbing. Architect taking bids due as soon as possible.

**Store and Residence (alts. and add.)**, Peach and Warrington streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, William S. Buchanan, 1155 Peach street, Philadelphia. Tile work, carpentry and mill work, plastering, painting and glazing, plate glass, brick work. Architect taking bids due July 7th.

**Residence (alts. and add.)**, 1512 North Second street, Philadelphia. Architect, Peter

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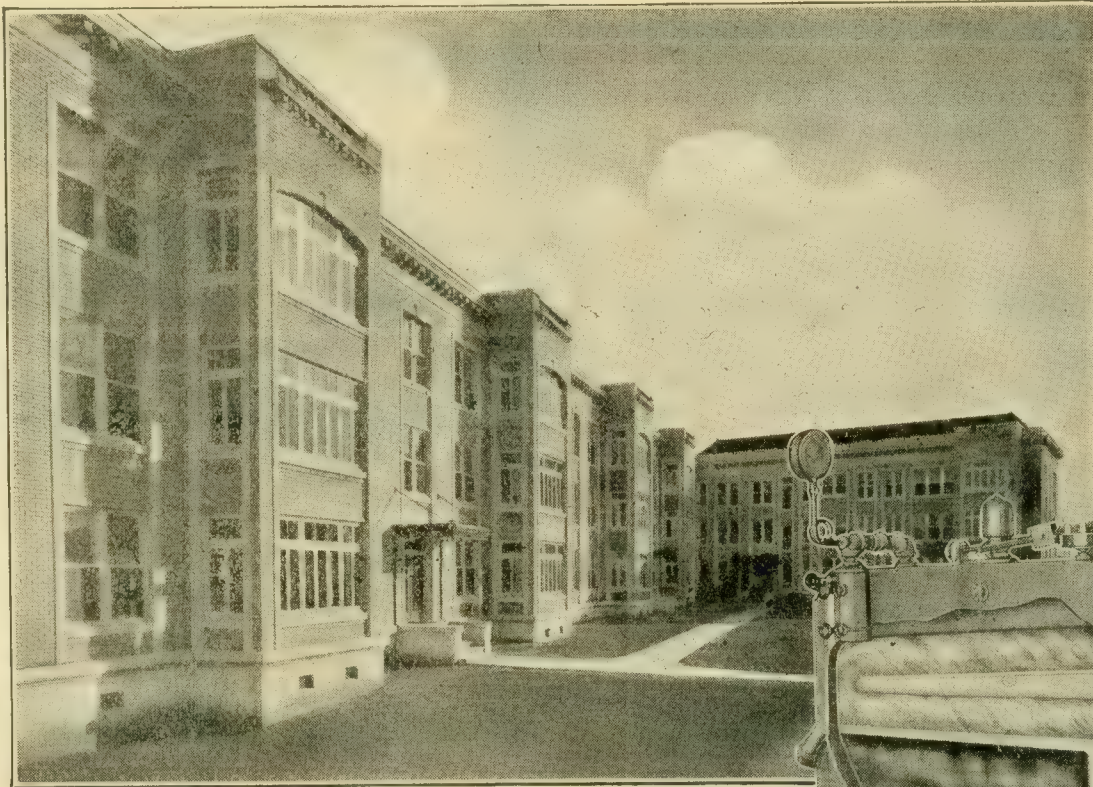
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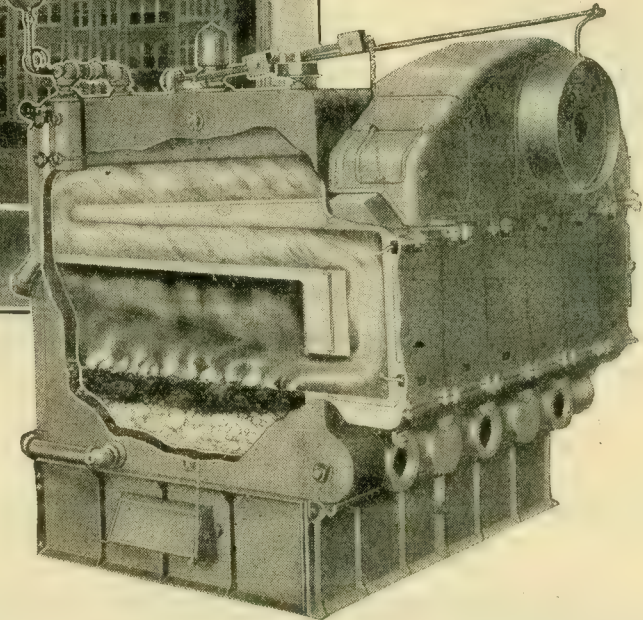
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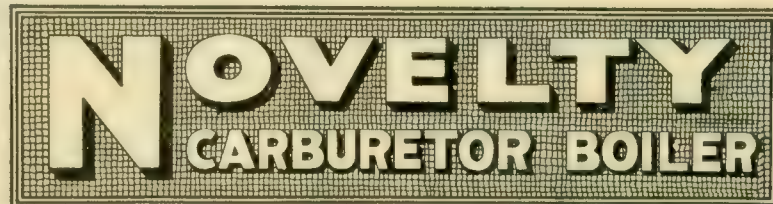
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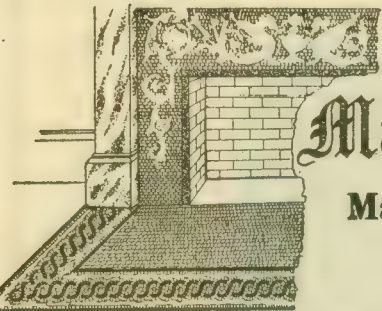
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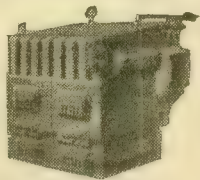
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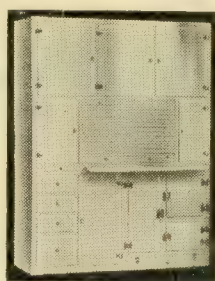
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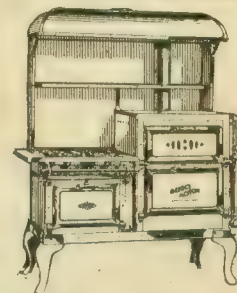
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**Customs House (alts. to second floor)**, Fifth and Chestnut streets, Philadelphia. Architect, private plans. Owners, United States Customs House, Office of Custodian, Philadelphia. Repairs to floor, repairs to plastering, painting, screen work, plumbing. Owners taking bids due July 9th.

**Welfare Building**, Philadelphia National Cemetery, Haines street and Limekiln Pike. Architect, private plans. Owners, Quartermasters' Intermediate Depot, Construction Department, Twenty-first and Oregon avenue, Philadelphia. Lowest bidder, Lam Building Co., 1001 Wood street, Philadelphia, \$2,640.

**Administration Building**, Nineteenth above Chestnut street, Philadelphia. **Schools**, various locations, Philadelphia. Architect, I. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Owners taking bids due July 3rd.

**Sewers**, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, Philadelphia. Branch sewers. Owners taking bids due July 9th, 11 A. M. (Standard Time), at 216 City Hall. Inquire Room 416.

**Miscellaneous Work**, Department of Public Works, Bureau of Water, Philadelphia. Owners taking bids due July 7th, 11 A. M. (Standard Time), at 216 City Hall. Inquire Room 796. Contracts: No. 673, furnishing and laying 16-inch water pipe. No. 682, general improvements, Queen Lane Pumping Station. No. 683, plumbing, Queen Lane

Pumping Station. No. 686, furnishing and laying 24-inch water pipe. No. 687, furnishing and deliver pig lead. No. 688, furnish and deliver small pipe A and fittings. No. 689, aeration flume and paving. No. 690, furnishing and laying 16-inch and 20-inch water pipe. No. 691, fencing at various filter plants. No. 692, furnishing and placing patent connections.

**Supplies and Equipment**, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Lumber, filing cabinets, fuel oil, recharging fire extinguishers, auditorium window curtains. Owners taking bids due July 3rd.

**Church**, Southwest Corner Fifteenth and Lombard streets, Philadelphia, \$125,000. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, First Colored Wesley Methodist Church, care of architect. Stone and brick, 3 stories, 62x112 feet, 9 inches. Plans drawn. Permit issued.

**Residences (32)**, Forty-seventh and Larchwood avenue, Philadelphia, \$246,000. Architect, private plans. Owners, West Philadelphia Realty & Const. Co., 4842 Larchwood avenue. Brick, 2 stories, 16x57 feet and 16x34 feet, 12x22 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (8)**, North side Robbins street, East of Shelbourne street, \$32,500. Architect, private plans. Owner, William H. Riegel, 337 East Cheltenham avenue, Philadelphia. Brick, 2 stories, 17x31 feet, hot water heat, electric light. Owner will build.

**Garage**, 700-02 East Passyunk avenue, Philadelphia, \$40,000. Architect, private plans. Owners, Babis & Bender, 201 Shubert

Building, Philadelphia. Brick, 2 stories, 37x94 feet, 88x96 feet and 14x58 feet, slag roof, cement floors, electric light. Owner will build.

**Residences (10)**, East side Ditman street, South of St. Vincent street, \$5,000 each. Architect, private plans. Owner, E. S. Gercke, Montague street, North of Tyson street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences and Stores (6)**, South side Orthodox street, East of Hedge, \$34,000. Architect, private plans. Owner, Harry Glass, 5324 Berks street, Philadelphia. Brick, 2 stories, 16x56 feet, hot water heat, electric light. Owner will build.

**Garage**, West side Fifth street, South of Shunk street, Philadelphia, \$6,000. Architect, private plans. Owner, Louis Weiner, 2-29 South Fifth street, Philadelphia. Brick, 1 story, 20x196 feet, slag roof, cement floors. Owner will build.

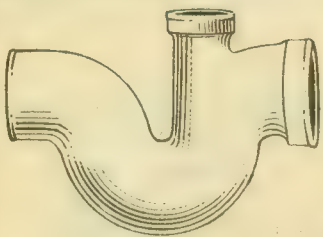
**Residences (18)**, South side Kingston street, East of F street, \$4,000 each. Architect, private plans. Owners, A. E. Barnes & Co., 2044 East Clementine street, Philadelphia. Brick, 2 stories, 14½x24 feet, 8½x10 feet, hot water heat, electric light. Owners will build.

**Residences (9)**, Howell and Taekawanna streets, \$43,600. Architect, private plans. Owners, Brinkmann & Hoover, Charles and Comly streets, Philadelphia. Brick, 2 stories, 16x37 feet, hot water heat, electric light. Owners will build.

**Apartment (alts. and add.)**, 4705 Leiper street, \$5,000. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owner, Harold H. France, on premises. Brick, 2 stories, 12x14 feet, third story, 12x9 feet, general alterations. Owner will build.

**Residence**, North side Bleigh street, East of Rockwell avenue, \$4,800. Architect, F. V. Birkelbach, Andalusia, Pa. Owner, Henry J. Tunstall, 1006 Cottman street, Philadelphia. Frame, 2 stories, 26x38 feet, hot water heat, electric light. Owner will build.

**Residences (4)**, (Store (1)), Benner and Marsden streets, \$19,500. Architect and owner, J. H. Rackie, 4448 Frankford avenue, Philadelphia. Brick, 2 stories, 16x50 feet and



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16x40 feet, hot water heating, electric lighting. Owner will build.

**Garage**, 1201-11 South Juniper street, Philadelphia, \$9,000. Architect, private plans. Owner, James Toppi, 1406 South Broad street, Philadelphia. Brick, 1 story, 96x80 feet, slag roof, cement floors. Owner will build.

**Residences and Garages (7)**, Sixty-sixth avenue, Tenth street to Lawnton avenue, \$87,500. Architect, private plans. Owner, Stanley Kuenbauer, 929 Chestnut street, Philadelphia. Stone, 3 stories, 26x37 feet, 2 stories, 26x16 feet, garages, 1 story, 18x18 feet, hot water heat, electric light. Owner will build.

**Residences and Stores (2)**, Fifty-second street, South of Thompson, \$9,000 each. Architect, private plans. Owner, Frank Keiser, 1517 South Sixth street, Philadelphia. Brick, 3 stories, 16x24 feet, 13x27 feet, hot water heat, electric light, hardwood and pine floors, slag roof. Owner will build.

**Residences (2)**, South side Rhawn street, East of Frontenac street, \$5,000 each. Architect, private plans. Owner, George J. Seifert, 3305 North Broad street, Philadelphia. Frame, 3 stories, 18x43 feet, hot water heat, electric light, shingle roof, hardwood floors. Owner will build.

**Residence**, 3340 Edgemont street, Philadelphia, \$4,500. Architect, private plans. Owner, Frank Boffa, 3007 Richmond street, Philadelphia. Brick, 2 stories, 16x21 feet, 10x11 feet. Owner will build.

**Packing House (alts.)**, 705 Callowhill street, Philadelphia, \$4,000. Architect, private plans. Owners, Sostman Company, on premises. General alterations. Owner will build.

**Store and Office (add.)**, Southeast Corner Thirty-third and Chestnut streets, \$3,500. Architect, private plans. Owner, S. M. Haig,

246 Melrose avenue, Philadelphia. Brick, 1 story add., 18x15 feet. Owner will build.

**Workshop and Garage**, Southwest Corner Evergreen and Ridge avenues, \$2,800. Archi-

tect, private plans. Owner, George Baldwin, 7853 Ridge avenue, Philadelphia. Frame, 1 story, 45x34 feet, 14x30 feet, garage, 1 story, 18x18 feet. Owner will build.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Building**, Northeast Corner Broad and Oliver streets, Philadelphia. Architect, Philip S. Tyre, 1509 Arch street, Philadelphia. Owners, Berroden Auto Supply Co., 713 North Broad street, Philadelphia. Brick, cut east stone, steel, 3 stories, 130x67 feet, slag roof, cement and oak floors, elevators, painting and glazing, shoring, waterproofing, ornamental iron work, bond, fire doors, hollow metal sash, terrazzo work, bond, fire doors, metal lath. Contract awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Community Center**, Oregon avenue and Randolph street, Philadelphia, \$40,000. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, Mizpah Community Center, on premises. Brick, stone, 2 stories and basement, 86x45 feet, slag roof, mineral and pine floors, painting and glazing, plumbing, ornamental iron work, bond, tile work, metal lath, electric light, steam heat. Contract awarded Thomas C. Trafford, 1613 Sansom street, Philadelphia.

**Shop Building**, Frankford, Philadelphia. Architect, private plans. Owner, Andrew Buchalla, care of builders. Brick, 2 stories,

20x20 $\frac{3}{4}$  feet, 1 story, 20 $\frac{3}{4}$ x57 $\frac{3}{4}$  feet, slag roof, cement and plank floors, plumbing, rolling steel sash, hollow metal skylights, electric (radio-gas heating reserved). Contract awarded J. Maurer & Co., 1304 North Second street, Philadelphia.

**High School (alt. to stairway)**, Forty-ninth and Chestnut streets, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, West Philadelphia Catholic High School, on premises. Slate work, marble work, iron work, mill work, plastering, painting and glazing, carpentry. Contract awarded F. V. Warren, 1913 Arch street, Philadelphia.

**Store and Apartment**, Thirty-eighth and Lancaster avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Irvin King, 132 South Fourth street, Philadelphia. Structural steel, carpentry and mill work, cut stone and brick, slag roof, hardware, hot air heat, repairs to plastering, electric light, painting, bond, plate glass, stucco. Contract awarded T. S. Fetter, 1829 Filbert street, Philadelphia.

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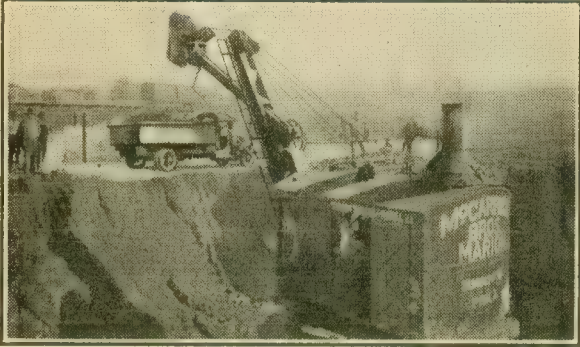
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fourth and Woodland avenue, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., care of T. H. Greist, 261 North Broad street, Philadelphia. Brick work, carpentry and mill work, electric work, hardware, steam heat, alterations, metal work, painting and glazing, plastering, sheet metal work, structural steel, tile work. Contract awarded E. H. Keefer & Son, 1321 Rodman street, Philadelphia.

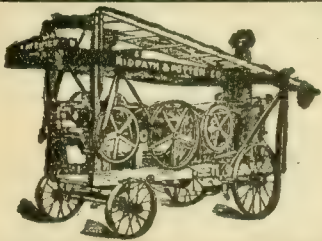


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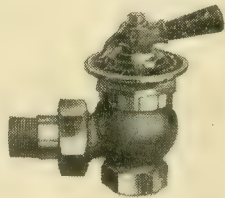
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**Studio (alts. and add.),** 1608-12 Latimer street, Philadelphia. Architect, W. Woodburn Potter, Real Estate Trust Building, Philadelphia. Owner, C. Yarnall Abott, 1711 Chestnut street, Philadelphia. Brick, cut stone, stucco, 2½ stories, 32x40 feet (electric heating, painting and glazing, hardwood floors reserved), slate roof, pine floors, metal lath, tile work, copper skylights, ornamental iron work, dumb waiter, plumbing. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

**Alterations to School,** Eighteenth and Locust streets, Philadelphia. Architect, Horace W. Sellers, Stephen Girard Building, Philadelphia. Owners, Curtis Institute, care of architect. Stair work, plumbing, painting and glazing, electric work, tile work, brick work, kalamein doors, cement work, iron work, marble and slate work, plastering, carpentry and mill work. Contract awarded H. H. Burrell, 206 South Quince street, Philadelphia, who is taking sub-bids.

**Church,** Cobb's Creek Boulevard and Cedar avenue, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, St. Carthage's Roman Catholic Church, Rev. P. F. O'Neill, on premises. Reinforced concrete, brick, steel, cut stone, 1 story and basement, 100x155 feet, tile roof, maple and cement floors, hollow tile, metal lath, bond, rolling steel sash. Contract awarded B. J. McKenna, 1713 Moravian street, Philadelphia.

**Factory (add.),** Front and Erie, Philadelphia. Architect, private plans. Owners, Hess-Bright Manufacturing Co., Front and Erie avenue, Philadelphia. Concrete and steel, 1 story, 30x140 feet, composition roof, cement floors, plumbing, painting and glazing, floor hardener, bond, rolling steel sash, metal lath, steam heat, mackele partitions. Contract awarded H. John Homan, Eighteenth and Cherry streets, Philadelphia.

**Office (alts. and add.) Coal Yard,** Thirteenth and Callowhill streets, Philadelphia. Architect, S. T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Reading Railroad, Twelfth and Market streets, Philadelphia. Lessee, Edward J. Cummings, Inc., 413 North Thirteenth street, Philadelphia. Brick and steel, second story add., 38x14 feet, 1 story, brick, heater room, 9x9 feet, slag roof, pine floors, plumbing, painting and glazing, ornamental iron work, bond, hot water heat, electric light. Contract awarded A. L. Carhart, Penfield Building, Philadelphia.

**Demolition,** Tucker and Memphis streets, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. J. A. Hand, Lehigh and Memphis. Contract awarded

David Duffin, 5001 Roosevelt Boulevard, Philadelphia.

**Residence (alts.),** 2008 Walnut street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Dr. Bowers, on premises. Carpentry and mill work, oak floors, brick work, cement work, plastering, painting and glazing, marble and tile work, metal lath, bond. Contract awarded Smith-Hardican Co., 1809 Callowhill street, Philadelphia.

**Alterations,** 1522 Walnut street, Philadelphia. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, Hirst & McMullen, on premises. Carpentry and mill work, cleaning stone work, plastering, painting, electric work, partition work, galvanized iron skylights, repairs to roof, everlastic tile floors. Contract awarded Murphy Quigley, 1524 Sansom street, Philadelphia.

**Stores and Locker Rooms (alts. and add.),** Southeast Corner Fifteenth and Locust streets. Architects, Webber & Wurster, 1530 Locust street, Philadelphia. Owners, Albert M. Greenfield Co., Fifteenth and Chestnut streets, Philadelphia. Brick, limestone, granite oak floors, hollow tile, carpentry and mill work, painting and glazing, shoring, ornamental iron work, tile work, metal lath, electric lighting, heating additions. Contract awarded Nelson Pedley Const. Co., Corn Exchange Building, Philadelphia.

**Alterations and Additions,** 2606 Columbia avenue, Philadelphia. Architect, Leo J. Malatesta, 1919 North Sixty-first street, Philadelphia. Owner, N. L. Collins, on premises. Stone, granite, brick, steel, 3 stories, hot water heat, slag roof, electric light, tile and marble work, ornamental iron work, mineral and pine floors, plumbing, plastering, carpentry and mill work, painting and glazing, shoring. Contract awarded Acme Const. Co., 2025 North Sixty-second street, Philadelphia.

**Residence (alts.),** 2301 North Fifty-second street, Philadelphia, \$5,000. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, A. Pleet, 1835 Diamond street, Philadelphia. Brick, stucco, 2 stories, 18x16 feet, slag and tin roof, oak floors, hollow tile, painting and glazing, metal weather strips, ornamental iron work, plastering, ornamental plaster, bond, tile and marble work, hot water heat, electric light. Contract awarded H. A. Hamilton, Greene and Cheltenham avenue, Philadelphia.

**Moving Picture Theatre (alts.),** Ridge avenue and Oxford street, Philadelphia, \$15,000. Architect, Arnold Mueller, 901 Walnut street, Philadelphia. Owner, George Borowsky, 4625 York Road, Philadelphia. Brick, steel (plumbing, heating, electric work reserved), new slag and tile roof, cement floors, carpentry, mill work, painting, glazing, salt glazed terra

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cotta, ornamental iron work, ornamental plaster, bond. Contract awarded to J. Trichon-sky, 242 Morris street, Philadelphia.

**Shop and Office (add.)**, 1817 Callowhill street, Philadelphia, \$8,000. Architect, H. B. Weldon, 1627 Sansom street, Philadelphia. Owner, Jacob A. Busch, on premises. Brick, 2 stories, 16x72 feet, slag roof, yellow pine floors. Contract awarded to Smith-Hardican Co., 1809 Callowhill street.

**Church (alts.)**, Northeast Corner German-town avenue and Loudon street, \$6,000. Owner, Mrs. G. H. Deacon, Clapier street and McKean avenue, Philadelphia. Stone, increasing height of steeple 20 feet. Contract awarded to John Roman, 414 East Brighthurst street, Philadelphia.

**Residence**, East side Whitaker avenue, North of Cottman street, \$6,000. Architect, private plans. Owner, Mary Dalfert, 327 North Sixth street, Philadelphia. Brick, 2 stories, 16x40 feet, hot water heat, electric light. Contract awarded to John Zagora, 327 North Sixth street, Philadelphia.

**Residences (2)**, South side Fairmount avenue, West of Thirty-seventh street, \$15,000. Architect, private plans. Owner, Patrick Lange, Thirty-seventh and Fairmount avenue, Philadelphia. Brick, 3 stories, 19 feet, 10 inches x 33 feet, 3 inches, hot water heat, electric light. Contract awarded to Thomas M. Keeley, 4411 Germantown avenue.

**Warehouse (alts.)**, 905 Arch street, Philadelphia, \$10,000. Owners, Wall Paper Mills Co., on premises. General fire repairs. Contract awarded to A. Raymond Raff Co., 1635 Thompson street.

**Store and Residences (6)**, Rector street and Manayunk avenue, Philadelphia. Architect, private plans. Owner, P. H. Powers, 1917 Green street, Philadelphia. Brick, stone, slag and tin roof, galvanized iron bays, 2 stories, 50x16 feet, tile baths, electric light. Contract awarded Carl Kirsch, Conshohocken, Pa.

**Rectory (add.)**, Fourth and Vine streets, Philadelphia. Architects, Folsom, Stanton & Graham, 10 South Eighteenth street, Philadelphia. Owners, St. Augustin's Roman Catholic Church, Rev. J. A. Regnery, O. S. A., on premises. Stone, brick, 2 stories and basement, tile and marble work, slag work. Contract awarded McCloskey Co., Inc., 1620 Thompson street, Philadelphia.

**Store and Storage Building (alts.)**, Southwest Corner Ridge avenue and Green Lane, Philadelphia, \$9,000. Owner, H. M. Watson, 4371 Main street, Philadelphia. General alterations. Contract awarded to C. M. Swartley & Son, 6825 Ridge avenue, Philadelphia.

**Residence**, Southwest Corner Loney and Loretta streets, \$6,500. Architect, private plans. Owner, Charles H. Miller, Commonwealth Building, Philadelphia. Frame, 2 stories, 26x26 feet, hardwood floors, shingle roof. Contract awarded to J. Elliott, 2237 North Seventeenth street, Philadelphia.

**Coke Separation Plant**, Northwest Corner Schuylkill and Passyunk avenues, \$5,000. Architect, private plans. Owners, United States Import Co., 1401 Arch street, Philadelphia. Iron, 1 story, 23 feet, 6 inches x 33 feet, 6 inches. Contract awarded to J. H. Terry & Co., Drexel Building, Philadelphia.

**Building (add.)**, Northeast Corner Front and Brown streets, \$300,000. Architect, private plans. Owners, Terminal Transfer Co., on premises. Reinforced concrete, 8 stories, irregular size, slag roof, steel sash, cement floors, steam heat, electric light. Contract awarded to Turner Const. Co., 1713 Sansom street, Philadelphia.

**Building (add.)**, Northwest Corner Second and Morris streets, Philadelphia, \$5,000. Architect, private plans. Owner, J. D. Gregory, 209 Morris street, Philadelphia. Brick, 1 story add., 12 feet, 6 inches x 81 feet. Con-

tract awarded to Leo Poselsky, 4524 Warnock street, Philadelphia.

**Residence and Store (alts.)**, Northeast Corner Seventeenth and Master streets, \$5,000. Architect, private plans. Owner, M. Larrany, 2252 North Front street, Philadelphia. General alterations. Contract awarded to D. Wittenberg, Holmes, Pa.

**Residences (4)**, 3705-07-09-11 South Ninety-first street, Philadelphia, \$3,500 each. Architect, private plans. Owner, Mary J. Hunsberger, 5402 B street, Philadelphia. Brick, 2 stories, 15x22 feet, 12x12 feet, hot air heat, electric light. Contract awarded to U. S. Hunsberger, 5402 B street, Philadelphia.

**Residence and Studio**, 806 Christian street, Philadelphia, \$3,000. Owner, B. Verna, on premises. Brick, 3 stories, 3x35 feet add. Contract awarded to R. Parisi, 1332 South Tenth street, Philadelphia.

**Garage**, Northeast Corner Haines and Baynton streets, Philadelphia, \$4,000. Architect, private plans. Owner, W. Bowditch, on premises. Brick, 1 story, 18x123 feet, slag roof, cement floors. Contract awarded to I. A. Dunkelberger, 71 Herman street, Philadelphia.

**Residence (alts. and add.)**, 30 Rex avenue, Philadelphia, \$4,700. Architect, private plans. Owner, P. Yeatman, on premises. Concrete block, 2 stories add., 14x21 feet, general alterations. Contract awarded to Alex. Caie, 48 East Chestnut avenue, Philadelphia.

**Office**, 2204 East York street, Philadelphia, \$3,500. Architect, private plans. Owner, Dr. G. Sinriamon, 2206 East York street, Philadelphia. Brick, 1 story, 17x36 feet. Contract awarded to William G. Isles, 806 Levick street, Philadelphia.

**Church (add.)**, Northeast Corner Ridge and Shawmont avenues, Philadelphia, \$3,400. Owners, Ridge Avenue Methodist Episcopal Church, on premises. Frame, 1 story add., 38x25 feet. Contract awarded to C. M. Swartley & Son, 6835 Ridge avenue.

**Garage**, 6365 Woodbine avenue, Philadelphia, \$3,200. Architect, private plans. Owner, T. Henry Schuyler, on premises. Stone, 1 story, 21x24 feet, cement floors. Contract awarded to Milton W. Young, 2037 North Sixty-third street.

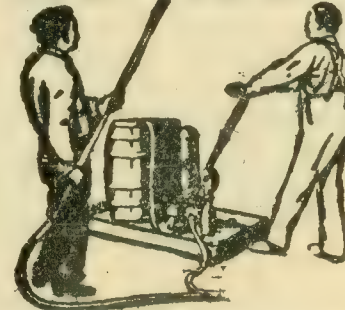
**Garage (alts.)**, 219 Fitzwater street, Philadelphia, \$3,000. Architect, private plans. Owner, John Goodman, on premises. General alterations. Contract awarded to David Goldberg, 1617 South Orkney street, Philadelphia.

**Residence (alts. and add.)**, 3212 North Seventeenth street, Philadelphia, \$4,000. Architect, private plans. Owner, R. G. Ledig, 1705 West Allegheny avenue, Philadelphia. Brick, third story add., 13x18 feet, general alterations. Contract awarded to Joseph S. Tomlinson, 1710 West Venango street.

**Storage Building (add.)**, 807 Locust street, Philadelphia, \$3,500. Architect, private plans. Owner, L. S. Sharko, 234 South Eighth street, Philadelphia. Brick, 2 stories add., 18x30 feet. Contract awarded to Max Zipkin, 3966 Reno street, Philadelphia.

**Warehouse (alts.)**, 18-20 Letitia street, Philadelphia, \$3,000. Owners, Lattersfield

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Co., 32 Letitia street, Philadelphia. General alterations. Contract awarded to F. A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Dye House and Garage**, Northwest Corner Amber and Silver streets, \$8,000. Owners, Thomas Dawson & Co., on premises. Brick, 1 story add., 25x38 feet, garage, 25x25 feet, 1 story. Contract awarded to Robert Beatty & Brother, 2321 East Fletcher street.

**Boiler House (add.)**, 5344 Germantown avenue, \$3,900. Architect, private plans. Owners, Manheim Laundry Co., on premises. Brick, 1 story add., 23x44 feet. Contract awarded to William H. Cumberland, 4927 Rubican avenue.

**Store and Residence (alts.)**, 724-26 West Girard avenue, \$3,000. Owners, Astor Realty Co., Franklin and Girard avenue, Philadelphia. General alterations. Contract awarded to S. Yellin, 3125 North Montgomery avenue.

**Church (add.)**, North side Glenwood avenue, West of Sixty-third street, \$16,500. Owners, John Pritchard Evangelical Lutheran

Church, on premises. Stone, 2 stories add., 34x76 feet, slate roof. Contract awarded to John Ehman, 1908 Tasker street, Philadelphia.

**Residence (add.)**, 1925 Manning street, Philadelphia, \$3,300. Architect, private plans. Owner, A. Ballard, on premises. Brick, 3 stories add., 10x12 feet. Contract awarded to Ford & Cunningham, 1942 Delaney street, Philadelphia.

**Store and Residence (alts. and add.)**, 4119 Houghten street, \$3,000. Architect, private plans. Owners, Mr. and Mrs. H. Lawrence, on premises. Brick, 1 story add., 16x6 feet, 2 stories add., 9x14 feet, hot water heating. Contract awarded to Frank J. Smith, 331 Lyceum avenue, Philadelphia.

**Store and Residence (alts.)**, 2412 Ridge avenue, Philadelphia, \$2,800. Architect, private plans. Owner, M. Tobras, on premises. General alterations. Contract awarded to M. Brenner, 2034 South Fifth street, Philadelphia.

## PENNSYLVANIA

# Construction News

**Residence (alts. and add.)**, Rydal, Pa. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, William Paul O'Neill, Rydal, Pa. Frame, 2½ stories, 2 wings, 20x20 feet, shingle roof, hardwood floors, vapor vacuum heat, electric light, tile work, plumbing. Architects taking sub-bids.

**Residence (alts. and add.)**, Gulf and Avon Road, Haverford, Pa. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, W. H. Maule, Haverford, Pa. Stone, 2½ stories, 15x20 feet, slate roof, hardwood floors, vapor heat, plumbing. Architects sub-letting.

**Mercy Hurst Group of Buildings**, Erie, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Sisters of Mercy, Erie, Pa. Architect taking bids due July 10th.

**Bank Building (add.)**, Hazleton, Pa. Architect, J. B. Chamberlin, Hazleton Bank Building, Hazleton. Owners, First National Bank, 31 West Broad street, Hazleton, Pa. Brick, 1 story rear add. Owners taking bids.

**Bank and Office Building**, Main and Swede streets, Norristown, Pa. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Norristown Penn Trust Co., care of Penn Trust Co., on premises. Preliminary plans in progress.

**Packing Plant**, Bridgeport, Pa. Architects, Himmelbach & Schlich, 136 Liberty street, New York City. Owners, A. H. March Packing Co., Bridgeport, Pa. Brick, 3 stories, 110x160 feet. Work contemplated.

**Moving Picture Theatre and Apartment**, Peckville, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owner, Mrs. Thomas Zaydon, Peckville, Pa. Steel,

frame and stucco, 2 stories, 102x40 feet, slag roof, pine floors, vapor heat, electric light. Plans in progress.

**Hotel and Department Store**, Milton, Pa. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 5 stories, 44x165 feet, slag roof, oak floors, steam heat, electric light, metal lath, tile and marble work, hollow metal sash and skylights and doors, store fixtures, bond, metal bulks, floor hardener, iron stairs, ornamental iron work, terra cotta, waterproofing, cold water painting, metal ceilings, roof ventilating. New plans in progress.

**School (add.)**, West Chester, Pa. Architects, Paul A. Davis, 3rd, & Dunlap, 1805 Walnut street, Philadelphia. Owners, School District of West Chester, Pa. Additional story for manual training. Plans in progress. Ready for bids in a week.

**Strand Theatre**, Pottstown, Pa. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owner, George W. Bennethum, 1307 Vine street, Philadelphia. Revised plans in progress.

**Grade School**, Hanover, Luzerne County, Pa. Architect, R. M. Herr, Simon Long Building, Scranton, Pa. Owners, Hanover Township School Board, care of architect. Brick, 2 stories. Plans in progress.

**Residence**, East Northampton street, Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre, Pa. Owner, name withheld. Frame, stucco, 2½ stories, 25x35 feet, wood and shingle roof, hardwood floors, steam heat, electric light, tile work. Plans in progress.

**Church**, Wanamie, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-

Barre. Owners, St. Mary's Congregation, Rev. J. Miliauskas, Wanamie, Pa. Frame, brick, steel, 1 story and basement, 40x80 feet, slate roof, pine floors, steam heat, electric light, tile work. Plans in progress.

**Residence**, Pittston, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre, Pa. Owner, name withheld. Frame, stucco, 2½ stories, 35x40 feet, slate roof, hardwood and pine floors, vapor heat, electric light, tile work. Plans in progress.

**Market, House, Arcade and Comfort Station**, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owners, City of Bethlehem, City Hall, Bethlehem, Pa. Brick, steel, 1 story, 100x100 feet, 32x130 feet and 30x50 feet, slag roof, concrete floors, hollow tile, roof ventilators, waterproofing, steam heat, electric light, metal lath, tile and marble work, floor hardener. Plans in progress.

**Convent (add.)**, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Saints Simon and Methodius Parish, Rev. E. Stapleton, Bethlehem, Pa. Brick, 2 stories, 54x13 feet, slate roof, hardwood floors, electric light, tile work. Plans in progress.

**Store (alts. and add.)**, Fourth and Vine streets, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owner, John Gaskadaska, South Bethlehem, Pa. Brick, 2 stories, 15x30 feet, slag roof, maple floors, electric light, plate glass, ornamental iron work. Plans in progress.

**Parochial School**, Wilkes-Barre, Pa. Architect, Austin Reilly, Bennett Building, Wilkes-Barre, Pa. Owners, Sacred Heart Parish, Wilkes-Barre, Pa. Steel, brick, fireproof, 3 stories, 60x75 feet, Barrett Specification roof, hardwood floors, hollow tile, safety treads, roof ventilators (heating, electric work and plumbing reserved), metal lath, bond, iron stairs. Architect ready for bids.

**School**, Ashley, Pa. Architect, T. H. Ather-ton, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Ashley School Board, Ashley, Pa. Brick, hollow tile, stucco, 2 stories, 35x103 feet, slag roof, hardwood and pine floors, roof ventilators (heating, electric and plumbing reserved), rolled steel skylights, bond. Architect will take bids in two weeks.

**Factory (add.)**, Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Fireproof, brick, steel, 1 story, 40x75 feet. Barrett Specification roof, concrete floors, steam heat, electric light, rolled steel sash, fire doors. Architects will take sub-bids.

**Parochial School**, Lehigh, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Saints Peter and Paul Church, Rev. Charles Swas, Lehigh, Pa. Brick, steel, 2 stories, 64x64 feet, slate roof, pine floors, hollow tile, roof ventilators, waterproofing and dampproofing, terra cotta, metal lath, iron stairs (heating, plumbing and electric work reserved). Owners will take bids next week.

**Church and Rectory**, Tobyhanna, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, St. Anne's Parish, Rev. J. J. O'Malley, Tobyhanna, Pa. Native stone, 2½ stories and 1 story and basement, 39x55 feet, 98x62 feet, tile roof, pine floors, vapor heat, electric light, tile work, art glass, Morene finish. Owners ready for bids.

**Parish School and Auditorium**, Jessup, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, St. Michael's Slovak Church, Rev. Strand. Jessup, Pa. Brick, steel, 2 stories, 66x112 feet, Johns Manville roof, maple floors, hollow tile, metal ceilings, waterproofing and dampproofing (heating, electric and plumbing reserved),

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metal lath, tile work, iron stairs, ornamental iron work. Owners about ready for bids.

**Residence**, College Heights, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Paul Boman, Allentown, Pa. Cinder block, stucco, 1 story, 35x35 feet, tile roof, hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Residence (alts.) and Garage**, 249 Wheeler street, Scranton, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owner, J. J. Howley, Traders' Bank Building, Scranton, Pa. Concrete, stucco, 1 story, 20x44 feet, parquet and concrete floors, vapor heat, electric light, tile and marble work, interior decorating. Owner taking sub-bids.

**Residence**, 100 Lansdowne Court, Lansdowne, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Mrs. Leah V. Welsh, care of architect. Stone, frame, 2½ stories, 40x26 feet, shingle roof, hardwood floors, hot water heat, electric light, tile and marble work. Owner, care of J. J. Wilson, Twenty-ninth and Ellsworth streets, Philadelphia, taking sub-bids.

**Parish House**, Hazleton, Luzerne County, Pa. Architects, P. B. Sheridan and P. G. Knoblock, Hazleton, Pa. Owners, St. Gabriel's Roman Catholic Congregation, Rev. J. S. Fagan, on premises. Stone, cut limestone, granite, steel, 1 story, basement and balcony, 150x66 feet, slate roof, oak and pine floors, hollow tile, metal lath, tile and marble work, rolling steel sash, kalamein doors, bond, ornamental iron work, iron stairs, dampproofing, alt. east stone, alt. brick for granite. Architect taking bids due July 7th.

**Twin Residences (20)**, Upper Darby Township, Delaware County, Pa. Architect engineer, M. M. Boonin, Northeast Corner Eighth and Porter streets, Philadelphia. Owners, Kilker & Lapidus, 150 South Sixtieth street, Philadelphia. Stone and stucco, on frame, 2 stories, 16x31 feet and 18x10½ feet, hot water heat, electric light, tile bath, fire place, concrete cinder blocks, terra cotta flue lining, oak floors, shingle and slag floors (paperhanging and painting reserved). Architect taking bids due as soon as possible.

**Residence and Garage**, Penfield, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. Jos. Echteruach, Medical Arts Building, Philadelphia. Brick, stucco, 2½ stories, 40x30 feet, garage, hollow tile and stucco, 22x24 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Architect taking bids due as soon as possible.

**Science Building**, Muhlenberg College, Allentown, Pa. Architects, Ruhe & Lang, 10 North Sixth street, Allentown, Pa. Owners, Muhlenberg College, Allentown, Pa. Stone and steel, 3 stories and basement, main building, 70x185 feet, auditorium wing, 40x60 feet, hardwood floors, electric light. Architects ready for bids due July 10th.

**Residence**, Kingston, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Hollow tile and stucco, 2½ stories, 31x36 feet, slate roof, hardwood floors, electric light, tile work. Architects taking bids due July 3rd.

**Residence**, Villanova, Pa. Architect, Arthur H. Brockie, 254 South Fifteenth street, Philadelphia. Owner, Rev. Richard J. Morris, Villanova, Pa. Brick, cinder and concrete building blocks, cut stone, steel, 2½ stories, 62x20 feet, wing 28x36 feet, shingle roof, oak and pine floors, hollow tile, hot water heat, electric light, tile and marble work, ornamental iron work. Architect taking bids due July 7th.

**Central School Building (alts. and add.)**, Saver avenue and Powel Road, Springfield. Architects, McKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owners, School

District of Springfield Township, Mrs. W. Marshall, secretary, Swarthmore, Pa. Stone, cut stone, limestone, brick, 1 story and basement, 77x109 feet (plumbing, heating and electric separate), slag roof, cement, composition and maple floors, metal lath, rolling steel skylights, bond, ornamental iron work, iron stairs, waterproofing and dampproofing, excavating. Low bidders: Bowden Const. Co., 1935 Chestnut street, Philadelphia, \$63,834; Friel McLeister, 1615 Spruce street, Philadelphia, \$64,444. Plumbing, William Newell & Son, 1707 Sansom street, Philadelphia, \$3,322. Heating, J. H. Hutchinson, 1020 Callowhill street, Philadelphia, \$12,494. Electric, Merit Elec. Co., 630 Race street, Philadelphia, \$1,075.

**High School**, Rosedale, Reading, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Muhlenberg Township School District, A. E. Foust, Temple, Pa. Lowest bidders: George Meinholz, 114 North Eleventh street, Reading, Pa., \$129,000; George A. Koch, 818 North Eleventh street, Reading, Pa., \$148,307; C. H. Schlegel, 2250 Perkiomen avenue, Reading, Pa., \$159,723.

**Road Work**, Pennsylvania. Owners, Pennsylvania Department of Highways, Harrisburg, Pa. Owners taking bids due July 15th at 10 A. M.

Allegheny County, R-181, A-2130, Forward and Elizabeth Townships, 16,867 feet. One course reinforced concrete. Certified check, \$4,000.

Allegheny County, R-247, Baldwin, Bethel and Snowden Townships, 33,417 feet. One course reinforced concrete. Certified check, \$4,000.

Beaver County, A-2753, Conway and Freedom Boroughs, 8,999 feet. One course reinforced concrete. Certified check, \$2,000.

Blair County, R-55, Tyrone Borough, 1,607 feet. One course reinforced concrete. Certified check, \$1,000.

Chester County, A-1430, West Nottingham Township, 15,016 feet. One course reinforced concrete. Certified check, \$3,000.

Clarion County, A-2577, Sec. 2, Beaver Township, 10,572 feet. One course reinforced concrete. Certified check, \$2,000.

Fayette County, A-1468, Luzerne Township, 6,571 feet. One course reinforced concrete. Certified check, \$1,500.

Indiana County, A-985, Canoe Township, 7,904 feet. One course reinforced concrete. Certified check, \$1,500.

Jefferson County, A-2735, Washington Township, 10,370 feet. One course reinforced concrete. Certified check, \$2,000.

Perry County, R-31, Howe and Greenwood Townships, 26,491 feet. One course reinforced concrete. Certified check, \$4,000.

Somerset County, R-50, R-2731, 2732, 2733, Spur A, Milford Township, North Centerville, Rockwood Borough, 14,062 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

Somerset County, A-2839, 2861, Paint and Ogle Townships, 27,215 feet. One course reinforced concrete. Certified check, \$4,000.

Warren County, A-1788, Freehold Township, 5,118 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,500.

Washington County, R-108, Sec. 2, North Strabane Township, 7,358 feet. One course

reinforced concrete. Certified check, \$1,500.

Washington County, R-242, Independence Township, 4,922 feet. One course reinforced concrete. Certified check, \$1,500.

**Bridge**, over West Branch of Susquehanna River, Northumberland, Snyder-Union Counties, Route 25, concrete, 11 span, 1,362 feet long, width between parapets, 24 feet. Certified check, \$4,000. Owners taking bids due July 15th at 10 A. M. at State Capitol Building, Harrisburg, Pa.

## Pennsylvania Contracts Awarded

**Residence**, North side Rhawn street, East of Summerdale avenue, \$5,000. Architect, private plans. Owner, Lewis Earnest, 1344 East Airdrie street, Philadelphia. Frame, 1 story, 29 feet, 6 inches x 29 feet, shingle roof, electric lighting. Contract awarded to Guy B. Johnson, 543 Media street, Philadelphia.

**Road Work**, Pennsylvania. Owners, Pennsylvania State Highway Department, Harrisburg, Pa. Bradford County, R-15-343, A-2335, 2340, Rome and Orwell Townships, Rome Borough, 23,715 feet. One course reinforced concrete. \$22,150.71. Contract awarded to Lane Const. Corp., Meriden, Conn.

**Station**, Bethlehem, Pa. Architect, Kenneth M. Murchison, 101 Park avenue, New York City. Engineer, C. C. Hurlberte, 101 Park avenue, New York City. Owners, Lehigh Valley Railroad, E. Loomis, 143 Liberty street, New York, and Philadelphia & Reading Railroad Co., A. T. Dice, Twelfth and Market streets, Philadelphia. Reinforced concrete, brick, limestone, cut stone, steel, 1 story and mezzanine, 136x105 feet (plumbing, heating and electric, elevators, kitchen equipment reserved), asbestos built-up roof, cement floors, hollow tile waterproofing, ornamental terra cotta, kalamein doors, rolling steel skylights, tile, marble and terrazzo work, metal lath. Contract awarded Charles McCaul Co., 1713 Sansom street, Philadelphia.

**School (alts. and add.)**, Olyphant, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Olyphant School Board, P. J. McGinty, president, Olyphant, Pa. Brick, steel, 1 and 3 stories, 105x77 feet, 28x77 feet, slag roof, hardwood floors (heating, electric work and plumbing reserved), tile work. Contract awarded to Boland Brothers, 427 Spruce street, Scranton, Pa. Heating awarded to J. H. Lally, Olyphant, Pa. Plumbing awarded to J. B. O'Hara, Olyphant, Pa. Electric awarded to M. L. Fagan, Olyphant, Pa.

**Grade School**, Dickson City, Pa., \$48,500. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Dickson City School Board, M. J. Donnelly, Dickson City, Pa. Brick, 2 stories and basement, 6 rooms, slag roof, pine floors (heating, electric work reserved). Contract awarded to Boland Brothers, 427 Spruce street, Scranton, Pa. Heating, plumbing and ventilating awarded to J. H. Lally, Olyphant, Pa. Electrical work awarded to Donnelly Electric Co., Olyphant, Pa.

**Parochial School (alts. and add.)**, Lansford, Pa., \$70,000. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, St. Michael's Roman Catholic Church, R. J.

## QUALITY MILLWORK

AT LOWER PRICES

RESIDENTIAL WORK A SPECIALTY

THOS. SIPPLE & SON

QUARRY (ST. & B. & O. R. R.)

BELL PHONE

DARBY, PA.



Lisicky, Lansford, Pa. Brick, steel, 2 stories, 4 rooms, slate roof, pine floors, electric light. Contract awarded to Andrew Breslin, Summit Hill, Pa.

**Memorial Building**, Willow Grove, Pa. Architect, Frank Miller, 1012 Walnut street, Philadelphia. Owners, Willow Grove Community Memorial Building, J. Dyre Moyer, Willow Grove, Pa. Brick, cut stone, 3 stories, 80x96 feet (plumbing, heating and electric reserved), slag roof, maple floors, metal lath, bond, ornamental iron work, architectural terra cotta. Contract awarded Roy Randall, Jenkintown, Pa.

**Telephone Building**, Allentown, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 3 stories, 91x100 feet, slag roof, cement floors, steam heat, electric light, metal lath, tile work, hollow metal sash, waterproofing, bond, ornamental iron work. Contract awarded Franklin M. Harris, 1520 Parrish street, Philadelphia.

**Power Plant Building**, Colwyn, Pa. Architect, Charles A. Blatchley, Drexel Building, Philadelphia. Owners, G. Woolford Wood Tank Co., Lincoln Building, Philadelphia. Brick, steel, 2 stories, 50x50 feet, Barrett's Specification roof and Pyrofill gypsum roof, concrete floors, plumbing, rolling steel sash, ornamental iron work. Contract awarded Barclay White Co., 1713 Sansom street, Philadelphia.

**Church**, West Manayunk, Pa. Architects, Bureau of Architects, Methodist Episcopal Church, A. M. Dobbins, 1701 Arch street. Owners, Ashland Methodist Episcopal Church, West Manayunk, Pa. Brick, stone, stucco, 1 story, 52x24 feet (heating and plumbing reserved), shingle roof, pine floors, electric light, metal lath, tile work, ornamental iron work. Contract awarded T. C. Trafford, 1613 Sansom street, Philadelphia, \$15,000.

**Store and Office**, South Main street, Wilkes-Barre, Pa., \$49,000. Architect, R. M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owner, name withheld. Brick, stone, 2 stories, 43x110 feet, slag roof, hardwood floors, electric light, metal lath, tile work. Contract awarded to H. Mailander, 167 Barney street, Wilkes-Barre, Pa.

**Residence**, Forty Fort, Pa. Architects, Cook & Lacy, Miners' Bank Building, Wilkes-Barre, Pa. Owner, E. O. Coughlin, Forty Fort, Pa. Cement block, stucco, 2 stories, 30x36 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to R. Rosell, Forty Fort, Pa.

**Storage Building**, Wilkes-Barre, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, M. L. Oppenheim, Wilkes-Barre, Pa. Brick, slow burning, 6 stories, 40x145 feet, asphalt roof, pine floors, freight elevators, dampproofing, electric light, rolled steel sash, kalamein doors. Contract awarded to O. J. Behrens, 179 Blackman street, Wilkes-Barre, Pa.

**Road Work**, Pennsylvania. Owners, Pennsylvania Department of Highways, Harrisburg, Pa.

Venango County, R-205, Sec. 1, Cornplanter, Oakland and Cherry Tree Townships, 56,297 feet. One course reinforced concrete. \$537,448.85. Contract awarded to Connell, Laub & Bracht, Dayton, Ohio.

Washington County, R-113, West Bethlehem and West Pike Run Townships, Centreville and Bealsville Boroughs, 25,842 feet. One course reinforced concrete. \$288,728.85. Contract awarded to Meredith, McVaugh & Webb, Jamestown, Pa.

Berks-Lehigh County, R-158, Hereford and Upper Milford Townships, 29,741 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. \$37,778.60. Contract awarded to Lincoln Const. Co., Strafford, Pa.

Chester County, 215, New Garden and Kennett Townships, 19,613 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. Contract awarded to Lincoln Const. Co., Strafford, Pa. \$44,672.

Montgomery County, R-158, Red Hill Borough, 6,966 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. \$16,714.40. Contract awarded to Lincoln Const. Co., Strafford, Pa.

Westmoreland County, A-1824, Hempfield Township, 18,500 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. \$42,755.70. Contract awarded to State Const. Co., New Kensington, Pa.

Washington County, R-118, Fallowfield Township, 15,737 feet. One course reinforced concrete. \$167,966.60. Contract awarded to H. P. Streicher Co., Inc., Toledo, Ohio.

Warren County, R-88, Freehold and Pittsfield Townships, 41,733 feet. One course reinforced concrete. \$401,242.72. Contract awarded to J. O. Devine Co., Alliance, Ohio.

Greene County, R-110, Sec. 1, Whitely Township, 26,540 feet. One course reinforced concrete. \$381,991.45. Contract awarded to S. J. Groves & Sons Co., Minneapolis, Minn.

Jefferson County, R-61, Warsaw Township, 15,071 feet. One course reinforced concrete. \$135,330.85. Contract awarded to Joe Weisner, St. Mary's, Pa.

Luzerne County, R-170, Fairview and Wright Townships, 22,300 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. \$55,750. Contract awarded to D. A. Grant Co., Inc., Oil City, Pa.

Monroe County, R-169, Tobyhanna Township, 7,750 feet. Either bituminous surface course, Spec. E or D, on prepared broken stone base. \$26,040. Contract awarded to McInerney & McNeal, Inc., Easton, Pa.

Fayette County, R-117, Sec. 4, North Union Township, 8,339 feet. One course reinforced concrete. \$85,852.35. Contract awarded to C. Russell McIntyre, Fairchance, Pa.

Elk County, R-97, Sec. 4, Johnsonburg Borough, Ridgway Jones Township, 34,929 feet. One course reinforced concrete. \$40,479.27. Contract awarded to Fred D. Ross, Bradford, Pa.

Tioga County, R-102, Sec. 4, Shippen and Gaines Townships, 34,415 feet. One course reinforced concrete. \$405,613.90. Contract awarded to David Schoentag, Saugerties, N. Y.

## New Jersey Construction News

**Store (alts.)**, Trenton, N. J. Architect, R. A. Schuman, 202 West State street, Trenton, N. J. Owner, Henry Silverstein, 336 South Broad street, Trenton, N. J. Plumbing, hardwood floors, tile work, copper work. Architect ready for bids.

**Residences (2)**, Curtis avenue, Woodbury, N. J. Architects, W. Macy Stanton and Stanley Potter Stewart, 1524 Chestnut street, Philadelphia. Owner, name withheld. Frame and stucco, 2½ stories, 43x29 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Architect taking bids due July 3rd.

## New Jersey Contracts Awarded

**Apartment Hotel**, Atlantic Avenue and Boardwalk, Atlantic City, N. J. Architect, Robert S. DeGolyer, 7 South Dearborn street, Chicago, Ill. Owners, The President Apart-

ment Hotel Co., 31 Nassau street, New York. Brick, reinforced concrete, 11 stories and basement, 134x241 feet, green tile roof, hardwood floors, elevators, steam heat, electric light, tile and marble work, metal lath. Contract awarded to Paschen Brothers, 111 West Washington street, Chicago, Ill.

**Hotel**, Atlantic City, N. J., \$3,800,000. Architects, Maynicke & Franke, 25 Madison Square, North, New York. Owners, Barbuer Corporation, 9 East Forty-sixth street, New York. Brick, stone, steel, reinforced concrete, 15 stories, hardwood, pine and composition floors, tile work, electric work. Contract awarded to Tenential Corp., 565 Fifth avenue, New York.

**Parochial School**, South River, N. J., \$135,000. Architect, Robert A. Schuman, Trenton, N. J. Owners, St. Mary's Roman Catholic Church, South River, N. J. Concrete, fireproofing, 3 stories, 144x64 feet, steel floors, brick, plastering, fireproofing, slag roof, ornamental terra cotta, sheet metal and blackboard. Contract awarded Woodland Const. Co., Sixty-fifth and Chester avenue, Philadelphia.

**Residence**, Riverside, N. J. Architect, H. Ziegler, Delanco, N. J. Owner, Mrs. Mary Yung, Riverside, N. J. Frame, 2½ stories, 27x36 feet, 6 inches, shingle roof, pine floors, hot water heat, electric light, brick fireplaces. Contract awarded Martin Schockley, Riverside, N. J.

**Church (alts.)**, Berlin, N. J., \$17,000. Architect, Arthur B. Gill, 328 Market street, Camden, N. J. Owners, Centenary Methodist Episcopal Church, care of architect. Frame, cement block, steam heat, electric light, painting, general alterations. Contract awarded to Elmer J. Reif, Berlin, N. J.

**School**, Delanco, N. J. Architect, H. Ziegler, Delanco, N. J. Owners, Board of Education, W. L. Holt, Delanco, N. J. Brick, cut stone, 1 story and basement, 160x190 feet, wing 76x66 feet, slag roof, cement and maple floors, safety treads, ornamental iron work, iron stairs, bond, rolling steel sash and skylights, marble work, metal lath. Contracts awarded to: J. E. Kolster, Beverly, N. J., \$106,480. Heating, George H. Orfe, Riverside, N. J., \$21,220. Plumbing, George H. Orfe, Riverside, N. J., \$10,899. Electric not awarded.

## Proposals

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., June 18, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., July 10, 1924, for miscellaneous items of shelving and equipment at the United States Veterans' Hospital at Castle Point, N. Y. Drawings and specifications may be obtained from the Superintendent at Castle Point, N. Y., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., June 16, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., July 15, 1924, for the construction of a one-story brick non-fireproof Post Office building, approximately 75 by 50 feet in size, at Waterloo, N. Y. Drawings and specifications may be obtained from the Superintendent at Waterloo, N. Y., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.



# Reference Directory for Architects, Builders and Owners

**ARCHITECTURAL CEMENT CASTINGS**  
Erickson & Weiss, Fisher's Ave. and Mascher St.

**ARTESIAN WELLS.**  
Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

**ARTISTS AND ARCHITECTS' SUPPLIES.**  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

**ASPHALT CONSTRUCTION.**  
Rulon, Ralph V. ....239 N. 30th St., Phila.

**BLUE PRINTS.**  
Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

**BLUE PRINT PAPER.**  
Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

**BOILER AND PIPE COVERINGS.**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**BRICK (Face, Common, Paving).**  
Ketcham, O. W. ....121 N. 18th St., Phila.

**BUILDERS.**  
Mitchell Bros. ....2125 Race St., Phila.

**BUILDING NEWS.**  
Daily Building News.....Perry Bldg., Phila.

**BUILDERS' SUPPLIES.**  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

**CEMENT.**  
The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

**CEMENT WORK.**  
D'Lauro, John .....55 E. Mermaid Lane, Phila.

Erickson & Weiss, Fisher's Ave. and Mascher St.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

**COLD STORAGE.**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**COLUMNS (Metal).**  
Pearce Fireproof Co. ....1345 Arch St., Phila.

**COMPOSITION FLOORING.**  
Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

**CONCRETE TILE.**  
Gramm, Price, Turner, Inc.,  
176 E. Tulpehocken St., Phila.

**CONCRETE WORK.**  
Massiah, Frederick. Juniper and Cypress Sts., Phila.

**CONTRACT BONDS.**  
Patton, Edward W. ....400 Lincoln Bldg., Phila.

**CONTRACTOR'S EQUIPMENT**  
Lee T. Ward Co. ....617 Filbert St., Phila.

**CORK FLOORING**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**CURTIS WOODWORK.**  
Gillingham Co. ...Norris and Richmond Sts., Phila.

**CUT STONE.**  
Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

**DAILY BUILDING NEWS.**  
Building News Pub. Co. ....Perry Bldg., Phila.

**DAMP-PROOFING.**  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

**DRAWING MATERIALS.**  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Well, J. H., Co. ....1315 Cherry St., Phila.

**ELEVATOR DOOR CONTROLLERS.**  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

**ELEVATOR DOOR HANGERS.**  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

**EXCAVATING.**  
McCarriek Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F.....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

**FENCES.**  
Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

**FIREPROOFING.**  
Pearce Fireproof Co. ....1345 Arch St., Phila.

**FLOOR HARDENER.**  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Builders' Specialty Co., Inc. ....1844 N. Front St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

**FLUE LINING.**  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

**FURNACES AND RANGES.**  
Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

**GARAGE DOOR HANGERS.**  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

**GARAGE HEATERS.**  
Fleck Bros. ....44 N. 5th St., Phila.

**GAS RANGES.**  
Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

The Beckwith Co. ....2401 Chestnut St., Phila.

**HAULING CONTRACTORS.**  
McCarriek Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford.....719 Cherry St., Phila.

**HEATING CONTRACTORS.**  
Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson.....Columbia 5591

**HEATING BOILERS.**  
Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

**HOLLOW METAL WINDOWS.**  
McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

**HOLLOW TILE.**  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

**HOT WATER GENERATORS.**  
Edwin Elliot & Co. ....1011 Chestnut St., Phila.

**HOT WATER STORAGE SYSTEMS**  
Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

**HOUSE MOVING.**  
Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

**INSURANCE.**  
Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

**IRON AND STEEL BARS AND PLATES.**  
Lukens, Lewis N. ....19th and Washington Ave., Phila.

Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

Wood, Alan, Iron & Steel Co. ....Widener Bldg., Phila.

**KITCHEN CABINETS.**  
Housel, J. W. Co. ....2222 Chestnut St., Phila.

**LEVELS.**  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Well, J. H., Co. ....1315 Cherry St., Phila.

**LIGHT IRON CONSTRUCTION.**  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

**LINOLEUM.**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**LINOTILE.**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**LUMBER.**  
Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Ketcham, Howard.....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

**MARBLE AND MOSAIC.**  
Belfi Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.

Roman Mosaic & Tile Co. ....435 Green St., Phila.

**MASON BUILDER.**  
D'Lauro, John .....55 E. Mermaid Lane, Phila.

**MASTIC FLOORING.**  
Rulon, Ralph V. ....239 N. 30th St., Phila.

**METAL LATH.**  
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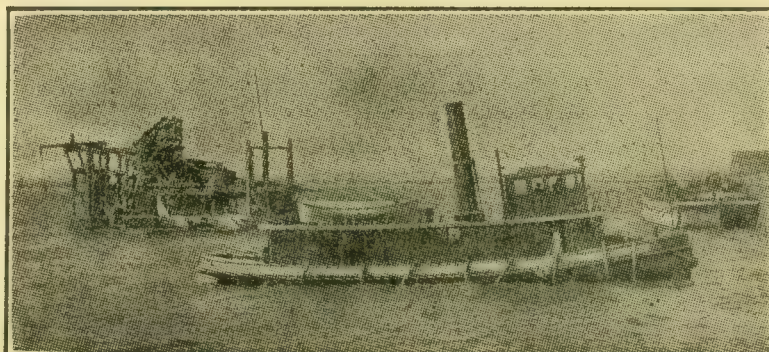
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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 28  
July 9, 1924

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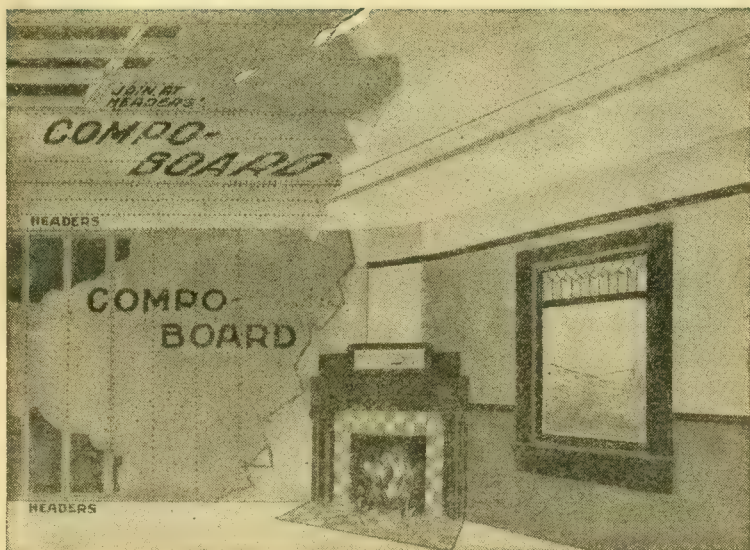
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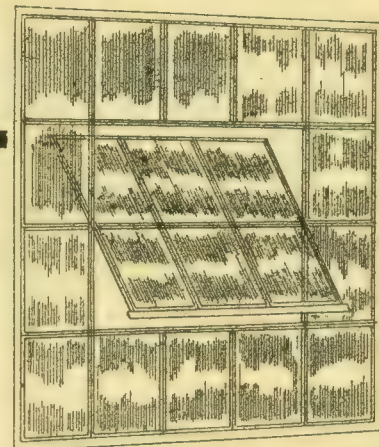
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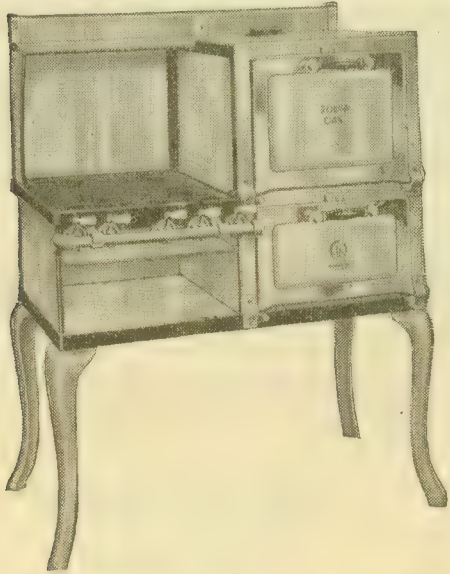
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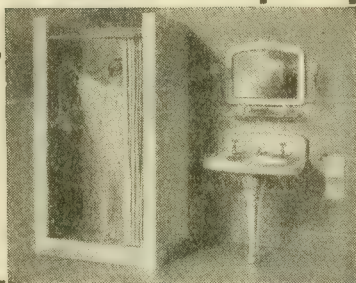
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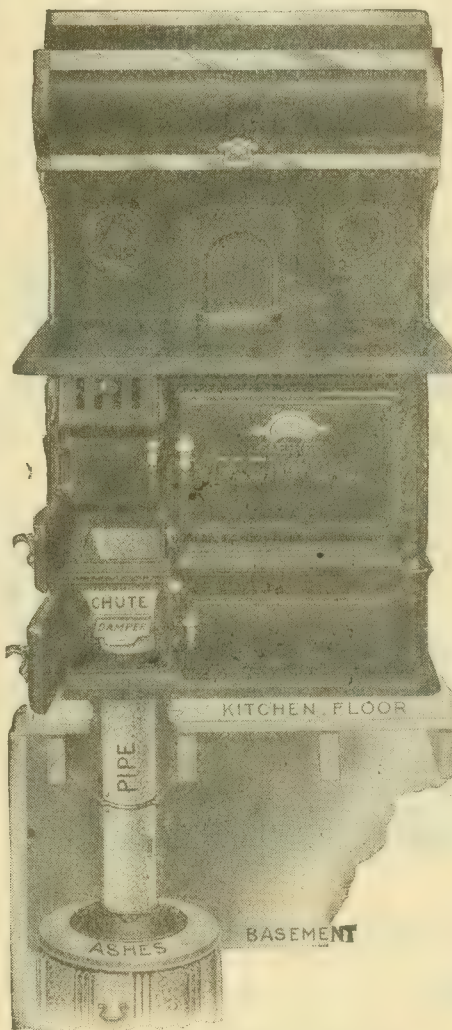
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 28

PHILADELPHIA  
July 9, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## As The Editor Sees It



THE semi-annual report of building operations in Philadelphia for the first six months of this year, published in full on other pages of this issue of the GUIDE shows a decline in volume the first six months of this year compared to the first half year of 1923. The first half year of 1923 had a record of \$74,617,295, whereas in the first six months of 1924 only \$72,573,485 worth of building work was started.

In the first six months of this year permits were issued for 7,661 new buildings at an estimated value of \$62,435,010; alterations and additions, 4583 operations at an estimated value of \$9,411,195. Miscellaneous work amounted to 1,142 operations, costing \$727,280. Total work of all kinds for the first half year consisting of 13,486 operations amounted to \$72,573,485.

April of 1924 was the largest month on record for this year, \$18,946,260 was the estimated value of work started during the month. March, with \$15,756,560, was next in volume of work. The record for first six months of 1923:

### Estimated Cost for Each Month

Month	Permits	Operations	Estimated Cost
Jan. ....	747	967	\$ 6,504,100
Feb. ....	768	1,295	6,799,960
March ...	1,359	2,615	21,064,685
April ....	1,540	2,984	19,729,815
May .....	1,566	2,298	12,709,660
June ....	1,334	1,742	8,370,875

The record for the corresponding six months of 1924:

### Estimated Cost for Each Month

Month	Permits	Operations	Estimated Cost
Jan. ....	884	1,249	\$ 8,642,525
Feb. ....	956	1,454	7,173,885
March ...	1,610	3,322	15,756,560
April ....	1,582	2,675	18,946,260
May .....	1,735	2,731	10,940,375
June ....	1,577	2,040	11,108,880

The greatest increase in the six months from January 1 to July 1, 1924, over the same period in 1923 occurred in dwellings of the two-story type. In 1923, 4,892 operations costing \$25,530,830 were begun; in 1924, 5,487 operations costing \$30,079,560 were started.

Three story dwellings for the same period fell off slightly; only 229 operations, costing \$3,066,000, as compared to 250 operations, costing \$3,323,725. A marked increase in the number and cost of garages was manifested, 1,125 costing 2,213,060 in 1923, and 1,421 costing \$3,588,735 this year to July 1st. Manufacturing declined from 49 costing \$4,312,600 in 1923 to 37 costing \$4,282,760 so far this year. Office buildings likewise showed a drop in the six months in question compared to 1923. This year only 15 costing \$7,843,900; last year there were 29 costing \$8,070,200 started. In the number of schools there was a drop

from 10 costing \$4,794,755 to eight costing \$2,654,590. Tenement houses decreased over 50 per cent. in number, but increased in cost; in 1923 62 costing \$3,436,840 were started; the first six months of this year only 30 were started costing \$4,478,500. The largest class of buildings, in value, next to dwellings, was office buildings, in which 15, costing \$7,843,900, were started in 1924, and the first six months of 1923 twenty-nine costing \$8,070,200 were recorded.

Although the first six months of 1924 shows a decrease in value of operations started as compared to the corresponding period of 1923, there is an increase in the number of operations from 11,905 in 1923 to July 1st compared to 13,486 operations the first six months of 1924—an increase of 1,581 operations.

In two-story dwellings the forty-second ward shows the largest number of buildings started. A slight decrease in the number of dwellings started in this ward is noticeable. 1,727 were begun in 1923 first six months, and only 1,584 in the same period this year. The following wards showed an increase over the first six months of 1923 in the number of dwellings erected: 15, 21, 22, 23, 25, 31, 33, 34, 35, 38, 39, 40, 41, 43, 44, 46, and 48.

March leads in the number of houses erected in first half of 1924, with 1,920 dwellings of two story type. April had 1,159, May, 1,044.

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**Hotel**, Eleventh and Pine streets, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, Gladstone Hotel, on premises. Architect taking bids due July 15th.

**Building**, Sixteenth and North Phila. Station, Philadelphia. Architect, LeRoy B. Rothchild, 215 South Broad street, Philadelphia. Owner, Joseph J. Greenburg, 1421 Chestnut street, Philadelphia. Reinforced concrete, cut stone, brick, 5 stories, 203x116 feet, slag roof, cement floors, hollow tile, painting and glazing, plumbing, ornamental iron work, bond, tin covered and hollow metal doors, tile work, rolled steel skylights and sash, metal lath, steam heat, electric light, precast concrete, wrought steel piping in heating, galvanized steel and cast iron pipe, plumbing. Architect taking bids due July 19th.

**Stores and Apartment**, Southeast Corner Sixteenth and South streets, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 3 stories, 60x48 feet, slag roof, metal ceiling, ornamental iron work, floor hardener, metal bulks, bond, store fixtures, hollow metal skylights, tile and marble work, metal lath, hot water heat, electric light. Plans in progress.

**Schools**, Philadelphia. Owners, Board of Education, Nineteenth and Chestnut streets, Philadelphia. Low bidders: School, Thirty-fifth and Fairmount avenue, Philadelphia—McCluskey Co., 1620 Thompson street, Philadelphia, \$181,726; Bowden Const. Co., 1935 Chestnut street, Philadelphia, \$182,500; plumbing, Bulman Brothers, Fifth and Cumberland avenue, Philadelphia, \$13,666; heating, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$42,590; ventilating, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$1,986; electric, Callahan Elec. Co., 3520 North Seventeenth street, Philadelphia, \$6,341. School, Nineteenth and Wharton streets, Philadelphia—M. Melody & Son, 1322 Race street, Philadelphia, \$410,840; McCloskey Co., Inc., 1620 Thompson street, Philadelphia, \$424,424; plumbing, D. Keating, 2042 Rittenhouse street, \$22,443; heating, Thompson Brothers, 520 Buttonwood street, \$49,861; ventilating, F. J. Mellon, 5845 Beaumont street, Philadelphia, \$3,100; electric, Ross Elec. Const. Co., Beach and Brown, Philadelphia, \$16,950. 188—Portable Build-

ings, Philadelphia—Maryland Metal Building Co., 19 Balderston street, Baltimore, Md., \$35,449; Carr & Courtney, 3025 Poplar street, Philadelphia, \$37,988. 230—Various Schools, painting—C. A. Kuehnle Co., Seventeenth and Vine streets, Philadelphia, \$4,680. 232—Various Schools, painting—C. A. Kuehnle Co., Seventeenth and Vine streets, Philadelphia, \$5,600. 234—Steel School, general, Mitchell Brothers, 2125 Race street, \$6,594; William Langhorne Co., 304 South Fiftieth street, Philadelphia, \$6,800. 235—Plumbing—Bulman Brothers, Fifth and Cumberland streets, \$6,366. 236—Heating—S. Faith Co., 2427 Pennsylvania avenue, Philadelphia, \$370. 237—Hackett School—General, Mitchell Brothers, 2125 Race, \$11,156; E. C. Durrell, 1713 North Twenty-fourth street, Philadelphia, \$11,193. 238—Plumbing—Bulman Brothers, Sixth and Cumberland streets, \$6,666. 239—Heating—S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$489. 240—Various Schools—Painting, John J. Murphy, 1835 Ludlow street, Philadelphia, \$3,100. 241—Jenks School—General, Mitchell Brothers, 2125 Race street, \$6,491; E. C. Durrell, 1713 North Twenty-fourth street, Philadelphia, \$6,689. 242—Plumbing, Bulman Brothers, Fifth and Cumberland streets, Philadelphia, \$6,266. 243—Heating, L. J. Somers, 2436 Brown street, Philadelphia, \$363. 244—McKinley School—General, Mitchell Brothers, 2125 Race street, \$10,849; E. C. Durrell, 1713 North Twenty-fourth street, Philadelphia, \$11,242. 245—Plumbing, D. J. Keating, 2042 Rittenhouse street, Philadelphia, \$6,580. 246—Heating, L. J. Somers & Son, 2436 Brown street, Philadelphia, \$426. 247—Various Schools—Painting, John J. Murphy, 1835 Ludlow street, Philadelphia, \$4,600. 259—J. H. Brown School—Electric work, Mr. Goldheim, care of owner, \$1,288. 260—Crespin School—Electric, H. B. Frazer Co., Jefferson Building, Philadelphia, \$1,092.70. 261—Riviere School—Electric work, H. B. Frazer Co., Jefferson Building, Philadelphia, \$1,142. 262—Administration Building—General, Lam Building Co., 1001 Wood street, Philadelphia, \$17,250; William Linker Co., 735 Cherry street, Philadelphia, \$17,300. 263—Heating, L. J. Somers, 2436 Brown street, Philadelphia, \$1,498. 264—Various Schools—Heating and ventilating, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$4,554. 265—Various Schools—Repairs to heating and ventilating, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$4,950. 266—Various Schools—Heating and ventilating, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$9,923. 267—Various Schools—Heating and ventilating, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$4,133. 274—Various Schools—Painting, C. A. Kuehnle & Co., Seventeenth and Vine streets, Philadelphia, \$2,470. 229—Painting, Various Schools,

J. J. Murphy, 1835 Ludlow street, Philadelphia, \$2,125.

**Residences (54)**, 6012-64 and 6013-65 North American street, \$216,000. Architect, private plans. Owner, Charles G. Erny, Southeast Corner Broad and Rockland streets, Philadelphia. Brick, 2 stories, (2) 15x35 feet, (52) 15x24 feet, 12x11 feet, hot water heat, electric light. Owner will build.

**Residences (7)**, Fifty-fourth and Overbrook avenue, Philadelphia, \$46,500. Architect, private plans. Owner, George R. Markle, Narberth, Pa. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence and Garage**, Southwest Corner Sixty-fifth avenue and Sixth street, Philadelphia, \$19,200. Architect, Samuel W. Marshall, 1524 Chestnut street, Philadelphia. Owner, Walter A. Carr, Fifteenth and Columbia avenue, Philadelphia. Stone, 3 stories, 28x48 feet, garage, 1 story, 22x19 feet, slate roof, hardwood and pine floors, electric light. Architect subletting.

**Store and Apartment (alts. and add.)**, 4205 Walnut street, Philadelphia. Architects, Neubauer & Supowitz, 1524 Chestnut street, Philadelphia. Owners, Babaian Brothers, 929 Chestnut street, Philadelphia. 3 stories, brick, 20x200 feet. Plans completed.

**Church (add.)**, Queen Lane and Wayne avenue, Philadelphia. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owners, Wayne Avenue Baptist Church, on premises. Stone, 1 story and basement, 20x40 feet, slate roof, pine floors, heating and lighting extensions. Plans in progress.

**Alterations, Nixon Grande Theatre**, Broad and Montgomery avenue, Philadelphia. Architect, Hoffman Henon, Finance Building, Philadelphia. Owner, B. F. Keith, Nixon Grande Corp., on premises. Revised plans in progress.

**Automobile Service Station**, Forty-eighth and Chestnut streets, Philadelphia. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, name withheld. Brick, steel, 1 story, 215x280 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash, hollow metal skylights, fire doors. Architect taking sub-bids due as soon as possible.

**Moving Picture Theatre**, Fifty-fourth and Arlington, Philadelphia. Architects, Hoffman Henon, Finance Building, Philadelphia. Owners, Kenin & Shapiro, Fifty-seventh and Florence avenue, Philadelphia. Brick and steel, 1 and 2 stories, 228x98 feet, slag roof, cement and pine floors, hollow tile, roof ventilators, shoring, waterproofing and damp-proofing, architectural terra cotta, ornamental iron work, floor hardener, bond, tin clad, fire and kalamein, hollow metal doors, galvanized iron skylights, sheet metal sash, tile, marble, terrazzo work, metal lath, painting and glaz-

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ing, art glass. Architects taking bids due July 14th.

**Railroad Track Elevation**, South Philadelphia. Chief engineer, A. C. Shand, 607 Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad, Broad Street Station, Philadelphia. Contract No. 17, for construction of concrete viaduct retaining walls, wood trestle, removal of buildings and arsenal walls, along the line of Delaware extension of Pennsylvania Railroad, between Arsenal Bridge and the Schuylkill River and Atth and Reed streets. Owners taking bids due July 17th at 10 A. M. (Standard Time). Plans and specifications may be obtained at the office of Assistant Engineer E. B. Temple, 1729 Filbert street, Philadelphia.

**Moving Private Patients' Building**, Penn and Chew streets, Germantown. Architect, A. H. Brockie, 254 South Fifteenth street, Philadelphia. Owners, Germantown Hospital, Penn and Chew streets, Philadelphia. Architect taking bids due July 17th.

**Dining Hall and Auditorium (alts.)**, Broad and Master streets, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Mercantile Club, Broad and Master streets, Philadelphia. New flooring. Architect taking bids due July 10th.

**Second Floor**, Christ Church Neighborhood House, Second and Market streets. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, Christ Church, Second and Church Sts., Phila. Plastering, everlasting tile flooring, mill work, hardware. Architect taking bids due July 11th.

**Shelter Building**, Recreation Center, Phillips, Reed, Earp and American, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Shelter building, wading pool, grading, surfacing, fencing, curbs and footways, paving, plumbing, electric work. Owners taking bids due July 10th, 11 A. M. (Standard Time).

**Athletic Center (11 acres)**, Vernon Road, near Cheltenham Road, Philadelphia. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Temple University, Broad and Berks streets, Philadelphia. Sketches drawn. Architect taking bids for grading on 35,000 square yards.

**Residences (19)**, Marshall street, North of Roosevelt Boulevard, \$100,400. Architect, private plans. Owner, B. Liebman, 717 Butler street, Philadelphia. Brick, 2 stories, (2) 15x40 feet, (17) 15x30 feet, 12x10 feet, hot water heat, electric light. Owner will build.

**Residences (13)**, Ruan and Adams streets, \$4,500 each. **Garages (2)**, Ruan, Leiper and Adams avenue, \$10,000. Owner, H. F. Dinkelacker, 1612 McKean street, Philadelphia. Brick, 2 stories, 15x30 feet, 10x9 feet, garages, brick and stone, 1 story, 20x180 feet, and 2 stories, 25x100 feet, 21x20 feet, hot water heat, electric light, pine and cement floors. Owner will build.

**Residences (10)**, Clarkson and Rising Sun avenues, Philadelphia, \$47,000. Architect, private plans. Owners, P. & G. J. Hermann, 430 Duncannon avenue, Philadelphia. Brick, (9) 2 stories, 15x30 feet, 12x11 feet, 1 story, 11x10 feet, and (1) 2 stories, 15x40 feet, 1 story, 11x10 feet, hot water heat, electric light, tile work. Owner will build.

**Garages (2)**, West side Sixty-first street, North of Hazel avenue, \$7,000 total. Archi-

tect, private plans. Owner, James M. Mah-jonbia, 6044 Spruce street, Philadelphia. Brick, 1 story, 26x16 feet, 16x24 feet and 17x16 feet, 16x24 feet, slag roof, cement floors. Owner will build.

**Residence**, South side Tyson street, West of Frontenac street, \$4,000. Architect, private plans. Owner, Harry J. Ovelman, 2828 Poplar street, Philadelphia. Frame, 2 stories, 26x33 feet, shingle roof, steam heat, electric light. Owner will build.

**Residences (2)**, North side Tyson street, West of Cottage street, \$9,000 each. Architect, private plans. Owner, O. H. Thompson, 6608 Marsden street, Philadelphia. Brick, 2 stories, 16x26 feet, 18x22 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residence (add.) and Garage**, 3168 Richmond street, Philadelphia, \$5,000. Owner, Joseph Nagensti, Sr., on premises. Brick, 2 stories, 12x44 feet, garage, 1 story, 15x20 feet. Owner will build.

**Residences (15)**, Fifty-fourth and Gray's avenue, Philadelphia, \$61,200. Architect, private plans. Owners, Muench & Manley, Fifty-ninth and Cedar avenue, Philadelphia. Brick, 2 stories, (1) 18x45 feet, (14) 15x38 feet, hot water heat, electric light. Owners will build.

**Residences and Garages (32)**, Fifteenth and Nedro avenue, Philadelphia, \$169,000. Architect, private plans. Owner, George Schwinn, 1220 Lindley avenue, Philadelphia. Brick, 2 stories, (3) 17x52 feet, (29) 16x33 feet, 12x18 feet, hot water heat, electric light. Owner will build.

**Residence**, 224 East Cliveden avenue, Philadelphia, \$5,500. Architect, private plans. Owner, T. R. Thomas, 230 Sydney street, Philadelphia. Brick, 2 stories, 20x14 feet, 22x23 feet, hot water heat, electric light. Owner will build.

**Boiler House (add.)**, Northwest Corner J and Venango streets, \$5,000. Architects, William Steele & Sons, 219 North Broad street, Philadelphia. Owners, Boyer & Crawford, on premises. Brick, 1 story, 30 feet, 6 inches x 38 feet, 2 inches. Architects will build.

**Residences (4) (alts. and add.)**, 535-541 Earp street, \$5,500. Architect, private plans. Owner, I. Miskir, 535 Earp street, Philadelphia. Brick, second story add., 14x10 feet, general alterations. Owner will build.

**Residences (18)**, South side Meehan street, West of Boyer street, \$8,300 each. Architect and owner, Bart Tourison, 222 East Mt. Pleasant avenue, Philadelphia. Brick, 3 stories, 16x34 feet, 8 inches, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

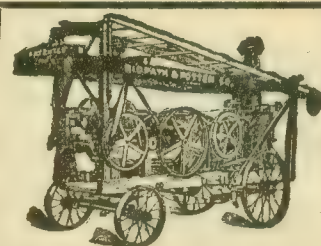
**Store and Residence**, 628 Pine street, Phila-

delphia, \$3,000. Owner, Max Sklar, on premises. General alterations. Owner will build.

**Office (add.)**, Northeast Corner Snyder avenue and Vandalia street, \$2,500. Owners, Gulf Refining Co., 516 Widener Building, Philadelphia. Brick, 1 story add., 20x30 feet. Owners will build.

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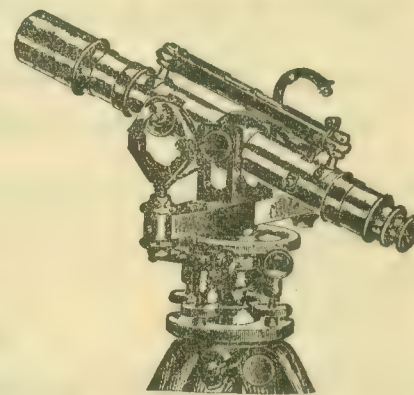
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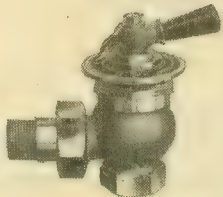
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# Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Building (alts. and add. to Bank),** Susquehanna and Bancroft street, Philadelphia. Architect, Norman Hulme, 1524 Chestnut street, Philadelphia. Owners, Susquehanna Title Co., 1611-15 West Susquehanna avenue, Philadelphia. Brick, hollow tile, cut stone, steel, 2 stories add., 12x44 feet, tin roof, rubber and cement floors, painting and glazing, carpentry and mill work, plumbing, bronze work, ornamental iron work, kalamein doors, copper skylights, rolling steel sash, marble and terrazzo work, metal lath, electric light, excavation. Contract awarded P. Haibach Cont. Co., 1261 North Twenty-sixth street, Philadelphia.

**Building (alts. for Bank),** 22 South Fifteenth street, Philadelphia, \$25,000. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, People's Bank & Trust Co., Twelfth and Arch streets, Philadelphia. Brick, cut stone, plastering, marble work, ornamental iron work, carpentry and mill work, painting and glazing, ornamental bronze work, hardware, electric light (lighting fixtures and Stedman floors reserved). Contract awarded David Lutz & Co., Twenty-third and Chestnut streets, Philadelphia.

**Olney Avenue Theatre,** Fifth and Olney avenue, Philadelphia. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owners, Olney Avenue Theatre, on premises. Brick, steel, 1 story and 2 stories, 112x216 feet, John Mansville, asphalt roof, cement and oak floors, hollow tile, roof ventilators, plumbing, shoring, waterproofing, architectural terra cotta, ornamental iron work, iron stairs, bond, tin clad and kalamein doors, rolling steel sash, tile, marble and terrazzo work, metal lath, steam heat. Contract awarded George Kessler Cont. Co., 1733 North Marvine street, Philadelphia.

**Church and Sunday School,** Twelfth and City Line, Philadelphia. Architect, Wesley Leshner Blithe, 608 Chestnut street, Philadelphia. Owners, Oak Lane Methodist Episcopal Church, on premises. Stone, cut stone, 1 story and gallery, 188x65 feet, wing 40x98 feet, slate and slag roof, composition, cement and maple floors, bond, painting and glazing, dampproofing, ornamental iron work, tile work, metal lath (plumbing, heating and electric reserved), concrete, cast stone. Contract awarded E. E. Hollenback, Inc., 1804 Brandywine street, Philadelphia.

**Garage Building (alts.),** 121 West Johnson

street, Philadelphia. Architect, Benjamin Franklin Betts, 335 South Eighteenth street, Philadelphia. Owner, Theodore Presser, on premises. Carpentry, plastering, painting and glazing. Architect taking bids due July 12th.

**Hotel (add.),** Mt. Pocono, Pa. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Pocono Manor Association, Mt. Pocono, Pa. Reinforced concrete, steel, brick, stone, 7 stories and basement, 66x137 feet, slate and slag roof, cement floors, elevators, waterproofing, glazed terra cotta, ornamental iron work, fire doors, metal lath, tile work, electric work. Contract awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Store and Apartment,** 227 South street, Philadelphia. Architect, Edward A. Roth, Drexel Building, Philadelphia. Owner, Samuel Goldman, on premises. Terrazzo work, tile work, brick and iron work, composition roof, carpentry and mill work, glazing. Contract awarded to H. M. Shandles, 617 Pine street, Philadelphia.

**School (int. alts.),** Thirty-ninth and Chestnut streets, Philadelphia. Architect, private plans. Owners, St. Leonard's Academy, on premises. Carpentry and mill work, plastering, electric work, painting, glazing, tin roof. Contract awarded James J. Murphy, 3647 Ludlow street, Philadelphia.

**Stores (8), Apartments (12) (alts.),** 1727-29 Vine street, Philadelphia, \$7,250 each. Architect, William F. B. Koeloe, Otis Building, Philadelphia. Owner, Irving King, 132 South Fourth street, Philadelphia. Stone, 4 stories and basement, 40x120 feet, general renovations. Contract awarded T. S. Fetter, 1829 Filbert street, Philadelphia.

**Warehouse,** Northeast Corner York and American streets, Philadelphia. Architect, private plans. Owner, Samuel Frank, 441 South Sixty-third street, Philadelphia. Brick, 2 stories, 81x30 feet, 30x54 feet, slag roof, electric light. Contract awarded to J. M. Rosenberg, 6025 Irving street, Philadelphia.

**Printing House (alts. and add.),** 227 South Fifth street, \$12,500. Architect, private plans. Owners, John J. Murphy Printing Co., on premises. Brick, third story add., 20x96 feet, general alterations. Contract awarded to William G. Uhler & Sons, Northeast Corner Twenty-fifth and Snyder avenue.

**Restaurant (alts.),** 311 South Broad street, Philadelphia, \$8,000. Architect, private

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plans. Owner, Jacob Cohen, 1525 Locust street, Philadelphia. General alterations. Contract awarded to S. H. Levin, 1631 South Fifth street, Philadelphia.

**Residence**, North side Disston street, West of Frontenac street, \$6,500. Architect, private plans. Owner, R. E. Saatman, 206 West Ruscomb street, Philadelphia. Frame, 2 stories, 28 feet, 4 inches x 41 feet, 4 inches, hot water heat, electric light. Contract awarded to J. Fleischer & Son, 739 Roosevelt Boulevard.

**Residence (alts.)**, East side Bustleton Pike, North of Castor Road, \$5,000. Architect, private plans. Owner, George Biddle, Bustleton, Philadelphia. General alterations. Contract awarded to F. G. English & Son, 1608 North Carlisle street.

**Store and Residence (alts. and add.)**, 48 South Sixtieth street, \$5,000. Architect, private plans. Owner, B. Wolkin, on premises. Brick, 2 stories add., 12x13 feet, general alterations. Contract awarded to Louis Feldsker, 3147 Fountain street, Philadelphia.

**Residence and Store (add.)**, 649 North Fifty-second street, Philadelphia, \$3,000. Architect, private plans. Owner, Keller Gilbert, on premises. Brick, 1 story add., 16x11 feet. Contract awarded to F. B. Davis & Son, 240 North Sixteenth street, Philadelphia.

**Residences (2)**, 4430-32 Salmon street, Philadelphia, \$3,800 each. Architect, private plans. Owner, Martin Drumbowski, 4500 Almond street, Philadelphia. Brick, 2 stories, 14 feet, 6 inches x 46 feet, hot water heat, electric light. Contract awarded to A. Jaswiewski, 4539 Bermuda street, Philadelphia.

**Garages (2)**, 133-35 Upsal street, Philadelphia, \$3,500 total. Architect, private plans. Owner, H. C. L. Miller, 135 Upsal street, Philadelphia. Stone, 1 story, 21 feet, 3 inches x 25 feet, slate roof, cement floors. Contract awarded to W. L. Gruhler Co., 219 High street, Philadelphia.

**Store and Residence (alts. and add.)**, 737 East Cheltenham avenue, \$3,500. Architect, private plans. Owner, W. W. Dickhart, 243 South Thirteenth street, Philadelphia. Brick, 1 story, 26x17 feet, 7x45 feet, general alterations. Contract awarded to Lloyd Cross, Delanco, N. J.

**Stores (2), Office Building**, Broad street, Old York Road and Nedro avenue, Philadelphia. Architects, McLanahan & Bencker, Bellvue Court Building, Philadelphia. Owner, Herbert Hope, 5904 North Broad street, Philadelphia. Brick, stone, cut stone, steel, granite, 2 stories and basement, 77x30 feet, Barrett's Specification roof, cement and pine floors, painting and glazing, plumbing, shoring, waterproofing, bond, ornamental iron work, hollow metal sash, tile and marble, terrazzo work, metal lath, electric light. Con-

tract awarded to George Kessler Cont. Co., 1733 North Marvine street, Philadelphia.

**Alterations to Building**, 4817-21 North Broad street, Philadelphia, \$35,000. Architect, Gabriel B. Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Brick, cement floors, plastering, carpentry and mill work, painting and glazing, hardware, ornamental iron work, bond, rolling steel sash, metal lath (roofing, skylights, electric, plumbing, heating reserved). Contract awarded David Lutz & Co., Twenty-third and Chestnut streets, Philadelphia.

**Coal Trestle**, Lehigh and Trenton avenues, Philadelphia. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owners, George B. Newton Coal Co., Trenton and Lehigh avenues, Philadelphia. Grading, steel bumpers, railroad ties and rails, concrete piers, carpentry and iron work. Contract awarded J. S. Rogers Co., Drexel Building, Philadelphia.

**Church (alts. and add.)**, Holmesburg, Philadelphia. Architects, George R. Habgood & Reagan, 8036 Fairview avenue, Holmesburg. Owners, Holmesburg Methodist Episcopal Church, Rev. J. Lindsay, 845 North Nineteenth street, Philadelphia. Brick, 1 story and basement, 40x60 feet, slag roof, pine floors, steam heat, electric light. Contract awarded Curtis Grindrod Co., 10 South Eighth street, Philadelphia.

**Residence (alts. and add.)**, 139 Bethlehem Pike, Philadelphia, \$12,000. Architects, Mellor, Meigs & Howe, 205 South Juniper street, Philadelphia. Owner, J. Willis Martin, Chestnut Hill, Philadelphia. Stone and brick, 1 story, 21x25 feet, 1 story, 37x20 feet, hot water heat, electric light, oak and pine floors, slate roof, general alterations. Contract awarded to R. C. Ballinger Co., 925 Walnut street, Philadelphia.

**Residence**, Grant avenue, East of Frankford avenue, Philadelphia. Architect, private plans. Owner, Edith Evans, on premises. Brick, cut stone, stucco, 2½ stories, 42x35 feet, slate roof, oak and pine floors, hot water heat, electric light, tile and marble work, bond, ornamental iron work. Contract awarded George H. Evans, Inc., 105 North Thirteenth street, Philadelphia.

**Garage**, 1110-12 Germantown avenue, Philadelphia, \$11,000. Architect, private plans. Owner, Samuel Kreamer, 1221 North Forty-second street, Philadelphia. Brick, 2 stories, 40x90 feet, slag roof, cement floors. Contract awarded to Bannett Brothers, 1633 South Fifty-ninth street, Philadelphia.

**Garage**, West side Eleventh street, South of Ontario street, \$10,000. Architect, private plans. Owners, Breyer Ice Cream Co., 3325 Old York Road, Philadelphia. Brick, 1 story, 62x54 feet, 126x53 feet, slag roof, cement floors. Contract awarded to William F. Koelle



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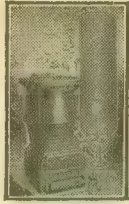
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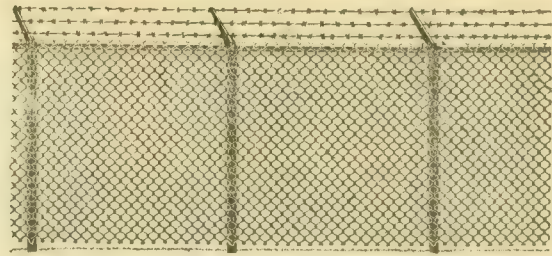
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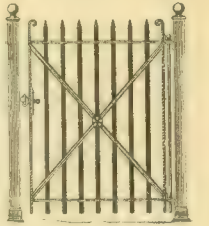
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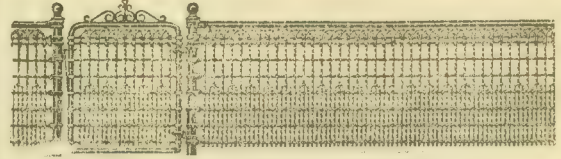
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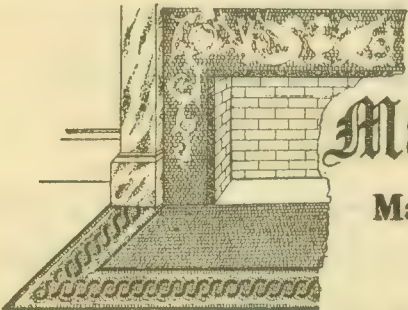
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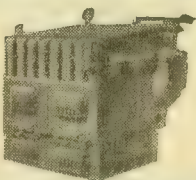
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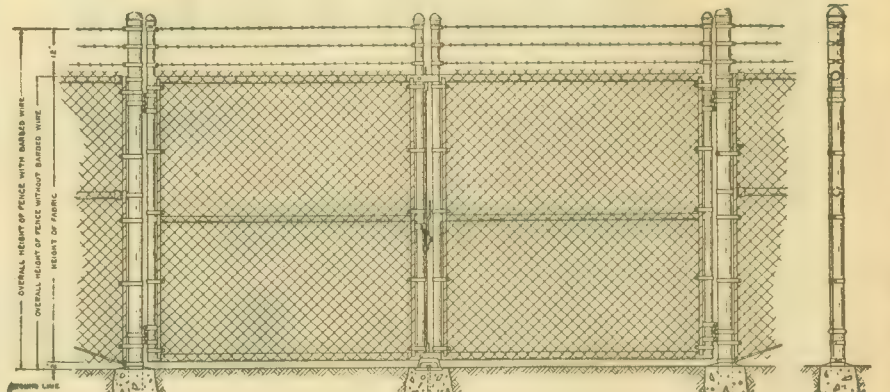
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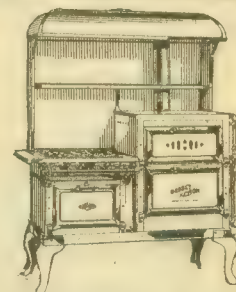
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**Store and Residence (alts. and add.)**, 709 South Fifty-second street, \$8,000. Architect, private plans. Owner, Harry F. Metz, on premises. Brick, 2 stories add., 13x20 feet, general alterations. Contract awarded to C. Rambo, 5233 Rodman street, Philadelphia.

**Residences (2), Store and Residence (1)**, Fifty-eighth and Woodbine avenue, \$29,000. Architect, private plans. Owner, John C. Crawford, 507 Land Title Building, Philadelphia. Brick, 3 stories, (2) 20x58 feet, (1) 27x34 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to W. S. Gore, Sixty-second and Media streets, Philadelphia.

**Dye House**, South side Decatur street, West of Pennsylvania Railroad, \$50,000. Architect, private plans. Owners, Barrymore Seamless Wilton, Inc., Holmesburg, Philadelphia. Brick, 1 story, 98x162 feet, slag roof, electric work. Contract awarded to J. L. Fawley, 1615 Spruce street, Philadelphia.

**Residences (6)**, West side Fourth street, North of Grange street, \$21,300. Architect, private plans. Owner, E. M. McMaster, Southeast Corner Fairhill and Cheltenham avenue, Philadelphia. Brick, 2 stories, 16x24 feet, 1 story, 16x11 feet, hot water heat, electric light. Contract awarded to Louis Braenig, Jr., Southeast Corner Fairhill and Cheltenham avenue, Philadelphia.

**Garage**, East side Cresson street, South of Pennsdale street, \$15,000. Architect, private plans. Owner, Victor A. Levand, on premises. Brick, 1 story, 50x135 feet, slag roof, cement floors. Contract awarded to D. Duncan, 711 Harrison Building, Philadelphia.

**Elevator Shaft**, 1227 Market street, Phila-

delphia, \$4,500. Architect, private plans. Owner, Louis Mark, on premises. Brick. Contract awarded to Smith-Hardican Co., 1809 Callowhill street.

**Workshop**, West side Eleventh street, South of Ontario street, \$3,000. Architect, private plans. Owners, Breyer Ice Cream Co., 3325 Old York Road, Philadelphia. Brick, 1 story, 36x58 feet, slag roof, electric work. Contract awarded to William F. Koelle Co., 2601 Oxford street, Philadelphia.

**Garage (alts.)**, 3359 Kensington avenue, Philadelphia, \$2,900. Architect, private plans. Owner, J. Vincent, 2954 Kensington avenue, Philadelphia. General alterations. Contract awarded to H. Clark, 1810 North Seventh street, Philadelphia.

**Office (add.)**, 2400 Sedgley avenue, Philadelphia, \$2,600. Architect, private plans. Owners, J. J. Whelan & Co., on premises. Brick, 1 story add., irregular shape. Contract awarded to E. H. Sturts, 1233 Wyoming avenue, Philadelphia.

**Laundry (add.)**, West side Fox street, North of Clearfield street, \$8,000. Architect, Walter S. Miller, 2325 West Allegheny Avenue, Philadelphia. Owners, Tribune Laundry Co., Twenty-third and Clearfield streets, Philadelphia. Brick, 2 stories, 26x55 feet. Contract awarded to J. G. R. Miller, 2325 West Allegheny avenue, Philadelphia.

**Workshop**, Southeast Corner Granite street and Pennsylvania Railroad, Philadelphia, \$7,765. Owners, Willners' Oil Burning System, 1502 Locust street, Philadelphia. Brick, 1 story, 40 feet, 9 inches x 75 feet, 10 inches, slag roof, pine floors, electric work. Contract awarded to George Good, Adams Road, Olney, Philadelphia.

**Residence (alts. and add.)**, 140 East Gorgas Lane, Philadelphia, \$6,500. Architect, private plans. Owner, H. L. Neff, on premises. Brick, 2 stories add., 16x12 feet, general alterations. Contract awarded to I. A. Dunkelberger, 71 East Herman street, Philadelphia.

**Residence (add.)**, 470 East Locust avenue, Philadelphia, \$6,000. Architect, private plans. Owner, Charles C. Wiggins, on premises. Stone, 2 stories add., 20 feet, 6 inches x 17 feet, 6 inches. Contract awarded to I. A. Dunkelberger, 71 Herman street, Philadelphia.

**Residence**, South side Friendship street, East of Frontenac street, \$4,200. Architect, private plans. Owner, Theo. Grillman, 3321 Huntingdon street, Philadelphia. Frame, 2 stories, 22x24 feet, hot air heat, electric light. Contract awarded to Penn Building Co., 2029 Stenton avenue.

**Residence (add.)**, 1119 West Lehigh avenue, Philadelphia, \$3,500. Architect, private plans. Owner, Harold B. Mulligan, Tenth and Germantown avenue, Philadelphia. Brick, 2 stories, 19x12 feet, 1 story, 12x40 feet. Contract awarded to Daniel Carr, 3331 Frankford avenue, Philadelphia.

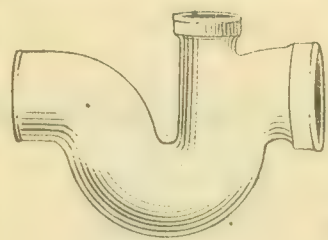
**Residence and Garage (alts.)**, Northeast Corner School Lane and Gypsy Lane, Philadelphia, \$8,000. Owner, B. T. Conwell, Jr., Upsall street, Philadelphia. General alterations. Contract awarded to H. H. Burrell, 206 South Quince street, Philadelphia.

**Residence (alts. and add.)**, 810 Pine street, Philadelphia, \$2,500. Architect, private plans. Owner, Dr. Clarence D. Smith, on premises. Brick, 1 story add., 10x10 feet, general alterations. Contract awarded to Farrell-Roth Const. Co., 1624 Spruce street.

**Pent House**, Southwest Corner Broad and Chestnut streets, Philadelphia, \$5,000. Owners, Land Title Building, Broad and Chestnut streets, Philadelphia. Contract awarded to Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Store and Residence (alts.)**, Southwest Corner Eighth and Girard avenue, \$5,000. Architect, private plans. Owner, M. Berkowitz, 905 North Tenth street, Philadelphia. General alterations. Contract awarded to Sheehman & Bro., 1924 North Marshall street.

**Residence (add.)**, 5713 Arch street, Philadelphia, \$2,000. Architect, private plans.



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Owner, J. Lee, on premises. Brick, second story add., 16x34 feet. Contract awarded to W. H. Bunn, 5723 Race street, Philadelphia.

### Pennsylvania Construction News

**Bank**, Lewistown, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owners, Mifflin County National Bank, Lewistown, Pa. (Plumbing, heating, electric, ventilating work separate.) Owners taking bids due July 18th, 2 P. M. (Standard Time).

**Residence**, Montgomery avenue and Birch Lane, Montgomery County, Pa. Architect, R. R. McGoodwin, 1600 Walnut street, Philadelphia. Owner, Staunton B. Peck, care of architect. Architect taking bids due July 11th.

**Club House (alts. and add.) and Golf Course**, Lower Merion Township, between Merion Square and Schuylkill Road, near Ardmore, Pa. Owners, Philadelphia Country Club, Ralph E. White, chairman of Finance Committee, Pennsylvania Building, Philadelphia. Work contemplated.

**Residence**, Lansdowne, Pa. Architects, R. R. Neely and E. William Martion, 2301 Spruce street, Philadelphia. Owner, Thomas Searle, Lansdowne, Pa. Hollow tile and stucco, 2 stories, 25x35 feet, slate roof, hardwood and pine floors, hot air heat, electric light, tile work. Plans completed.

**School (add.)**, West Chester, Pa. Architects, P. A. Davis, 3rd, Dunlap and Barney, 1805 Walnut street, Philadelphia. Owners, School District of West Chester, Pa. Additional story for manual training. Plans completed. Owners ready for bids. Plans may be secured at architects' office.

**Bank Building**, Wilkes-Barre, Pa. Architects, Simon, Brittain & English, Inc., 929 Chestnut street, Philadelphia. Owners, Heights Deposit Bank, Wilkes-Barre, Pa. Stone, brick, steel. Plans in progress. Architects will be ready for bids in 3 weeks.

**Hospital**, Williamsport, Pa. Architects, Stearns & Woodnutt, Stephen Girard Building, Philadelphia. Owners, Williamsport Hospital, Williamsport, Pa. Plans about completed. Ready for bids in 3 weeks.

**Store (alts.)**, 641 Penn street, Reading, Pa. Architect, H. R. Heckman, Baer Building,

Reading, Pa. Owner, A. Kagan, 705 Penn street, Reading, Pa. Brick, 15x150 feet, store front, copper work, general interior alterations. Plans in progress.

**Stores (2)**, Ninth and Cherry streets, Reading, Pa. Architect, H. R. Heckman, Reading, Pa. Owner, B. Sher, Reading, Pa. Brick, 1 story, 12x55 feet, composition roof, yellow pine floors, electric light, gas steam heat, plate glass, copper work. Plans in progress.

**Orphanage**, Millmont, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Bernardine Sisters of St. Francis, care of architect. Brick, steel, 3 and 2 stories, 240x187 feet, composition tile roof, tile, cement and hardwood floors, hollow tile, dumb waiters, safety treads, roof ventilators, architectural terra cotta (heating, electric work and plumbing reserved), metal lath, tile, marble, bond, ornamental iron work. Plans in progress.

**Fire House**, Ephrata, Pa. Architect, H. R. Heckman, Baer Building, Reading, Pa. Owners, Fire Company of Ephrata, Ephrata, Pa. Brick, 3 stories, 70x36 feet, slag roof, concrete and maple floors, steam heat, electric light. Architect taking bids due July 22.

**School (alts. and add.)**, East Oreland, Pa. Architects, Schermerhorn & Phillips, 213 South Fifteenth street, Philadelphia. Owners, Upper Dublin Township, W. Worman, Fort Washington, Pa. Stone, brick, 1 story, 49x60 feet, flat slag roof, pine and cement floors, slate blackboard, new cement walks, general repairs to present building (heating, ventilating, plumbing and drainage and electric work separate). Owners taking bids due July 14th at 8.30 P. M. (Daylight Saving Time).

**School (add.)**, Jarrettstown, Pa. Archi-

tecs, Schermerhorn & Phillips, 213 South Fifteenth street, Philadelphia. Owners, Upper Dublin Township, W. Worman, Fort Washington, Pa. General remodeling, asbestos shingle roof, cement floors (plumbing, drainage, water pumping system, electric separate). Owners taking bids due July 14th, 8.30 P. M. (Daylight Saving Time).

**Masonic Temple (alts. and add.)**, Lincoln avenue, near Sixth avenue, Moore, Pa. Architect, private plans. Owners, Masonic Temple, Grover Talbot, chairman, Moore, Pa. Brick, cut stone, stucco, 2 stories add., 45x72 feet, slate roof, maple and mineral floors, metal lath, rolling steel doors, bond, ornamental iron work, hardware, painting and glazing, plastering. Owners building.

**Residence**, Academy Manor, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Harrisburg Academy, Dr. Brown, on premises. Brick, stone trim, 2½ stories, 30x50 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Architects ready for bids.

**Parochial School**, Littlestown, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, St. Aloysius' Parish, Rev. E. O. Flynn, Littlestown, Pa. Brick, steel, 2 and 1 stories, 46x140 feet, slate roof, pine floors (heating, plumbing and electric work reserved). Architects taking bids due July 15th.

**Office and Apartment**, Annville, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Anneville Mutual Fire Ins. Co., Annville, Pa. Brick, reinforced steel, 2½ stories, 30x50 feet, slate roof, yellow pine and linoleum floors, vapor heat, electric light, rolled steel sash, limestone trim, ornamental iron work. Plans in progress.

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**Sunday School**, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, Fourth Street Church of God, care of architect. Brick, steel, 2 stories, 40x85 feet, slag roof, maple floors, hollow tile, city heat, electric light, metal lath, ornamental iron work. Plans in progress.

**Residence**, Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owner, J. T. Breneman, 329 East Orange street, Lancaster, Pa. Hollow tile, 2½ stories, 74x50 feet, tile roof, hardwood floors, electric light, tile and marble work. Plans in progress. Owner will build.

**School**, Roseville, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Warwick Township School Board, Dr. Walters, secretary, Roseville, Pa. Brick, 2 stories and basement, steel, slate roof, composition floors, safety treads, roof ventilators, dampproofing (heating, electric work and plumbing reserved), metal lath, rolled steel sash, steel partitions, bond, fire escapes. Owners taking bids due July 10th.

**Church**, Ephrata, Pa. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Clement's Mission, Rev. J. J. Lynch, Ephrata, Pa. Brick, 1 story and basement, 35x70 feet, slate roof, pine floors, hot air heat, electric light. Owners taking bids.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Low bidders on road work opened July 1st:

Bradford-Wyoming County, R-241, Tuscarora and Wyalusing Townships, Laceyville Borough, 26,255 feet. One course reinforced concrete. Burgess & Dorrier, Richmond, Va. \$361,787.30.

Schuylkill County, R-140, Pine Grove Borough, Pine Grove, Washington and Wayne Townships, 32,002 feet. Either bituminous surface course on concrete foundations or one course reinforced concrete. Union Paving Co., Thirtieth and Locust streets, Philadelphia. \$277,710.60.

Monroe County, R-168, Coolbaugh Township, 32,824 feet. One course reinforced concrete. Juniata Co., Empire Building, Philadelphia. \$279,897.01.

Chester County, R-174, Sadsbury, Highland, West Fallowfield and Oxford Townships, Parkersburg Borough, 54,214 feet. One course reinforced concrete. R. L. Bonham Co., Bridgeton, N. J. \$353,132.67.

Bradford County, R-212, Section 6, Troy and Sylvania Borough, Troy and Columbia Townships, 24,575 feet. One course reinforced concrete. \$244,087.85. Van Auken & Robbins, Thendara, N. Y.

Berks County, R-197, Mt. Penn Borough and Lower Alsace Township, 12,390 feet. One course reinforced concrete. Pyramid Const. Co., Harrisburg, Pa. Crushed stone, \$123,-

824.12; gravel, \$126,155.22.

Dauphin County, R-139, Paxtang Borough, 4,580 feet. One course reinforced concrete. Pyramid Const. Co., Harrisburg, Pa. \$51,567.59.

Indiana County, R-63, Sec. 3, and Spur, Rayne and East Mahoning Townships, 35,352 feet. One course reinforced concrete. Milliron Const. Co., Inc., Dubois, Pa. \$344,798.74.

McKean County, R-100, 210, Annin and Eldred Townships, 41,156 feet. One course reinforced concrete. D. L. Dennis Co., Bradford, Pa. \$455,461.26 and \$451,308.16.

Lycoming County, R-19, Picture Rock Borough, Shrewsbury Township, 39,666 feet. One course reinforced concrete. Winston & Co., Inc., Harrisburg, Pa. \$465,007.40.

Luzerne County, R-235, Huntingdon and Union Townships, 25,933 feet. One course reinforced concrete. Caradoc Rees, Nanticoke, Pa. \$254,262.85; \$254,262.85.

## Pennsylvania Contracts Awarded

Clearfield-Jefferson County, R-59, Sandy, Washington and Snyder Townships, 37,456 feet. One course reinforced concrete and 4-inch unbound macadam with oil treatment. \$424,067.98. Contract awarded to Henry W. Horst Co., Rock Island, Ill.

**Hotel (add.)**, Lancaster, Pa., \$300,000. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owners, Brunswick Hotel Co., A. J. McConomy, North Queen and Chestnut streets, Lancaster, Pa. Brick, terra cotta, 8 stories, 80x85 feet, heating extension, electric light, metal lath, granite, terra cotta. Contract awarded to Herman Wohlsen, Woolworth Building, Lancaster.

**Church**, Ardmore, Pa. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, St. Coleman's Church, Rev. D. L. McGinley, on premises. Stone, limestone, cut stone, brick, concrete, 1 story and basement, 181x55 feet, slate and slag roof, hollow tile, roof ventilators, painting, dampproofing, ornamental iron work, bond, metal lath, tile work, steam heat, electric light. Contract awarded M. Melody & Son, 1322 Race street, Philadelphia.

**School (alts. and add.)**, Hamburg, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Hamburg School Board, J. M. Lamb, secretary, Hamburg, Pa. Brick, steel, 2 stories, 12 rooms, slate roof, hardwood floors, hollow tile, safety treads, roof ventilators (heating, electric and plumbing reserved), metal lath, iron stairs. Contract awarded to A. J. Raubenholt, Hamburg, Pa., \$49,450. Plumbing awarded to E. R. Schollenberger, Hamburg, Pa., \$4,996.15. Electric awarded to

Hamburg Gas & Electric Co., Hamburg, Pa., \$1,374.50. Will take revised bids on heating.

**High School**, Rosedale, Pa., \$152,057.68. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Muhlenberg Township School District, A. E. Foust, Temple, Pa. Brick, stone, steel, Barrett Specification roof, maple floors, hollow tile, roof ventilators, metal lath, tile and marble work. Contract awarded to George A. Koch, 818 North Eleventh street, Reading, Pa. Heating awarded to Corbit Brothers, Third and Oley streets, Reading, \$25,505. Plumbing awarded to Corbit Brothers, Reading, Pa., \$11,285. Will take revised bids on electric work.

**Lodge**, St. Lawrence, Reading, Pa. Architect, Harry Maurer, 234 North Fifth street, Reading, Pa. Owner, W. Adams, care of architect. Brick, steel, 2 stories and basement, 42x88 feet, slate roof, maple floors, steam heat, electric light, tile and marble work, terra cotta. Contract awarded to Charles H. Schlegel, 2250 Perkiomen avenue, Reading.

**Church and Parochial School**, Girardville, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Vincent's Roman Catholic Church, Rev. Ignatius Valancinas, Girardville, Pa. Steel, frame, brick, hollow tile, 2 and 3 stories, 150x50 feet, slate or asbestos roof, pine floors, hollow tile, roof ventilators, steam heat, electric light, tile work. Contract awarded to Butz & Clader, Ainey Building, Allentown, Pa.

**Residence**, Wyncote, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owner, Henry Spaulding, care of architect. Stone, 2½ stories, 78x24 feet, slate roof, oak floors and pine floors, hot water heat, electric light, tile work, ornamental iron work. Contract awarded to Roy Randall, Jenkintown, Pa.

**Alterations and Additions (new porch)**, 213 Kent Road, Wynnewood, Pa. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owner, Philip Cass, on premises. New porch, 1 story, 10x8 feet, shingle roof, oak floors, tile and marble work, plastering, stucco, carpentry and mill work, metal weather strip, painting and glazing, shoring. Contract awarded Louis B. Goff, 1909 McKean street, Philadelphia.

**Residence and Garage**, Ithan, Pa. Architect, R. Brognard Okie, 308 South Smedley street, Philadelphia. Owner, Thomas Newhall, care of architect. Stone, 2½ stories, 32x40 feet, 25x40 feet, slate roof, hardwood and cement floors, indirect hot water heat, electric light, tile and marble work. Contract awarded J. Morris Rossiter, Wayne, Pa.

**School (add.)**, City Line and Berwick Road, Overbrook, Pa. Architects, Zantlinger, Borie & Medary, Otis Building, Philadelphia. Owners, Episcopal Academy, Overbrook, Pa. Stone and frame, 1 story and basement, 35x115 feet, slate roof, maple floors, steam heat, electric light. Contract awarded H. H. Conway, Fifty-eighth and Walnut streets, Philadelphia.

**Parish House**, Baltimore Pike, West of Lansdowne avenue, Lansdowne. Owners, St. John the Evangelist Church, Rev. C. Luke, Lansdowne. Architect, C. W. Brazier, Chester, Pa. Stone and frame, 2½ stories, 97x63 feet, slate roof, electric light (heating reserved), plumbing. Contract awarded to H. H. Conway, 5800 Walnut street, Philadelphia.

**Residence and Garage**, Penfield, Pa. Architect, William F. B. Koelle, Otis Building,

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Philadelphia. Owner, Dr. Joseph Echternach, Medical Arts Building, Philadelphia. Brick, stucco, 2½ stories, 40x30 feet, garage, hollow tile and stucco, 22x24 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Contract awarded to T. S. Fetter, 1829 Filbert street, Philadelphia.

**Residence**, Oakmont, Pa. Architects, Tilden & Register, 1520 Locust street, Philadelphia. Owner, Mrs. W. J. Clothier, care of architect. Frame, 2½ stories, 38x30 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work. Contract awarded A. Lofgren, Brookline, Pa.

**School (add.)**, Tamaqua, Pa. Architect, Benjamin Rush Stevens, 1827 Arch street, Philadelphia. Owners, Tamaqua Borough of School District, Tamaqua, Pa. Brick and steel, 2 stories and basement, 76x24 feet, slag roof, cement and composition floors, rolling steel sash (plumbing, heating and electric reserved). Contract awarded to Barnes Const. Co., 1828 Arch street, Philadelphia.

**Abington Friends' School**, Jenkintown, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Abington Friends' School, Jenkintown, Pa. Stone, frame, 1 story, 32x16 feet, tin roof, maple floors, painting and glazing (heating reserved), electric light, bond, ornamental iron work. Contract awarded E. A. Reeves, Abington, Pa.

**High School**, Mechanicsburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Mechanicsburg School Board, Mechanicsburg, Pa. Brick, 2 stories and basement, 30x80 feet, slag roof, hardwood and composition floors, hollow tile (heating, electric and plumbing reserved). Contract awarded to W. E. Bushey, Lemoyne, Pa.

**Bridge**, over DeKalb street, Norristown, Pa. Engineer, J. B. Long, Norristown, Pa. Owners, Montgomery County, Norristown, Pa. Reinforced concrete, steel. Contract awarded Whiting Turner Const. Co., Baltimore, Md., \$449,449.

**Road Work**, Pennsylvania. Owners, Pennsylvania Department of Highways, Harrisburg, Pa.

Fayette County, R-247, Sec. 5, Dunbar Township, 10,855 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded to Georges Const. Co., Uniontown, Pa., \$81,200.30.

Jefferson County, R-338, Henderson and Winslow Townships. One course reinforced concrete. \$232,833.70. Contract awarded to Miller Const. Co., Punxsutawney, Pa.

## New Jersey Construction News

**Cottage**, Municipal Colony, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, City of Trenton, City Hall, Trenton, N. J. Brick, 2½ stories, 28x40 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Architect taking bids due July 11th.

**Residence**, Northwest Corner Broadway and McClelland avenue, Pitman, N. J. Architect, C. E. Schermerhorn, 233 South Fifteenth street, Philadelphia. Owner, Dr. H. Bailey, Chalfont, Pa. Dutch Colonial, concrete foundations, cinder block, stuccoed, 2 stories, 42x34 feet, shingle roof and sidings, cement and oak floors, white enamel finish, tile bath rooms, hardware, tile fireplaces, enclosed side porch, painting (electric, plumbing and heating reserved). Owner taking bids due July 10th, 5 P. M.

**Water Works**, Maple Shade, Chester Township, N. J. Engineers, Remington & Vossbury, 509 Cooper street, Camden, N. J. Owners Township Commission, Chester Township, Samuel Willis, Township Clerk, Public School No. 2, Maple Shade, N. J. Construction of water works to have pumping capacity of 400 G. P. M. and consisting of pumping station pressure filters, station piping settling basin, motor, driving pumping equipment and appurtenances. Owners taking bids due July 15th, 8 P. M. (Daylight Saving Time). Certified check, 5 per cent., must accompany each bid. Deposit, \$15. Refund, \$10.

**Apartment**, Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owner, care of architect. Reinforced concrete, steel and brick, 8 stories and basement, 82x92 feet, slag roof, hardwood floors, hollow tile, roof ventilators, terra cotta, steam heat, electric light, metal lath, tile and marble work, terrazzo work, hollow metal sash and skylights, iron stairs, ornamental iron work. Architect taking sub-bids.

**Garage and Show Room**, Bordentown, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Mercantina Brothers, Bordentown, N. J. Cement block, 1 story, 152x43 feet, slag roof, concrete floors, hot water heat, electric light, rolled steel sash. Owners will build.

**Apartment and Stores (2)**, Bordentown, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Mercantina Brothers, Bordentown, N. J. Brick, hollow tile, 2 stories and basement, hot water heat, electric light, plate glass, copper work, ornamental iron work. Owners will build.

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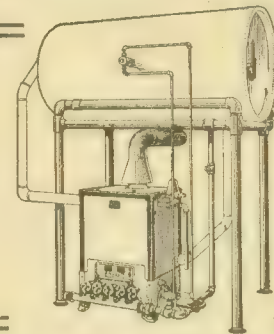
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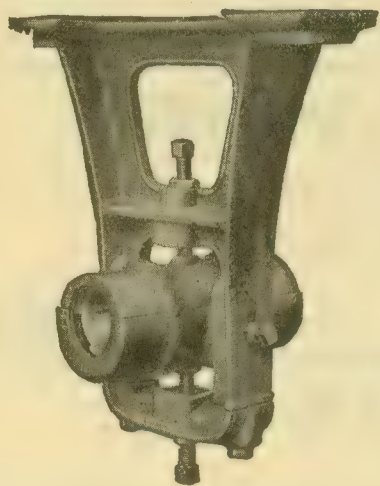
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# Official Figures Showing in Detail the Constructive Activity of the First Six Months of 1924

## New Buildings Erected from January 1 to June 30, 1924

	Jan.	Feb.	March.	April.	May.	June.	Operations.	Estim'd Cost.
Places of Amusement .....	..	..	..	..	1	..	1	\$135,000
Churches .....	4	..	3	5	3	2	17	1,741,200
Dwellings, one-story .....	..	..	2	6	3	1	12	32,600
"    two-story .....	368	536	1920	1159	1044	460	5487	30,079,560
"    three-story .....	23	19	37	39	54	57	229	3,066,000
"    frame .....	20	9	21	44	40	34	168	861,900
Banks .....	1	..	3	..	..	..	4	504,800
Engine and Boiler Houses .....	..	..	..	1	..	..	1	4,300
Garages .....	148	137	227	314	303	292	1421	3,588,735
Hospitals .....	..	1	..	..	1	1	3	636,000
Welfare Building .....	..	..	..	..	..	..	1	40,000
Manufactories .....	4	9	6	7	6	5	37	4,282,760
Municipal Buildings .....	1	..	..	1	1	2	5	251,430
Miscellaneous Buildings .....	20	6	14	19	19	16	94	121,435
Office Buildings .....	2	3	..	3	3	4	15	7,843,900
Parish Buildings .....	1	..	..	..	..	..	1	209,000
Power Houses .....	1	1	..	2	2	..	6	600,000
Railroad Stations .....	..	..	1	..	..	..	1	30,000
Rooming Houses .....	..	..	..	..	2	..	2	17,000
Schools .....	3	1	1	1	..	2	8	2,654,590
Stables .....	..	..	..	..	2	..	2	12,500
Stores .....	4	9	10	2	10	4	39	558,200
Tenement Houses .....	5	4	3	10	2	6	30	4,478,500
Warehouses .....	3	3	4	3	2	2	17	417,800
Workshops .....	8	12	15	10	9	6	60	267,800
Total New Buildings .....	616	750	2267	1626	1507	895	7661	\$62,435,010
Additions .....	159	192	345	348	410	392	1846	5,729,360
Alterations and Repairs .....	322	337	502	500	568	508	2737	3,681,835
Grand Total .....							12,244	\$71,846,205
Fire Escapes .....							85	44,695
Heaters .....							67	74,210
Signs .....							250	91,315
Miscellaneous Work .....							840	517,060
Total Work of All Kinds .....							13,486	\$72,573,485

### TWO-STORY DWELLINGS—Including Two-story Stores and Dwellings.

Wards	5	15	18	21	22	23	24	25	26	27	29	31	33	34	35	36	38	39	40	41	42	43	44	45	46	48	Tot.
Jan.	..	..	..	1	47	12	7	..	..	..	..	31	41	37	56	15	..	..	10	12	96	3	..	..	..	..	368
Feb.	..	..	1	5	..	79	..	1	..	..	..	..	21	44	13	..	..	..	141	50	161	3	..	116	..	..	536
March	..	54	..	23	233	121	..	6	32	..	..	..	..	2	302	104	..	..	160	68	69	660	13	101	14	36	21
April	1	..	..	23	124	213	..	39	1	1	..	..	..	..	63	73	..	18	..	329	47	206	7	..	14	..	1159
May	..	..	1	7	65	79	..	19	..	..	1	..	..	111	33	87	44	11	79	54	394	3	14	6	2	34	1044
June	..	..	..	8	46	6	..	..	..	..	..	..	18	53	29	..	65	19	44	67	67	..	..	..	6	32	460
Totals	1	55	1	67	515	510	7	65	33	1	1	31	82	610	308	102	128	90	671	299	1584	29	115	41	86	55	5487

### THREE-STORY DWELLINGS—Including Three-story Stores and Dwellings.

	Wards	3	4	15	21	22	23	24	26	33	34	35	38	40	42	44	Tot.
Jan.	..	..	..	..	3	..	..	..	..	1	13	1	2	..	3	..	23
Feb.	..	..	..	..	6	..	..	..	..	..	..	3	3	4	..	..	19
March	1	..	..	..	4	..	..	..	..	..	..	2	3	4	13	..	37
April	..	..	..	1	..	..	..	1	..	..	6	1	2	..	..	..	39
May	..	..	..	..	10	27	..	..	..	..	9	4	..	..	3	..	54
June	..	..	..	..	27	2	..	..	..	..	8	..	4	..	12	2	57
Totals	1	1	1	1	11	95	14	2	1	1	38	12	15	4	31	2	229

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### REPORT OF

## Philadelphia Trust Company

at the close of business June 30th, 1924

### RESOURCES

Cash on Hand and in Banks	\$7,178,481.36
Loans upon Collateral	14,704,008.54
Investment Securities Owned	8,410,421.28
Real Estate	653,013.00
Customers' Liability under Letters of Credit	239,377.34
Net Accrued Interest and Other Items Receivable	16,472.82
	<b>\$31,201,774.34</b>

### LIABILITIES

Capital Stock	\$1,000,000.00
Surplus	5,000,000.00
Undivided Profits	744,840.67
Letters of Credit Issued	239,377.34
Deposits	24,217,556.33
	<b>\$31,201,774.34</b>

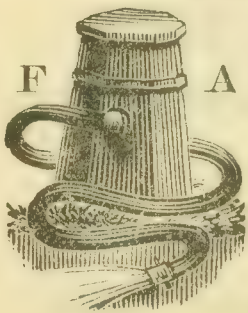
TRUST FUNDS	\$202,490,972.53
CORPORATE TRUSTS	\$234,000,000.00

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J. CALVIN WALLACE  
Treasurer

# Fire Association

OF PHILADELPHIA



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Incorporated March 27, 1820

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Assets,	\$16,226,190.00

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Chestnut Street West of Broad

Philadelphia, June 30, 1924.

### RESOURCES

Loans and Investments .....	\$35,829,584.46
United States Bonds and Certificates.....	8,609,607.00
Banking House and Office Building.....	1,500,000.00
Liability Under Letters of Credit.....	51,996.53
Interest Earned Uncollected.....	191,338.89
Due from Banks .....	12,894,465.97
Cash and Reserve .....	5,295,991.98
Exchanges for Clearing House .....	4,418,749.94

**\$68,791,734.77**

### LIABILITIES

Capital .....	\$2,000,000.00
Surplus .....	4,500,000.00
Undivided Profits .....	1,300,442.35
Reserved for Taxes, etc. ....	104,359.62
Discount and Interest Unearned .....	139,055.24
Letters of Credit .....	51,996.53
Deposits .....	60,695,881.03

**\$68,791,734.77**

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Vol. XXXIX, No. 29  
July 16, 1924

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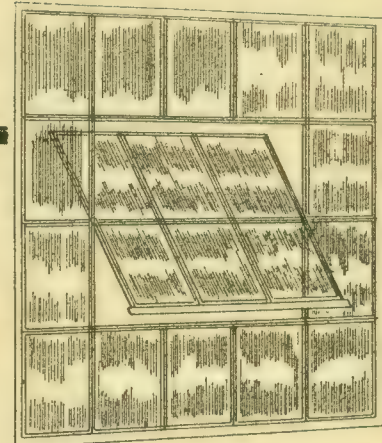
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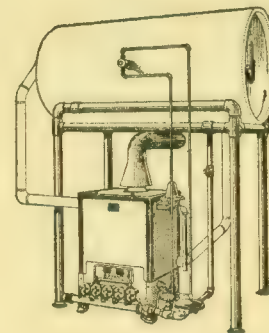
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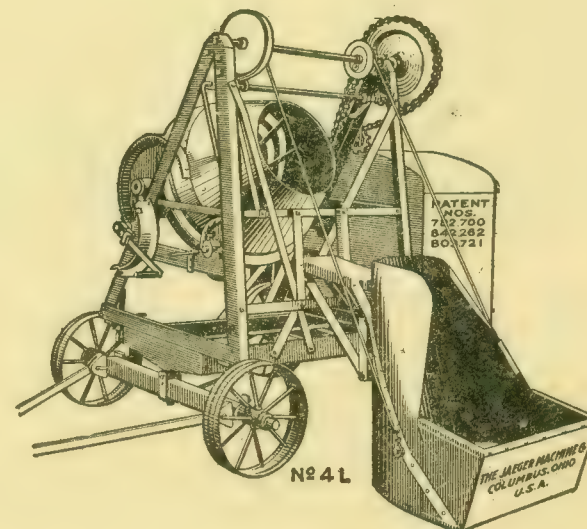
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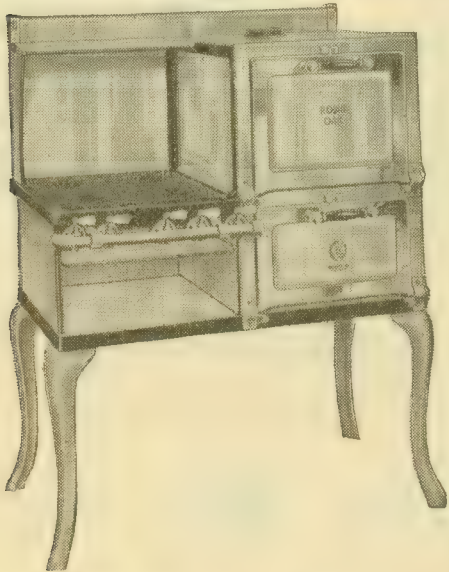
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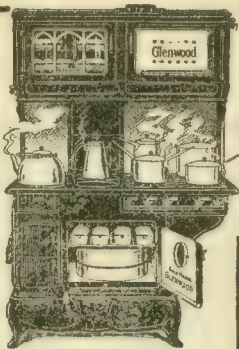


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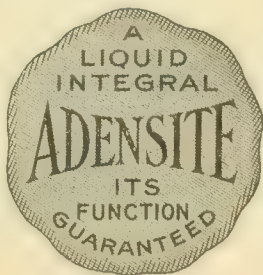
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 29

PHILADELPHIA  
July 16, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### REPORT ON PLUMBING

The Department of Commerce report on Recommended Minimum Requirements for Plumbing in Dwellings and Similar Buildings results from a widespread feeling that present state and municipal code requirements are in some respects unnecessarily restrictive and that conservation of labor and materials could be effected by scientific investigation of the burdens on such systems, and their performance under conditions of use. It is well known that the codes of different localities vary widely and that practices forbidden in some places are successfully employed elsewhere. The benefits of uniform requirements in permitting simplification of plumbing supplies also are generally recognized.

The development of plumbing code requirements and practice in installation of plumbing systems has been almost entirely in the hands of master plumbers and journeymen. Architects and builders have been too apt to disregard the importance of this feature of building construction and it results that no careful investigation has ever been made of the laws governing operation of plumbing systems.

This was the situation when Secretary Hoover, early in 1921, organized the Division of Building and Housing in the Department of Commerce to serve as a focus and clearing house for information useful to the building industry. It shortly became an important part of the Division's work to gather information on the subject of building and plumbing codes, with a view to more uniform and economical requirements, and a Committee of experienced sanitary engineers and plumbers was called together to consider the drafting of a recommended plumbing code. In order that this Committee might have at hand scientific data on the action of plumbing systems, arrangements were made to perform extensive tests with plumbing equipment at the Bureau of Standards in Washington. These experiments continued for over two years under the supervision of the Committee and afforded much valuable data which was analyzed and interpreted by that body in preparing its code of recommended requirements.

The report just published by the Department contains this recommended code and in addition a complete report of the experiments at the Bureau of Standards, showing how the Committee arrived at its recommendations.

The results indicate that present customary assumptions in the design of plumbing are considerably on the side of safety and point the way to substantial economies in future work of this sort. The Committee recommends that 3-inch soil stacks be permitted in systems for dwellings; that the running or house trap now required in many cities be omitted and that a distance of not to exceed 5 feet be permitted between traps and ventilation pipes. As a result of tests with

complete household systems it was found possible to eliminate much of the expensive vent piping now considered necessary. Economies possible through complete adoption of the Committee's recommendations are estimated at from 50 to 100 dollars for a 2 story dwelling with the usual number of fixtures, depending on the nature of requirements now obtaining in a given locality.

Consideration was given to the much discussed subject of plumbing code administration. The report states that while the relation of defective plumbing to disease is much less direct than formerly believed, the subject in all its branches is not yet fully explored, and the possibility of direct access of vermin from the interiors of plumbing systems to those of buildings is sufficiently objectionable to justify public regulation of plumbing work. The Committee recommends a competent official plumbing inspector under jurisdiction of public safety authorities, to examine and approve plans and specifications, test and approve plumbing systems and take such other measures as will make his control of plumbing work effective. The advisability is suggested of substituting certificates of competency for the present licensing system and of permitting owners to install plumbing personally, provided this is done in accordance with the code and subject to official permit and inspection.

The report contains 260 pages of text

(Continued on page 464)

**DRAWING  
MATERIALS**

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Garage and Office**, Forty-ninth and Gray's Ferry Road, Philadelphia, \$58,250. Architect, private plans. Owners, Tidewater Oil Sales Co., 11 Broadway, New York. Brick, reinforced concrete, 1 story and 2 stories, 118x37 feet, 61x67½ feet, slag roof, cement floors, steam heat, electric light, oil burner, rolling steel sash, hollow metal doors. Permit issued.

**Apartment (2) (alts.)**, 731-33 North Twenty-sixth street, Philadelphia, \$4,000. Architect, private plans. Owner, G. Blackman, 4900 Parkside avenue, Philadelphia. General alterations. Owner will build.

**Sewerage Treatment Works and Pier**, \$600,000. Wheatsheaf Lane at Delaware River. Owners, Department of public Works, Bureau of Surveys, City Hall. 100x600 feet. Contract awarded Fred Snare Corp., 1524 Chestnut street, Philadelphia.

**Supplies**, Philadelphia. Purchasing agent, E. J. Lafferty, 312 City Hall, Philadelphia. Owners taking bids due July 21st, 11 A. M. (Standard Time). Furniture and furnishing, Portland cement concrete, pipe and fittings, etc., paint and varnish, etc.

**Miscellaneous Work**, Philadelphia. Architect, private plans. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Schedule A, bridge at Sixty-eighth street over Baltimore and Ohio Railroad. Schedule B, core boring over Lincoln Drive. Owners taking bids due July 17th, 11 A. M. (Standard Time). Inquire 416 City Hall.

**Bank and Office Building**, Frankford avenue and Oxford Pike, Philadelphia. Architect, private plans. Owners, Oxford Bank & Trust Co., B. E. Effing, president, Frankford avenue and Overington street, Philadelphia. Contract awarded William Steele & Son, 219 North Broad street, Philadelphia. Plans in progress. Details undecided.

**Residence and Stores (3)**, North side Harrison, East of Charles street, Philadelphia. Architects, The Penwood Co., 131 North Fifteenth street, Philadelphia. Owners, Capkin & Forman, on premises. Brick, 2 stories, 59x16 feet, hot water heat, slag roof, electric work. Owners taking bids.

**Office Building**, Broad and Arch streets, Philadelphia. Architects, Dennison & Hiron, 228 Lexington avenue, New York City. Owners, Liberty Title & Trust Co., J. N. Fort, Jr., president, on premises. Plans completed. Will be ready for bids in a few days.

**Garage**, Chestnut street, between Forty-fourth and Forty-fifth streets, Philadelphia.

Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owners, Philadelphia Auto Radiator Co., 261 North Fifteenth street, Philadelphia. Brick and steel, 2 stories, 214x65 feet, slag roof, cement floors, steam heat, electric light, elevators, ornamental terra cotta, ornamental iron work, cold water painting. Architect and owners taking bids due as soon as possible.

**Bank**, Southeast Corner Germantown and Venango, Philadelphia. Architects, Willing, Sims & Talbutt, 126 South Eighteenth street, Philadelphia. Owners, Western Saving Fund, 1000 Walnut street, Philadelphia. Stone, 1 story. Sketches being drawn.

**Residence (alts. and add.)**, 33 East Springfield avenue, Chestnut Hill, Pa. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owner, Alexander Paul Brown, on premises. Revised plans in progress.

**School**, Oak Lane, Philadelphia. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Oak Lane Country Day School, Jerome J. Rothschild, Flanders Building, Philadelphia. Plans in progress.

**Store and Apartment**, 1236 North Fifty-second street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 3 stories, 16x90 feet, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, store fixtures, bond, metal bulks, metal ceilings, hardwood and pine floors, slag roof. Plans in progress.

**Factory Building and Cafeteria, Boiler House, Dye and Bleach Building**, Butler and Jasper streets, Philadelphia. Architect, private plans. Owners, Lehigh Silk Hosiery Mills, Inc., D and Ontario streets, Philadelphia. Reinforced concrete, brick and hollow tile, factory, 4 stories, 89x220 feet, cafeteria wing, 2 stories, 40x60 feet, boiler house, etc., 2 stories, 35x200 feet, slag roof, cement floors, steam heat, electric light, elevators, rolling steel sash, galvanized iron skylights. Harry Brocklehurst, 512 West Norris street, Philadelphia, taking sub-bids.

**Double Cottage**, Vernon Road, East of Stenton avenue, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Herman Kahn, care of architect. Brick, 2½ stories, 40x44 feet, all modern improvements, hot water heat, electric light, tile work, slate roof, hardwood floors. Plans will be ready for bids in one week.

**Alterations**, 1727-29 Vine street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, I. King, 132 South Fourth street, Philadelphia. Plastering, carpentry and mill work, painting and glazing, cement, brick and hardware. Architect subletting.

**Store and Apartment (alts. and add.)**, 4205 Walnut street, Philadelphia. Architects, Neubauer & Supowitz, 1524 Chestnut street, Philadelphia. Owners, Babain Brothers, 929 Chestnut street, Philadelphia. Brick, 3 stories, 20x2000 feet. Owners ready for bids.

**Residence (alts. and add.)**, Overbrook, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owner, John J. Gallagher, care of architect. Brick, hollow tile and stucco, 1½ stories add. (plumbing, heating and electric reserved), shingle and tile roof, oak and tile floors, painting and glazing, ornamental iron work, bond, tile work, metal lath, plastic floors. Architect taking bids due July 18th.

**Factory Building**, Third and Wingohocking streets, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owners, Columbia Steel Equipment Co., on premises. Brick, steel, 2 stories, 63x97 feet (plumbing, heating, electric and elevators reserved), slag roof, painting and glazing, plank and cement floors, galvanized iron skylights, rolled steel sash, metal toilet partitions. Architect taking bids.

**Railroad Track Elevation**, Schuylkill River to Twenty-fifth and Reed streets, Philadelphia. Chief engineer, A. C. Shands, 607 Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad, Broad Street Station, Philadelphia. Contract No. 17 for construction of concrete viaduct retaining walls, wood trestle, removal of buildings and arsenal walls. Owners taking bids due July 17th.

**Residence**, 510 East Berks street, Philadelphia. Architects, Murphy & Talley, Drexel Building, Philadelphia. Owner, O. McGuire, care of architect. Brick, cast stone, 3 stories, 16x52 feet, slate roof, oak floors, vapor heat, electric light, tile work. Architects taking bids due July 21st.

**Store (alts.)**, Northwest Corner Frankford and Susquehanna avenue, Philadelphia. Architect, Ernest R. Armstrong, 7151 Sprague street, Philadelphia. Owner, Robert Metzler, on premises. Shoring, brick work, structural steel and iron work, cement and concrete work, sheet metal work, carpentry and mill

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work, painting, hardware (plumbing, heating, electric, store fixtures, plate glass reserved). Architect taking bids due as soon as possible.

**Pipe Tunnel, Etc.,** Philadelphia Art Museum, Philadelphia. Architects, Borie, Trumbauer & Zantzinger, Land Title Building, Philadelphia. Owners, Commissioners of Fairmount Park, T. S. Martin, secretary, 127 City Hall, Philadelphia. Construction of pipe tunnel, installation of certain plumbing, heating and ventilating. Owners taking bids due July 23rd at noon.

**Asphaltic Road,** paving and construction of driveway in vicinity Twenty-fifth and Pennsylvania avenue. Owners taking bids due July 23rd. Plans may be secured at the office of the Commissioners.

**Store and Apartment (alts. and add.),** 4070 Lancaster avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. H. Waldow, Widener Building, Philadelphia. Brick, 1 story, 9x13 feet, slag tin roof, mineral stucco, plate glass, metal bulks, tile and marble work, steam heat, electric light. Architect taking bids due as soon as possible.

**Lubricating Station,** Fifty-fifth and Walnut streets, Philadelphia. Architect, J. L. Conarroe, 225 South Sydenham street, Philadelphia. Owner, Earl Mylecraine, on premises. Brick, 1 story, 35x48 feet, slag roof, cement floors. Owner taking bids due July 17th.

**Residence and Garage,** Vernon Road and Anderson, Philadelphia. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, V. C. Trout, care of architect. Stone, 3 stories, 31x50 feet, 18x20 feet, slate roof, hardwood and cement floors, hot water heat, electric light, tile and marble work. Architect taking bids due July 19th.

**Mechanical Building (add.),** Fifty-fourth and Cedar avenue, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Misericordia Hospital, on premises. Architect taking bids due July 18th.

**Factory Building,** 4412 Ridge avenue, Philadelphia. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owners, Philadelphia Boat Co., care of George Malloy, 1419 Spring Garden street. Brick, 2 stories, 40x100 feet, slag roof, cement and pine floors, electric light. Owners taking general bids.

**Hospital (alts. and add.),** 136 Diamond street, Philadelphia. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, Kensington Hospital for Women, on premises. Architect taking bids due July 17th.

**Elevators,** Southeast and Southwest Turrets, City Hall, Philadelphia. City architect, J. H. Molitor, 1315 Walnut street, Philadelphia. Owners, Director's Office, Department of Public Safety, City Hall. Owners taking bids due July 22nd at 11 A. M. (Standard Time).

**Miscellaneous Work,** Contract No. 209.

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**Shelter Building,** Philips, Reed, Earp and American streets, Philadelphia. City architect, J. Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Low bidders: McCormick-Lenham, 2401 South Broad street, Philadelphia, \$21,895, \$18,995; George Dobbins, 1020 South Forty-seventh street, Philadelphia, \$24,000, \$19,000. Plumbing, J. Bugger, 2124 East Cumberland street, \$2,095, \$75. Electric, Harry Mitchell, care of owners, \$640, \$560.

**Miscellaneous Work,** Philadelphia. Owners, Department of Public Works, Bureau of Water, Philadelphia. Low bidders: No. 673, furnishing and laying 16-inch water pipe; J. Joseph McHugh, 1617 Race street, Philadelphia, \$32,057.31. No. 682, general improvements, Queen Lane Pumping Station; Pennsylvania Engr. & Const. Co., Real Estate Trust Building, \$31,700; Robbins Cont. Co., 1137 North Front street, Philadelphia, \$34,849. No. 683, plumbing, Queen Lane Pumping Station; Bulman Brothers, Fifth and Cumberland streets, Philadelphia, \$3,266. No. 686, furnishing and laying 24-inch water pipe; M. & J. B. McHugh, 892 North Markoe street, Philadelphia, \$25,407.50.

**Grading and Paving,** Philadelphia. Owners, Department of Public Works, Bureau of Highways, 216 City Hall. Low bidders: Baldwin and other streets: Frank Mark Cont. Co., 2820 North Twenty-first street, Philadelphia, \$8,773.60. Collins and other streets: T. L. Flanagan, 531 East Girard, \$3,762.02. Erie avenue and others: Morrissey Brothers, 4345 North Seventh street, \$90,044.90. Lambert street and others: Frank Mark Cont. Co., 2820 North Twenty-first street, \$7,434.28. Sixtieth street: Thomas P. Lee, 5629 Cherry street, \$4,063.28.

**Residences (18), Residence and Store (1),** Loudon and C streets, \$76,500. Architect, private plans. Owners, Fishman & Fort, 216 Duncannon avenue, Philadelphia. Brick, 2 stories, (1) 16x39 feet, (18) 15x30 feet, 10x9 feet, hot water heat, electric light. Owners will build.

**Manufacturing Building and Warehouse,** 5231-35 Filbert street, \$25,000. Architect, J. V. Tunnell, 314 Segamore Road, Philadelphia. Owner, W. H. Hein, 5224 Arch street, Philadelphia. Brick, 2 stories, 106x87 feet, slag roof, steel sash, electric work, steam heat, cement work. Owner will build.

**Residences (2) and Garage,** Northwest Corner Forty-ninth and Parkside avenue, \$25,000. Architect, private plans. Owner, Louis Davidson, 5500 Baltimore avenue, Philadelphia. Hollow tile, stucco, 2 stories, 22x54 feet, 22x16 feet and 12x37 feet, 2 stories, 26x19 feet, hot water heat, electric light, slag roof, hardwood, pine and cement floors, electric work. Owner will build.

**Residences (4),** Weymouth and Cheltenham avenue and Whitaker and Bleigh streets, Philadelphia, \$5,500 each. Owner, M. Glaser, 1238 North Lawrence street, Philadelphia. Frame, 2 stories, 16x36 feet, 1 story, 10x7 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Hall and Store,** West side Kensington avenue, North of Adams avenue. Architect, private plans. Owner, Fred Sbroglia, 6001 Elmwood avenue, Philadelphia. Brick, 2 stories, 22x42x51 feet, slag roof, steam heat, electric light, pine floors. Owner will build.

**Residence,** East side Tenth street, North of Godfrey avenue, \$6,500. Architect, private plans. Owner, Alfred Larzelere, Tenth street and Godfrey avenue, Philadelphia. Brick, 1 story, 32x35 feet, hot water heat, electric light, slag roof, hardwood and pine floors. Owner will build.

**Garage (add.),** South side City avenue, East of Fiftieth street, \$10,000. Architect, private plans. Owner, Thomas F. Reilly, on premises. Steel and reinforced concrete, fifth story add., 62x200 feet. Owner will build.

**Residence,** South side Disston street, West of Castor Road, \$4,500. Architect, private plans. Owner, Jacob May, 1915 North Philip street, Philadelphia. Frame, 2 stories, 24x30 feet, slag roof, hot water heat, electric light. Owner will build.

**Residence (alts. and add.),** 1407 West Thompson street, \$3,500. Owner, Arthur C. Penton, 412 Crozer Building, Philadelphia. Brick, 1 story add., 14x8 feet, general alterations. Owner will build.

**Residences (32),** Second and Champlost avenue, Philadelphia, \$147,000. Architect, private plans. Owners, James F. Nolen & Sons, 64 Church Lane, Philadelphia. Brick, 2 stories, (1) 16x46 feet and (31) 16x28 feet, 12x10 feet, hot water heat, electric light. Owners will build.

**Residence and Store,** 4222 Manayunk avenue, Philadelphia, \$10,000. Architect, private

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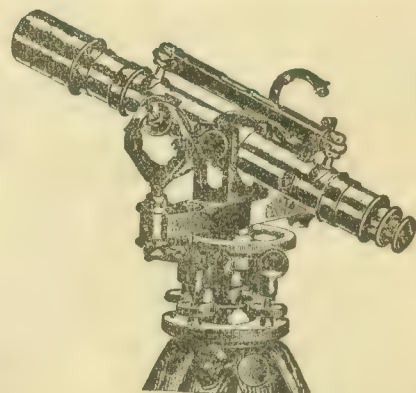
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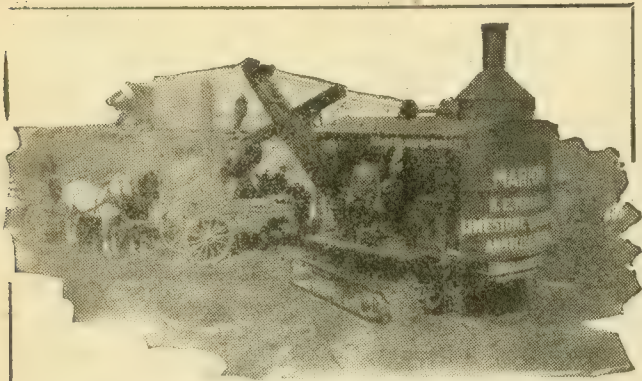
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plans. Owner, Peter Powers, 1917 Green street, Philadelphia. Brick, 2 stories, 21x50 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (23)**, Penn and Baynton streets, Philadelphia, \$5,000 each. **Residences (28)**, Queen and Baynton streets, Philadelphia, \$4,000 each. Owner, Edward C. Dreby, 1145 Harrison avenue, Philadelphia. Brick, 2 stories, (23) 16x24 feet, 12x14 feet, (28) 16x30 feet, hot water heat, electric light. Owner will build.

**Residences (25)**, Fifty-sixth and Warnock streets, Philadelphia, \$128,000. Architect, private plans. Owner, Charles Mahon, 5640 North Fifth street, Philadelphia. Brick, 2 stories, various sizes, hot water heat, electric light. Owner will build.

**Garage**, North side Susquehanna avenue, West of Twenty-seventh street, \$3,000. Architect, private plans. Owner, Lena Bowers, 2707 West Susquehanna avenue, Philadelphia. Brick, 1 story, 17x83 feet, 1 sag roof, cement floors. Owner will build.

**Residence (add.)**, 4233 Walnut street, Philadelphia, \$3,000. Architect, private plans. Owners, Babian Brothers, 929 Chestnut street, Philadelphia. Brick, 1 story add., 15x30 feet. Owners will build.

**Garage**, South side Ruscomb street, West of Seventeenth street, \$3,000. Architect, private plans. Owner, A. Tapper, 4924 North Seventeenth street, Philadelphia. Brick, 1 story, 82x16 feet, 40x16 feet, slag roof, cement floors. Owner will build.

**Residence**, 149 Chew street, Philadelphia, \$5,500. Architect, private plans. Owner, E. R. Headman, 427 West Olney avenue, Philadelphia. Brick, 2 stories, 16x41 feet, hot water heat, electric light. Owner will build.

**Manufacturing Building**, North side Bar-

tram avenue, East of Seventy-ninth street, \$5,500. Architect, private plans. Owners, Connery & Co., Second and Luzerne streets, Philadelphia. Brick, 1 story, 30x78 feet, 6 inches. Owner will build.

**Garages (6)**, 201-03-29-31-53-55 East Highland avenue, \$5,400 total. Architect, private plans. Owner, F. C. Scheid, Broad and McKean streets, Philadelphia. Brick, 1 story, 14x20 feet, cement floors, slag roof. Owner will build.

**Garage (add.)**, 634 Washington avenue, Philadelphia, \$5,000. Architect, private plans. Owners, C. & P. Spinelli, on premises. Brick, 2 stories add., 27x72 feet, slag roof, cement floors. Owners will build.

**Coal Trestle**, North side Glenwood avenue, West of Eighth street, \$10,000. Architects, William Steele & Sons Co., 219 North Broad street, Philadelphia. Owners, North American Lacey Co., on premises. Steel and concrete. Architects will build.

**Residence**, 7805 Buist avenue, Philadelphia, \$4,500. Architect, private plans. Owner, Charles M. Zeher, on premises. Brick, 2 stories, 18x27 feet, hot air heat, electric light. Owner will build.

**Garage**, East side Front street, North of Tioga street, Philadelphia, \$6,000. Architect, D. J. Pappan, 1240 Reed street, Philadelphia. Owners, Federal Const. & Eng. Co., 1240 Reed street, Philadelphia. Brick, 1 story, 48x70 feet, slag roof, cement floors, electric light. Owners will build.

**Residence (add.)**, South side Lycoming street, West of J street, \$3,500. Architect, private plans. Owner, Frank Zee, on premises. Brick, second story add., 16x30 feet, 13x12 feet, hot air heating. Owner will build.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Apartment House**, 19th and Walnut Streets, Philadelphia, \$3,000,000. Architect, McLanahan and Bencker, Bellevue Court Building, Philadelphia. Owner, The 19th and Walnut Street Corporation, Wm. M. Anderson, 600 Schuylkill Avenue. Concrete, steel, limestone, granite, brick, 21 stories and lobby, (2) wings, 135x42 feet, wing 39x50 feet, slag roof, cement, oak floors, elevators, metal weatherstrips, shoring, ornamental terra cotta, ornamental iron work, metal lath, electric light, painting and glazing, steel lockers,

caulking, ash hoist, wire screens, bronze metal partitions, tile and marble work, (plumbing, heating, steel work, reserved). Contract awarded Roberts and Roller, 1904 Sansom St., Philadelphia.

**Residence and Store (add.)**, 2073 Cheltenham avenue, Philadelphia, \$4,000. Architect, private plans. Owner, F. Zimmerman, on premises. Brick, 1 story add., 21x22 feet. Contract awarded to Arthur M. Lance, 2050 East Haines street, Philadelphia.

**Schools**, Philadelphia. Owners, Board of

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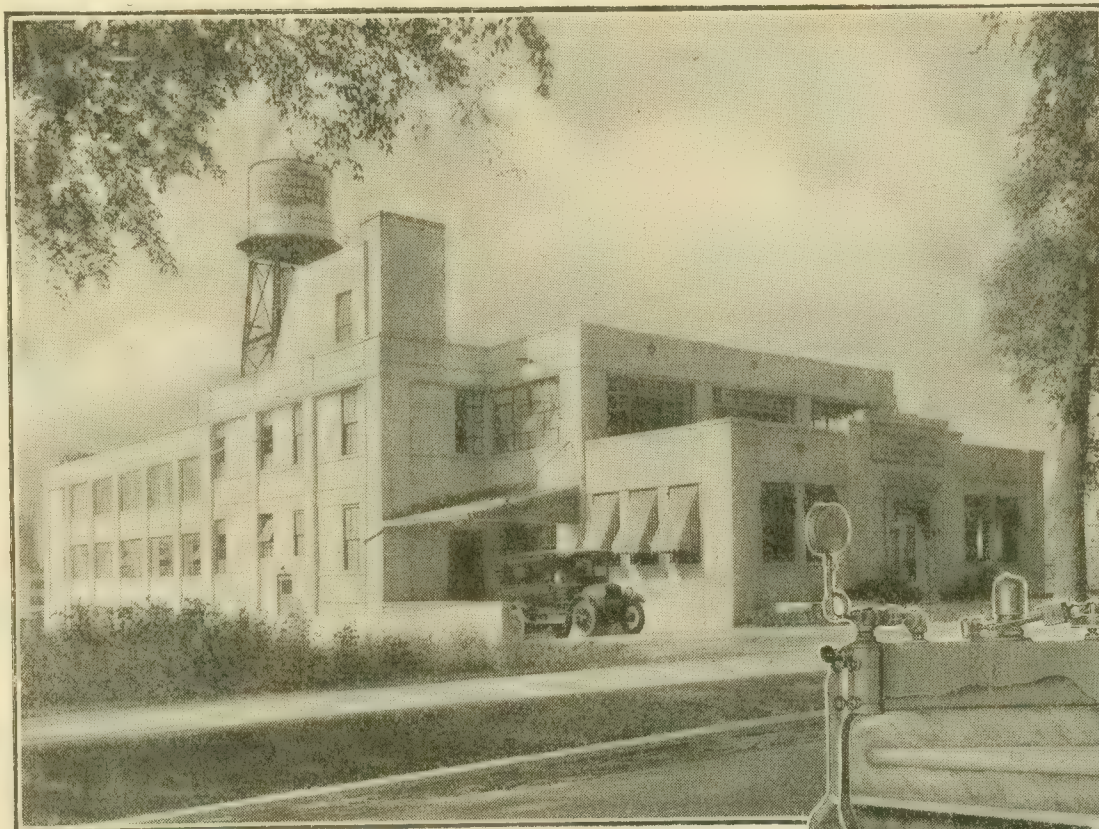
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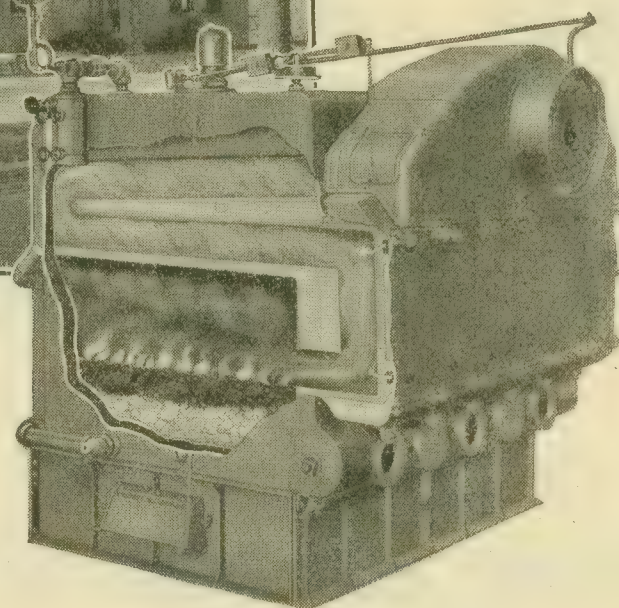






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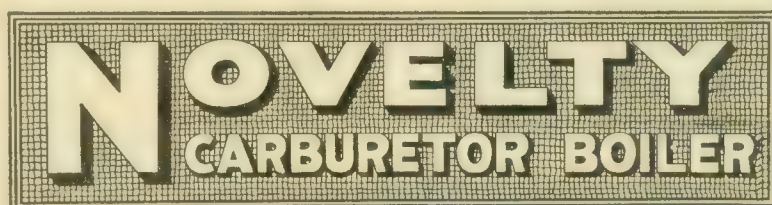


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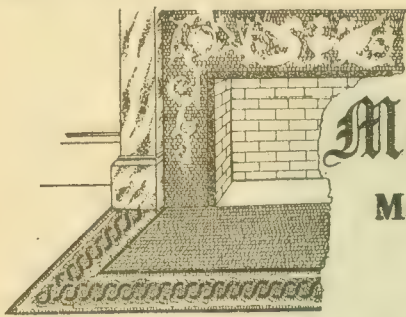
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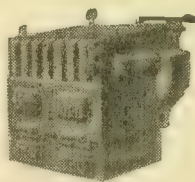
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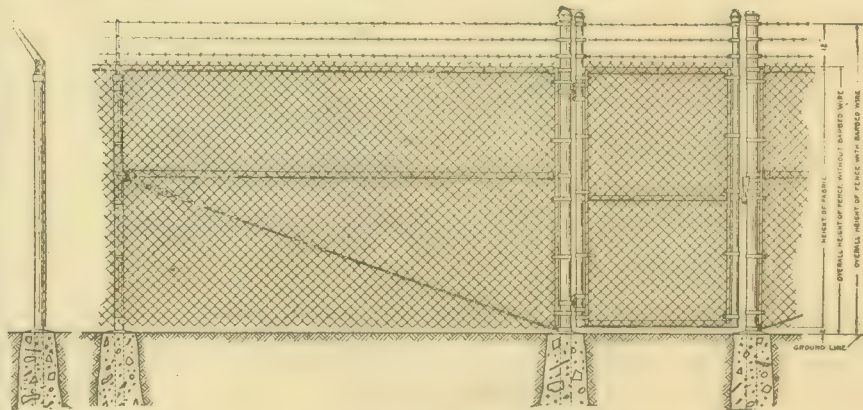
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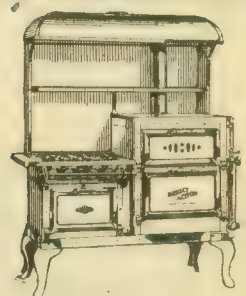
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Education, Nineteenth above Chestnut street, Philadelphia. Contracts awarded: School, Thirty-fifth and Fairmount avenue, Philadelphia—McCluskey Co., 1620 Thompson street, Philadelphia, \$181,726. Plumbing, Bulman Brothers, Fifth and Cumberland avenue, Philadelphia, \$13,666. Heating, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$42,590. Ventilating, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$1,986. Electric, Callahan Electric Co., 3520 North Seventeenth street, Philadelphia, \$6,341. School, Nineteenth and Wharton streets, Philadelphia—M. Melody & Son, 1322 Race street, Philadelphia, \$410,840. Plumbing, D. Keating, 2042 Rittenhouse street, \$22,443. Heating, Thompson Brothers, 520 Buttonwood street, \$49,861. Ventilating, E. J. Mellon, 5845 Beaumont street, Philadelphia, \$3,100. Electric, Ross Elec. Const. Co., Beach and Brown streets, Philadelphia, \$16,950. No. 188, Portable Schools, Philadelphia—Maryland Metal Building Co., 19 Balderston street, Baltimore, \$35,449.

**Factory**, 520 North Front street, Philadelphia. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owner, Louis Back, 125 North Front street, Philadelphia. Brick, 2 stories and basement, 18x77 feet, slag roof, cement, plank, pine floors, electric light. Contract awarded Samuel Rosen, 1317 South Fairhill street, but not signed.

**Present Building (alts.)**, New Maternity Building, Twentieth and Susquehanna avenue. Architect, Norman Hulme, 1524 Chestnut street, Philadelphia. Owners, Women's Homeopathic Hospital, Miss L. Carson, on premises. Stone, brick, cut stone, steel, 3 stories and basement, 108x38 feet, wing, 22x25 feet, asphalt slag built-up roof, rubber,

cement and pine floors, hollow tile, elevators, plumbing, painting and glazing, tin-clad and kalamein doors, metal weather strip, damp-proofing, ornamental iron work, floor hardener, copper skylights, hollow metal sash, gypsum block partitions. Contract awarded Cramp & Co., Denckla Building, Philadelphia.

**Dye House and Engine Room (alts.)**, Mitchell, Pennsdale and Rector, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Kauffman Plush Co., on premises. Brick, steel, 1 story, 71x54 feet (heating and electric reserved), 30x50 feet, slag roof, cement floors, hollow tile plumbing, metal lath, slag roof, painting and glazing, damp-proofing, ornamental terra cotta, ornamental iron work, floor hardener, fire doors, rolling steel sash, metal partitions. Contract awarded P. Haibach Cont. Co., 1261 North Twenty-sixth street, Philadelphia.

**Warehouse**, American and York streets, Philadelphia. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owners, Frank & Margolis Coal Co., 136 Washington avenue, Philadelphia. Brick, 2 stories and basement, 80x90 feet, slag roof, cement floors, electric light. Contract awarded J. Rosenberg, Fifty-eighth and Market streets, Philadelphia.

**Car Repair Shop**, Gallows Lane, near Primrose avenue, Philadelphia. Architect, private plans. Owners, Union Tank Car Co., 21 East Fortieth street, New York City. Brick, steel, 1 story, asphalt roof, cement floors, electric light, rolling steel sash. Contract awarded Hughes Foulkrod, Commonwealth Building, Philadelphia.

**Chapel**, Cheltenham, Sanger and Lorretto and Boulevard, Philadelphia. Architect,

Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Martin of Tour, Rev. J. J. McHugh, 5012 Roosevelt Boulevard. Stone, granite, cut stone, 1 story, 101x60 feet, wing 42x94 feet, slag roof, pine floors, damp-proofing, ornamental iron work, rolling steel sash, tile and marble work, metal lath, vapor heat, electric. Contract awarded F. V. Schubert, 4011 North Marshall street, Philadelphia.

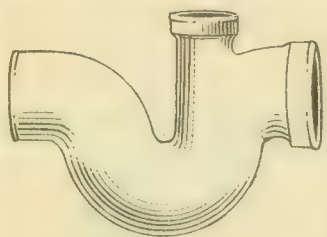
**Bank (alts.)**, 721 Chestnut street, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Quaker City National Bank, on premises. Demolition, cutting, metal enclosures, concrete work, plastering, marble, tile and mosaic work, mill work, glazing and painting. Contract awarded W. O. Springer, 2004 Naudain street, Philadelphia.

**Church and Sunday School**, Southwest Corner Twelfth and City Line, Philadelphia. Architect, Wesley Leshner Blithe, 608 Chestnut street, Philadelphia. Owners, Oak Lane Methodist Episcopal Church, on premises. Stone, cut stone, steel, 1 story and gallery, 188x65 feet, wing 40x98 feet, slate and slag roof, composition, cement and maple floors, painting and glazing, damp-proofing, ornamental iron work, bond, tile work, metal lath, plumbing, heating and electric, cast stone. Contract awarded to E. E. Hollenback, 1804 Brandywine street. Work to start soon. Sub-contracts awarded.

**Bank**, Southeast Corner Broad and Tasker streets, Philadelphia. Architect, Thomas Edward Ash, 1012 Walnut street, Philadelphia. Owners, Security Title & Trust Co., care of architect. Brick, stone, cut stone, 3 stories and basement, 123x20 feet, slag roof, cement floors, elevators, ornamental iron work, bond, metal lath, marble work, kalamein doors, rolling steel sash. Contract awarded E. E. Hollenback, Inc., 1804 Brandywine street, Philadelphia.

**Office (alts.)**, 1427 Spruce street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. Joseph Cameron, on premises. General alterations. Contract awarded T. S. Fetter, 1829 Filbert street, Philadelphia.

**Residence (alts.)**, North side Springfield avenue, West of Lincoln Drive, Philadelphia, \$11,000. Architect, H. L. Duhring, 1309 Lo-



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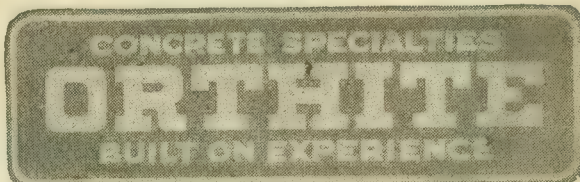
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eust street, Philadelphia. Owner, George Woodward, 709 North American Building, Philadelphia. Carpentry, mill work, stair work, alterations to heating, plumbing. Contract awarded to J. Riley & Son, Forrest avenue, Mt. Airy, Philadelphia.

**Residence**, 3122 West Coulter street, Philadelphia, \$15,500. Architect, private plans. Owner, Albert A. Knecht, 1734 Market street, Philadelphia. Stone, 2½ stories, 26x35 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work. Contract awarded to Frank J. Shuler, Norristown, Pa.

**Residence**, Ardleigh avenue, near Graver's Lane, Philadelphia, \$13,600. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owner, J. Oliver Earnshaw, care of architect. Hollow tile, 2 stories, 29x37 feet, slate roof, oak and pine floors (heating, plumbing, electric work reserved), metal lath, tile and marble work, ornamental iron work. Contract awarded to Betterbuilt Const. Co., 415 Market street, Camden, N. J.

**Hospital**, East side Tabor Road, North of Hellerman street, \$25,000. Architect, private plans. Owners, German Protestant Home for the Aged, on premises. Brick, 2 stories, 27 feet, 9 inches x 57 feet, 9 inches, slag roof, steam heat, electric work. Contract awarded to George Kessler Cont. Co., 1733 North Marine street.

**Residence (alts.)**, 321 South Eleventh street, Philadelphia, \$8,000. Owner, Miss Hannah Fox, on premises. General alterations. Contract awarded to C. C. Eddleman, 1627 Sansom street, Philadelphia.

**Store (alts.)**, Northwest Corner Eleventh and Filbert streets, \$8,000. Architect, private plans. Owners, Harry C. Kahn & Son, on premises. Elevator shaft. Contract awarded to Smith-Hardican Co., 1809 Callowhill street.

**Store and Factory (alts.)**, Northwest Corner Eighth and Filbert streets, \$8,000. Ar-

chitect, private plans. Owners, Buxbaum, Inc., on premises. General alterations. Contract awarded to J. Rosenzweig, 82 East Tenth street, New York.

**Coal Trestle**, Eleventh and Allegheny avenue, Philadelphia. Architect, private plans. Owner, W. J. Alexander, Eleventh and Allegheny avenue, Philadelphia. Concrete coal trestle, 100 feet long. Contract awarded Specialty Engr. Co., Trenton and Allegheny avenues, Philadelphia.

**Interior Alterations**, Broad and Poplar streets, Philadelphia, \$20,000. Architect, private plans. Owners, Lu Lu Temple, A. H. Ladner, Jr., Potentate, on premises. Terrazzo and red cement floors, painting, plastering. Contract awarded to Evans Steele, 2217 Chestnut street, Philadelphia.

**Residence**, Northwest Corner Rhaun and Ferndale streets, Philadelphia, \$6,000. Architect, private plans. Owner, David J. Kohn, 5402 North Fourth street, Philadelphia. Stone, 2 stories, 26 feet, 6 inches x 48 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to T. Wilkinson, 3639 North Ninth street, Philadelphia.

**Greenhouse**, Southeast Corner Morton and Duval streets, Philadelphia, \$18,000. Architect, private plans. Owner, Mrs. J. W. M. Cardeza, Morton and Washington Lane, Philadelphia. Stone, brick and glass, 1 story, 27x31 feet, 30x50 feet. Contract awarded to William C. Wright & Son, 22 Harvey street, Philadelphia.

**Fraternity House (add.)**, 3800-02 Locust street, \$3,600. Owners, Phi Lambda Phi, on premises. New porch, brick and steel, 1 story, 39x14 feet. Contract awarded to George Tomlinson & Son, 1713 Sansom street.

**Residence (twin)**, Carol Boulevard and Merion avenue, Highland Park, Philadelphia. Architect, private plans. Owner, William J. Dickson, on premises. Frame and stucco, 2½ stories, 54x25 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work. Contract awarded Lockhart & Simon, 1524 Chestnut street, Philadelphia.

**Residence (alts.)**, 5102 Newhall street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. Deyoe, care of architect. General alterations. Contract awarded E. W. Schroepe, 630 Locust avenue, Germantown, Pa.

**Residence (alts.)**, Southeast Corner Thirty-ninth and Spruce streets, Philadelphia, \$6,500. Architect, private plans. Owner, M. La Rouge, on premises. General alterations. Contract awarded to J. P. Hallahan, 2315 Walnut street, Philadelphia.

**Residence (alts. and add.)**, Sixteenth and Arch streets, Philadelphia, \$3,950. Architect, private plans. Owners, Friends' Select School, Seventeenth and Parkway, Philadelphia. General alterations, 2 story brick add., 17x15 feet. Contract awarded to Rudolph Lukens, Bala, Pa.

**Store (add.)**, 165 West Cheltenham avenue, Philadelphia, \$5,000. Architect, private plans. Owner, J. Mitchell Elliott, on premises. Brick, 1 story, 24x25 feet, 1 story, 12x20 feet, slag roof, electric work, hardwood and pine floors. Contract awarded to E. C. Borthwick, 6511 North Woodstock street, Philadelphia.

**Residence (add.)**, 910 Kimball street, Philadelphia, \$4,000. Architect, private plans. Owner, C. Framo, 912 Kimball street, Philadelphia. Brick, 3 stories, 16x4 feet and 13x16 feet. Contract awarded to A. Nardy & Son, 761 South Thirteenth street, Philadelphia.

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**Residence**, 3853 St. Vincent street, Philadelphia. Architect, private plans. Owner, E. Rubino, 7200 State Road, Philadelphia. Brick, 2 stories, 16x27 feet, 12x13 feet, hot water heat, electric light. Contract awarded to C. O. Pessnti, 2044 East Somerset street, Philadelphia.

**Workshop (rear)**, 4708-10 Parrish street, Philadelphia, \$4,500. Architect, private plans. Owner, Mrs. Mary T. Donnelly, 4710 Parrish street, Philadelphia. Brick, 1 story, 32x90 feet, slag roof, electric lighting, pine floors. Contract awarded to L. Rosengarten, 4742 Market street, Philadelphia.

**Residences (5)**, South side Fillmore street, East of Rutland street, \$5,800 each. Architect, private plans. Owner, Margaret E. Carney, 1683 Dyre street, Philadelphia. Brick, 2 stories, 14x32 feet, 10x10 feet, hot water heat, electric light, slag roof. Contract awarded to A. J. Carney, 1534 Overington street, Philadelphia.

**Residences (2)**, West side Seventy-sixth street, South of Buist avenue, \$5,500 each. Architect, private plans. Owner, Ernest Dean, Seventy-sixth and Buist avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, electric light. Contract awarded to John C. McEnhill, 8311 Tinicum avenue.

**Church (add.)**, 4227 Paul street, Philadelphia, \$4,600. Architect, private plans. Owners, Rehoboth Methodist Episcopal Church, on premises. Brick, 1 story add., 22x37 feet. Contract awarded to John F. Davies, 1021 Herbert street.

**Garage and Store**, West side Wagner avenue, North of Tabor Road, \$6,500. Architect, private plans. Owner, Mattie Ortman, Northeast Corner Tabor Road and Wagner avenue. Brick, 1 story, 22x40 feet, and 1 story, 16x37 feet, slag roof, pine and cement floors, electric light. Contract awarded to Henry H. Kratz, Elkins Park, Pa.

**Manufacturing Building (alts.)**, 3434-36 Market street, \$8,000. Architect, private plans. Owners, Hurlock Brothers, on premises. General alterations. Contract awarded to F. G. English & Son, 1608 North Carlisle street.

**Garage**, Southeast Corner Day and Crease streets, Philadelphia, \$4,000. Architect, private plans. Owner, Emil Knodle, 21 East Girard avenue, Philadelphia. Brick, 1 story, 120x25 feet, slag roof, cement floors. Contract awarded to S. Schodelmeyer, 3028 Salmon street, Philadelphia.

**Residence (add.)**, 1626 South Second street, Philadelphia, \$3,000. Architect, private plans. Owner, I. Heines, 221 Mountain street, Philadelphia. Brick, 2 stories add., 13x24 feet. Contract awarded to William Liss, 2618 South Sheridan street, Philadelphia.

**Garage (add.)**, 2619 North Twenty-eighth street, Philadelphia, \$10,000. Architect, L. E.

Bennis, 5516 Germantown avenue, Philadelphia. Owner, Anna Dulroffkin, 2255 North Forty-fourth street, Philadelphia. Brick, second story add., 41x65 feet, slag roof, cement floors. Contract awarded to Max Soffner, 2629 North Twenty-eighth street, Philadelphia.

**Residence (alts. and add.)**, Southwest Corner Lancaster avenue and City Line, Philadelphia, \$9,500. Owner, Mrs. B. M. McCarroll, on premises. Brick, 1 story add., 12x24 feet, general alterations. Contract awarded to M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Residence and Store (alts.)**, Southeast Corner Seventh and Poplar streets, \$7,500. Architect, private plans. Owner, H. Janopky, on premises. General alterations. Contract awarded to D. Wittenberg, Holmes, Pa.

**Rooming House (alts.)**, 1402 Spruce street, Philadelphia, \$7,500. Architect, G. B. Roth, 1629 Chestnut street, Philadelphia. Owner, J. F. Schamberg, on premises. General alterations. Contract awarded to E. M. Canny, 614 Sansom street, Philadelphia.

**Factory and Store (alts.)**, Northeast Corner Eighth and Spring Garden streets, \$10,000. Architect, private plans. Owner, William Tuttleman, on premises. General alterations. Contract awarded to William Easterbrook, 146 North Fourth street, Philadelphia.

**Residence, Northwest Corner Tulip and Aubrey streets**, Philadelphia, \$6,000. Architect, private plans. Owner, Ralph Kinsley, 9228 Walker street, Philadelphia. Frame and stucco, 1 story, 24x36 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Residence**, South side Longshore street, West of Loretta street, \$6,000. Architect, private plans. Owner, J. Gorden, 5228 Marion street, Philadelphia. Hollow tile, 1 story, 26x38 feet, hot water heating, electric lighting, tile work, hardwood and pine floors. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Store and Residence (add.)**, Northeast Corner Warrington avenue and Peach street, Philadelphia, \$4,500. Architect, private plans. Owner, W. S. Buchanan, 1155 South Peach street, Philadelphia. Brick, third story add., 16 feet, 4 inches x 34 feet. Contract awarded to J. Nelson, Darby, Pa.

**Residence**, Southeast Corner Hegerman and Aubrey avenue, \$4,000. Architect, private plans. Owner, Fred Scheetz, 1604 Brill street, Philadelphia. Frame, 1 story, 22x28 feet, hot air heat, electric light. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Garage and Storage Building (add.)**, 819 Bainbridge street, \$2,900. Architect, private plans. Owner, John Scaretta, 822 Fitzwater

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street, Philadelphia. Brick, 1 story, 12 feet, 6 inches x 28 feet, and second story, 12 feet, 6 inches x 12 feet, 6 inches. Contract awarded to Thomas E. Bessi, 744 South Sixth street, Philadelphia.

**Store (alts.),** 1940 West Columbia avenue, Philadelphia, \$2,400. Architect, private plans. Owner, Frank A. Blenci, 1938 West Columbia avenue, Philadelphia. General alterations. Contract awarded to Hugh Hazlett & Son, 1701 North Twentieth street, Philadelphia.

**Residence (alts. and add.),** 2819 West Dauphin street, Philadelphia, \$2,300. Architect, private plans. Owner, Robert Williams, on premises. General alterations, brick, 2 stories add., 12x12 feet. Contract awarded to B. F. Virden, 2917 West Fletcher street, Philadelphia.

**Residence (32),** Eighth and Wellens streets, Philadelphia, \$5,000 each. **Residences (12),** Franklin street, South of Fishers avenue, \$5,000 each. Owner, Robert G. Foster, 1348 West Somerset street, Philadelphia. Brick, 2 stories, (32) 16x39 feet, (12) 20x32 feet, hot water heat, electric light. Contract awarded to George A. Boyd, 6701 North Sixth street, Philadelphia.

**Residence (add. and alts.),** 3104 West Coulter street, \$12,000. Architect, Edward T. Boggs, 119 South Fourth street, Philadelphia. Owner, T. T. Clark, 3110 West Coulter street, Philadelphia. Stone, 2 stories, 20x26 feet, slate roof, general alterations. Contract awarded to William C. Wright & Son, 22 Harvey street, Philadelphia.

**Residence (add.),** Southeast Corner Sixty-fourth and City avenue, Philadelphia, \$9,000. Architect, private plans. Owner, E. P. Rawle, on premises. Stone, concrete block, 3 stories, 14x20 feet add. Contract awarded to Alfred James, 5000 Sansom street, Philadelphia.

**Warehouse (add.),** 1131 South Broad street, Philadelphia, \$6,500. Architect, private plans. Owner, Joseph Derosi, 1412 Dickinson street, Philadelphia. Brick, 3 stories add., 21x72 feet. Contract awarded to Patrick Alimpia, 1244 South Nineteenth street, Philadelphia.

## Pennsylvania Construction News

**Residence,** Drexel Hill, Pa. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owner, William Burke, care of architect. All bids rejected. Architects taking revised bids.

**Corps Building,** Fifth street, Chester, Pa. Architect, private plans. Owners, Salvation Army, 120 West Fourteenth street, New York City. Brick and steel, 2 stories, 66x30 feet, slag roof, pine floors, steam heat, electric light, ornamental iron work. Owners taking bids due July 21st.

**Residence,** Wayne, Pa. Architect, J. L. Conarroe, 225 South Sydenham street, Philadelphia. Owner, Bruce M. Watson, care of architect. Frame, 2½ stories, 31x38 feet, shingle roof, hardwood floors, vapor vacuum heat, electric light, tile work. Plans about completed.

**Residence,** Cynwyd Road, near Lodges Lane, Cynwyd, Pa. Architect, J. L. Conarroe, 225 South Sydenham street, Philadelphia. Owner, J. L. McMichael, care of architect. Hollow tile, stucco, frame, 2½ stories, 25x32 feet, shingle roof, pine floors, hot water heat, electric light, tile work. Architect ready for bids in one week.

**Church,** Lebanon, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, St. Gertrude's Roman Catholic Church, Lebanon, Pa. Brick. Architect taking bids due July 23rd, at 9 A. M.

**Hospital (add.),** Jersey Shore, Pa., \$5,000. Architects, Fisher & Scholl, Williamsport, Pa.

Owners, Jersey Shore Hospital, Drs. Shuman, Hayes, Mohn, Jersey Shore, Pa. Frame, 3 stories and basement, 28x28 feet, built-up roof, composition and wood floors, new heat, electric light, wood sash, fire and kalamein doors. Owners will build.

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due August 5th at 10 A. M. Blair County, R-221, Logan Township, 12,751 feet. One course reinforced concrete. Certified check, \$2,500.

Cambria County, R-52 and 53, Ebensburg Borough, 3,940 feet. One course reinforced concrete. Certified check, \$1,000.

Cambria County, R-222, A-1762, Scalp Level Borough, 2,249 feet. One course reinforced concrete. Certified check, \$1,000.

Chester County, R-360, East and West Marlboro Township, 22,000 feet. One course reinforced concrete. Certified check, \$4,000.

Lackawanna County, R-5, Lackawanna Township, Moosic Borough, 18,997 feet. One course reinforced concrete. Certified check, \$3,500.

York County, R-333, Newberry, Conewago and Manchester Townships, 40,242 feet. One course reinforced concrete. Certified check, \$4,000.

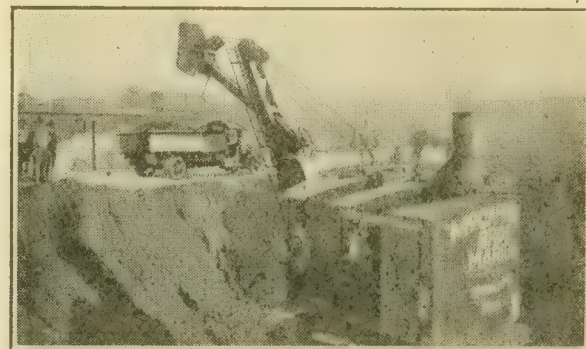
**Garage,** Hamilton street, Allentown, Pa. Architect, E. R. Bitting, Bethlehem Trust Building, Bethlehem, Pa. Owner, H. B. Freeman, Allentown, Pa. Brick, steel, 1 story, 158x60 feet, slag roof, cement floors, roof ventilators, waterproofing, steam heat, electric light, steel sash. Plans in progress.

**Palm Bridge,** between Lehigh and Montgomery Counties, at Hosensack, Pa. County engineer, Mr. Cressman, Norristown, Pa. Owners, Montgomery County, Norristown, Pa. Steel and concrete. Plans about to be started.

**Entrance,** Mt. Airy, Pa. Architect, Herman Miller, 1420 Chestnut street, Philadelphia. Owners, Lutheran Orphans' Home and Asylum for the Aged, Mt. Airy, Pa. Local stone and marble, 40 feet wide, 3 entrances, electric light, ornamental iron and bronze, gates trim and tablets. Plans in progress.

**Slaughter House,** Bethlehem, Pa. Architect, E. R. Bitting, Bethlehem Trust Building, Bethlehem, Pa. Owner, John Kipp, 1134 West North street, Bethlehem, Pa. Brick, 1 story, 30x60 feet, slag roof, concrete floors, electric light, rolled steel sash, skylights, refrigeration and insulation, floor hardener. Plans in progress.

**Church,** Edge Hill, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owners, Carmel Presbyterian Church, Edge Hill, Pa. Stone, 1 story and basement, 112x70 feet, slate roof. Plans in progress.



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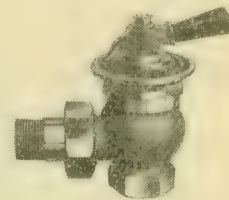
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**Bank**, Lehigh street, Frackville, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, First National Bank, J. C. McGinnis, Frackville, Pa. Brick, stone, 1 story, 35x95 feet. Plans in progress.

**Addition, Biddle Street School**, West Chester, Pa. Architects, Davis, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, Building Committee, West Chester School District, West Chester, Pa. Brick, cut stone, steel, 3 stories and basement, 100x64 feet, slag and composition roof, cement, pine, wood block floors, plumbing, painting and glazing, shoring, waterproofing and dampproofing, ornamental terra cotta, ornamental iron work, iron stairs, floor hardener, bond, hollow metal doors, rolling steel skylights, hollow metal sash, tile and marble work, metal lath, electric light, steam heat, cast iron pipe and wrought iron pipe in plumbing, wrought iron pipe in heating. Architect taking bids due July 25th, 8 P. M.

**Twin Residences (100 pairs)**, Yeadon, Delaware County, Pa. Architect, private plans. Owner, W. Raymond Evans, Yeadon, Pa. Frame, stucco, 2½ stories, various sizes, hot

water heat, electric light, tile work, asbestos shingle roof, hardwood floors, cement work. Abram Hallman, builder, Yeadon, Pa., will be ready for sub-bids in fall of 1924.

**Pyles Twin Bridges**, over Brandywine Creek, between Delaware and Chester Counties, Pa. Engineers, R. J. Aydlotte, Media, Delaware County, Pa., and Harry K. Ellis, Phoenixville, Pa. Owners, County Commissioners of Delaware and Chester Counties and Media, West Chester, Pa. All bids rejected. Revised plans in progress.

**Residences (2)**, Hamilton Park Manor, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Kern-Krexler Realty Co., Allentown, Pa. Brick, 2½ stories, 36x46 feet, slate roof, hardwood floors, electric light. Plans in progress. Owners will take sub-bids.

**Garage and Show Room**, Freeland, Pa. Architects, Tilghman Moyer Co., 824 Hamilton street, Allentown, Pa. Owner, J. M. Danko, Freeland, Pa. Brick, 2 stories, 53x131 feet, Barber asphalt roof, concrete floors, waterproofing, vapor vacuum heat, electric light, tile work, mill work, plastering, steel sash. Plans in progress. Architects will build.

**Residences (12)**, Garrett Road and School Lane, West of Lansdowne avenue, Drexel Hill, Pa. Architects, Wallace & Warner, Franklin Trust Building, Philadelphia. Owners, Thomas Conway, Jr., Corp., Bankers' Trust Building, Philadelphia. Frame and stucco, 2½ stories, various sizes, shingle, tile and slate roof, hardwood floors, hot water heat, electric light, tile. Architects building and have sub-let all contracts.

**Residence**, Bethlehem, Pa. Architect, E. R. Bitting, Bethlehem Trust Building, Bethlehem, Pa. Owner, Louis Arbizzani, 628 East Locust street, Bethlehem, Pa. Cinder block and stucco, 2½ stories, 30x56 feet, tile roof, hardwood floors, hot water heat, electric light, tile work. Owner will sublet.

**Store and Apartment**, Third and Folsom avenue, Folsom, Pa. Architect, James William Shaw, Wayne, Pa. Owner, Joseph T. Herrschaft, on premises. Frame, 2½ stories, hot water heat, electric light, 27x45 feet, pine floors, plumbing. Owner taking bids due as soon as possible.

**Residence**, Narberth, Pa. Architect, John J. Carroll, 1619 Chestnut street, Philadelphia. Owner, care of architect. Stone, 2½ stories, 27x43 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress. Architect will be ready for bids in ten days.

**Sewers**, Bartlett and Poplar streets, Sharon Hill, Pa. Engineers, Damon & Foster, Post Office Building, Upper Darby, Pa. Owners, Borough of Sharon Hill, H. Anchutz. Fire House, Sharon Hill. Low bidder, Robert Greer, Darby, \$2,095.

**Apartment House**, Bryn Mawr, Pa. Architect, Lawrence Visscher Boyd, Harrison Building, Philadelphia. Owners, Georgian Gables, care of architect. Stone, cut stone, brick, 3 stories and basement, 215x42 feet, wing 178x61 feet, slate and slag roof, monolithic, oak and pine floors, painting and glazing, roof ventilators, plumbing, metal lath, tile work, electric light (heating reserved), ornamental iron work. Architect taking bids due July 21st.

**Juste Memorial and Superintendent's Office**, Mt. Airy, Pa. Architect, Herman Miller, 1420 Chestnut street, Philadelphia. Owners, Lutheran Orphans' Home and Asylum for the Aged, Mt. Airy. Stone, brick, steel, 2½ stories, 50x31 feet, shingle roof, pine and oak floors, hollow tile, hot water heat, electric light, tile work, ornamental iron work. Architect taking bids due as soon as possible.

**Garage**, Wynnewood, Pa. Architects, Wallace & Warner, 1413 Franklin Trust Building, Philadelphia. Owner, Gustavus Cook, Wynnewood, Pa. Stone, 1 story, 50x27 feet, slate roof, cement floors, hot water heat, electric light. Owner taking bids due July 17th.

**Residence and Garage**, Noble Vista, Pa. Architects, R. R. Neely & E. William Martin, 2301 Spruce street, Philadelphia. Owner, S. H. Keller, Noble Vista, Pa. Architects taking bids due July 21st.

**Residence and Garage**, Glenside, Pa. Architect, R. C. Martin, Otis Building, Philadelphia. Owner, J. Hommer Hancock, North Glenside, Pa. Hollow tile and stucco, 2½ stories, 28x40 feet, 1 story, 20x22 feet, shingle roof, hardwood and cement floors, hot air heat, electric light, tile work. Architect taking bids due July 21st.

**Montgomery County Court House (alts.)**, Norristown, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, Commissioners of Montgomery County, Norristown, Pa. Repairs to roof, electric light, bond, renovating, marble work, leaded glass, plastering, painting, waterproofing. Owners taking bids due July 22nd, 10 A. M. (Standard Time).

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due July 29th at 10 A. M.

**Allegheny County**, R-76, Robinson Township, 12,240 feet. One course reinforced concrete. Certified check, \$2,500.

**Beaver County**, A-1951, Greene Township, 12,316 feet. One course reinforced concrete. Certified check, \$2,500.

**Beaver County**, R-204, Chippewa Township, 3,491 feet. One course reinforced concrete. Certified check, \$1,000.

**Beaver County**, A-2935, North Sewickley Township, 4,352 feet. One course reinforced concrete. Certified check, \$1,500.

**Columbia County**, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. Certified check, \$2,000.

**Erie County**, R-304, A-3140, Greenfield Township, 21,767 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

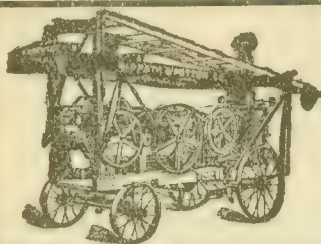
**Erie County**, R-86, Mill Creek Township. Peninsula Project, 21,070 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

**Erie County**, A-2882, Mill Creek Township, 10,611 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$2,000.

**Erie County**, A-2832, Girard Township, 19,121 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

**Elk County**, A-944, Fox Township, 20,655 feet. Grading and drainage. Certified check, \$3,000.

**Indiana County**, R-63 and Spur, Rayne and



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East Mahoning Townships, 35,351 feet. One course reinforced concrete. Certified check, \$4,000.

Lehigh County, A-2497, Catasauqua Borough, 7,491 feet. One course reinforced concrete. Certified check, \$1,500.

Luzerne-Wyoming County, R-232, Exeter Township, 27,126 feet. One course reinforced concrete. Certified check, \$4,000.

Lycoming County, A-1036, R-355, Muncy Township, A-2207, R-291, Montoursville Borough, 12,398 feet. One course reinforced concrete. Certified check, \$2,000.

Potter County, A-2595, R-101, Coudersport Borough, 1,805 feet. One course reinforced concrete. Certified check, \$1,000.

Somerset County, A-1616, Somerset Township, 5,868 feet. One course reinforced concrete. Certified check, \$1,500.

Venango County, A-2004, Sugar Creek Township, 5,282 feet. One course reinforced concrete. Certified check, \$1,000.

Venango County, A-2776, Oil Creek Township, 24,871 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

## Pennsylvania Contracts Awarded

**Solarium**, Williamsport, Pa., \$15,000. Architects, Fisher & Scholl, Williamsport, Pa. Owners, Home for the Friendless, Williamsport, Pa. Brick, 2½ stories, 28x28 feet, asbestos shingle roof, composition floors, electric light, metal lath, tile work, steel sash, fire doors, kalamein doors, bronze work. Contract awarded to Bennett & Co., Williamsport, Pa.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Schuylkill County, R-185, Rush and Klein Townships, McAdoo Borough, 24,468 feet. One course reinforced concrete. \$405,903.65. Contract awarded to W. H. Murphy & Son, Harrisburg, Pa.

**Residence and Garage**, Sheppack Turnpike, West of Spring Mill Road, Pa. Architect, Spencer Roberts, 10 South Eighteenth street, Philadelphia. Owner, Howard Ketcham, care of architect. Hollow tile and stucco, 2½ stories and 1½ stories, 58x21 feet, wing 17x36 feet, garage 25x38 feet (heating and electric reserved), canvas shingle roof, oak and pine, cement and composition floors, painting and glazing, plumbing, tile work, ornamental iron work, bond, flagstone, excavation. Contract awarded J. S. Cornell & Son, Morris Building, Philadelphia.

**Residence and Garage**, Villanova, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, Mrs. Jessie F. Da Costa, care of architect. Concrete block and stucco, cut stone, 2½ stories and basement, 92x61 feet, shingle and slag roof, oak and pine floors, vapor heat, electric light, damp-proofing, ornamental iron work. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**Residence**, Elkins Park, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, J. Lab, Broad and Fairmount avenue, Philadelphia. Brick, cut stone, iron work, cement and concrete, roof repairs, carpentry and mill work, oak floors, painting and glazing, flagstone, plastering, linotile floors, hardware (plumbing, heating and electric reserved). Contract awarded F. & S. Const. Co., 554 North Sixteenth street, Philadelphia.

**Residence (alts. and add.)**, Elkins Park, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, David Kirschbaum, Oak Lane, Philadelphia. Brick,

cut stone, roof repairs, oak floors, cement floors, carpentry and mill work, painting and glazing, hardware, ornamental iron work. Contract awarded F. & S. Const. Co., 554 North Sixteenth street, Philadelphia.

**Junior High School**, Borough of Wilson, Pa. Architects, Rasmussen & Wayland, 252 North Forty-sixth street, New York City. Owners, School District of the Borough of Wilson, Northampton County, Pa. Brick, cut stone, stone, steel, 2 stories, 202x136 feet, Barrett's Specification roof, maple floors, hollow tile, painting and glazing, roof ventilators, damp-proofing, ornamental iron work, iron stairs, rolling steel skylights, terrazzo work, metal lath. Contract awarded Butz & Clader, Allentown, Pa.

**Garage**, Evergreen avenue and Shawnee street, Chestnut Hill, Pa. Architect, W. K. Henkels, 106 West Highland avenue, Chestnut Hill, Pa. Owners, Chaitt Brothers, care of Wyneva Garage, 152 West Logan street, Philadelphia. Brick, stone, steel, 1 story and basement, 144x114 feet, steam heat, electric light, metal lath, rolling steel sash, galvanized iron skylights, ornamental iron work, slag roof, cement floors, hollow tile. Contract awarded J. T. Phister, Reg., Fox Building, Philadelphia.

**Convent**, Reading, Pa. Architect, Louis Giele, 142 Broadway, New York. Owners, St. Mary's Roman Catholic Church, Rev. A. Malusecki, Twelfth and Spruce streets, Reading, Pa. Brick, 3 stories, 64x40 feet, hardwood and pine floors, electric lighting, tile work. Contract awarded to William A. Gaul, 238 South Tenth street, Reading, Pa.

**School Building**, Rydal, Pa. Architect, H. Trumbauer, Land Title Building, Philadelphia. Owners, Ogontz School, Rydal, Pa. Stone, brick, cut stone, 1 story and basement, 80x30 feet, slate roof, pine floors, vapor heat, electric light. Contract awarded E. A. Reeves, Abington, Pa.

**Residence (alts. and add.)**, Villanova, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, Frederick Phillips, 1330 Fairmount avenue, Philadelphia. Stone, 2½ stories, carpentry and mill work, painting and glazing. Contract awarded M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Convent Building**, Mt. Carmel, Pa. Architect, Paul A. Monaghan, 1713 Sansom street, Philadelphia. Owners, Our Mother of Consolation Roman Catholic Church, Mt. Carmel, Pa. Contract awarded E. R. Bastress, Mt. Carmel, Pa.

**Bridge**, Berks and Dauphin Township Roads, West of Wyomissing, Pa. Architect, private plans. Owners, Philadelphia & Reading, Twelfth and Market streets, Philadelphia. Reinforced concrete steel. Contracts awarded: Superstructure, Phoenix Bridge Co., 22 South Fifteenth street, Philadelphia. Substructure, O'Rourke Brothers, 430 Walnut street, Philadelphia. Waterproofing, Johns-Mansville, Inc., 210 North Broad street, Philadelphia.

**Road Work**, Pennsylvania. Owners, State of Pennsylvania, Department of Highways, Harrisburg, Pa.

Clarion County, A-2577, Beaver Township, Sec. 1, 15,655 feet. One course reinforced concrete. \$130,661.85. Contract awarded to Standard Paving & Cont. Co., Chicago, Ill.

Monroe County, R-168, Coolbaugh Township, 32,824 feet. One course reinforced concrete. \$279,897.01. Contract awarded to Junata Co., Empire Building, Philadelphia.

McKean County, R-100, 210 Annin and Eldred Townships, 41,156 feet. One course reinforced concrete. \$455,461.26. Contract awarded to D. L. Dennis Co., Bradford, Pa.

## New Jersey Construction News

**Grade School**, Haddonfield and Berlin Roads, Delaware Township, Camden, N. J. Architects, Edwards & Green, Van Russ Building, Camden, N. J. Owners, Delaware Township School Board, F. Stafford, Ellensburg, Camden County, N. J. Brick, steel, 2 stories and basement, 8 rooms. Preliminary plans in progress.

**Bridge** over Mullica River at low bank between Atlantic and Burlington Counties, N. J. County Engineer Nelson, Atlantic City, N. J. Owners, Atlantic & Burlington Counties, N. J. Reinforced concrete and steel. Plans completed.

**Church and School**, New Brunswick, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Joseph's Roman Catholic Church, care of architect. Brick, steel, 2 stories, 45x128 feet, slate roof, maple floors, hollow tile, steam heat, electric light, metal lath, ornamental iron work, dampproofing. Plans in progress.

**Barn**, Farm No. 2, near Riverton, N. J. Architect, C. E. Schermerhorn, 213 South Fifteenth street, Philadelphia. Owners, Campbell Soup Co. (Mr. H. F. Hall), Camden, N. J. Frame construction, concrete foundations, 144x105 feet, wood sidings, composition shingle roof, single stalls, box stalls, mule pen, wagon sheds, corn cribs, fertilizer roof, hay storage, etc. Owners taking bids.

**Store (add.)**, 113 North Broad street, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owner, Mrs. Mary M. Fleron, on premises. Brick, 1 story, 50x19 feet, slag roof, yellow pine floors, metal lath, electric light. Architect taking bids due July 17th.

**Bank (alts.)**, New Egypt, Pa. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, First National Bank, New Egypt, Pa. General interior alterations, bronze work, electric work, tile and terrazzo work, tile floors. Architects ready for bids.

**Store Front**, Broad and Front streets, Trenton, N. J. Architects, Klemann & Kaplan, First National Bank Building, Trenton. Owner, I. Goldberg, on premises. Copper work, plate glass, cast stone, travertine stone, tile, marble and terrazzo work, bronze work. Architects taking sub-bids.

**Cottage**, Ventnor, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owner, Charles Thompson, Pleasantville, N. J. Frame, 2 stories, 20x50 feet, composition roof, hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Residence**, Margate City, N. J. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Thaddeus S. Krouse, Commercial Trust Building, Philadelphia. Frame, 2½ stories, 28x42 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner will be ready for bids in 10 days.

**High School**, North Wildwood, N. J. Architect, H. Rex Stackhouse and W. W. Donahue, 1120 Locust street, Philadelphia. Owners, City of Wildwood Board of Education, Thomas B. Aiken, secretary. Brick and steel, 1 story. Owners taking bids due July 18th, 7.30 P. M. (Daylight Saving Time).

**School**, Northfield, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, Northfield School District, Mr. Kreutz, Pleasantville, N. J. Brick, 1 story, 4 rooms, pine floors. Low bidders: General, J. A. Green, Pleasantville, N. J.; heating, L. J. Hunt, Northfield, N. J.; plumbing, Frank Walsh, Inc., 908 Atlantic avenue, Atlantic



City; electric, F. R. Rogers, 14 South Mt. Vernon street, Atlantic City, N. J.

**Dike**, Delaware River, near mouth of Alloway Creek, N. J. United States Engineer, Schaff Building, Philadelphia. Owners, United States Government, Washington, D. C. Timber and stone. Bids due August 8th. Further information upon application at Engineer's office.

**Boulevard Construction**, New Jersey. Owners, Board of Chosen Freeholders of Atlantic County, Guarantee Trust Building, Atlantic City, N. J. Reconstruction of Absecon Boulevard, sheet asphalt pavement on 6-inch 1-3-5 concrete base, gravel shoulders, excavations, embankment, drainage provisions, guard rail. Lowest bidder: Union Paving Co., Thirtieth and Locust streets, Philadelphia, Pa., \$710,000.

**Paving**, Red Bank, N. J. Engineer, George K. Allen, Jr., 60 Broad street, Red Bank, N. J. Owners, Borough of Red Bank, A. E. Olsen, Clerk, Red Bank, N. J. Concrete pavement with sheet asphalt surface, 963.1 feet. Owners taking bids due July 21st at 7 P. M. (Standard Time).

**Various Street Paving** (concrete, 37,000 square yards), Haddonfield, N. J. Engineers, Remington & Vosbury, 509 Cooper street, Camden, N. J. Owners, Borough of Haddonfield, Haddonfield, N. J. Reinforced concrete. Low bidders: Fish Rutherford, Real Estate Trust Building, Philadelphia, \$137,383.10.

**Residences (6)**, Penbrooke avenue, Margate City, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, Mrs. F. S. Clowney and George W. Keely, Real Estate and Law Building, Atlantic City, N. J. Cinder block and stucco, 2 stories, 30x36 feet and 33x38 feet, tile roof, cement, hardwood and pine floors, hot water heat, electric light, tile work, garages. Owners taking bids due as soon as possible.

**Hospital Group**, Morris Plains, N. J., \$2,000,000. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, New Jersey State Hospital for Insane, Dr. Curry, Morris Plains, N. J. Brick, fireproof, 1, 2 and 3 stories, various sizes, slate roof, mastic, composition and cement floors, hollow tile, elevators, roof ventilators, waterproofing and dampproofing, steam and hot water heat, electric light, metal lath, tile, marble and terrazzo work, rolled steel sash, hollow metal sash, fire, kalamein and hollow metal doors, floor hardener, iron stairs, screens, shades. Architects will be ready for bids in one week.

## New Jersey Contracts Awarded

**Residence (alts. and add.)**, 226 North Warren street, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owner, Dr. Leo Hagerty, on premises. Brick, steel, 2 stories, 16x22 feet, tin roof, concrete, oak and pine floors, electric light, tile work, cut stone, general alterations. Contract awarded to J. Corrigan, Trenton, N. J.

**Station**, Oaklyn, N. J. Architect, Samuel T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Brick, stucco, concrete block, 1 story, 35x17 feet, slate roof, pine floors, carpentry and mill work, cement and concrete work, painting and glazing, plastering, hardware, drainage, bluestone, ornamental iron work, iron grills, electric light, hot air heat. Contract awarded George H. Evans, Inc., 105 North Thirteenth street, Philadelphia.

**New Jersey Home for the Deaf (Main Group and Boys' Dormitory)**, near Trenton Junction, N. J. Architects, Guilbert & Betelle, Newark, A. H. Moses, Camden, N. J. Brick, cut stone, steel, 2½ stories and basement, 148x45 feet, wing 56x35 feet (plumbing, heating and electric and ventilators separate), slate, copper built-up roof, concrete, maple, linoleum floors, elevators, safety treads, shoring, waterproofing, soapstone, ornamental iron work, iron stairs, bond, rolling steel sash, tile and marble work, metal lath. Contract awarded Victor Gondos, 20 South Fifteenth street, Philadelphia.

**Residence**, Trenton, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton, N. J. Owner, Dr. E. Blackwell, 32 West State street, Trenton, N. J. Brick, 2½ stories, 41x34 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to S. W. Mather & Son, 300 Maple street, Trenton, N. J.

**Residence (add.)**, Lawrenceville Road, Trenton, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton, N. J. Owner, H. Young, on premises. Brick, stucco, 2 stories, 21x31 feet, shingle roof, pine floors, electric lighting. Contract awarded to Karno-Smith Co., Broad Street Bank Building, Trenton.

**Residence**, Berkley avenue, Trenton, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton, N. J. Owner, E. C. Hutchinson, Hutchinson Road, Trenton, N. J. Brick, 2½ stories, 31x35 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to S. W. Mather & Son, 300 Maple street, Trenton.

**Boat House**, Atlantic City, N. J. Architect, Charles S. Adams, Chelsea Bank Building, Atlantic City. Owner, Charles K. Smith, Massachusetts avenue and Gardner's Basin, Atlantic City, N. J. Frame, 2 stories, 24x100 feet, tile roof, pine floors, hot water heat, electric light, tile work, plumbing. Contract awarded to W. H. Joslin, 2431 Atlantic avenue, Atlantic City.

**Cottage (alts.)**, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, George Ralston, Newton avenue and Beach, Atlantic City. General alterations. Contract awarded to Charles Thompson, Pleasantville, N. J.

**Church (alts. and add.)**, Moorestown, N. J. Architect, E. A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Moorestown Baptist Church, W. G. Leconey, Moorestown, N. J. Concrete block and stucco, 1 story and basement, 34x50 feet. Contract awarded Harvey Vennell, Moorestown, N. J.

## Delaware Construction News

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del. Owners taking bids due July 30th at 2 P. M. Certified check required. Deposit of \$10.00 required (refunded).

Contract RW-3A, masonry wall at Shellpot. Excavation, borrow, cement rubble masonry.

Contract CK-24, Dover-Little Creek, 4.917 miles. Excavation, borrow, broken stone base course, cement concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, corrugated iron pipe, R. C. pipe, relaid pipe, Class A concrete gutter, wire cable guard rail, wood shoulder curb, standard gratings.

Contract CK-24A, Dover Knights Bridge, 2.462 miles. Excavation, borrow, broken stone base course, cement concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, corrugated iron pipe, R. C. pipe,

relaid pipe, Class A concrete gutter, wood shoulder curb.

Contract 25-C, concrete approach at Smyrna, 0.01 mile. Excavation, borrow, cement concrete pavement.

**Highway Bridges (3)**, across the Inland Waterway from Delaware river to Chesapeake Bay, Del. Owners, State Highway Department, Dover, Del. Low bidders: Substructure, Chester City, Md., W. H. Gahagan, Brooklyn, N. Y., \$150,000, y \$160,000, z \$155,000. Superstructure, Phoenix Bridge Co., Phoenixville, \$295,000. Substructure, Summit Bridge, Md., Dravo Equipment Co., Pittsburgh, \$178,000; superstructure, Phoenix Bridge Co., Phoenixville, \$286,100. Substructure, St. Georges, Del., Dravo Cont. Co., Pittsburgh, Pa., \$134,000. Superstructure, Phoenixville Bridge Co., Phoenixville, \$214,800.

(Continued from page 451)

and one hundred illustrations, mostly given in connection with the report of experiments at the Bureau of Standards. It may be obtained from the Superintendent of Documents, Washington, D. C., for 35 cents per copy. Remittances should be by currency or money order.

With a view to stimulating an interest in the buying, building and furnishing of new homes, a Committee of prominent architects has been formed for the purpose of holding a Home Beautiful Exposition at the Commercial Museum in Philadelphia, next October.

It is planned to install 300 artistically decorated booths, wherein will be shown every conceivable thing that goes into the construction and furnishing of a home.

One of the features of the Exposition will be a six room bungalow, which will be complete from tile roof, stucco, a completely furnished bath room, to elaborate furniture, carpets and draperies. Wm. F. B. Koelle is the architect.

As "added attractions," a number of contests planned, one of which will be a bricklayers' contest with a prize of \$100 offered to the man who can lay the greatest number of bricks in one hour.

Just remember this: Give out courtesy, kindness, patience and good-will, and you'll get them all back with compound interest. The men who deserve to rank in Class A do not chew the lint and fuss about the small misfits of life. To take what comes and forget the rest is wisdom. Let Braggo give the janitor the call, and the Hall Boys have it out with the Ashbox Inspector—you can't afford to soil your soul with small scraps. Fight on a big scale, or not at all. The folks who have trouble with ushers are always looking for trouble—and find it. Smile, old boy, smile!

The man with an order to place doesn't hunt you up in the city directory these days. He hasn't the time. If he can't find you in your trade magazine he can and does find somebody else, and that somebody else books the order.



# Reference Directory for Architects, Builders and Owners

**ARCHITECTURAL CEMENT CASTINGS**  
Erickson & Weiss, Fisher's Ave. and Mascher St.

**ARTESIAN WELLS.**  
Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

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Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

**ASPHALT CONSTRUCTION.**  
Rulon, Ralph V. ....239 N. 30th St., Phila.

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Blue Print Shop.....1520 Sansom St., Phila.  
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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Ketcham, O. W. ....121 N. 18th St., Phila.

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Mitchell Bros. ....2125 Race St., Phila.

**BUILDING NEWS.**  
Daily Building News.....Perry Bldg., Phila.

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Phila. Transportation & Lighterage Co.,  
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West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Pearce Fireproof Co. ....1345 Arch St., Phila.

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**CONCRETE WORK.**  
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Cosenza Albert,  
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**DAILY BUILDING NEWS.**  
Building News Pub. Co. ....Perry Bldg., Phila.

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Anti-Hydro Waterproofing Co.,  
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Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

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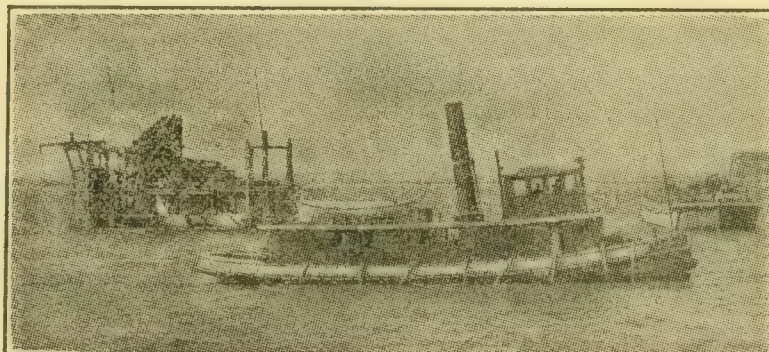
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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 30  
July 23, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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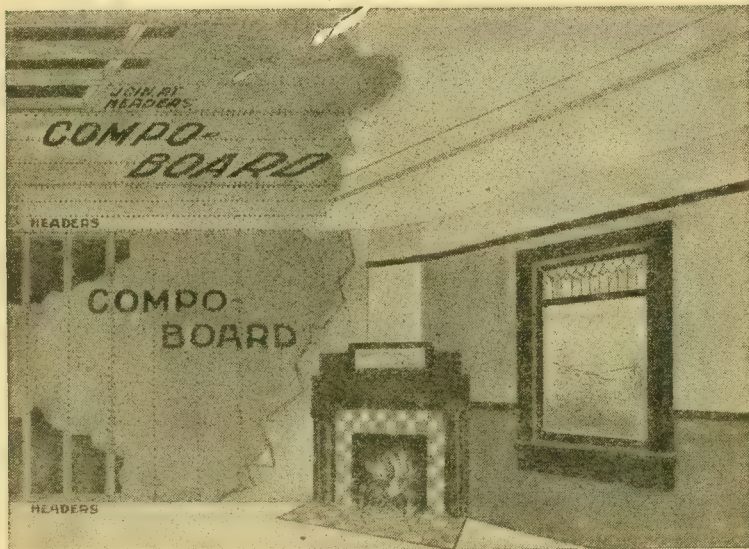


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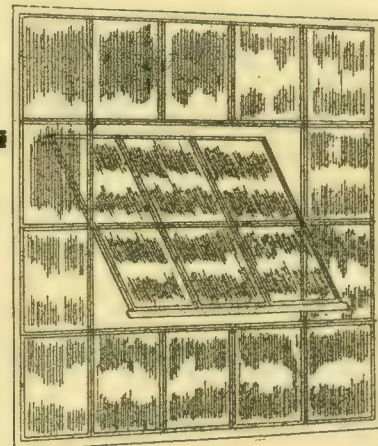
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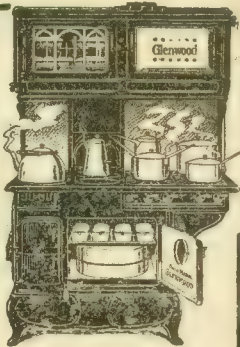


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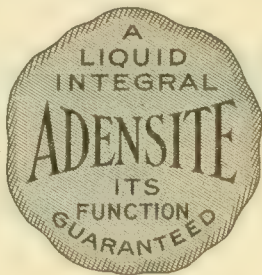
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 30

PHILADELPHIA  
July 23, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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## As The Editor Sees It



**L**ENGTHENING the building season in the United States to include the winter months, was advocated today by Secretary of Commerce Herbert Hoover as a means of mitigating seasonal ups and downs in the construction industry, of stabilizing employment in the building trades and lowering costs of production and building.

Secretary Hoover's statement based on, and supplemental to, the report and recommendations of the Committee on Seasonal Operation in the Construction Industries, appointed by him as an outgrowth of the President's Conference on Unemployment, called in 1921, urges elimination of wastes caused by seasonal idleness through development of information as to probable future demands for labor and materials and the development of the habit of scheduling construction and repair work with reference to that demand. He reiterates the Committee's finding that custom rather than bad weather is responsible for building trades workers in most American cities working less than three-quarters of the year.

Calling construction the balance wheel of American industry, and placing the value of yearly construction in the United States at more than five billion dollars and the number of workers engaged in construction and manufacturing industries allied to building as mounting into the millions, Secretary Hoover declares activity in construction bears a close relation to general industrial conditions and

that irregularity in the ebb and flow in demand for construction seasonally to a large degree affects economic stability.

In his foreword to the report, Secretary Hoover said:

"The need to eliminate the wastes of seasonal idleness has been brought forcibly to the attention of the construction industry and the public by reason of high labor costs and the failure of the building trades to attract young men to their ranks." Prescribing a remedy he declares: "Lengthening the building season will mean greater production from the men now engaged in the building trades and will also go far to attract capable apprentices."

Secretary Hoover outlined the danger of seasonal instability in building, stating that: "If building falls off, there is bound to be a slackening in many other lines of industry, resulting in unemployment, decreased purchasing power of employees, and further depression."

He cited the need of organized community effort by representatives of the construction industries, the professions concerned and the public to find the facts as to local handicaps, peaks and depressions of employment and kinds of construction needed for elimination of wasteful customs. He urged public works as especially well adapted for scheduling with reference to seasonal as well as cyclical conditions, contending that efforts to encourage long-range planning of pub-

lic works deserve support of the public, legislators and public officials.

Explaining that remedy does not lie in any form of government regulation, the functions of the Committee are defined as having been to determine facts and "to point a remedy that is consonant with our national conceptions of individual and community initiative."

"The service rendered to our whole economic life by the elimination of these gigantic wastes and the conscious planning to overcome these irregularities, the improved conditions of labor, which is possible not only in actual construction, but in the material manufacturing industries, the lowered costs of production and of building which could result therefrom, are great warranty for such co-operation," Secretary Hoover concluded.

John M. Gries, Chief of the Division of Building and Housing of the Department of Commerce, and his assistant, James S. Taylor, conducted the national investigation for the committee, headed by Ernest T. Trigg, and his colleagues who were: John W. Blodgett, President National Lumber Manufacturers' Association; H. R. Daniel, assistant to the president, S. W. Straus & Co.; John Donlin, President building trades' department, American Federation of Labor; L. F. Epich, President National Association of Real Estate Boards; A. P. Greensfelder, Fruin-Colnon Contracting Co.; John M. Gries; J. A. House, President, The Guardian Savings & Trust Co.; Otto T.

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Mallery; Rudolph P. Miller, consulting engineer; James P. Noonan, President, International Brotherhood of Electrical Workers; William Stanley Parker, Vice President of the American Institute of Architects; and Edward Eyre Hunt, Secretary. Information was furnished by government bureaus and trade associations while the Carnegie Corporation, American Federation of Labor, trade associations and others furnished limited appropriations to the committee.

The report sets forth that many seasonal ups and downs are preventable, that the past winter showed greater activity than ever before in what had been normally a dull season and this winter activity exerted a stimulating effect on building material producers and transportation companies and their employees. The report related that construction companies are awake to possibilities of winter activity and deserve the support and co-operation of the building public. It is explained the ups and downs place the heaviest burden on the employees and the public.

Bad weather effects on building have been greatly reduced, according to the report, which further holds that "with due precautions and proper equipment nearly all construction work can be carried on in winter and at no great difference in cost."

"As the methods of handling winter work develop, and as manufacturers, supply dealers and labor take more interest in encouraging winter work, the cost can be appreciably reduced," the Committee found.

The report explains that bankers may aid in cutting down the waste in construction costs by applying a wider knowledge now available, of data regarding characteristic trends in the construction industries.

"Forethought in planning ahead and use of information as to the seasonal trends will reduce interest on investments and will release investment funds for other productive uses," it is explained in this relation. "Trustees and others charged with large financial responsibilities have an opportunity and a responsibility for cutting down the present wastes."

Regarding public utilities, it is advised that the single leasing date be attacked as a demoralizing influence on seasonal currents of construction.

"Evidence is lacking," according to the report that "public utilities in general authorize the erection of buildings at other times than the usual building season," and "they might well set up 'expansion reserves' as a practical and profitable means for constructing additions during low seasonal and cyclical periods."

The Committee in its report states that out of 200 engineers in all parts of the country who replied to the Committee's

questions "Are public improvements rushed right along in the peaks of the annual building season?" one hundred ninety-two answered in the affirmative and the comment was frankly added that public works are undertaken without regard to private needs.

The committee is of the opinion that the need for public works is easily foreseen and that public officials responsible be given every aid so that they can let public works contracts when the work can be performed economically and with least interference with private construction.

The report carries a chart to aid in determining the best time of year to start new construction or repair work. This chart, it is stated, with other data may be obtained from the Division of Building and Housing of the Department of Commerce, Washington, D. C.

#### GETTING A HARD MONOLITHIC FLOOR FINISH

(Reprinted from *May Concrete*, Detroit, 1924)

"A job called for a 6-in. floor, either monolithic or top coat, left to my discretion," writes Philip Weiss, Philadelphia. "I started to lay it monolithic, but for reasons I had no control of I could not get the concrete of a consistency suitable for a monolithic finish. The finish called for hard trowelled finish with Master Builder filler. Ordinarily, I would have put on a 1-in. top coat, but as it was left to my discretion, I followed my own theory.

"I laid the concrete in such consistency that it did not *give* in tamping—which, by the way, I did not use—I believe that concrete should be laid with the rake in such a way that it needs no tamping. I rodded the concrete off with a 16-ft. 3-in. x 12 in. plank. Then I took top coat of the usual consistency and mixture (1 cement to 2 aggregate consisting of half sand and half stone grit), and rodded that in well with the 16-ft. straight edge. Of course I only used a very little top coat—what I could work in between the stones of the concrete. By doing that I got rid of all the raw surfaces of the concrete, which the cement finisher either covers over with a grout or drier, in either case it is detrimental, as the surface is not of a uniform texture. The reason I used a 3-in. x 12-in. plank is because it was the handiest thing on the job. But, in any case, I believe that the heavier the straight edge, the better the results.

"The top coat merely took the place of a heavy grout, the only difference is that in this case it was uniformly spread over the whole surface. The rest of the finish was as usual. First floated with a wooden float; then sprinkled with Master Builder; then floated and trowelled; then another very thin sprinkling of

(Continued on page 471)

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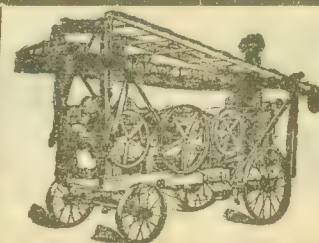
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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residence**, 8006 Buist avenue, Philadelphia, \$3,200. Architect, private plans. Owner, A. P. Dardem, 8002 Buist avenue, Philadelphia. Brick, 2 stories, 16x28 feet, hot water heating, electric lighting. Owner will build.

**Store and Dwelling (alts. and add.)**, Twenty-eighth and Columbia avenue. Architect engineer, M. A. Boonin, Eighth and Porter streets, Philadelphia. Owners, Vailer Brothers, on premises. Brick, 3 stories, 15 feet, 6 inches x 15 feet, plumbing, heating, electric wiring, reserved, slag roof, pine and oak floors, store fixtures, flush bulks. Owners taking bids due as soon as possible.

**School**, Sixteenth street and Sixty-seventh avenue, Philadelphia. Architect, private plans. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, 3 stories (plumbing, heating and electric separate). Plans in progress.

**Rectory**, Roxborough, Philadelphia. Architect, F. R. Watson, 1211 Walnut street, Philadelphia. Owners, St. Timothy's Church, Rev. Caine, on premises. Architect taking bids due July 26th at noon.

**Church**, Broad and Cheltenham street, Philadelphia. Architect, Norman Hulme, 1524 Chestnut street, Philadelphia. Owners, St. Mark's Cong., William Heid, chairman, on premises. Stone, slate roof, electric light, pine floors, plumbing. Architect taking sub-bids.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Works, Bureau of City Property, Philadelphia. Erection of flag pole in Vernon Park. Repairing, refinishing and rehanging picture frames for oil portraits at Independence Hall. Owners taking bids due July 30th at Room 216, City Hall, at 11 A. M. (Standard Time). Inquire Room 117.

**Sewers**, South Forty-third street, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Owners taking bids due July 29th, 11 A. M. (Standard Time), 216 City Hall. Schedule E, main sewer in Forty-third street, from 204 feet North of Baltimore to Pine street. Schedule F, relining main sewer in Forty-third, between 70 feet South of Baltimore to Locust (emergency work). Certified check of 5 per cent. of amount of bid must accompany each bid.

**Dispensary Building, Nurses' Home, Power House and Laundry, Add. to Present Hospital**, Eighth, Thompson and Franklin streets, Philadelphia. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Children's Homeopathic Hospital, on premises. Brick, stone, steel, concrete, electric light, terrazzo and linoleum floors, tile and marble work, plumbing, boiler, engines, generators, water softener. Dispensary Building, 3 stories and basement, 36x70 feet. Nurses' Home, 3 stories and basement, 36x103 feet. Power House and Laundry, 2 stories, 34x70 feet. Hospital wing, 2 stories, 36x40 feet, connecting with Nurses' Home. Plans in progress.

**Sales and Service Building**, Allegheny avenue, between Thirty-second and Thirty-third streets, Philadelphia. Architect, private plans.

Owners, Foss-Hughes Co., Twenty-first and Market streets, Philadelphia. Reinforced concrete and stone, 2 stories, site 400x450 feet. Work contemplated.

**Club House (alts.)**, Thirty-seventh and Locust streets, Philadelphia. Architect, Robert R. McGoodwin, 1600 Walnut street, Philadelphia. Owners, Phi Delta Theta Fraternity, care of H. L. Appleton, Twelfth and Sansom streets. Plans in progress.

**Entrance (alts.)**, Chestnut street, Philadelphia. Architects, Hoffman-Henon, Inc., Finance Building, Philadelphia. Owners, Gimbel Brothers, on premises. Plans in progress.

**Garage and Show Room**, 6031-41 Larchwood avenue, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owners, Berger & Wernick, 505 South Sixtieth street, Philadelphia. Brick, steel, 1 story, 90x110 feet, slag roof, cement floors, electric light. Architect will be ready for sub-bids in a few days.

**Garage**, Sixth and Rockland streets, Philadelphia. Architect, private plans. Owner, E. C. Durrell, 1713 North Twenty-fourth street, Philadelphia. Brick and steel, 1 story, 180x75 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash, galvanized iron pipe in plumbing and heating. Owner will build.

**Church (add.)**, Southeast Corner Torresdale avenue and Howell street, Philadelphia. Architect, Samuel D. Milnor, 1117 Foulkrod street, Philadelphia. Owners, Wissinoming Presbyterian Church, on premises. Stone, second story add., 48x30 feet, 57x44 feet and 32x12 feet, slate roof, pine floors, steam heat, electric light. Architect will build.

**Apartment House**, 1900 Rittenhouse street, Philadelphia. Architects, Sugarman, Hess & Berger, Bankers' Trust Building, Philadelphia. Owners, 1900 Rittenhouse Square, Inc., care of F. E. D. Thayer, Penfield Building. Brick, granite, cut limestone, steel, 18 stories and basement, 95x62 feet, Barrett's Specification roof, oak and cement floors, terra cotta, elevators, metal weather strips, shoring, waterproofing and dampproofing, architectural terra cotta, ornamental iron work, iron stairs, floor hardener, kalamein doors, copper skylights, hollow metal sash, tile, marble and terrazzo work, metal lath, electric light, steam

heat, caulking, asbestos plastering, mail chutes. Architects taking bids due July 24th.

**Club House**, 221 South Eighteenth street, Philadelphia. Architects, Zantzing, Borie & Medary, Otis Building, Philadelphia. Owners, Penn Athletic Club, care of E. B. Morris, Jr., chairman of Building and Site Committee, Morris Building, Philadelphia. Owners taking revised bids due July 24th on the following changes: Store fronts from bronze to cast iron; stone to brick; bronze doors to kalamein doors; Caen stone in place of limestone; ornamental terra cotta instead of limestone; small amount of limestone.

**Warehouse**, Market street, West of Allison street, Philadelphia. Architect, George S. Kingsley, 1452 Broadway, New York City. Owners, Advance Storage Co., on premises. Reinforced concrete, brick, 6 stories and basement, 40x119 feet, slag roof, cement floors, heating, electric, plumbing, elevator, rolling steel sash and skylights, fire doors. Architect taking bids due July 24th.

**Warehouse and Power House**, 149 West Berkley street, Philadelphia. Architects, Harris & Richards, Drexel Building, Philadelphia. Owners, Arguto Oilless Bearing Co., on premises. Brick, cut stone, steel, 2 stories and basement, and 1 story, 94x29 feet, power house, 65x20 feet heat(ing, electric work, power work, radial brick chimney reserved), slag roof, maple floors, cement floors, elevators, painting and glazing, plastering, waterproofing, glazed vitrified terra cotta, ornamental iron work, rolling steel sash, cast iron pipe in plumbing. Architects taking bids due July 25th.

**Store and Rooming House (alts.)**, 13 South Sixteenth street, Philadelphia. Architect, Gabriel B. Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Brick, cut stone, 4 stories, 80x20 feet, slag roof, composition floors, plumbing, metal ceilings, vapor heat, electric light, metal lath, tile work, ornamental iron work, galvanized iron in plumbing, wrought steel pipe in heating. Architect taking bids due as soon as possible.

**Sewers**, Philadelphia, Department of Public Works, Bureau of Surveys, 216 City Hall. Schedule A, branch sewers. Schedule B, main sewer, Bingham street, Seventy-sixth avenue, both of Oak Lane intersecting sewer. Schedule C, Frankford avenue sewer. Sched-

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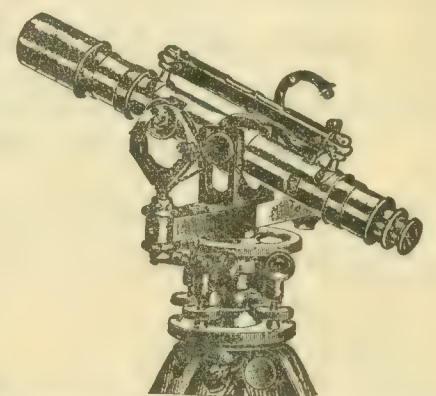
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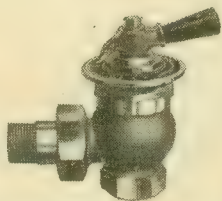
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ule D, sewer in Cleveland street, Carlisle street, Smedley street, Sydenham street. Owners taking bids due July 29th, 11 A. M. (Standard Time). Inquire Room 416.

**Club House**, Northeast Corner Forty-ninth and Market streets, Philadelphia, \$10,000. Owners, Provident Mutual Life Ins. Co., Fourth and Chestnut streets. General alterations. Owners will build.

**Service Station**, Northeast Corner Stenton avenue and Haines street, \$7,500. Architect, private plans. Owners, Gulf Refining Co., 516 Widener Building, Philadelphia. Brick, 1 story, 14x14 feet, cement work. Owners will build.

**Residence**, 2741 Kirkbride street, Philadelphia, \$6,500. Architect, private plans. Owner, Isadore Kamunoki, on premises. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, electric light. Owner will build.

**Residences (2)**, North side Fanshaw street, West of J street, \$5,000 each. Architect, private plans. Owner, Joseph W. Schorn, 901 Unruh street, Philadelphia. Brick, 3 stories, 14x46 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residence**, North side Haverford avenue, East of Sixty-eighth street, \$5,000. Architect, private plans. Owner, John P. Kearney, 6601 Leeds street, Philadelphia. Brick, 2 stories, 16x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Herbert street, West of Horrocks street, \$4,500. Architect, private plans. Owner, George Park, 1634 Unity street, Philadelphia. Brick, 2 stories, 16 feet, 4 inches x 60 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (4)**, West side Pechin street, South Ripka street, \$4,500. Architect, private plans. Owner, Joseph W. Hyde, 357 Seymour street, Philadelphia. Brick, 2 stories, 14x28 feet, 11x12 feet, hot water heat, electric light. Owner will build.

**Garage**, Southeast Corner Gaul and Elkhart streets, Philadelphia, \$4,500. Architect, private plans. Owner, D. J. Potter, 6932 Ditman street, Philadelphia. Brick, 1 story, 130x34 feet, 16x26 feet, 16x17 feet, cement floors, slag roof, electric work. Owner will build.

**Residences (10)**, West side Rockwell street, North of Cottman street, \$4,200 each. Architect, private plans. Owner, George B. Armstrong, 344 East Wyoming avenue, Philadelphia. Brick, 2 stories, 18x29 feet, hot water heat, electric light. Owner will build.

**Residences (48)**, Marshall, Loudon and Rockland streets, Philadelphia, \$221,500. Architect, private plans. Owners, I. Feinstone, 436 East Rockland street, Philadelphia. Brick, 2 stories, 17x32 feet, 16x40 feet, 14x35 feet, 16x54 feet, hot water heat, electric light. Owner will build.

**Storage Building (add.)**, West side Forty-third street, South of Woodland. Architects, William F. Koelle Co., 2601 Oxford street, Philadelphia. Owners, Breyer's Ice Cream Co., on premises. Reinforced concrete, steel, 5 stories, 92x88 feet, slag roof, steel sash, metal lath, electric light. Architects will build.

**Store and Storage (add.)**, Southwest Corner Randolph and Butler streets, \$4,000. Architect, private plans. Owner, John Croak, 3732 North Randolph street, Philadelphia. Brick, 2 stories, 15x18 feet. Owner will build.

**Residences (4)**, North side Magee street, East of Tabor Road, \$4,800 each. Architect, private plans. Owner, Albert H. Smith, 902 Walter street, Philadelphia. Stone, brick and frame, 2 stories, 16x41 feet, 6 inches, hot water heat, electric light. Owner will build.

**Building (alts. and add.)**, 67 Hirst street, Philadelphia, \$2,500. Architect, private plans. Owner, Joseph Miller, 6122 Market street, Philadelphia. Brick, 2 stories add., 16x8 feet, general alterations. Owner will build.

**Shop and Garage (add.)**, 473 Paoli avenue, Philadelphia, \$2,500. Architect, Edward H. Ashworth, 6789 Ridge avenue, Philadelphia. Owner, John Myers, on premises. Brick, 2 stories add., 20x20 feet, hot water heat, electric light. Owner will build.

**Apartments (2) (add.)**, 430 East Locust avenue, Philadelphia, \$2,500. Architect, private plans. Owner, John Bombuch, on premises. Brick, 2 stories add., 10x13 feet each. Owner will build.

**Garage**, 2550 East Monmouth street, Philadelphia, \$2,500. Architect, private plans. Owner, Peter McGovern, on premises. Brick, 1 story, 40x70 feet, slag roof, cement floors. Owner will build.

**Residence**, 3405 Blakiston street, Philadelphia, \$3,800. Architect, private plans. Owner, F. B. Jackson, 8522 Hegerman street, Philadelphia. Frame, 1 story, 22x28 feet, shingle roof, hardwood and pine floors. Owner will build.

**Residence (add.)**, 5122 North Camac street, Philadelphia, \$3,000. Architect, private plans. Owner, William Wagner, 5400 Greene street, Philadelphia. Brick, 2 stories add., 12x19 feet, 5 inches. Owner will build.

**Residences (2)**, West side Eighth street, North of Cheltenham avenue, \$9,200 each. **Garages (2)**, \$700 each. Owner, Raymond Rafferty, 4128 North Broad street, Philadelphia. Brick, 2 stories, 20x16 feet, 18x29 feet, hot water heat, electric light, tile work, garage, 1 story, 17x20 feet. Owner will build.

**Railroad Track Elevation**, South Philadelphia. Chief engineer, A. C. Shand, 607 Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad, Broad Street Station, Philadelphia. Low bidder: Sinclair & Griggs, Medical Arts Building, Philadelphia, \$240,-

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455; Empire Engr. & Const. Co., 6 Church street, New York, \$254,718.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Schedule A, low bidders: Bridge at Sixty-eighth street over Baltimore and Ohio Railroad, Mundy Paving & Const. Co., 226 South Warnock street, Philadelphia, \$69,798. Schedule B, boring borings, for Walnut Lane Bridge; low bidders, Artesian Well Drilling Co., Girard and Aramingo street, Philadelphia, \$2,315.

**Contracts Nos. 17-18**, Delaware River Bridge. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract No. 17, structural metal work, Philadelphia approach; low bidders: Form A, Bethlehem Steel Co., Widener Building, Philadelphia, \$1,548,350; Form B, American Bridge Co., Widener Building, Philadelphia, \$1,491,550. Contract No. 18, structural metal work, Camden approach; low bidders: Form A, Bethlehem Steel Co., Widener Building, Philadelphia, \$1,840,120; Form B, American Bridge Co., Widener Building, Philadelphia, \$1,791,650.

**Grading and Paving**, Philadelphia. Owners, Superintendent of Public Works, Bureau of Highways, 232 City Hall. Low bidders—Grading: Ellett street, Roy B. Wenner, 3106 Midvale avenue, Philadelphia, \$15,192.76; Southampton Road, J. F. Feeney, 106 Kalos street, Philadelphia, \$1,524.25; Winston and Woodale Road, J. F. Feeney, 106 Kalos street, \$3,445.34; Woodstock, Woolston, Wyncote streets, James F. Nolen, 64 East Church street, Philadelphia, \$7,376.84. Low bidders—Paving: Annsbury street, \$7,202.50; "C" street, \$7,760; Ditman, Glenlock, Haworth, Scattergood, \$20,199.40; Emlen street, \$18,355.30; Howard Terrace, \$2,228; Magee street, \$7,005.10; Sedgwick, \$6,683.40; Worth street, \$9,684.70; low bidders, Eastern Paving Co., Colonial Trust Building, Philadelphia. Warrington avenue, \$8,673.75; Fifty-fifth street, \$20,424.05; low bidders, Barber Asphalt Co., Land Title Building, Philadelphia. Vitrified block paving, Lofty street, \$1,888.90; Pechin street, \$6,611.23; low bidder, J. F. Nolen, 64 East Church Lane, Philadelphia. Country roads: Deal street, \$3,960; Pittman, Glenlock, Marsden street, \$12,658.75; low bidders, Curtis Brothers, State Road, Tacony, Pa. Country road: Danshaw street, Magee street, \$5,611.50; low bidders, Curtis Brothers, State Road, Tacony, Pa. Sixty-fifth avenue, \$2,684; low bidder, Allen J. Henderson, care of Estate David McMahon, Germantown and Cheltenham avenues, Germantown, Philadelphia.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Grading, asphalt and vitrified paving, improvements of Spring Garden street, from Delaware avenue to Sixth

street; painting of bridge. Owners taking bids due July 24th, 11 A. M. (Standard Time), 216 City Hall. Certified check of 5 per cent. must accompany each bid.

**Rectory**, Faust and Jackson streets, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, St. Bartholomew's Roman Catholic Church, Rev. J. J. Scanlon, on premises. Stone, cut stone, steel, 3 stories and basement, 61x40 feet, wing, 43x25 feet, slag roof, oak floors, metal lath, tile, marble and terrazzo work, bond, ornamental iron work (plumbing, heating and electric separate). Architects taking bids due July 28th.

**Residence (alts.)**, 1812 Pine street, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owner, Dr. C. T. McCarthy, on premises. Carpentry and mill work, plastering, tile and marble work, painting and glazing, hardware, electric work, plumbing, cast iron pipe in plumbing, heating (alts.). Architects taking bids due July 31st.

**Alterations and Additions**, 435 West Girard avenue, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owner, name withheld. Brick work, carpentry and mill work, concrete work, dumb waiter, electric work, hot water heat, metal bulks, plumbing, wrought iron in pipe (Byers or Reading) for heating, lead pipe, galvanized iron pipe in plumbing, slag roof, galvanized iron skylights, metal ceilings, painting and glazing, metal lath. Architect taking bids due July 28th.

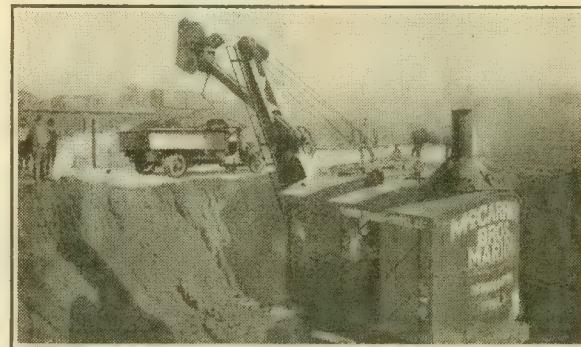
**Church**, F and Westmoreland streets, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owners, Ascension of our Lord Roman Catholic Church, Rev. D. J. Broughal, on premises. Stone, 120x180 feet, slate roof, electric light. Architects will take bids in one month.

(Continued from page 468)

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(Continued on page 480)



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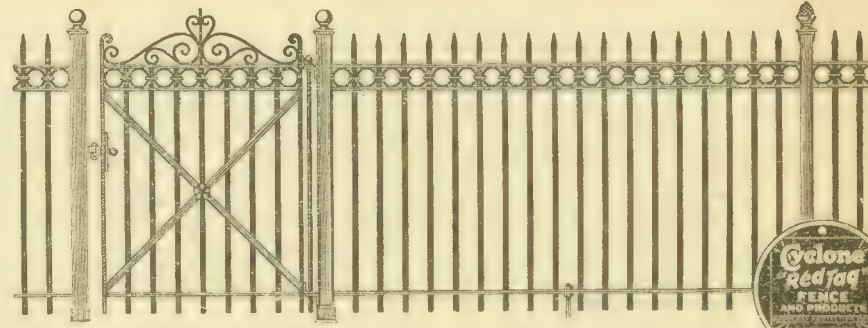
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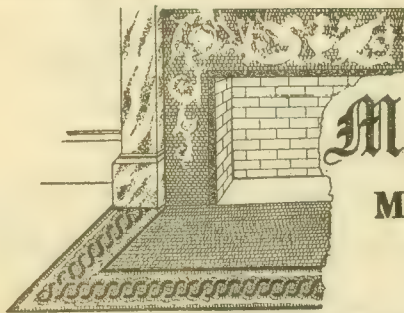
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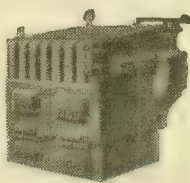
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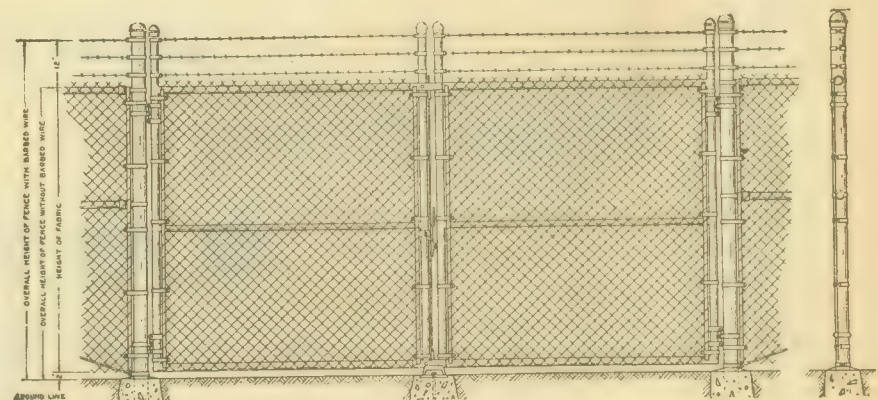
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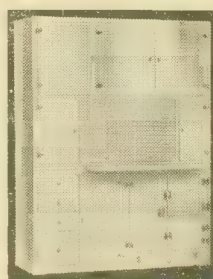
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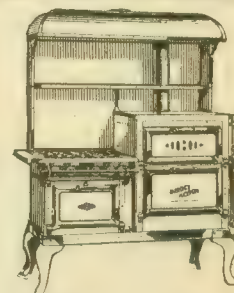
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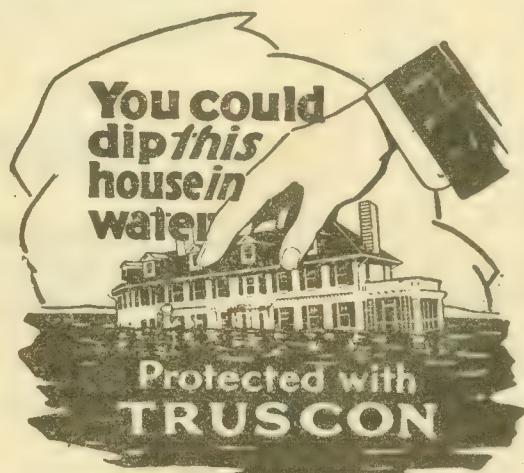
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## Contracts Awarded

### Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Residence and Store (add. and alts.),** 1037 South Tenth street, \$2,600. Architect, private plans. Owner, J. Obod, on premises. Brick, 1 story add., 11 feet, 6 inches x 8 feet, general alterations. Contract awarded to I. Levy, 1404 South Sixth street, Philadelphia.

**Garage (add.),** North side Conarroe street, East of Ridge avenue. Architect, private plans. Owner, F. D. Bald, 518 East Conarroe street, Philadelphia. Brick, 1 story, 18x52 feet, slag roof, cement floors. Contract awarded to Adam Wilkinson, 439 Harmon street, Philadelphia.

**Department Store,** Sixth and South streets, Philadelphia. Architect, Paul Cret, Otis Building, Philadelphia. Owners, N. Silverman & Son, on premises. Bond, demolition, masonry, marble work, cast iron work, metal bulks, carpentry and mill work, painting and glazing, rubber tile floors, terrazzo work, plastering, steel, hardware, electric. Contract awarded George Kessler Cont. Co., 1733 North Marvine streets, Philadelphia.

**Store and Office,** Southeast Corner Broad and Spruce streets, Philadelphia, \$150,000. Architect, Abraham Levy, Real Estate Trust Building, Philadelphia. Owner, Bernard Cohen, 225 South Broad street, Philadelphia. Limestone, brick, steel, 3 stories, 95x98 feet, slag roof, maple floors, elevators, tile and marble work, copper bulks, vapor heat, elec-

tric light. Contract awarded to S. H. Levin, 1631 South Fifth street, Philadelphia.

**Store (alts.),** 527 South street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Mrs. Lena Baum, 3010 Diamond street, Philadelphia. Brick, cut stone, 3 stories and basement, 20x87 feet, slag roof, oak and Steadman floors, metal lath, tile and marble work, rolled steel sash, galvanized iron skylights, bond, metal bulks, ornamental iron work, metal ceilings, shoring, waterproofing. Contract awarded B. Bornstein, 1319 Wingohock street, Philadelphia.

**Alterations and Addition,** Northeast Corner Twelfth and Poplar streets, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, Benjamin Kingsdorf, on premises. Brick, steel, 3 stories, 18x10 feet, slag roof, oak and pine floors, painting and glazing, tile and marble work, bond, metal bulks, ornamental iron work, shoring. Contract awarded A. Barsky, 3225 Arlington street, Philadelphia.

**Cement Paving and Walks,** around new Armory Building, Girard College, Philadelphia. Architect, J. T. Windrim, Commonwealth Building, Philadelphia. Owners, Girard College, Corinthian avenue and Girard avenue, Philadelphia. Contract awarded F. V. Van Loon, Perry Building, Philadelphia.

**New Plant (alts.),** Greenwich Point, Philadelphia. Architect, private plans. Owners, Pennsylvania Salt Co., Widener Building and on premises. Contract awarded David Lutz & Co., Twenty-third and Chestnut Streets, Philadelphia.

**Alterations and Additions,** 425 South Fortieth street, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owners, Sporkin & Fleisher, Pennsylvania Building, Philadelphia. Brick, steel (heating reserved), electric light, metal lath, tile and cement work, fire doors, ornamental iron work, slag roof, oak and cement floors. Contract awarded George H. Evans, Inc., 105 North Thirteenth street, Philadelphia.

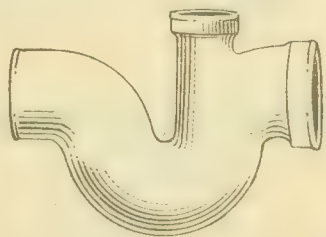
**Factory (add.),** Southwest Corner Nineteenth and Allegheny avenue, \$108,000. Architect, private plans. Owners, Electric Storage Battery Co., on premises. Brick, 1 story, irregular size, slag roof, steam heat, electric light, metal lath, steel sash. Contract awarded to William Steele & Son Co., 219 North Broad street.

**Residence,** South side Coulter street, West of Stokley street, \$26,000. Architect, A. F. Schenck, Real Estate Trust Building, Philadelphia. Owner, H. T. Hershey, 171 Queen street, Philadelphia. Stone, 3 stories, 29x44 feet, 1 stories, 11x24 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to W. J. Gruhler Co., 219 East High street, Philadelphia.

**Church (alts.),** Southeast Corner Forty-second and Pine streets, Philadelphia, \$4,000. Architects, Karcher & Smith, 34 South Seventeenth street, Philadelphia. Owners, Woodland Presbyterian Church, on premises. General alterations. Contract awarded to William F. Newbery Co., Otis Building, Philadelphia.

**Residence,** South side Hermit street, East of Righter street, \$9,350. Architect, private plans. Owner, Frank Coltout, 460 Monastery avenue, Philadelphia. Hollow tile, stucco, 3 stories, 22x34 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to J. Howard Roberts, Lansdowne, Pa.

**Bank Building (alts. and add.),** Broad and Columbia avenue, Philadelphia. Architect, E. A. Weightman, Bankers' Trust Building, Philadelphia. Owners, Columbia Avenue Trust



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Company, on premises. Brick, cut stone, steel, 1 story (plumbing, heating, electric, vault doors, elevators reserved), cement floors, painting and glazing, shoring, waterproofing, ornamental iron work, bond, hollow metal doors, galvanized iron sash, marble work, metal lath. Contract awarded A. Raymond Raff Cont. Co., 1635 Thompson street, Philadelphia.

**Store and Apartment (alts.),** 2258 North Broad street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Harry W. Garrett, 1518 West Susquehanna avenue, Philadelphia. Bond, masonry work, carpentry and mill work, steel and iron work, cut stone and brick, repairs to roof, hardware, plastering, metal lath, electric work, painting and plumbing (heating reserved). Contract awarded Kergides & Pappas, 926 Locust street, Philadelphia.

**Concrete Grandstand (Athletic Field),** Twenty-ninth and Cambria streets, Philadelphia. Architects, Alex. Adams and W. W. Sharpley, 1012 Walnut street, Philadelphia. Owners, Central High School, Broad and Green streets, Philadelphia. Iron work, concrete work, cement work. Contract awarded Doyle & Co., 1519 Sansom street, Philadelphia.

**Subway,** Philadelphia, \$14,215,100. Owners, City of Philadelphia, Department of City Transit, 1211 Chestnut street, Philadelphia. Contract awarded: Contract No. 105, Stiles to Clearfield streets, 10,131 feet long, Keystone State Const. Co., 210 South Thirteenth street, Philadelphia.

**Garage (add.),** 3810 North Nineteenth street, Philadelphia, \$7,500. Architect, private plans. Owner, B. Scally, 2120 West Tioga street, Philadelphia. Brick, 1 story, 100x44 feet, slag roof, cement floors. Contract awarded to W. F. Chapman, 1805 West Venango street.

**Wagon Shed (add.),** 57 Armat street, Philadelphia, \$6,500. Owners, Abbott's Alderney Dairies, Thirty-first and Chestnut streets. Iron and brick, 1 story add., 43 feet, 5 inches x 54 feet, 7 inches, cement floors, slag roof. Contract awarded to William G. Uhlers Sons, Northeast Corner Twenty-fifth and Snyder avenue.

**Residences (10),** West side Erdnick street, North of Tyson street, \$5,000 each. Architect, private plans. Owner, Hugh McHenry,

6937 Torresdale avenue, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light. Contract awarded to J. G. Stevenson, 7014 Hegerman street, Philadelphia.

**Garage (add.),** 2605-07 East Monmouth street, Philadelphia, \$5,000. Architect, private plans. Owner, Charles Sweeney, 4846 Roosevelt Boulevard, Philadelphia. Brick, 1 story add., 40x50 feet, slag roof, cement floors. Contract awarded to John Seigle, Jr., 4850 Roosevelt Boulevard.

**Apartment (alts.),** 528 Pine street, Philadelphia, \$3,000. Owner, Kate Krantz, 1011 South Third street, Philadelphia. General alterations. Contract awarded to James Miraldi, 726 Morris street, Philadelphia.

**Residence,** Northwest Corner Rhawn and Summerdale avenue, Philadelphia, \$5,800. Architect, private plans. Owner, Benedict Schrandt, 4216 Fairhill street, Philadelphia. Frame, 2 stories, 24x38 feet, hot water heat, electric light. Contract awarded to Jacob Hansen, Afton street and Veree Road, Fox Chase.

**Residence and Office (add.),** 5731 Chester avenue, Philadelphia, \$6,500. Architect, private plans. Owner, Dr. James Goldfield, on premises. Brick, 2 stories add., 16x16 feet. Contract awarded to A. P. Lucker, Southeast Corner Thirty-fourth and Haverford avenue.

**Apartment (alts. and add.),** 4627 Baltimore avenue, Philadelphia, \$6,000. Architect, private plans. Owner, F. T. Harrison, 619 South Fifty-second street, Philadelphia. Brick, 2 stories add., 10x15 feet, general alterations. Contract awarded to C. Ramos, 5233 Rodman street, Philadelphia.

**Residence (alts.),** 308-10 New street, Philadelphia, \$3,000. Architect, private plans. Owners, Betz Estate, on premises. General

alterations. Contract awarded to Curtis Grindrod Co., 10 South Eighteenth street, Philadelphia.

**Residence and Store (add.),** 323 North Sixty-fourth street, Philadelphia, \$3,000. Architect, private plans. Owner, P. Troizato, on premises. Brick, 3 stories, 16x18 feet add. Contract awarded to D. Di Tammasso, 219 North Sixty-fifth street, Philadelphia.

**Stores (2),** East side Fifty-sixth street, South of Lebanon avenue, \$5,500 total. Architect, private plans. Owner, Meyer Cohen, 5466 Lebanon avenue, Philadelphia. Brick, 1 story, 15x24 feet, and 1 story, 25x18 feet, electric work, pine floors. Contract awarded to Wolfe & Keen, 5452 Arlington street, Philadelphia.

**Residence (add.),** 1519 North Second street, Philadelphia, \$4,400. Architect, private plans. Owner, John McKeever, 1515 North Second street, Philadelphia. Brick, 2 stories add., 10x25 feet. Contract awarded to Edward C. Sherry, 188 West Girard avenue, Philadelphia.

**Apartment (add.),** 3622 Baring street, Philadelphia, \$4,300. Architect, private plans. Owner, Mary A. Petzelt, on premises. Brick, 2 stories, 7x9 feet, 2 stories, 5x7 feet, and 3 stories, 12x7 feet. Contract awarded to Joseph Palamone, 2217 South Thirteenth street, Philadelphia.

**Residence,** East side Dungan Road, North of Tudor street, Philadelphia, \$5,000. Architect, private plans. Owner, Conrad Bergman, Third street above Wingohocking avenue, Philadelphia. Brick, 1 story, 28x42 feet, electric lighting, hardwood and pine floors, tile work. Contract awarded to W. Muller, 4320 North Third street, Philadelphia.

**Loading Platform (alts.),** Northwest Cor-

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# HEATING

## ENGINEERS AND CONTRACTORS

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ner Swanson and Snyder avenue, \$4,000. Architect, private plans. Owners, Publicker Commercial Alcohol Co., on premises. Brick to replace frame. Contract awarded to J. O. Houseman, Forty-seventh and Snyder avenue, Philadelphia.

**Manufacturing Building (alts.),** 526-28 Cherry street, \$20,000. Architect, private plans. Owners, Horstmann Uniform Co., Fifth and Cherry streets, Philadelphia. General alterations. Contract awarded to Frank G. English & Sons, 1608 North Carlisle street.

**Garage,** Southeast Corner Thompson and Newkirk streets, Philadelphia, \$12,000. Architect, private plans. Owner, Louis Kresel, 1221 North Twenty-ninth street, Philadelphia. Brick, 1 story, 94x32 feet, 9x16 feet, slag roof, cement floors. Contract awarded to F. I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Residence, West side Verree Road,** North of Rhawn street, Philadelphia, \$10,000. Architect, private plans. Owner, Mrs. Sara Dudley, 1208 Wakeling street, Philadelphia. Concrete block, 3 stories, 44x28 feet, 12x12 feet, hot water heat, electric light, tile work, hardwood and pine floors. Contract awarded to H. S. & S. E. Clark, 6311 Woodlawn avenue.

**Store and Residence (alts.),** 669 North Fifty-second street, Philadelphia, \$4,000. Architect, private plans. Owner, Dr. M. H. Wibe, on premises. General alterations. Contract awarded to J. Goldfarb, 2522 South Reese street, Philadelphia.

**Apartment (alts. and add.),** 1813 North Park avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Mary M. Magee, on premises. Brick, 3 stories add., 11x10 feet, general alterations. Contract awarded to Chris E. White, 2030 Upland Way, Philadelphia.

**Garage,** Northwest Corner Twenty-third and Sergeant streets, Philadelphia, \$2,800. Architect, private plans. Owner, M. Connolly, 2419 West Cumberland street, Philadelphia. Brick, 1 story, 18x48 feet, slag roof, cement floors, electric work. Contract awarded to John Roman, 414 East Bringhurst street, Philadelphia.

**Residence (alts. and add.),** 307 South Smedley street, Philadelphia, \$2,800. Architect, private plans. Owner, Paul M. Rosenwieg, 1427 Spruce street, Philadelphia. Brick, second and third stories adds., 7x14 feet, general alterations. Contract awarded to John A. Codori, 1235 Arch street, Philadelphia.

**Residence,** 1232 Wakeling street, Philadelphia, \$7,500. Architect, private plans. Owner, John Mawinney, 1232 Wakeling street, Philadelphia. Brick, 2 stories, 16x51 feet, slag roof, hot water heat, electric light. Contract awarded to J. D. Fotheringham, 1000 Arrott street, Philadelphia.

**Residence,** Southeast Corner Torresdale and Orthodox street (rear), \$7,000. Architect, pri-

vate plans. Owners, Orthodox Street Methodist Episcopal Church, on premises. Stone and brick, 2 stories, 18x52 feet, hot air heat, electric work. Contract awarded to G. Bartram Bond, Thirteenth street and Sixty-sixth avenue, Philadelphia.

**Manufacturing Building (add.),** Second and Columbia avenue, \$7,000. Architect, private plans. Owners, Heidelberger Brothers, on premises. Brick elevator shaft, 5 stories, 9x9 feet. Contract awarded to Harry Gill, Jr., 2515 Germantown avenue, Philadelphia.

**Garage,** 5408-06 Media street (rear), Philadelphia, \$4,000. Architect, private plans. Owners, George W. Repp Estate, on premises. Brick, 1 story, 33x17 feet, 16x75 feet, slag roof, cement floors. Contract awarded to W. R. Smithwick, 1409 North Allison street, Philadelphia.

**Residence (add.),** 5927 Ridge avenue, Philadelphia, \$3,000. Architect, private plans. Owner, W. J. Lovett, on premises. Brick, 1 story add., 18x17 feet. Contract awarded to C. C. Eddleman, 1627 Sansom street, Philadelphia.

**Garage,** Southeast Corner Eighteenth and Jackson streets, Philadelphia, \$30,000. Architect, private plans. Owners, Willing & Sbordic, Franklin Trust Building, Philadelphia. Brick, 2 stories, 67 feet, 6 inches x 133 feet, 6 inches, slag roof, cement floors. Contract awarded to Sol Marcus, 429 South Fifty-seventh street, Philadelphia.

**Garage,** North side Locust avenue, East of Boyer street, \$40,000. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owner, Samuel Levin, 717 Bulletin Building, Philadelphia. Brick, 1 story, 100x200 feet, slag roof, cement floors, electric work. Contract awarded to Louis Nevin et al., 717 Bulletin Building.

**Garage,** East side Belfield avenue, South of Loudon street, \$4,000. Owner, C. Spadafora, 6033 Beechwood street, Philadelphia. Brick, 1 story, 20x80 feet, slag roof, cement floors. Contract awarded to H. E. Sweger, 4435 North Uber street, Philadelphia.

**Store and Residence (add. and alts.),** 813-15-17 Bainbridge street, \$2,200 each. Architect, private plans. Owner, J. Scavett, 822 Fitzwater street, Philadelphia. Brick, 2 stories add., 12x12 feet, general alterations. Contract awarded to Thomas E. Bressi, 744 South Sixth street, Philadelphia.

**Garage (add.),** 2934 North Seventh street, Philadelphia, \$2,060. Architect, private plans. Owner, Jacob R. Meyer, 2935 North Franklin street, Philadelphia. Brick, 1 story add., 17x40 feet. Contract awarded to George B. Mitchell, 6224 Limekiln Pike, Philadelphia.

**Residence,** 807 West Carpenter street, Philadelphia, \$9,000. Architect, private plans. Owner, Edward T. Flood, 640 Carpenter street, Philadelphia. Stone, 3 stories, 24x31

feet, slate roof, hardwood and pine floors. Contract awarded to William F. Roth, Jr., Erden Lawn, Pa.

**Residence,** West side Castor avenue, South of Robbins avenue, \$6,000. Architect, private plans. Owner, Frank C. Simon, on premises. Brick, 2 stories, 20x48 feet, hot water heat, electric light. Contract awarded to William H. Yelland, 1350 Harrison street.

**Church (alts.),** Northeast Corner Nineteenth and Green streets, Philadelphia, \$5,000. Architect, private plans. Owners, Highway Mission, Ridge avenue and Oxford street, Philadelphia. New heating. Contract awarded to Frank K. Stahl, 2711 North Park avenue, Philadelphia.

**Store (alts.),** 1028 Arch street, Philadelphia, \$2,000. Architect, private plans. Owners, Lipsault & Co., on premises. General alterations. Contract awarded to S. W. Levin, 1631 South Fifth street, Philadelphia.

**Schools,** Philadelphia. Owners, Board of Education, Nineteenth and Chestnut streets, Philadelphia. Contracts awarded: No. 230, Various Schools, painting, C. A. Kuehnle Co., Seventeenth and Vine streets, Philadelphia, \$4,680. No. 232, Various Schools, painting, C. A. Kuehnle Co., Seventeenth and Vine streets, Philadelphia, \$5,600. No. 234, Steel School, general, Mitchell Brothers, 2125 Race street, \$6,594. No. 235, Plumbing, Bulman Brothers, Fifth and Cumberland streets, \$6,366. No. 236, Heating, S. Faith Co., 2427 Pennsylvania avenue, \$370. No. 237, Hackett School, general, Mitchell Brothers, 2125 Race street, \$11,156. No. 238, Plumbing, Bulman Brothers, Fifth and Cumberland streets, \$6,666. No. 239, Heating, S. Faith & Son, 2427 Pennsylvania avenue, \$489. No. 240, Various Schools, painting, John J. Murphy, 1835 Ludlow street, Philadelphia, \$3,100. No. 241, Jenks School, general, Mitchell Brothers, 2125 Race street, \$6,491. No. 242, Plumbing, Bulman Brothers, Fifth and Cumberland streets, Philadelphia, \$6,266. No. 243, Heating, L. J. Somers, 2436 Brown street, Philadelphia, \$363. No. 244, McKinley School, general, Mitchell Brothers, 2125 Race street, \$10,849. No. 245, Plumbing, D. J. Keating, 2042 Rittenhouse street, Philadelphia, \$6,580. No. 246, Heating, L. J. Somers & Son, 2436 Brown street, Philadelphia, \$426. No. 247, Various Schools, painting, John J. Murphy, 1835 Ludlow street, Philadelphia, \$4,600. No. 259, J. H. Brown School, electric, Mr. Goldheim, care of owner, \$1,288. No. 260, Crespino School, electric H. B. Frazer Co., Jefferson Building, \$1,092.70. No. 261, Rivers School, electric, H. B. Frazer, Jefferson Building, \$1,142. No. 262, Administration Building, general, Lam Building Co., 1001 Wood street, Philadelphia, \$15,290. No. 263, Heating, L. J. Somers, 2436 Brown street, Philadelphia, \$1,498. No. 264, Various Schools, heating and ventilating, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$4,554. No. 265, Various Schools, repairs to heating and ventilating, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$4,950. No. 266, Various Schools, heating and ventilating, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$9,923. No. 267, Various Schools, heating and ventilating, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$4,133. No. 274, Various Schools, painting, C. A. Kuehnle, Seventeenth and Vine, \$2,470. No. 229, Various Schools, painting, John J. Murphy, 1835 Ludlow street, Philadelphia, \$2,125.

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## PENNSYLVANIA

# Construction News

**Sewer,** Cheltenham Township, Montgomery County, Pa. Engineers, Albright & Mebas, 1502 Locust street, Philadelphia. Owners, Board of Township Commissioners, Harold C. Pike, secretary, County Office, Elkins Park, Pa. Construction of main out fall sewer for house drainage along Tacony Creek, through Cheltenham Township from City Line to Mt. Carmel avenue, Glenside. Size of pipe from 33 inches to 12 inches diameter. Work will be divided in 4 sections. Deposit, \$25. Refund, \$20. Certified check, 2 per cent. of total bid must accompany each bid. Owners taking bids due August 5th, 8 P. M. (Day-light Saving Time).

**Factory,** Kenneth Square, Pa. Architect, private plans. Owners, American Road Machinery Co., Kenneth Square, Pa. Brick and steel. Plans in progress. Contract awarded William Steele & Son, 219 North Broad street, Philadelphia.

**Harris High School,** Harrisburg, Pa., \$1,000,000. Architects, C. J. Lappley, Harrisburg, Pa., and H. H. Hornbassel, Pittsburgh, Pa. Owners, Board of Education, Harrisburg, Pa. Fireproof. Architects selected.

**City Hall Memorial,** Second and Walnut streets, Steelton, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg. Owners, Borough Council, American Legion Post, Steelton, Pa. Sketches in progress.

**School,** Steelton, Pa. Architects, Starr & Johnson, Spooner Building, Harrisburg, Pa. Owners, St. James' Roman Catholic Church, Rev. J. C. Thompson, Steelton, Pa. Brick, steel, 2 stories, 7 rooms and auditorium, slate roof, composition and pine floors (heating, plumbing and electric work reserved), tile work, rolled steel skylights, school equipment. Plans in progress.

**Office and Apartment,** Annville, Pa. Architects, Johnson & Starr, Spooner Bldg., Harrisburg, Pa. Owners, Annville Mutual Fire Ins. Co., Annville, Pa. Brick, reinforced concrete, steel, 2½ stories, 30x50 feet, slate roof, yellow pine and linoleum floors, vapor heat, electric light, rolled steel sash, limestone trim, ornamental iron work. Architects ready for bids.

**Dormitory,** Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Harrisburg Academy, Dr. Brown, Academy Manor, Harrisburg, Pa. Brick, stucco, reinforced concrete, 3 stories and basement, 33x111 feet, slate roof, hardwood and composition floors, cement block, vapor heat, electric light, metal lath, rolled steel sash. Architects ready for bids.

**Stores (4), Apartments (8),** County Line Road, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Philip and Lewis Harrison, Bryn Mawr, Pa. Concrete block, plastered, 2 stories, 18x54 feet, built-up roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Stores and Apartment (2),** County Line Road, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Andrew Warner, Bryn Mawr, Pa. Brick, concrete

block plastered, 2 stories, 18x62 feet, built-up roof, hardwood floors, steel structure, metal ceilings, metal bulks, tile work, hot water heat, electric light. Plans completed. Architect will take bids in one week.

**Residence,** County Line Road, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, N. Harrison, Ardmore, Pa. Concrete block plastered, 2½ stories, 18x30 feet, hot air heat, electric light, pine floors, asphalt, slate, shingle roof. Plans in progress.

**Club House,** Ardmore, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, care of architects. Stone and plaster, 1 story, 30x50 feet, shingle roof. Plans completed. Architects will take bids in a few days.

**Residences (3),** Springfield, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, George M. Wilcox, Land Title Building, Philadelphia. Frame and shingle, brick and clapboard, stone, 2½ stories, 24x32 feet, garages in basement, hot water heat, electric light, tile work, shingle roof, hardwood and cement floors. Plans in progress.

**Residence,** Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owner, William Eckert, 826 North Fifth street, Reading, Pa. Brick, limestone, 2½ stories, 35x50 feet, slate roof, hardwood floors, hot water heat, electric light, metal lath, tile work. Architect ready for bids.

**Residences (2),** Martin avenue, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, John Charles Norton, Ardmore, Pa. Brick, plaster, 2½ stories, 16x38 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Architect taking sub-bids.

**Residence,** Cornell Road, Drexel Hill, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, James Clark, 6162 Columbia avenue, Philadelphia. Frame and plaster, 2½ stories, 26x34 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Double Residence,** Pittston, Pa., \$20,000. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owners, M. Connor and Louis Schiffman, Pittston, Pa. Frame, 2½ stories, 41x55 feet, shingle roof, hardwood and pine floors, electric light, tile work. Owners taking bids.

**Twin Residences (5 pairs),** Ardmore, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, James A. Clarke, 6162 Columbia avenue, Philadelphia. Frame and plaster, 2½ stories, 18x40

feet, garages, 12x20 feet, hot water heat, electric light, tile work, slate roof, hardwood floors. Owner taking sub-bids.

**Twin Residences (8 pairs),** Old Lancaster Road, Rosemont, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owners, Good Home Co., Memorial Building, Bryn Mawr, Pa. Frame and plaster, concrete block, 2½ stories, 16x32 feet, 16x30 feet, shingle roof, pine floors, hot air heat, electric light. Architects taking bids due July 26th.

**Residence,** Lewistown, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, Walter Fasnot, Valley street, Lewistown, Pa. Stone, 2½ stories. Plans in progress. Too early for details.

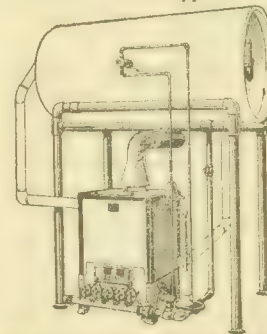
**Mercy Hurst Group of Buildings,** Erie, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Sisters of Mercy, Erie, Pa. Architect taking revised bids due July 29th.

**Store (add.),** 47 West Lancaster avenue, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Spritzler Department Store, on premises. Brick, steel, 1 story, 26x46 feet, built-up roof, maple floors, hot water heat, electric light, hollow metal skylights, metal ceilings, Lupton sash. Owners taking bids.

**Residence,** Secane Heights, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Build-

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ing, Philadelphia. Owner, Robert J. Hight, care of architect. Stone and asbestos shingle, 2½ stories, 26x36 feet, asbestos slag roof, hardwood floors, hot water heat, electric light, tile work. Owner taking bids.

**Sanitary Sewer and Sewage Disposal Plant,** Borough of Media, Pa. Architects, Remington & Vosbury, Camden, N. J. Owners, Borough Council, Edward Minton, secretary, Borough Hall, Media, Pa. Construction of approximately 12.2 miles 5-inch, 8-inch, 10-inch, 12-inch terra cotta and cast iron pipe sewers, 156 manholes, 18 flush tanks. Construction of additional units at sewage disposal plant and 1 sewage pumping station. Deposit, \$15. Refund, \$10. Certified check of 5 per cent. of bid must accompany each bid. Bond of 100 per cent. of contract will be required. Owners taking bids due July 31st at 7 P. M.

**Colonial Theatre, Stores (2), Dance Hall,** Easton, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Wilmer & Vincent, 1451 Broadway, New York City. Steel, brick, hollow tile, concrete, 2 stories and 1 story and lobby, 85x220 feet, seating capacity 1,800, slag roof, concrete floors, hot air heat, electric light, tile and marble work, rolling steel sash, fire doors, roof ventilators. Plans in progress.

**School,** Rossville, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Warwick Township School Board, Dr. Walters, secretary, Rossville, Pa. Brick, steel, 2 stories and basement, 56x60 feet, slate roof, composition floors, safety treads, roof ventilators, dampproofing, metal lath, steel sash, steel partitions, bond, fire escape (heating, plumbing and electric work reserved). Lowest bidder: H. Fry, Martindale, Pa., \$25,000.

**Residence,** Cynwyd Road, near Lodges Lane, Cynwyd, Pa. Architect, J. L. Conarroe, 225 South Sydenham street, Philadelphia. Owner, J. L. McMichael, care of architect. Hollow tile, stucco, frame, 2½ stories, 25x32 feet, shingle roof, pine floors, hot water heat, electric light, tile work. Architect taking bids due July 28th.

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Low bidders on work opened July 15th:

Blair County, R-55, Tyrone Borough, 1,607 feet. One course reinforced concrete. Davis & Young, Hollidaysburg, Pa. \$22,146.34.

Fayette County, A-1468, Luzerne County, 6,571 feet. One course reinforced concrete. F. S. Wilson, Kittanning, Pa. \$94,211.70.

Warren County, A-1788, Freehold Township, 5,118 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Dubois Const. Co., Dubois, Pa. \$46,426.40.

Indiana County, A-985, Canoe Township, 7,904 feet. One course reinforced concrete. Dubois Const. Co., Dubois, Pa. \$72,361.45.

Washington County, R-108, S-2, North Strabane Township, 7,358 feet. One course reinforced concrete. Thomas Arrigo, Charleroi, Pa. \$88,292.05.

Jefferson County, A-2735, Washington Township, 10,370 feet. One course reinforced concrete. Milliron Const. Co., Dubois, Pa. \$102,905.08.

Perry County, R-31, Home and Greenwood Townships, 26,491 feet. One course reinforced concrete. Union Paving Co., Thirtieth and Locust streets, Philadelphia. \$339,935.63.

Allegheny County, R-247, Baldwin, Bethel and Snowden Townships, 33,656 feet. One course reinforced concrete. Johnson, Drake & Piper, Inc., Erie, Pa. \$333,018.95.

Somerset County, A-2839 and 2861, Paint and Ogle Townships, 27,215 feet. One course reinforced concrete. Corrado & Galiardi Const. Co., Connellsville, Pa. \$244,731.80.

Clarion County, A-2577, Sec. 2, Beaver Township, 10,572 feet. One course reinforced

concrete. Standard Paving & Cont. Co., Chicago, Ill. \$96,353.95.

Washington County, R-242, Independence Township, 4,922 feet. One course reinforced concrete. Samuel Gamble Co., Carnegie, Pa. \$59,011.45.

Bridge, Northumberland, Snyder, Union Counties, R-25, over West Branch of Susquehanna River. George W. Rockwell, Sunbury, Pa. \$405,112.08.

Allegheny County, R-181, A-2130, Forward and Elizabeth Townships, 16,867 feet. One course reinforced concrete. Mosteller & Virgin, Wilkesburg, Pa. \$178,794.45.

Somerset County, R-50, A-2731-2732-2733, Spur A, Milford Township, North Centerville, Rockwood Borough, 14,062 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. W. H. Wilkey, Uniontown, Pa. \$145,472.15.

Beaver County, A-2753, Conway and Freedom Boroughs, 8,999 feet. One course reinforced concrete. Burns Brothers, New Castle, Pa. \$132,943.03.

Chester County, O-1430, West Nottingham Township, 15,016 feet. One course reinforced concrete. Dalton Brothers, Paoli, Pa. \$102,341.40.

## Pennsylvania Contracts Awarded

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Schuylkill-Carbon Counties, R-162, Coaldale and Lansford Boroughs, 18,246 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$177,218.60. Contract awarded to Everton A. Corson, Ocean City, N. J.

Chester County, A-1430, West Nottingham Township, 15,016 feet. One course reinforced concrete. \$102,341.40. Contract awarded to Dalton Brothers, Paoli, Pa.

**Manufacturing Building,** St. David's, Pa. Consulting engineer, P. M. Sax, Penfield Building, Philadelphia. Owners, Wayne Iron Works, Commonwealth Trust Building, Philadelphia. Reinforced concrete, brick, steel, 1 story, 174x49 feet, slag roof, cement, wood block floors, hollow tile, plumbing, shoring, ornamental iron work, excavation, floor hardener, galvanized iron skylights, rolling steel sash. Contract awarded to Fred A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Residence (alts.),** Levering Mill Road, Cynwyd, Pa. Architects, Savary & Scheetz, Stephen Girard Building, Philadelphia. Owner, Warren A. Reed, on premises. Patching roof, sheet metal work, plastering, carpentry and mill work, painting and glazing. Contract awarded H. E. Grau Co., 1707 Sansom street, Philadelphia.

**Hotel,** Third and Market streets, Berwick, Pa. Architects, Dreher & Churchman, Otis Building, Philadelphia. Owners, Berwick Hotel Co., W. J. Johnson. Berwick, Pa. Reinforced concrete, steel, brick, granite, 5 stories and basement, 90x27 feet. Barrett's Specification roof, composition and cement floors, painting and glazing, architectural terra cotta, ornamental iron work, iron stairs, tile, marble and terrazzo work, metal lath. Contract awarded Berwick Lumber & Supply Co., Berwick, Pa.

**School (alts. and add.),** East Orelan, Pa. Architects, Schermerhorn & Phillips, 213 South Fifth street, Philadelphia. Owners, Upper Dublin Township, W. Worman, Fort Washington, Pa. Stone, brick, 1 story, 46x60 feet, slate, slag roof, pine and cement floors, slate blackboard, new cement walks, general repairs to present building (heating, plumbing, electric, ventilating, drainage reserved). Contract awarded H. C. Shallcross, Graters-

ford, Pa., \$17,098. Plumbing, W. H. Zimmerman, Lansdale, Pa., \$600. Electric, C. Marvin Riley, Ambler, \$305. Heating, American Heating & Ventilating Co., 200 North Fifteenth street, Philadelphia, \$3,294.

**School (alts.),** Jarrettstown, Pa. Architects, Schermerhorn & Phillips, 213 South Fifth street, Philadelphia. Owners, Upper Dublin Township, W. Worman, Fort Washington, Pa. General remodeling, asbestos shingle roof, cement floors (plumbing, drainage, water pumping system, electric separate). Contract awarded H. C. Shallcross, Gratersford, Pa., \$5,514. Plumbing, W. H. Zimmerman, Lansdale, Pa., \$1,962. Electric, H. O. Deens & Brothers, Ambler, Pa., \$150.

**Baggage Station,** Merion, Pa. Architect, William J. Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad, Broad Street Station, Pa. Stucco and Penn Building Block, 1 story, 50x15 feet, slate roof, pine and cement floors, electric light. Contract awarded to F. J. Parker, Inc., Commercial Trust Building, Philadelphia.

**Ardmore Exchange (alts.),** Ardmore, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Steam heat, oil burning system, brick work, plumbing, galvanized iron pipe in plumbing, tile work, carpentry and mill work, cement work, plastering, metal lath, painting and glazing. Contract awarded E. H. Keefer, 1321 Rodman street, Philadelphia.

**Church (superstructure),** Swoyersville, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owners, St. Mary's Roman Catholic Church, Rev. Clement Drapiewski, 117 Shoemaker street, Swoyersville, Pa. Brick and hollow tile, 1 story, 48x100 feet. Contract awarded to Alaimo Brothers, New Rose Building, Pittston, Pa.

**Grade School,** Nanticoke, Pa., \$253,818. Architect, R. M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, Nanticoke School Board, J. Bednar, secretary, Nanticoke, Pa. Brick, steel, stone, 2 stories and basement, 160x115 feet, slag roof, hardwood floors, safety treads, roof ventilators (heating, electric work reserved), metal lath, tile and marble work, iron stairs. Contract awarded to Nanticoke Const. Co., Nanticoke, Pa.

**Store Building (add.),** 301 Lackawanna avenue, Scranton, Pa., \$40,000. Architect, Louis Reisman, Miller Building, Scranton, Pa. Owners, Maurice Silverberg & Co., on premises. Brick, 2 stories, 25x160 feet. Contract awarded to Peter Stipp, Colfax and Pine streets, Scranton, Pa.

**Church,** Camp Hill, Pa. Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owners, Presbyterian Church, Rev. H. C. Snitcher, Camp Hill, Pa. Stone, 1 story and basement, 100x100 feet, slate roof, concrete floors, hollow tile (heating, electric work and plumbing reserved), metal lath, tile work. Contract awarded to Meyers Const. Co., Mechanicsburg, Pa.

**Church (alts.), Rectory (add.),** Catasauqua, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, St. Lawrence's R. C. Church, Rev. Connors, Catasauqua, Pa. Brick, 3 stories, 30x50 feet, slate roof, composition floors, steam heat, electric light, tile work, general alterations. Contract awarded to H. Statler, Jr., Quakertown, Pa.

**Factory (add.),** Hanover, Pa. Owners, Meyers, Shepard Shoe Co., Hanover, Pa. Architect, private plans. Brick, mill const., 3 stories, 60x240 feet, electric lighting. Contract awarded to W. J. Klunk, Hanover, Pa.

**Residence,** Boiling Spring, Pa. Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owner, E. F. Kester, care of architects. Stone, 1½ stories, 40x70 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to J. F. Barnhart, Enola, Pa.



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**Residence and Garage**, Merion, Pa., \$26,000. Architect, J. Wilmer Thompson, 703 South Sixtieth street, Philadelphia. Owner, F. A. Donaghy, Merion, Pa. Stone, 2½ stories, 25x42 feet, 16x20 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded Edw. Harris Smith, Lansdowne, Pa.

**Residence**, Ardmore, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, A. Wilson Moorhouse, care of architect. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Bucks County, R. 150, Bensalem and Bristol Townships, 42,400 feet. One course reinforced concrete, \$331,103.53. Contract awarded to Sutton & Corson Co., Ocean City, N. J.

Forest County, R. 380, A. 2685, Jenks Township, 5,280 feet. Either bit. surface course on concrete foundation or one course reinforced concrete, \$41,647.15. Contract awarded to Thomas W. Munro & Co., Du Bois, Pa.

Luzerne County, R. 184, A. 1219, Conynham Borough, 6,598 feet. One course reinforced concrete, \$64,913.45. Contract awarded to Freeland Construction Co., Hazelton, Pa.

Tioga County, A. 31, Jackson Township, 18,351 feet, either bit. surface course or one course reinforced concrete, \$187,140.49. Contract awarded to R. D. Richardson Construction Co., Scranton, Pa.

Bradford County, R. 212, Sec. 6, Troy and Sylvania Boroughs and Troy and Sylvania Townships, 24,575 feet. One course reinforced concrete, \$244,087.85. Contract awarded to Van Auker & Robbins, Thendara, N. Y.

Washington County, R. 118, A. 2845, Bentleyville Borough, 1,781 feet. One course reinforced concrete and hillside vitrified brick. Contract awarded to Charleroi Construction Co., Charleroi, Pa., \$29,690.

Chester County, R. 274, Sadsbury, Highland, W. Fallowfield and Upper Oxford Townships, Parkersburg Borough, 54,214 feet. One course reinforced concrete, \$353,142.67. Contract awarded to R. L. Bonham Co., Bridgeton, N. J.

Lebanon County, Route 376, N. Cornwall and S. Londonderry Townships, 14,864 feet. One course reinforced concrete, \$155,753.40. Contract awarded to Swangor & White, Lebanon, Pa.

Monroe County, A. 2734, Hamilton and Ross Townships, 14,732 feet. Either bit. surface course on concrete foundation or one course reinforced concrete. Contract awarded Juniata Co., Empire Building, Philadelphia, Pa., \$134,256.56.

Lycoming County Route 19, Picture Rock Borough, Shrewsbury Township, 39,666 feet. One course reinforced concrete, \$465,007.40. Contract awarded to Winston Co., Inc., Harrisburg, Pa.

**Bridge No. 278**, Schwenksville, Pa. Engineers, Commissioners of Montgomery Co., Wm. C. Irvin, Controller, Court House, Norristown, Pa. Reinforced concrete. Over Perkiomen Creek. Contract awarded to Whitaker & Diehl, Harrisburg, Pa.

## New Jersey Construction News

**High School**, North Wildwood, N. J. Architects, H. Rex Stackhouse and W. W. Donahue, 1120 Locust street, Philadelphia. Owners, City of Wildwood Board of Education, Thomas B. Aiken, secretary. Brick, cut stone, steel, 1 story, 70x120 feet, kypsum roof, maple floors, hollow tile, ornamental iron work. Contract awarded Farrell Roth Const. Co., 1624 Spruce street, Philadelphia.

**Residence and Garage** (alts. and add.), Ventnor, N. J. Architect, Wm. F. B. Koelle,

Otis Building, Philadelphia. Owner, E. A. Porch, care of architect. Plans in progress.

**Church and Sunday School**, New Brunswick, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Joseph's R. C. Church, care of architect. Brick, steel, 2 stories, 45x128 feet, slate roof, maple floors, steam heat, electric light, metal lath, hollow tile, dampproofing, ornamental iron work. Architect ready for bids.

**Hospital Group**, Morris Plains, N. J., \$2,000,000. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Brick, fireproof, 1, 2 and 3 stories, various sizes, slate roofs, mastic, composition and cement floors, hollow tile, elevators, roof ventilators, water and dampproofing, steam and hot water heat, electric light, metal lath, tile, marble and terrazzo work, rolled steel sash, hollow metal sash, fire, kalamein and hollow metal doors, floor hardener, iron stairs, screens, shades. Architects taking bids, due August 26th.

**School**, Bakers Basin, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Lawrence Township School Board, Lawrenceville, N. J. Brick, 2 stories, 75x125 feet, terra cotta, slate roof, hardwood floors, hollow tile, metal ceilings (heating and electric work reserved), metal lath, rolled steel sash, fire doors, iron stairs, ornamental iron work. Architects taking bids, due August 4th.

**School**, Delair, Pensauken Township, Camden County, N. J. Architects, Lackey & Hettie, 5 Hudson avenue, Camden, N. J. Owners, School Board of Pensauken Township, Camden County, N. J. Brick, composition stone, steel, 1 story and basement, 2 wings 24x30 feet, slag roof, cement and maple floors, hollow tile, painting and glazing, roof ventilators, waterproofing, dampproofing, rolled steel sash, bond, ornamental iron work. Owners taking bids, due July 28th.

**Dining Hall** (add.), Trenton, N. J. Architects, Department of Institutions and Agencies, Trenton, N. J. Owners, State Hospital for Insane, Trenton, N. J. Low bidders: F. D. Priory, Trenton, N. J., \$97,370; plumbing, Trenton Plumbing and Heating Co., Trenton, \$3,584; heating, Trenton Plumbing and Heating Co., Trenton, \$5,498; electric, Randolph Electric Co., Trenton, N. J., \$1,435.

**Stores** (Haddon Hall add.), Atlantic City, N. J. Architects, Rankin, Kellog & Crane, 1805 Walnut street, Philadelphia. Owners, Chalfonte Store, Atlantic City. Architects taking bids, due July 24th at noon.

## New Jersey Contracts Awarded

**Gloucester County Building**, Woodbury, N. J. Architect, C. R. Peddle, 136 S. Fourth street, Philadelphia. Owner, Gloucester Co., W. A. Lacey, chairman, Richwood, N. J. Brick, stone, steel, limestone, reinforced concrete, 3 stories and mazz. and basement, 115x79 feet, slag roof, cement floors, painting and glazing, waterproofing, ornamental iron work, iron stairs, bond, rolling steel sash, tile and marble and terrazzo work, meta lath. Contracts awarded: Geo. Shaner & Son, Palmyra, N. J. Heating and plumbing, Deckman Power and Heating Refg. Co., Camden, N. J.; electric, Enterprise Electric Co., 239 South Tenth street, Philadelphia.

**Mechanical Equipment**, Bridgeton, N. J. Architects, Stearns & Woodnutt, 920-23 Stephen Girard Building, Philadelphia, Pa. Owners, Bridgeton Hospital Association, Bridgeton, N. J. Contracts awarded: Heating, plumbing, ventilating, C. W. Richards, Bridgeton, N. J.; electric, Lyons Electric Appliance Co., Bridgeton, N. J.; elevators, Warsaw Elevator Co., 124 North Carlisle street,

Philadelphia, Pa.

**Foundations**, Port Reading, N. J. Owners, Philadelphia & Reading, Twelfth and Market streets, Philadelphia, Pa. Foundations for creosoting plant, foundations for 3 oil storage tanks 225,00 capacity, concrete pit for oil receiving tank capacity 12,000 gallons each, concrete pit for water salvage tank 100,000 gallons capacity. Contract awarded Bentley Morrison Corp., Elizabeth, N. J.

**Store and Apartment** (alts. and add.), Trenton, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owner, Joseph Schnorbus, 339 North Warren street, Trenton, N. J. Brick and stone, 2 stories, 75x30 feet, slag roof, hardwood floors, metal ceilings, hot water heat, electric light, tile work, plate glass, copper work. Contract awarded to Allen Welsh, Trenton, N. J.

**Convent**, Perth Amboy, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, Holy Trinity R. C. Church, Perth Amboy, N. J. Brick, stone, 3 stories, 40x60 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Contract awarded to Yost & Son, Perth Amboy, N. J.

## Miscellaneous Construction News

**Church** (alts.), Kenton, Del. Architect, E. C. May, DuPont Building, Wilmington, Del. Owners, M. E. Church, care of architect. New foundations, new belfry, pine floors, leaded glass, general alterations. Architect taking bids.

**Residence**, Louisville, Ky. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Dr. John Moore, care of architect. Stone, 2½ stories. Plans in progress.

## Miscellaneous Contracts Awarded

**Wilmington Central Office Building**, Wilmington, Del. Architect, John T. Windrim, Commonwealth Building, Philadelphia, Pa. Owners, Diamond State Telephone Co., care of Bell Telephone, Seventeenth and Arch streets, Philadelphia, Pa. Brick, cut stone, steel, 1 story and basement, 190x108 feet, slag roof, cement floors, hollow tile, waterproofing, ornamental iron work, bond, steel casement windows, steam heat, electric light, metal lath, tile and marble work. Contract awarded to J. N. Gill Construction Co., City Center Building, Philadelphia, Pa.

**School** (add.), Chesapeake City, Md. Architect, C. R. Hope, DuPont Building, Wilmington, Del. Owners, Cecil County School Board, H. Caldwell, Secretary, Elkton, Md. Brick, 2 stories, 4 rooms, slag roof, pine floors, roof ventilators, steam heat, electric light, iron stairs. Contract awarded to H. C. Phillips, Middletown, Delaware.

(Continued from page 471)

"As is well known, the sand and the larger aggregates have not the same working qualities. Also, it is impossible to grade the aggregate so that the smaller aggregates should fill all the larger voids: consequently we find, after a few years, an uneven surface with the larger aggregate protruding. I think that my theory of top dressing would obviate that shortcoming of monolithic concrete floors."

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**CEMENT WORK.**  
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34 S. 17th St., Phila.

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Gramm, Price, Turner, Inc. ....Ashland, N. J.

**CONCRETE WORK.**  
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Patton, Edward W. ....400 Lincoln Bldg., Phila.

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Gillingham Co. ...Norris and Richmond Sts., Phila.

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Cosenza Albert,  
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**DAILY BUILDING NEWS.**  
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Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

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Pettit, Frank, Ornamental Iron Works,  
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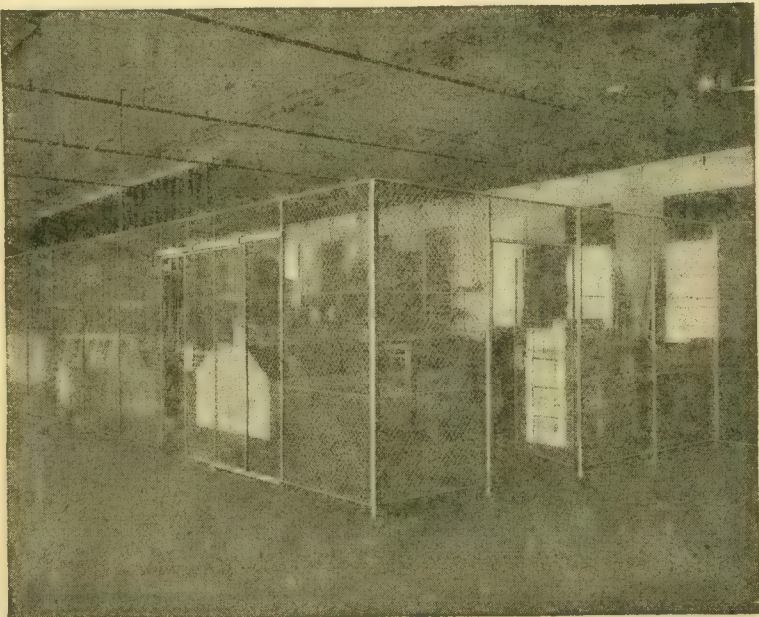
Vol. XXX.X, No. 31  
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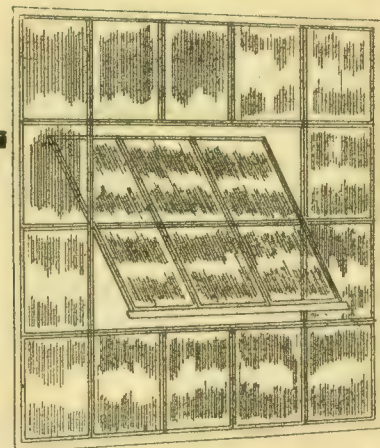
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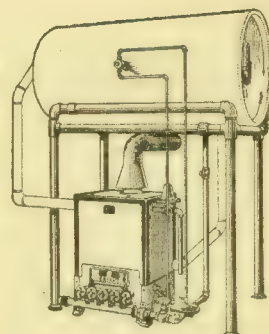
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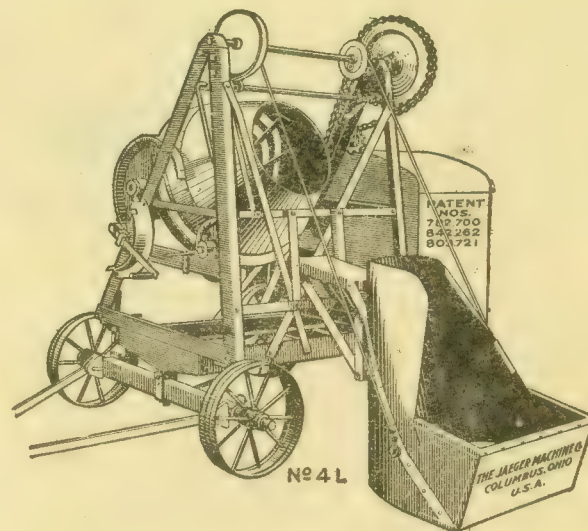
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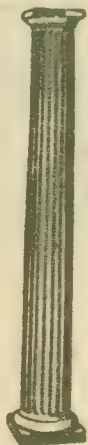
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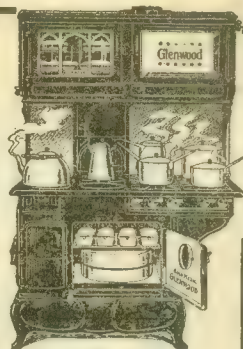


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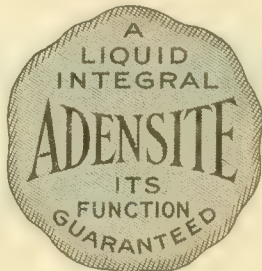
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 31

PHILADELPHIA  
July 30, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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BY

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## As The Editor Sees It



### U. S. AGENTS REPORT ON BUILDING ACTIVITY

*Department of Labor Summary Shows  
Even Balance in Supply and Demand  
of Labor*

An even balance of supply and demand of labor in the construction industry is indicated as existing throughout the greater part of the country by the latest reports gathered by the U. S. Department of Labor. A summary of these reports of field agents is presented here.

The New England States generally report building conditions as active and giving employment to large numbers of tradesmen.

Practically the same story is told by states in the Middle Atlantic District. New York State says, "Building and construction activities continue at a very encouraging rate and have absorbed a good portion of the released mill and shop labor." While there has been some lessening in building construction in Pennsylvania building mechanics and laborers are fairly well employed. State highway and county road construction, combined with municipal, street and improvement activities have taken care of the released workers.

In the East North Central District, Illinois reports building construction as the most outstanding feature of the industrial employment situation. Indiana reports: "Generally at this season road work ab-

sorbs many of the unemployed, but the weather has retarded this work to a considerable degree. The building industry reports full employment at this time, but construction programs are not as large as they were a year ago. Requests for employment help are being received from the building industry in Michigan, and hard road contractors are absorbing a considerable number of labor surplus from other industries. Building is reported as "very brisk" throughout Wisconsin. Because of the activity of building operations in Ohio, common labor is being kept fairly well employed.

Quite similar situations are reported from the West North Central District. Minnesota road building work is absorbing workers temporarily released from other industries. There is a surplus of building tradesmen, although unemployment is nowhere a serious problem.

Highway construction is serving to aid the common labor situation in Minnesota. Heavy rains have retarded state highway work in Missouri, but this line of work will make heavy demands for common labor during the remaining months of the summer. Kansas highway work is utilizing much common labor. Employment conditions in South Dakota are considered generally satisfactory. A surplus of unskilled labor is reported in Nebraska.

In the South Atlantic District, Delaware states there are no very large building programs under way but there is suffi-

cient work going on to employ the majority of building tradesmen. Building programs of considerable size are under way in many parts of Maryland and road building is in full swing. A large amount of road construction and much general building is reported in West Virginia. Building tradesmen are well employed in the District of Columbia. Fair-sized building programs and state road work are employing the majority of skilled and unskilled workers in Virginia. Skilled labor is very well employed on building work in North Carolina. Fair-sized programs are reported in the larger cities of South Carolina. A surplus of common laborers is evident in some sections of Georgia, but resident tradesmen are well employed. The supply of unskilled labor in Florida is meeting demand.

In the East South Central District Kentucky reports that skilled workmen are very well employed on programs of building and construction work. The construction of 75 miles of road and 22 bridges in Tennessee, soon to be started, will absorb a large amount of labor, the report says. Though a surplus of labor exists in Mississippi, there is no serious amount of unemployment. Highway construction shows an increase of 40 percent in one month.

Louisiana's road and building programs are keeping tradesmen busy, as is also the case in Arkansas. Building construction continues steady in Oklahoma, but some

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surplus of tradesmen still exists. A large amount of building is reported in all sections of Texas.

Building and general construction continue moderately active in New Mexico. The surplus of carpenters which has been existing in Arizona now has practically disappeared. Utah reports good employment. Many miners have been given temporary employment on road projects in Wyoming, though there has been a slowing-up in building activities in that state. Nevada reports more laborers and mechanics seeking work in the building trades than can be employed. A sufficient supply of workers is reported in Idaho, and in Montana. General construction work in Colorado is furnishing employment to large numbers.

In the Pacific group, California reports that transient building tradesmen have eliminated any chance of a labor shortage, though building operations are proceeding on a large scale. Oregon reports good employment. Washington's demand for building tradesmen balances supply, and large highway and hydro-electric projects are taking care of a large surplus released from sawmills and logging camps.

Building industries, with more than two million workers, are so operated that many crafts are out of work three months each year. This was revealed by a nation wide survey of the building situation instigated by Secretary Hoover, of the Department of Commerce, to determine why building construction could not be carried on the year round.

The survey was an outgrowth of the Committee on Seasonal Operations in the Construction Industries of the President's Conference on Unemployment, whose purpose is to stimulate employment, to eliminate waste and to reduce costs.

"Few workers have an opportunity to work more than nine months," the report says. "Earnings in nine months must be sufficient for twelve months' living. The calendar months of work and of idleness are different for different

crafts, and are less related to climate than to customs created by employers. A change in this situation is worthy of painstaking study by everyone connected with the construction industries because of the large savings such a change would bring not only to the industries concerned but to the nation as a whole.

"The ideal condition would be steady employment for all competent workers throughout the year. Bad weather is by no means the only handicap that makes it difficult to approximate such a condition. Some time is lost while one trade waits for another to complete work before its own activities can begin. Careful planning by the contractor will help to cut down this lost time."

The survey included requests for information on the employment of workers in the different building trades in each of the 68 largest cities of the country and in a number of smaller communities.

The introduction of modern machinery and newer methods in building construction has made building possible with very little regard to weather conditions, according to the report of a nation wide survey conducted by the Department of Commerce under Secretary Hoover to determine why building could not be carried on the year round.

"Construction with steel has gained an independence of the weather because of the hoisting engine and air-driven tools," the report says.

"The hoisting engine was adapted for building purposes about 1895. It not only lifts heavy parts to place without the risk attendant upon raising by hand, particularly in cold and wet weather, but also makes it possible to raise heavier pieces than could be raised by hand. It eliminates much of the labor and most of the accidents which occurred when laborers crawled up uncertain ladders with loaded hods, or up slippery planks with heavy wheelbarrows in inclement weather.

(Continued on page 496)

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CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Building (add.)**, 2901 Stenton avenue, Philadelphia. Architects, Morris & Erskine, 1716 Cherry street, Philadelphia. Owners, Leeds & Northrop, on premises. Brick and steel, 1 story, slag roof. Architects taking bids due July 30th.

**Garage**, Foulkrod and Castor Road, Philadelphia. Architects, Morris & Erskine, 1716 Cherry street, Philadelphia. Owner, Lynford Rowland, on premises. Stone and steel, 1 story, 23x27 feet, shingle roof, cement floors (electric reserved), Davis garage heater, bond, ornamental iron work, flag stone. Architects taking bids due August 1st.

**Stores (4), Apartment (alts. and add.)**, 5305-07 Germantown avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Glyndon Priestman, 5450 Germantown avenue, Philadelphia. General remodeling. Working plans in progress.

**Factory**, Twenty-ninth and Montgomery avenue, Philadelphia. Architects, Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, C. W. Young & Co., 1247 North Twenty-sixth street, Philadelphia. Reinforced concrete, 8 stories. Work contemplated.

**Store Building (alts.)**, 1726 Chestnut street, Philadelphia. Architects, McLanahan & Bencker, Bellvue Court Building, Philadelphia. Owner, George W. Jacobs, 1628 Chestnut street, Philadelphia. Brick, 4 stories. Architects have taken preliminary bid. Work contemplated.

**Fire Headquarters**, Juniper and Race streets, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Bureau of Fire, City of Philadelphia. Working sketches in progress.

**Central Medical Office Building**, Northeast Corner Eighteenth and Chestnut streets. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, William H. Webster, care of architect. Brick, steel, concrete, stone, terra cotta, 12 stories, stores on first floor, slag roof, cement floors, hollow tile, elevators, ornamental iron work, tile and marble work, steam heat, electric light. Plans in progress.

**Stores and Apartments**, Northwest Corner Jefferson and Germantown avenue. Architects, Penwood Co., 131 North Fifteenth street, Philadelphia. Owner, name withheld. 3 stories. Plans in progress.

**Garage**, location withheld. Architects, Penwood Co., 131 North Fifteenth street, Philadelphia. Owner, name withheld. Brick, 1 story, 62x95 feet. Plans drawn.

**Service Station**, Frankford and Ambler street, Philadelphia. Architects, Penwood Co., 131 North Fifteenth street, Philadelphia. Owner, name withheld. Brick, 1 story. Plans in progress.

**Church (superstructure)**, East Price and Cheltenham avenue, Germantown. Architects, Hoffman-Henon Co., Finance Building, Philadelphia. Owners, Church of the Immaculate Conception, Rev. M. J. Higgins, 1020 East

Price street, Philadelphia. Sketches drawn. Plans will be started in about one year.

**Swimming Pool**, Whitehill Commons Playground, Wakeling and Large. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Bureau of Recreation, City of Philadelphia, 595 City Hall. Plans in progress.

**Office Building**, 225 South Sydenham street, Philadelphia. Architect, Le Roy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Charles Kahn, Morris Building, Philadelphia. Limestone, 2 stories and basement, 20x100 feet. Plans in progress.

**Office (alts.)**, 109 South Third street, Philadelphia. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, Emory Freed Co., on premises. Mill work, painting, plumbing, electric work. Architect sub-letting.

**Repairs**, Fifth and Chestnut streets, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Bureau of City Property, Room 117, City Hall. Electric fixtures, repairs to first floor, brick work, copper urns on tower. Separate bids on all three items. Owners ready for bids.

**Apartment House (alts. interior)**, 218 West Walnut Lane, Philadelphia. Architects, Penwood Co., 131 North Fifteenth street, Philadelphia. Owner, William Biren, Seventeenth and Norris streets, Philadelphia. Brick and stone, 3 stories, hot water heat, electric light, metal lath, tile work, pine floors, painting and glazing, ornamental iron work. Owners taking bids.

**Residence (alts. and add. to Store and Apartment)**, 3638 Chestnut street. Architect, Charles H. Schaef, 11 South Sixteenth street, Philadelphia. Owner, Joseph Rabinovitz, Thirty-seventh and Walnut streets, Philadelphia. Addition, brick, stucco, 1 story, 24x25 feet, metal ceilings, slag roof. Alterations, vapor heat, electric light, hardwood floors, plumbing, tile and marble work. Owner taking sub-bids.

**Schools**, Philadelphia, \$20,000,000. Architect, private plans. Owners, Board of Education, Nineteenth above Chestnut street. Philadelphia. Senior High (2), Central High School Annex, Eighteenth and Hunting Park avenue, Philadelphia. Junior High Schools,

South Philadelphia, vicinity of Seventieth and Buist, Nineteenth and Tasker, Twenty-sixth and Cumberland, Eighteenth and Hunting Park, Eleventh and Thompson. Continuation School, G and Indiana avenue (site of Boudinot School). Special Schools, Howard, South of Girard; Christian, above Front. Elementary Schools, Sixteenth and Wharton, Forty-first and Brown; addition, sixtieth and Cedar, Thirty-fourth and Wharton. New Building, Seventeenth and Christian; Frankford below Allegheny. New Building to Replace, Huntingdon, South of Sepviva, Huntingdon and Edgemont streets. Walton School Addition, Twenty-eighth and Huntingdon streets. New Buildings to Replace: Reynolds, Twentieth and Jefferson; Forten, Sixth and Lombard; Binney, Spruce, East of Sixth; Clay, Eighth and Thompson; Jackson, Federal, East of Twelfth; Ludlow, Lawrence and Master; Conrad, Mellon, East of Twelfth and Spring Garden streets; School, Twelfth and Oregon; Pilgham, Thirteenth and Susquehanna; Mt. Airy, Allen's Lane and Cresheim Road; Wister, Eighth and Parrish Streets. New Building, Chew and Upsal streets, Philadelphia. Plans being prepared.

**Library**, Cobb's Creek Boulevard at Baltimore Avenue), Philadelphia. Architect, Edmund B. Gilchrist, 1618 Latimer street, Philadelphia. Owners, Free Library of Philadelphia, Thirteenth and Locust streets, Philadelphia. Penn Building concrete block, cut stone, steel, stucco, 2 stories and basement, 39x85 feet, Carey filter roof, cement, pine and linoleum floors, painting and glazing, plumbing, wrought iron pipe, waterproofing, ornamental iron work, metal partitions, floor hardener, bond, hollow metal doors and sash, metal lath, electric light, steam heat, galvanized iron pipe. Architect taking bids due August 6th.

**Building**, Southwest Corner Thirteenth and Walnut streets, Philadelphia. Architect, Le Roy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Horace E. Hano, 1207 Chestnut street, Philadelphia. Brick, 2 stories, 118x42 feet, slag roof, maple and cement floors, vacuum heat, electric light, tile work, metal lath, bond, ornamental iron work, architectural terra cotta, cast iron pipe, steel pipe, sprinkler system. Architect taking bids due August 1st at noon.

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Plant (add.), Eighth and Callowhill streets, Philadelphia. Architect, Stanford B. Lewis, Presser Building, Philadelphia. Owners, Kingan Provision Co., Eighth and Callowhill streets, Philadelphia. Brick, reinforced concrete, cut stone, steel, limestone, 3 stories, 110x115 feet, slag roof, cement floors, hollow tile, shoring, waterproofing and dampproofing, ornamental iron work, bond, fire and kamamein and vault doors, rolling steel sash and skylights, painting and glazing (cork insulation, plastering on insulation and panit-ing of same, steam heating, ventilating and boilers, plumbing and drainage, refrigerating machinery and piping, electric work and power wiring, elevators and elevator doors, rail system, smoke house doors, brick floors reserved.) Architect taking bids due August 7th.

**Storage Shed**, Bigler and Delaware River, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Publicker Commercial Alcohol Co., Swanson and Delaware avenue, Philadelphia. Brick, steel, concrete, 1 story, 70x72 feet, slag roof, asphalt cement floors, hollow tile, painting and glazing, plumbing, waterproofing, ornamental iron work, bond, fire doors, rolling steel sash, excavation, piles. Architect taking bids due July 31st, 10 A. M.

**Office Building and Bank**, Northeast Corner Broad and Arch streets, Philadelphia. Architects, Dennison & Hiron, 288 Lexington avenue, New York City. Owners, Liberty Title & Trust Co., on premises. Reinforced concrete, brick, cut stone, steel, granite, 21 stories and basement and sub-basement, 97x60 feet, vacuum heat, National full weight pipe in heating, electric light, metal lath, tile, marble and terrazzo work, rolling steel sash, hollow metal doors, bond, iron stairs, ornamental iron work, mail chutes, architectural terra cotta, shoring, waterproofing, elevators, cement floors, Barrett's Specification and Spanish tile oof, sheet piling, caulking, painting and glazing, eading wrought iron pipe or equal in plumbing. Architects taking bids due August 12th at 3 P. M.

**Schools (imp.)**, various locations, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Owners taking bids due August 7th at noon. Sanitary improvements, rebuilding boilers, erection of lunch kitchen, ventilator fans, repairs to drainage, wire guards on radiators, wire fence, grading, surfacing and fencing, project storage balcony, etc. General alterations and improvements, repairs to cement and brick pavements, new iron flag poles, portable buildings, repairs to passenger elevator, new cases in passageway to auditorium, electric lighting, wire screens, moving picture machines, new elevator controlling apparatus, general repairs, etc.

**Residence and Garage**, Allen Lane and

McCallum street, Mt. Airy, Philadelphia. Architects, Willing, Sims & Talbutt, 129 South Eighteenth street, Philadelphia. Owner, Dr. George Woodward, Mermaid Lane, Chestnut Hill, Pa. Stone, 2½ stories, 81x22 feet, wing 48x19 feet, 22x22 feet (heating, plumbing and electric reserved), slate roof, oak and pine and cement floors, tile work, ornamental iron work. Architects taking bids due August 1st.

**Gladstone Annex (alts.)**, 334-36 South Mer-vine street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, Edelstein, Bernstein & Richman, 215 South Fifteenth street, Philadelphia. Brick, cut stone, slag roof, cement and oak floors, roof ventilators, cold water painting, architectural terra cotta, ornamental iron work, bond, hollow metal sash and skylights, tile and marble work, metal lath, painting, plastering, stiar work, carpentry and mill work, fireproofing, sheet metal work. Architect taking bids due August 6th, 1 P. M.

**Alterations**, 1730 West Girard avenue, Philadelphia. Architect, Conrad Neff, 1200 Locust streets, Philadelphia. Owner, Frederick Robinson, 1730 West Girard avenue, Philadelphia. Carpentry and mill work, oak floors, plastering, painting and glazing, tile work, hardware, linoleum floors, electric work, plumbing, wrought iron pipe in plumbing, hot water heat, wrought iron pipe in heating, raising slag roof. Architect taking bids due August 1st.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Works, Bureau of Water, 216 City Hall. Architect taking bids due August 6th, 11 A. M. (Standard Time). Inquire 796. Boiler house roof, Shawmont Pumping Station; grading, dredging, miscellaneous improvements to river front at Lardner's Point; boiler feed heating plants, furnish and delivering discharge pipe, furnishing and delivering bronze impeller.

**Miscellaneous Work**, Philadelphia. Owners, Department of Wharves, Docks and Ferries, Chestnut Street Pier, Philadelphia. Schedule A, water supply and plumbing for Porter Street, Pier No. 84, South Wharves. Schedule B, automatic control for fire pump, Girard Piers, No. 3-No. 5, North Delaware avenue. Plans may be secured from Room 204, Municipal Pier No. 4, South Wharves. Certified check 5% of amount of bid must accompany each bid. Owners taking bids due August 8th at 11 A. M. (Standard Time) in 211 Municipal Pier, No. 4, South Wharves.

**Heating**, Philadelphia, Dock street, between Moravian and Walnut streets. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Seamen's Institute, Second and Walnut streets, Philadelphia. Architects taking bids for July 30th.

**Store Building**, 1307 Market street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Truly

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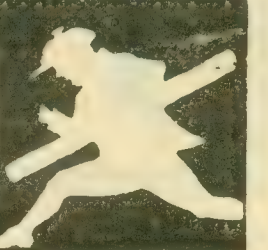
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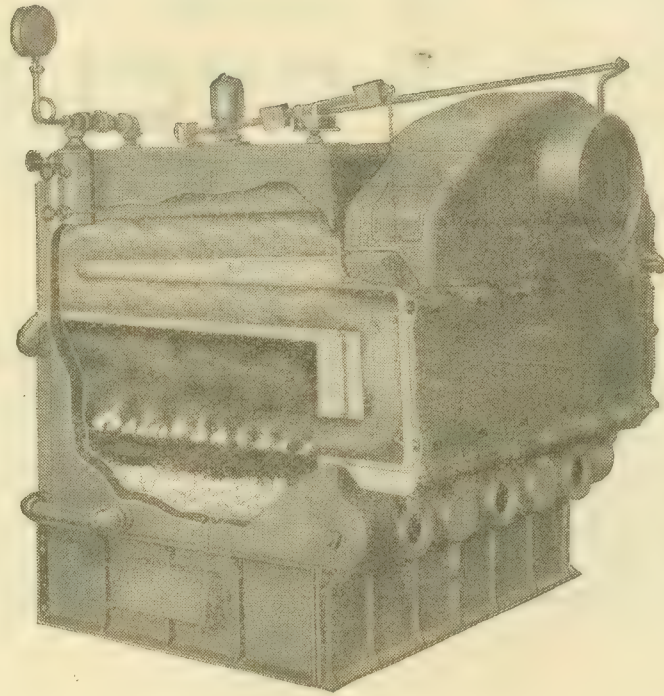
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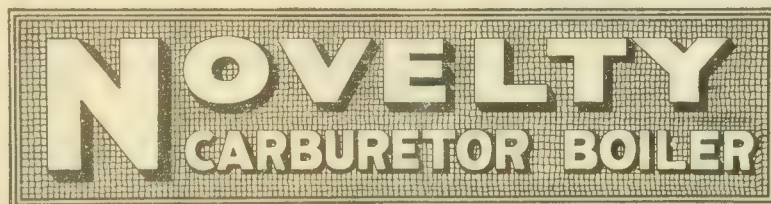
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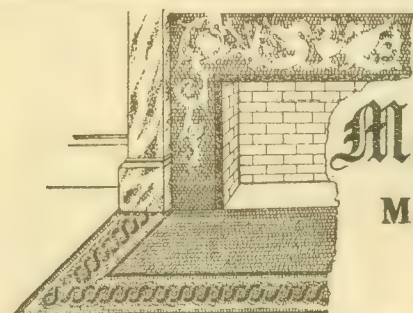
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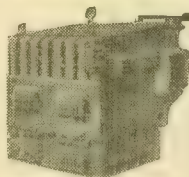
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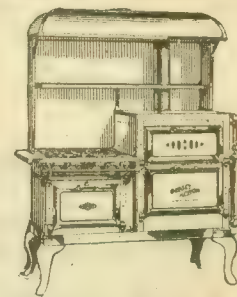
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**Paving, Philadelphia. Paving.** Owners, Department of Public Works, Bureau of Highways, 216 City Hall. Low bidders: Schedule A, grading—Fairhill St., Wingohocking to Blavis; Wingohocking, Reese to Fairhill; Wyoming, 5th to Fairhill sts.; Thomas Flanagan, 531 E. Girard Ave., Philadelphia; \$2,253.12. Park street, Medary to Godfrey; Twelfth, Champlost to Spencer; Thirteenth, Champlost to Spencer street; Frank Mark Cont. Co., 2820 North Twenty-first street, Philadelphia, \$8,722.06. Sheldon, Wister to Collum; R. B. Wenner, 3106 Midvale avenue, \$3,773.76. Schedule B, asphalt paving—Bass street, Phil-Ellena to Dorset; Crowson, Phil-Ellena to Dorset street, Philadelphia; Barber Asphalt Paving Co., 139 North Thirtieth street, \$7,537.85. Broad, intersection of Roosevelt Boulevard and Cayuga street; Collins, Williard to Tioga; Glenwood, Ridge to Northeast line of City Property, Broad street; Barber Asphalt Paving Co., 139 South Thirtieth street, \$3,555.18. Collins, Eastern Paving Co., Colonial Trust Building, \$14,298.55. Glenwood avenue, no bid received. Hunting Park avenue, Worrell to Torresdale; Worrell, Potter to Frankford; Eastern Paving Co., Colonial Trust Building, \$16,751.25. Ritner, Passyunk to Twenty-second street; Barber Asphalt Paving Co., 139 South Thirtieth street, \$7,952.26. Rorer, Tioga to Ontario streets; Eastern Paving Co., Colonial Trust Building, Philadelphia, \$6,523. Schedule C—Vitrified Block paving: Zeralda, Pulaski to Apsley; J. F. Nolen & Son, 364 East Penn street, Philadelphia, \$5,929.28. Schedule D—Improvement of Spring Garden street,

from Delaware avenue to Sixth street; Eastern Paving Co., Colonial Trust Building, \$169,987.80. Schedule E—Thirty-third street, bridge over Pennsylvania Railroad (New York Branch); William A. Mundy, 226 South Warnock street, Philadelphia, \$5,652.50. Twenty-first street, bridge over Philadelphia & Reading Railroad (Main Line), John B. McHugh, Jr., 892 North Markoe street, Philadelphia, \$4,300.

**Garage (add.)**, 4315-19 Lancaster avenue, Philadelphia, \$10,000. Architect, private plans. Owners, Hoskins & Crest, 5601 Thomas avenue, Philadelphia. Brick, 1 story, 60x75 feet, slag roof, cement floors, electric light. Owners will build.

**Manufacturing Building**, Southwest Corner Forty-eighth and Brown streets, \$5,800. Architects, William Steele & Sons Co., 219 North Broad street, Philadelphia. Owners, Universal Dental Co., Thirty-third and Columbia avenue, Philadelphia. Reinforced concrete and brick, 2 stories, 47 feet, 6 inches x 97 feet, 7 inches, 90x35 feet, slag roof, cement floors, steel sash, steam heat, electric work, plumbing. Architects will build.

**Residences (2)**, West side Ditman street, North of Princeton, \$4,200 each. Architect, private plans. Owner, Daniel Gerecke, 3114 Disston street, Philadelphia. Brick, 2 stories, 16x40 feet, hot water heat, electric light. Owner will build.

**Residences (25)**, 6601-49 North Seventeenth street, Philadelphia, \$156,000. Architect, private plans. Owners, W. Fischer & Sons, 209 Oak Lane, Philadelphia. Brick, 2 stories, (1) 16x46 feet, (24) 15x33 feet, 11x11 feet, hot water heat, electric light. Owners will build.

**Residences (46)**, Eighteenth street and Me-

dary avenue, Philadelphia, \$185,000. Architect, private plans. Owner, H. Izenberg, 2958 Aramingo avenue, Philadelphia. Brick, 2 stories, (45) 15x29 feet, 12x11 feet and (1) 16x49 feet, hot water heat, electric light. Owner will build.

**Garages (2)**, South side Point Breeze avenue, East of Twenty-fourth, \$10,400 total. Architect, private plans. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 1 story, 18x155 feet and 18x120 feet, cement floors. Owner will build.

**Residences (4)**, North side Flamingo street, West of Ridge avenue, \$7,000 each. Architect, private plans. Owners, G. L. & J. K. Callahan, 542 Fairborne avenue, Philadelphia. Stone and frame, 2 stories, 16x18 feet, 21x16 feet, hot water heat, electric light. Owners will build.

**Residence**, West side Montour street, South of Cottman street, \$6,500. Architect, private plans. Owner, Harry Gorelick, 2427 Douglas street, Philadelphia. Brick, 2 stories, 16x46 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

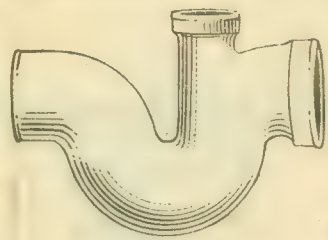
**Residences (10)**, Champlost avenue and Philip street, \$44,600. Architect, private plans. Owner, Joseph Sheperla, 1152 Wagner avenue, Philadelphia. Brick, 2 stories, 16x28 feet, 13x10 feet, hot water heating, electric lighting. Owner will build.

**Residences (25)**, Eighteenth street and Sixty-sixth avenue, Philadelphia, \$158,000. Architect, private plans. Owner, Joseph Cutler, 1811 North Seventh street, Philadelphia. Brick, 2 stories, (1) 16x50 feet, (24) 16x32 feet, 13x10 feet, hot water heat, electric light. Owner will build.

**Residences (2) (alts. and add.)**, 1152-54 South Thirteenth street, \$5,000. Architect, private plans. Owners, Federal Cont. & Eng. Co., 1240 Reed street, Philadelphia. Brick, 3 stories add., 14x18 feet, general alterations. Owners will build.

**Office and Storage Building (alts.)**, 1528 Cherry street, \$2,700. Architect, private plans. Owners, J. S. Cornell & Son, 1412 Morris Building, Philadelphia. General alterations. Owners will build.

**Residences (18)**, Residences and Garages (4), Fifty-second and Susquehanna avenue, Philadelphia, \$139,000. Owner, A. Koch, 4284 Parkside avenue, Philadelphia. Brick, 2 sto-



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ries, (3) 16x31 feet, 18x14 feet, (1) 47x20x16 feet, (18) 16x33 feet, 12x16 feet, hot water heat, electric light. Owner will build.

**Residences (4)**, West side Marsden street, North of Hellerman, \$16,200. Architect, private plans. Owner, Charles H. Dunker, 3721 Disston street, Philadelphia. Brick, 2 stories, 16x37 feet, hot air heat, electric light. Owner will build.

**Residences (6)**, North side New Queen street, West of Thirty-fifth street, \$5,300 each. Architect, private plans. Owners, Lally Brothers, 3533 New Queen street, Philadelphia. Brick, 2 stories, 16x27 feet, 12x16 feet, slag roof, hot water heat, electric light. Owners will build.

**Residences (2)**, East side Bingham street, North of Shellmire street, \$5,000 each. Architect, private plans. Owner, James Kerr, 1012 Nedro avenue, Philadelphia. Brick, 2 stories, 16x49 feet, hot water heat, electric light. Owner will build.

**Residences (8)**, South side Rector street, East of Henry avenue, \$5,800 each. Architect, private plans. Owners, C. M. Swartley & Son, 6835 Ridge avenue, Philadelphia. Brick, 2 stories, 20x33 feet, hot water heat, electric light. Owners will build.

**Foot Bridges (2) (alts.)**, 813-15 Filbert street, \$5,000 each. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Strawbridge & Clothier, Eighth and Market streets, Philadelphia. General alterations. Owners will build.

**Residences (2)**, 5738-40 Rising Sun avenue, Philadelphia, \$7,000 each. Architect, private plans. Owner, Charles Weideman, 708 Van Kirk street, Philadelphia. Brick, 3 stories, 16x53 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, 310-16 Jackson street, Philadel-

phia, \$20,000. Architect, private plans. Owner, I. Gershman, 315 Jackson street, Philadelphia. Brick, 2 stories, 61x60 feet, 38x48 feet, steam heat, electric light, cement floors. Owner will build.

**Residences (21)**, Fifth and Wyoming avenue, Philadelphia, \$128,500. Architect, private plans. Owners, F. W. Biddle & Co., 4651 North Fifth street, Philadelphia. Brick, 2 stories, (19) 15x29 feet, 12x16 feet, (1) 16x46 feet, and (1) 3 stories, 18x29 feet, 15x16 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage and Stable**, South Grant avenue, West of Academy Road, \$2,300. Architect,

private plans. Owner, Stephen M. Berbo, on premises. Brick and frame, 2 stories, 30x30 feet. Owner will build.

**Residence**, East side State Road, North of Arendel avenue, \$3,500. Architect, private plans. Owner, Elmer Irons, Arendel avenue, Torresdale, Philadelphia. Frame, 2 stories, 16x32 feet, hot air heat, electric light. Owner will build.

**Residences (2)**, 4559-61 Bermuda street, Philadelphia, \$4,500 each. Architect, private plans. Owner, Stephen Wzsrolek, 4563 Bermuda street, Philadelphia. Brick, 2 stories, 16x52 feet, slag roof, electric work. Owner will build.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Home (add. and alts.)**, South side School Lane, East of Phila. & Reading Railroad, \$7,000. Architect, private plans. Owners, Sheltering Arms, Southeast Corner Franklin and Brown streets, Philadelphia. Brick, 3 stories add., 9x20 feet, pine floors, concrete roof. Contract awarded to R. C. Ballinger & Co., 925 Walnut street, Philadelphia.

**Store and Residence (add.)**, 1236 North Fifty-second street, Philadelphia, \$7,500. Architect, private plans. Owner, Harry Askin, 1236 North Fifty-second street, Philadelphia. Brick, 2 stories add., 16x10 feet. Contract

awarded to H. Krokover, 837 North Forty-first street, Philadelphia.

**Residences (6)**, South side Robbins avenue, East of Oakley street, \$4,500 each. Architect, private plans. Owner, Leslie F. Quinlan, 917 Princeton avenue, Philadelphia. Brick, 2 stories, 14 feet, 6 inches x 35 feet, hot water heat, electric light. Contract awarded to C. W. Rutter, 900 Robbins avenue, Philadelphia.

**Garage**, 5121 North Warnock street, Philadelphia, \$3,500. Architect, private plans. Owner, R. Blumberg, 5124 North Tenth street, Philadelphia. Brick, 1 story, 32x32 feet, slag

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roof, cement floors. Contract awarded to M. Yackintz, 4544 North Warnock street, Philadelphia.

**Store and Show Room**, 1013 Cherry street, Philadelphia, \$18,500. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Samuel W. Haines & Co., 1023 Filbert street, Philadelphia. Brick, 3 stories, 18x93 feet, slag roof, maple floors, steam heat, electric light, rolling steel sash, elevators. Contract awarded to F. A. Havens Co.,

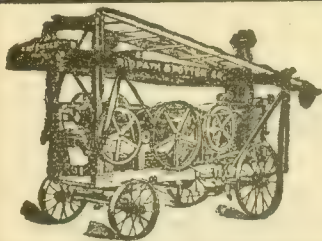


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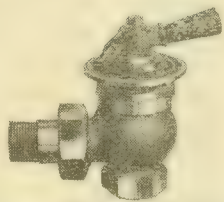
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845 North Nineteenth street, Philadelphia.

**Service and Office Building**, Sixteenth and North Philadelphia Station, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Joseph J. Greenburg, 1421 Chestnut street, Philadelphia. Reinforced concrete, cut stone, brick, 5 stories, 203x116 feet, slag roof, cement floors, hollow tile, painting and glazing, plumbing, ornamental iron work, bond, tin covered and hollow metal doors, tile, rolling steel skylights and sash, metal lath, steam heat, electric precast concrete, wrought steel pipe in heating, galvanized steel and cast iron in plumbing. Contract awarded J. S. Rogers Co., Drexel Building, Philadelphia.

**Residence (alts. and add.)**, Overbrook, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owner, John J. Gallagher, care of architect. Brick, hollow tile and stucco, 1½ stories, add. (plumbing, heating and electric reserved), shingle and tile roof, oak and pine floors, painting and glazing, ornamental iron work, bond, tile work, metal lath, plastic floors. Contract awarded to Alex. McTavish, 2026 Waverly street, Philadelphia.

**Moving Private Patients' Building**, Penn and Chew streets, Philadelphia. Architect, A. H. Brockie, 254 South Fifteenth street, Philadelphia. Owners, Germantown Hospital, Penn and Chew streets, Philadelphia. Brick, steel, painting and glazing, plastering, 3 stories and basement, 113x42 feet, repairs to roof, plumbing, elevators, metal lath, tile and marble work, fire doors, bond, ornamental iron work, carpentry and mill work, hardware, cast iron pipe in plumbing. Contract awarded to Ketcham & McQuade, 1029 Brown street, Philadelphia.

**Church**, Cobb's Creek Boulevard and Cedar avenue, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owners, St. Carthage's Roman Catholic Church, Rev. P. F. O'Neill, on premises. Reinforced concrete, brick, steel, cut stone, 1 story and basement, 100x155 feet, tile roof, maple and cement floors, hollow tile, metal lath, bond, rolling steel sash. Contract awarded to B. J. McKenna, 1713 Moravian street, Philadelphia. Foundations and reinforced concrete work awarded to Frederick Massiah, Juniper and Cypress streets, Philadelphia, \$24,000.

**Stores and Apartments**, 1236 North Fifty-second street, Philadelphia. Architect, William L. Crarr, 1236 North Fifty-second street, Philadelphia, 149 South Fourth street. Owner, Harry Askin, 1236 North Fifty-second street, Philadelphia. Brick, steel, 3 stories, 16x90 feet, hot water heat, electric light, slag roof, composition and pine floors, metal ceilings, ornamental iron work, iron stairs, metal bulks, bond, store fixtures, hollow metal sky-

lights, tile work, metal lath. Contract awarded Krakoven Brothers, 837 North Forty-first street, Philadelphia.

**School Building and Auditorium**, Fox street and School House Lane, Germantown. Architects, Zantzing, Borie & Medary, Otis Building, Philadelphia. Owners, William Penn Crarter School, Twelfth above Chestnut street, Philadelphia. Stone, 2 stories and basement, 85x55 feet, 56x120 feet, 39x86 feet, slate roof, concrete and maple floors, hollow tile, roof ventilators, iron stairs, ornamental iron work, tile and marble work, electric light, central steam heat. Contract awarded to H. H. Conway, 5800 Walnut street, Philadelphia.

**Stores (5) and Apartment**, Northeast Corner Sixteenth and South streets, Philadelphia, \$9,800. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, A. Simon, care of architect. Brick, steel, 3 stories, 32x60 feet, slag roof, hot water heat, electric light, tile and marble work, metal lath, hollow metal skylights, store fixtures, bond, metal bulks, floor hardener, metal ceilings, slag roof. Contract awarded Archibald McTavish, 2026 Waverly street, Philadelphia.

**Garage**, Northwest Corner Twenty-fourth and Reed streets, Philadelphia, \$30,000. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, Walter Smith, Third and Reed streets, Philadelphia. Brick, steel, 1 story, 102x128 feet, gypsum roof, concrete floors, steam heat, electric light, rolling steel sash, hollow metal skylights, flush bulks, steel columns and girders, plate glass. Contract awarded to Franklin Const. Co., 23 South Sixteenth street, Philadelphia.

**Contracts Nos. 17-18**, Delaware River Bridge, \$3,305,500. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Contract No. 17, structural metal work, Philadelphia approach. Contract No. 18, structural metal work, Camden approach. Contract awarded American Bridge Co., Widener Building, Philadelphia.

**Foundation and Footing**, Northeast Corner Twenty-first and Ridge avenue, \$30,000. Engineer, P. M. Sax, Penfield Building, Philadelphia. Owners, American League Baseball Club of Philadelphia, Twenty-first and Lehigh avenue, Philadelphia. Concrete. Contract awarded to F. V. Warren Co., 1913 Arch street, Philadelphia.

**Garage and Show Room**, 6031-41 Larchwood avenue, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owners, Berger & Wernick, 505 South Sixtieth street, Philadelphia. Brick, steel, 1 story, 90x110 feet, slag roof, cement floors, electric light. Contract awarded J. Rosenberg and David Toll, 6025 Irving street, Philadelphia.

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**Residence (alts. and add.)**, 1823 Delancey street, Philadelphia, \$2,675. Architects, Willing, Sims & Talbutt, 126 South Eighteenth street, Philadelphia. Owner, George S. Patterson, on premises. Tile work, carpentry, mill work, plastering, painting, glazing (heating, electric and plumbing reserved), 1 story add., 5x7 feet. Contract awarded to William J. Ryder, 1725 Sansom street, Philadelphia.

**Garage**, East side Winston Road, North of Mermaid Lane, \$18,000. Architect, private plans. Owner, James Molloy, Chestnut Hill, Pa. Brick, 1 story, 50x70 feet, slag roof, cement floors. Contract awarded to F. W. Reed Co., 34 South Seventeenth street, Philadelphia.

**Warehouse (alts.)**, Southeast Corner Second and Willey streets, Philadelphia, \$12,000. Architects, H. Miller & Co., 34 South Seventeenth street, Philadelphia. Owners, William Montgomery & Co., on premises. Reinforced concrete and steel, carpentry, mill work. Contract awarded to Roberts & Roller, 1904 Sansom street, Philadelphia.

**Residences (8)**, South side Walnut Lane, West of Ridge avenue, \$6,500 each. Architect, private plans. Owner, Charles Bennett, 5632 Ridge avenue, Philadelphia. Brick, 2 stories, 16x40 feet, tin roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to E. L. Cuthbertson, 334 Roxboro avenue, Philadelphia.

**Greenhouse**, North side Johnson street, West of Germantown avenue, \$7,000. Architect, private plans. Owner, Emil H. Gertick, 29 West Johnson street, Philadelphia. Corrugated iron, glass, 1 story, 18x139 feet. Contract awarded to Hitchings & Co., Elizabeth, N. J.

**Hall (alts. and add.)**, 1815-17 South Sixth street, Philadelphia, \$6,500. Architect, private plans. Owners, Kier Scherker Beneficial Association, on premises. Brick, 1 story add., 16x32 feet, general alterations. Contract awarded to Dooley & Miller, 5130 North Hutchinson street.

**Cafe and Office (alts.)**, 1315-17 Sansom street, Philadelphia, \$6,000. Owners, Sush & Miller, 1218 Real Estate Trust Building, Philadelphia. General alterations. Contract awarded to John De Paul & Brother, 80 East Sharpnack street.

**Garage (add.)**, 725-29 South Broad street, Philadelphia, \$4,850. Architect, private plans. Owners, N. Millichap & Bro., on premises. Brick, 1 story add., 58x38 feet. Contract awarded to General Repair Co., 1721 North Sixteenth street.

**Garage**, North side Gowen avenue, East of Germantown avenue, \$24,000. Architect, private plans. Owner, Mary A. Bracken, 7403 Germantown avenue, Philadelphia. Stone, 1 story, 96x91 feet, slate roof, cement floors. Contract awarded to Thomas J. Whelan & Son, 220 Sydney avenue, Philadelphia.

**Office Building**, Northwest Corner Tacony and Church streets, \$16,000. Architects, Stearns & Woodnutt, Stephen Girard Building, Philadelphia. Owners, Smedley Brothers Co., on premises. Brick, 1 story and basement, 35x57 feet, slag roof, hot water heat, electric light. Contract awarded to John F. Davies, 1021 Herbert street, Philadelphia.

**Stores and Residences (alts.)**, 1117 North Fortieth street, \$4,000. Architect, private plans. Owner, M. Soble, 3960 Ogden street, Philadelphia. General alterations. Contract awarded to B. Bannett, 8216 Eastwick avenue, Philadelphia.

**Bridge**, Sixty-eighth street, over Baltimore & Ohio Railroad, Philadelphia, \$69,798. Architect, private plans. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Contract awarded Mundy Paving & Const. Co., 226 South Warnock street.

**Garage**, 6031-41 Larchwood avenue, Philadelphia, \$25,000. Architect, private plans.

Owners, Bergner & Wernich, on premises. Brick, 1 story, 88x112 feet, 6 inches, slag roof, cement floors. Contract awarded to J. M. Rosenberg, 6025 Irving street, Philadelphia.

**Residences (2)**, West side Ardleigh street, South of Gorgas street, \$13,000 each. Architect, private plans. Owners, W. P. Fleming and B. L. Binno, Musgrave and Pleasant streets. Stone, 3 stories, 26x40 feet, shingle roof, hot water heat, electric work. Contract awarded to W. H. Megargee, 124 East Gorgas Lane, Philadelphia.

**Residence (add.)**, West side Norwood avenue, South of Sunset avenue, \$10,000. Architect, private plans. Owner, William Schuyler Volkman, on premises. Brick, 1 story add., 20x26 feet. Contract awarded to Melvin H. Grebe, 5 East Highland avenue, Philadelphia.

**Garage and Store**, 818-20 East Tioga street, Philadelphia, \$3,500. Architect, private plans. Owner, Mrs. Mary Britt, 822 East Tioga street, Philadelphia. Brick, 1 story, 30x73 feet, 6 inches, pine floors, electric light. Contract awarded to D. J. Britt, 741 East Kings-ton street, Philadelphia.

**Store and Storage Building (add.)**, 10 South Mole street, \$3,500. Owner, Jacob M. Deutsches, Norwood, Pa. Brick, 1 story add., 15x22 feet. Contract awarded to George L. Dougherty, 1723 Ludlow street, Philadelphia.

**Residence (1) and Garages (2)**, Seventeenth and Cayuga streets, Philadelphia, \$13,000. Owner, Jacob Loudon, Seventeenth and Cayuga streets, Philadelphia. Brick, 2 stories, 34x30 feet, 14x19 feet, slag roof, hardwood, pine and cement floors, garages, 1 story, 47x16 feet and 95x18 feet, slag roof, electric light. Contract awarded to Morris Yacknitz, 4544 Warnock street, Philadelphia.

**Residence (alts. and add.)**, 539 West Butler street, \$3,500. Architect, private plans. Owner, A. Marten, on premises. Brick, 2 stories add., 16x15 feet, general alterations. Contract awarded to F. Nocentine, 527 West Butler street, Philadelphia.

**Store and Storage (alts. and add.)**, 2113 North Front street, \$3,000. Architect, private plans. Owner, Nathan Pearlstein, on premises. Brick, 1 story add., 12x14 feet, general alterations. Contract awarded to Lester M. Shestack, 826 Arch street, Philadelphia.

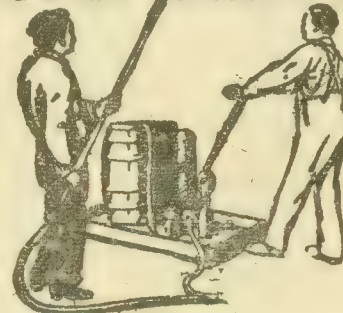
**Residence (alts.)**, 1142 South Fifth street, Philadelphia, \$2,500. Architect, private plans. Owner, Simon Eveloff, on premises. General alterations. Contract awarded to Hyman Shumsky, 1310 South Second street, Philadelphia.

**Residence (alts. and add.)**, 505 West Rising Sun avenue, \$2,000. Architect, private plans. Owner, Joseph Galino, on premises. Brick, 1 story add., 15x6 feet, general altera-

tions. Contract awarded to F. Mocotino, 527 West Butler street, Philadelphia.

**Residences (62)**, Sixty-seventh and Linmore streets, Philadelphia, \$5,000 each. Architect, private plans. Owner, Timothy Gallagher, Fifty-fifth and Springfield avenue, Philadelphia. Brick, 2 stories, 18x31 feet, hot water heat, electric light. Contract awarded

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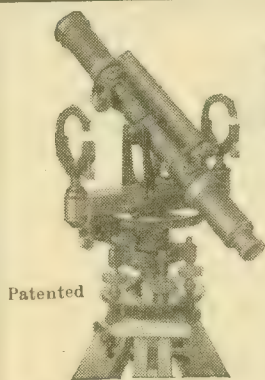
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**Garage**, 2618-20 West Hagert street, Philadelphia, \$5,000. Architect, private plans. Owner, Buhfant, 2508 West Hagert street, Philadelphia. Brick, 1 story, 40x86 feet, slag roof, cement floors. Contract awarded to Fred A. Schumacher, 2829 West Harold street.

**Residences (3) (alts.)**, 3352-54-56 Agate street, total \$4,500. Architect, private plans. Owner, Tony Rossella, 3257 Memphis street, Philadelphia. New brick fronts and backs. Contract awarded to Edward Caruso, 2819 Edgemont street, Philadelphia.

**Residence**, South side Devereaux street, East Bingham street, \$7,500. Architect, private plans. Owner, Charles Leight, 6135 Bingham street, Philadelphia. Brick and frame, 2 stories, 26x26 feet, hot water heat, electric work. Contract awarded to Jacob Hansen, Afton street, Fox Chase, Pa.

**Store (alts.)**, 3324 Kensington avenue, Philadelphia. Architect, private plans. Owner, P. G. Horwitz, on premises. Mill work, carpentry, plate glass, flush bulks, tile and marble work. Contract awarded to J. Maurer Co., 1304 North Second street, Philadelphia.

**Bank (add.)**, Northeast Corner Rising Sun avenue and Magee street, \$7,000. Architect, private plans. Owners, Lawndale Bank, on premises. Brick, 1 story add., 31 feet, 6 inches x 33 feet, 6 inches. Contract awarded to C. C. Campbell, 6419 Bingham street, Philadelphia.

**Residence**, West side Emerson street, South of Loretta street, \$4,800. Architect, private plans. Owners, Robert Carnwath, Jenkintown, Pa. Frame, 1 story, 24x38 feet, hot water heat, electric light. Contract awarded to Jacob Hansen, Afton street, Fox Chase, Pa.

**Residence and Store (alts. and add.)**, 833 North Eleventh street, \$2,200. Architect, private plans. Owner, M. Yeranian, 5133 Germantown avenue, Philadelphia. Brick, 3 stories add., 12x10 feet, general alterations. Contract awarded to J. D. Alahaerda, 2625 North Jessup street, Philadelphia.

**Garage**, 12 East Chestnut avenue, Philadelphia, \$5,200. Architect, private plans. Owner, E. B. Roninette, on premises. Stone, 1 story, 23x38 feet, slate roof, cement floors. Contract awarded to William J. Gruhler & Co., 219 High street, Philadelphia.

**Residence and Store (alts.)**, 2052 Fairmount avenue, \$2,400. Architect, private plans. Owner, A. Narkewicz, 2114 Summer street, Philadelphia. General alterations. Contract awarded to M. Zuekowski, 766 North Croskey street, Philadelphia.

**Pipe Tunnel**, Philadelphia Art Museum, Philadelphia, \$61,900. Architects, Borie, Trumbauer & Zantinger, Land Title Building, Philadelphia. Construction of pipe tunnel only. Contract awarded to O'Neill Const. Co., Schaff Building, Philadelphia.

Frame and stucco, 1 story, 34x58 feet, electric light. Plans in progress.

**Show Room**, Lackawanna avenue, Scranton, Pa. Architect, F. J. Miller, Brooks Building, Scranton, Pa. Owner, William L. Acker, Connell Building, Scranton, Pa. Brick and hollow tile, 1 story, 80x70 feet, concrete floors, tile work, electric light, plate glass. Plans in progress.

**Apartment**, Parsons, Pa. Architect, J. A. Boyle, Bennett Building, Wilkes-Barre, Pa. Owner, Charles Hannom, Parsons, Pa. Frame, 2 stories, 25x100 feet, shingle roof, pine floors, steam heat, electric light. Plans in progress.

**Parochial School**, Bristol, Pa. Architects, H. Rex Stackhouse and W. W. Donohoe, 1120 Locust street, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. Isidore Jenne, rector, Bristol, Pa. Brick, steel and hollow tile, 2 stories and basement, slag roof, steam heat, electric light, metal lumber. Will contain auditorium and class rooms. Plans in progress.

**Grade School**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. Fireproof, 2 stories, 172x124 feet, composition roof, composition and hardwood floors, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing, terra cotta or cast stone (heating, plumbing and electric work reserved), metal lath, tile, marble and terrazzo work, rolled steel sash, fire doors, bond, iron stairs, ornamental iron work. Plans in progress.

**School**, Harvey's Lake, Pa. Architects, Cook & Lacey, Miners' Bank Building, Wilkes-Barre, Pa. Owners, School District of Lake Township, Luzerne County, G. C. Armistage, Alderson, Pa. Concrete block, 1 story, 8 rooms, pine floors, electric light. Plans in progress.

**Residence**, Kingston, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, M. B. Mulligan, Kingston, Pa. Brick, tile, steel, 2½ stories, 40x32 feet, 29x20 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light, tile and marble work. Architects ready for bids.

**Residence**, Ambler, Pa. Architect, Joseph F. Lowery, Land Title Building, Philadelphia. Owner, H. Aigner, care of architect. Stone, 2½ stories. Will be ready for bids in a few days.

**Market House, Arcade and Comfort Station**, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owners, City of Bethlehem, City Hall, Bethlehem, Pa. Brick, steel, 1 story, 100x100 feet, 32x130 feet, 30x50 feet, slag roof, concrete floors, hollow tile, roof ventilators, waterproofing, steam heat, electric light, metal lath, tile and marble work, floor hardener. Owners will be ready for bids August 1st.

**Residences (4)**, Allentown, Pa. Architect, E. T. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, J. Snitzer, Allentown, Pa. Hollow tile, stucco, 2½ stories, 52x22 feet, shingle roof, hardwood floors, hot water heat, electric light. Owner taking sub-bids.

**School**, Ashley, Pa. Architect, T. H. Atherton, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Ashley School Board, care of architect. Brick, hollow tile, steel, 2 stories, 35x103 feet, slate roof, hardwood and pine floors, roof ventilators, steam heat, electric light, skylights. Owners ready for bids due about August 15th.

**Wilkes-Barre Hospital (add.)**, Wilkes-Barre, Pa. Architect, T. A. Foster, Coal Exchange Building, Wilkes-Barre. Owners, Wilkes-Barre Hospital, S. C. Chase, chairman, Building Committee, Wilkes-Barre, Pa. Brick, steel, fireproof, 4 stories and basement, 159x38 feet, flat roof, terrazzo and battleship linoleum

## PENNSYLVANIA

# Construction News

**Residence**, Latham Park, Montgomery Co., Pa. Architect, Conrad Neff, 1200 Locust St., Philadelphia. Owner, Mrs. Mary E. Ladow, 13th and Oaklane Ave., Philadelphia. 2½ stories, 48x46 feet, hollow tile or cement block, slate roof, tile work. Revised plans completed.

**Residence and Garage**, Ambler, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. J. Rex Hobensack, 1709 Columbia avenue, Philadelphia. Stone, 3 stories, 45x33 feet, 1 story, 20x25 feet, hot water heat, electric light, tile work, plumbing, slate roof, hardwood floors. Sketches drawn.

**Residence**, Ambler, Pa. Architect, James F. Lowery, Land Title Building, Philadelphia. Owner, H. Aigner, care of architect. Stone, 2½ stories, pine floors, electric light. Architect taking bids due August 1st.

**Residence**, Merion, Pa. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owner, Norman Jameson, care of architect. Stone, 2½ stories, slate roof, oak and pine floors. Architect taking bids due August 4th.

**Sewage Disposal Plant**, Borough of Media, Pa., \$50,000. Architects Reminton & Vosbury, Camden, N. J. Owners, Borough Council, Edward Minton, secretary, Borough Hall, Media. Construction of additional units at sewage disposal plant and 1 sewage pumping station, 18x18 feet, 1 story, stone, concrete tanks, concrete basin, mechanical equipment

Owners taking bids due July 31st at 7 P. M.

**Parochial School**, Nesquehoning, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owner, Rev. J. L. O'Connor, Nesquehoning, Pa. Brick, hollow tile and steel, 2 stories and basement, 63x80 feet, slag roof, pine floors, steam heat, electric light, tile work. Plans in progress.

**Apartment House**, Wilkes-Barre, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre. Owners, Ripkin & Krammer, Wilkes-Barre, Pa. Brick and hollow tile, 2 stories, 80x20 feet, slag roof, hardwood and pine floors, steam heat, electric light. Plans in progress.

**Store and Loft Building**, Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Joseph Coplan, Coal Exchange Building, Wilkes-Barre. Brick, 2 stories, 51x80 feet, slag roof, pine floors, electric light. Plans in progress.

**Garage**, Adams avenue and Spruce street, Scranton, Pa., \$250,000. Architect, Lester Davis, 616 Spruce street, Scranton, Pa. Owner, P. J. Casey, Hotel Casey, Scranton, Pa. Brick, terra cotta, steel, 3 stories and basement, 120x160 feet, slag roof, cement floors, electric light, rolled steel sash. Plans completed.

**Fire House**, Scranton, Pa. Architect, F. J. Miller, Brooks Building. Washington and Spruce streets, Scranton, Pa. Owners, City of Scranton, John Durkin, City Hall, Scranton.

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floors, hollow tile, roof ventilators, waterproofing and dampproofing, heating extension, electric light, metal lath, tile and marble work, fire and kalamein doors, iron stairs. Will be ready for bids about August 4th.

**Residence**, Auburn avenue, Chestnut Hill, Pa. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owner, Edward L. Clark, Chestnut Hill, Pa. Stone, 2½ stories, 44x50 feet (heating, electric and plumbing reserved), slate roof, oak and pine floors, tile work, ornamental iron work. Architect taking bids due August 2nd.

**Sheridan School**, Sixth Ward, Allentown, Pa. Architect, Henry Anderson, Allentown Bank Building, Allentown, Pa. Owners, School District, City of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. Brick, 3 stories and basement, 12 rooms, 60x120 feet (heating, electric work and plumbing reserved). Owners taking bids due August 12th at 8 P. M.

**Storage Reservoir (completing)**, Milltown, East Goshen Township, Chester. Engineer, T. G. Colesworthy, Court House, West Chester, Pa. Owners, Borough Council, M. M. Davis, secretary, Borough Hall, West Chester. Completion includes excavation, riprap paving, connecting with settling pond and general clean-up. Deposit, \$10. Refund, \$10. Bond, 50% of amount of contract price. Certified check, \$500. Owners taking bids due August 5th at noon.

**Dormitories, Boiler House and Moving Observatory**, Lancaster, Pa. Architects, Day & Klauder, 1415 Chestnut street, Philadelphia. Owners, Franklin & Marshall College, Lancaster, Pa. Brick, cut stone, steel, reinforced concrete. Franklin Hall and Meyron Hall, 3 stories, 118x34 feet. Duty Hall and Dantie Hall, 3 stories, 118x34 feet, slate roof, cement floors, plumbing, waterproofing, ornamental iron work, bond, kalamein doors, marble and terrazzo work, metal lath, electric light, vacuum heat, Reading wrought iron pipe in heating, fireproofing, Reading or Byers galvanized wrought iron pipe in plumbing. Architects taking bids due August 14th.

**Gymnasium**, Lancaster, Pa. Architect, William C. Pritchett, 225 South Sixth street, Philadelphia. Owners, Franklin & Marshall College, Lancaster, Pa. 1 story and basement, 58x129 feet, brick and concrete. Architect taking bids due August 14th.

**Church**, Roslyn, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owners, Roslyn Presbyterian Church, Roslyn, Pa. Stone, 1½ stories, 68x37 feet, slate roof, pine floors, steam heat, electric light. Architects taking bids due August 2nd.

**Duplex Residence**, Scranton, Pa. Architect, J. H. Davey, Coal Exchange Building, Scranton, Pa. Owner, A. F. Kizer, Mears Building, Scranton, Pa. Frame and stucco, 2 stories, 26x44 feet, shingle roof, hardwood floors, steam heat, electric light, tile work. Owner will take bids.

**Residence**, Rydal, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Mrs. C. E. Doan, care of architect. Stone, 2½ stories. Architect taking bids due August 1st.

## Pennsylvania

### Contracts Awarded

**Coaling Station**, Birdsboro, Pa. Architect, Samuel T. Wagner, Twelfth and Market streets, Philadelphia. Owners, Philadelphia & Reading Railroad, Twelfth and Market streets, Philadelphia. Reinforced concrete, steel, painting, ornamental iron work, concrete, (5) stave silos, track hopper, with steel superstructure, chute gale and equipment, deep water ash pit, water supply and

drainage system, cable conveyor with equipment supported on steel, hoist house, frame sanding station. Contract awarded Curtis Grindrod, 10 South Eighteenth street, Philadelphia.

**Apartment House**, Main street, Norristown, \$70,000. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owner, Abe Sablosky, 1916 Race street, Philadelphia. Frame and stucco, 3 stories, 25x120 feet, slag roof, composition floors, steam heat, electric light, tile and marble work, plumbing, incinerators, kitchen equipment. Contract awarded Frank R. Heavner, Norristown, Pa.

**Store and Apartment**, Edwardsville, Pa. Architect, J. A. Boyle, Bennett Building, Wilkes-Barre, Pa. Owners, Fisher Brothers, Main street, Edwardsville, Pa. Brick, tile, 2 stories, 24x68 feet, slag roof, pine floors, metal ceilings, hot water heat, electric light, tile work, plate glass. Contract awarded to Manganiello Brothers, Wyoming Pa.

**Hospital (add.)**, Wilkes-Barre, Pa. Architects, Mack & Sahm, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Wyoming Valley Hospital, care of architects. Brick, steel, 3 stories, 18x40 feet, slag roof, tile floors, roof ventilators, vapor heat, electric light, tile work, fire doors. Contract awarded to Shepherd Const. Co., Wilkes-Barre, Pa.

**Church**, Sayersville, Pa. Architect, J. A. McGlynn, Bennett Building, Wilkes-Barre, Pa. Owners, St. Mary's Polish Cong., Rev. Drapiewski, Sayersville, Pa. Brick, hollow tile and steel, 1 story, 46x100 feet, slate roof, hardwood floors, hollow tile (heating, electric work and plumbing reserved), metal lath, tile work, ornamental iron work. Contract awarded to Alimo Brothers, Pittston, Pa.

**Church (superstructure)**, Kingston, Pa. Architect, J. A. McGlynn, Bennett Building, Wilkes-Barre, Pa. Owners, Sts. Cyril and Methodius Church, Rev. Bellas, Kingston. Brick, hollow tile and steel, 1 story, 50x114 feet, slate roof, hardwood floors, hollow tile (heating, electric work and plumbing reserved). Contract awarded to Alimo Brothers, Pittston, Pa.

**Store and Apartment**, Main and Walnut streets, Luzerne, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, G. Greenwald, 50 Main street, Luzerne, Pa. Frame, 2 stories, 45x80 feet, slag roof, hardwood floors, metal ceilings, steam heat, electric light, tile work. Contract awarded to Anthony Grosek, Plains, Pa.

**Parochial School**, Wilkes-Barre, Pa. Architect, Austin Reilly, Bennett Building, Wilkes-Barre, Pa. Owners, Sacred Heart Parish, Wilkes-Barre, Pa. Fireproof, steel, brick, 3 stories, 60x75 feet, Barrett Specification roof, hardwood floors, hollow tile, safety treads, roof ventilators (heating, electric work and plumbing reserved), metal lath, iron stairs. Contract awarded to A. M. Hildebrand, 91 Wood street, Wilkes-Barre.

**Store and Apartment Building**, Plains, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, A. J. Kaufer, Plains, Pa. Frame, 2 stories, 41x75 feet, tin roof, electric light, metal ceilings. Contract awarded to Anthony Grosek, Plains, Pa.

**Convent (add.)**, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Sts. Cyril and Methodius Roman Catholic Church, Rev. E. Stapleton, Bethlehem, Pa. Brick, 2 stories, 54x13 feet, slate roof, hardwood floors, electric

light, tile work. Contract awarded to F. B. Glassmire, Bethlehem Trust Building, Bethlehem.

**Bank and Office Building**, Uniontown, Pa. Architect, Albert Kahn, Detroit, Mich. Owners, Citizens' Title & Trust Co., Uniontown, Pa. Reinforced concrete, steel, cut stone, granite, limestone, brick, 7 stories and basement, 73x150 feet (plumbing, heating, electric and elevators separate bids), built-up asphalt roof, rubber tile and cement floors, hollow tile and cement floors, steel stack, roof ventilators, metal weather strips, shoring, waterproofing and dampproofing, ornamental iron work, iron stairs, hollow metal and vault doors, rolled steel sash and skylights, marble and terrazzo work, metal lath, separate prices on artificial stone, for cut stone, artificial stone for limestone. Contract awarded to Mellon-Stuart Co., Pittsburgh, Pa.

**School**, Rothsville, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Warwick Township School Board, Dr. Walters, secretary, Rothsville, Pa. Brick, steel, 2 stories and basement, 56x60 feet, slate roof, composition floors, safety treads, roof ventilators, dampproofing, metal lath. Contract awarded to H. Frey, Martindale, Pa., \$25,000.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa.

Lackawanna County, A-2631-2-3-4, R-335, Roaring Brook, Jefferson and Madison Townships and Elmhurst Borough, 30,340 feet. One course reinforced concrete. \$271,773.66. Contract awarded to H. B. Sproul Const. Co., Scranton, Pa.

Westmoreland County, A-143, Rostraver Township, 12,991 feet. One course reinforced concrete. \$193,748.47. Contract awarded to Frazier & Mansfield, McKeesport, Pa.

Blair County, R-55, Tyrone Borough, 1,607 feet. One course reinforced concrete. \$22,146.34. Contract awarded to Davis & Young, Hollidaysburg, Pa.

Dauphin County, Route 139, Paxtang Borough, 4,580 feet. One course reinforced concrete. \$51,567.59. Contract awarded to Pyramid Const. Co., Harrisburg, Pa.

Schuylkill County, Route 140, Pine Grove Borough, Pine Grove, Washington and Wayne Townships, 32,002 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$277,710.60. Contract awarded to Union Paving Co., Thirtieth and Locust streets, Philadelphia.

Washington County, Route 108, Section 2, North Strabane Township, 7,358 feet. One course reinforced concrete. \$88,292.05. Contract awarded to Thomas Arrigo, Charleroi, Pa.

## New Jersey Construction News

**Sewer Extension**, Borough of Audubon, N. J. Borough engineer, Court House, Camden, N. J. Owners, Borough of Audubon, H. K. Lawrence, Clerk, Commissioners' Chambers, School House No. 2, Wyoming and Mansion avenues, Audubon, N. J. Owners taking bids due August 5th, 8.30 P. M. (Daylight Saving Time). 2,327 feet 10-inch terra cotta pipe, 3,540 feet 8-inch terra cotta pipe, 1,378 feet 6-inch terra cotta pipe, 2,750 feet 4-inch terra cotta pipe house connections, 14 manholes, 8

## QUALITY MILLWORK

AT LOWER PRICES

RESIDENTIAL WORK A SPECIALTY

THOS. SIPPLE & SON

QUARRY ST. & B. & O. R. R.

BELL PHONE

DARBY, PA.



flush tanks, 52 6-inch Y 4-inch opening, 80 8-inch Y 4-inch opening, 33 10-inch Y 4-inch opening. Separate price per foot for extra deep sewer. Separate price per foot for extra deep manhole or flush tank. Bid must be accompanied by check of 5% of amount of bid. Penalty, \$5 for each day the work remains uncompleted after November 1st. Deposit, \$5.00.

**Church and Sunday School**, Collingswood, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, West Collingswood Methodist Episcopal Church, care of architects. Stone, 1 and 2 stories and basement, 38x90 feet, 36x92 feet, electric light. Too early for details.

**School (add.)**, Woodlynne, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owners, Board of Education of Woodlynne, care of architect. Brick, concrete block, steel, 2 stories and basement, 4 rooms, slag roof, pine floors, steam heat, electric light, metal lath. Plans in progress. Will be ready for bids in ten days.

**School**, North Rosedale, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden County School Board, Mr. Mackey, secretary, Camden, N. J. Fireproof, 3 stories, 160x82 feet, Barrett Specification roof, composition floors, hollow tile, roof ventilators, waterproofing and damp-proofing (heating, electric work and plumbing reserved), metal lath, tile work, rolled steel sash, steel doors, bond, iron stairs, ornamental iron work. Architects about ready for bids.

**Residence**, Haddon Heights, N. J. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, George Kruz, care of architect. Frame and brick, 1½ stories, 28x50 feet, asbestos shingle roof, hardwood floors, hot water heat, electric light, tile work. Plans will be ready for bids in one week.

**Fire House**, Merchantville, N. J. Architect, J. C. Jefferis, 312 Market street, Camden, N. J. Owners, Borough of Merchantville, care of Borough Clerk, Merchantville, N. J. Brick, stucco, steel, 1 story and basement, 24x50 feet, composition roof, concrete and maple floors, waterproofing, steam heat, electric light, metal lath. Architect ready for bids due August 11th.

**School Building**, Delaware Township, Camden County, Haddonfield, N. J. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owners, Board of Education, Delaware Township Town Hall, Ellensburg, N. J. Brick, reinforced concrete, steel, cut stone, hollow tile stucco, 3 stories, 94x24 feet, slate roof, pine floors, metal lath, bond (plumbing, heating and electric separate), painting and glazing, waterproofing and damp-proofing, ornamental iron work, grading. Owners taking bids due August 5th, 9 P. M. (Daylight Saving Time).

**Comfort Station**, Log Basin, Trenton, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton, N. J. Owners, City of Trenton, City Hall, Trenton, N. J. Brick, 1 story, 16x35 feet, tile floors, electric light, tile and marble work. Owners taking bids due August 1st.

## New Jersey Contracts Awarded

**Store (add.)**, 113 North Broad street, Trenton, N. J. Architect, W. A. Kleman, First National Bank Building, Trenton, N. J. Owner, Mrs. Mary M. Floron, on premises. Brick, 1 story, 50x19 feet, slag roof, yellow pine floors, metal lath, electric light. Contract awarded to J. P. Corrigan, 618 Stuyvesant street, Trenton, N. J.

**Store Front**, Broadway, Camden, N. J. Ar-

chitects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, A. S. Paletz, 1475 Broadway, Camden, N. J. New stone front, plate glass, cement work. Contract awarded to Edw. Geschko, Jr., Collingswood, N. J.

**Church**, Fairview, Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owners, M. E. Church of Fairview, care of architect. Concrete block, 1 story and basement, 26x65 feet, slag roof, pine floors. Contract awarded to John Hahn, West Collingswood, N. J.

**Pipe Tunnel**, Hightstown, N. J., \$25,000. Engineer, W. E. S. Dyer, Land Title Building, Philadelphia. Owners, Peddie Institute, Hightstown, N. J. Reinforced concrete, 1,000 feet long, 6 feet wide, 7 feet deep. Contract awarded to F. G. English, 1610 North Carlisle street, Philadelphia.

## Miscellaneous Construction News

**Bridge**, over Brandywine Creek, Sixteenth and Jessup streets, Wilmington, Del. County engineer, C. E. Grubb, Wilmington, Del. Owners, County of Wilmington, Room 133, County Building, Wilmington, Del. Concrete, structural steel, reinforcing metal, paving, machinery. Owners taking bids, due August 19th at 11 A. M. Standard Time. Deposit of \$20.00, refund of \$10.00. Certified check required.

## Miscellaneous Contracts Awarded

**Assembly Building**, Norfolk, Va. Architect, Albert Kahn, Detroit, Mich. Owners, Ford Motor Co., Detroit, Mich. Steel, brick, 1 story, 310x80 feet, cement tile roof, rubber tile and wood block floors, ornamental plaster, ornamental iron work, kalamein doors, rolling steel sash, tile, marble and terrazzo work. Contract awarded to Rust Engineering Co., Pittsburgh, Pa.

**Highway Bridges** (3, across the Inland Waterway from Delaware River to Chesapeake Bay, Del. Owners, State Highway Department, Dover, Del. Substructure. Contract awarded to Dravo Contracting Co., Commercial Trust Building, Philadelphia, \$506,250. Superstructure. Contract awarded to Phoenix Bridge Co., Phoenixville, Pa., \$795,800.

## Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., July 25, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., August 26, 1924, for the construction of a one-story brick and terra cotta semi-fireproof Post Office building, approximately 70 by 50 feet in size, at Walden, N. Y. Drawings and specifications may be obtained from the Custodian of the Site at Walden, N. Y., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from page 484)

"The application of compressed air also has increased the possibilities of all year round building. Compressed air in building was first utilized about 1900 to meet the demand for more economical riveting of the joints in steel structures.

The pneumatic hammer greatly decreased the labor and time needed for riveting—no small matter when the steel worker's complete exposure to the elements is considered.

Rivets formerly were heated in coal burning forges and were thrown and caught by the riveting crews. Many were the fires and accidents due to sparks, overturned forges and misdirected rivets. The latest equipment heats rivets by gas or oil flames or by electric currents passed through them. Rivets are heated nearer the place where used and most of the former dangers eliminated."

Individuals concerned with building are urged to do their share in contributing to all year round building operations by scheduling new work and repair work at a time when the pressure of general building is not at its height. Data on the subject of seasonal construction in general may be obtained on application to the Division of Building and Housing, Department of Commerce, Washington, D. C.

## ENCOURAGEMENT

If, when final calculations have been completed, it be found that, as predicted by President H. A. Smith at the Annual Meeting of the National Board of Fire Underwriters, American fire losses for 1923, on the basis of preliminary figures, aggregated \$508,000,000, then on the part of fire preventionists there will be warrant not, indeed, for satisfaction, still less for rejoicing, least of all for relaxed effort, but for sound hopefulness. There is a measure of encouragement in the showing, in view of the usual tremendous annual increases since 1916.

It has come none too soon. Many of those who have been zealous in the cause, watching the rate of advance soar dizzily each year, sometimes have been tempted to wonder if, after all, the habits of a nation could be turned into ways of fire-safety.

This, it now appears, has begun gradually to be accomplished. Should the estimate of \$508,000,000 prove to be correct, it will mean that the twelve-month increase since the last report was but \$2,000,000—by far the smallest in several years. Coupled with the acknowledged inflation of property values which has persisted from the early days of the War, and which of course has been reflected in all loss totals, the 1923 exhibit, though serious enough from an economic standpoint, is a sanguine one, viewed relatively. There is in it, however, no slightest excuse to rest or even to slacken. By the growing army of fire prevention campaigners it will be seen, properly, as a summons to renewed struggle, in which there is cheering promise of ultimate victory.



# Reference Directory for Architects, Builders and Owners

## ARCHITECTURAL CEMENT CASTINGS

Erickson & Weiss, Fisher's Ave. and Mascher St.

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.  
Erickson & Weiss, Fisher's Ave. and Mascher St.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE (Insulation and Covering)

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Gramm, Price, Turner, Inc. ....Ashland, N. J.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

Lee T. Ward Co. ....617 Filbert St., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## HAULING CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## HOUSE MOVING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ...19th and Washington Ave., Phila.

Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W. Co. ....2222 Chestnut St., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Ketcham, Howard.....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Penna. Tile & Mosaic Co. ....1637 Wood St., Phila.

Roman Mosaic & Tile Co. ....435 Green St., Phila.

## MASON BUILDER.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

## MASTIC FLOORING.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## ORNAMENTAL IRON.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

## PAINTS AND VARNISHES.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## PAVING BRICKS.

Ketcham, O. W. ....121 N. 18th St., Phila.

## PHOTOSTATS.

Weber, F., Co. ....125 S. 12th St., Phila.

## PLUMBING FIXTURES.

Fleck Bros. Co. ....44 N. 5th St., Phila.

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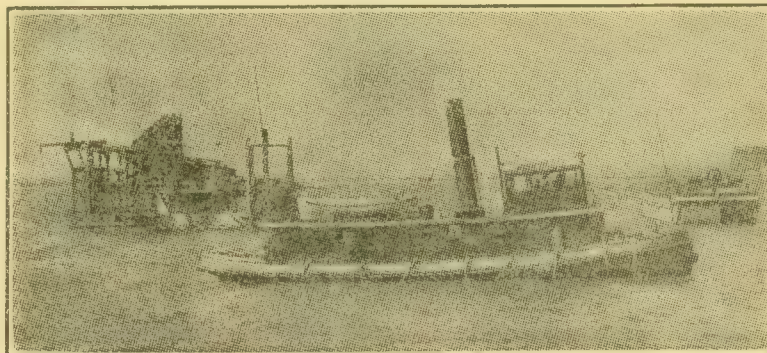
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Entered at the Philadelphia Post Office as Second-Class Matter

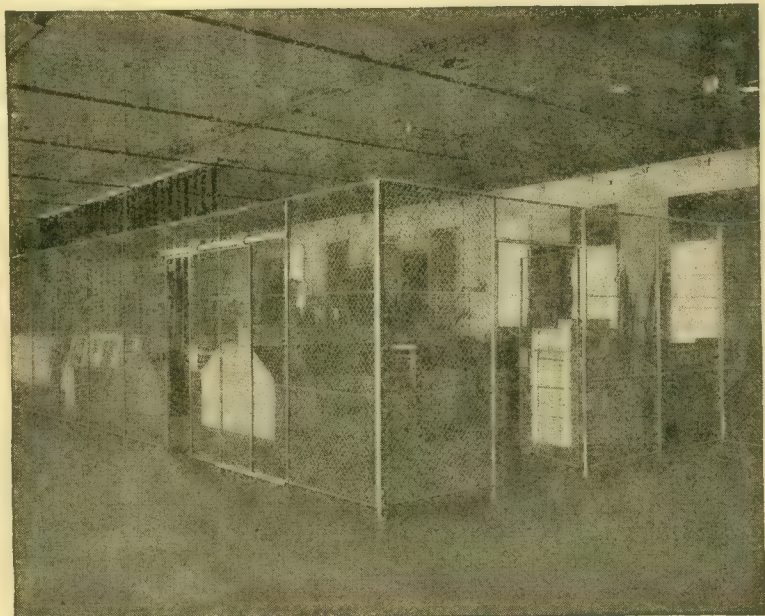
Vol. XXXIX, No. 32  
August 6, 1924

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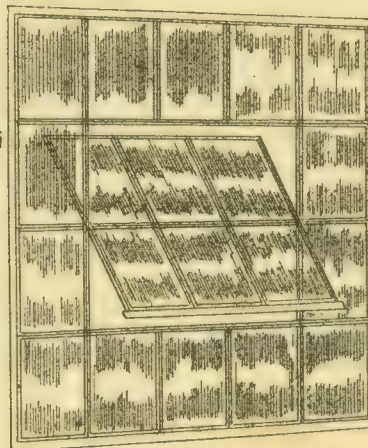
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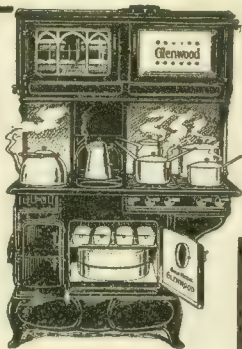


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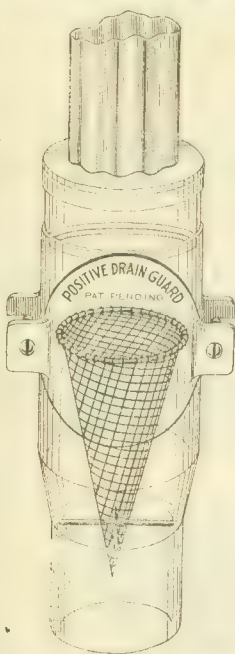
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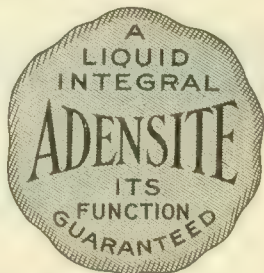
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Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 32

PHILADELPHIA  
August 6, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## As The Editor Sees It



### STANDARD CONTRACT FORMS SOON READY

The standard contract forms for construction of buildings and for engineering construction are now being printed and will soon be available for distribution. Copyright and other details connected with the two documents have been cared for, and the culminating phase of work which has extended over a period of three years is now being entered.

The Joint Conference on Standard Construction Contracts has concluded its work on the two contract forms. They now are to be transmitted to each of the interested associations. They will be adopted by some of these bodies and approved by others, while some of the organizations have made no provision except to receive the committee suggestions.

In the form in which they are now being submitted, these contracts may be justly considered as representing the best thought upon details which entered into their formulation.

The following resolution was adopted May 20, 1924, by the joint conference composed of representatives of the nine associations interested in the movement:

"WHEREAS, The Joint Conference on Standard Construction Contracts has spent over two years in investigating, discussing and formulating contract provisions for use in construction work, and has twice during that time printed and

distributed for discussion and criticism the tentative provisions developed; and,

"WHEREAS, During this procedure the various groups of thought presented have been analyzed and co-ordinated into contract provisions, based upon sound economics, and designed to establish more uniform contracting practice; and,

"WHEREAS, The Conference recognizes that certain National Associations are reluctant to accept a universal contract form without modification of some of its provisions for their particular needs, but believes that in time a practical uniformity of contract practices can be established if leading National Associations interested in construction will endorse and recommend use of the principles approved by the Conference; and,

"WHEREAS, The Conference has adopted a contract form for building construction, and a form for general engineering construction, which in its judgment presents the best practice that the architectural engineering and contracting world is now prepared to accept, *therefore be it*

"RESOLVED, That these two contract forms be submitted to each of the constituent bodies of the Conference with the urgent request that each confirm the conclusions of the conference, and that these contracts be used wherever possible to the exclusion of other contract forms and with as little change or modification

as possible."—*Associated General Contractors of America.*

### SEASONAL OPERATION IN THE CONSTRUCTION INDUSTRIES

*Summary of Report and Recommendations of a Committee of the President's Conference on Unemployment\**

Custom, not climate, is mainly responsible for seasonal idleness in the construction industries. Contrary to popular belief, bad weather is not the principal cause of variations in employment from month to month. The present survey shows that seasonal idleness is not confined to regions where climate is severe. Cities in the South and on the Pacific coast are affected much like those on the Canadian border.

It is the general rule that the building trades are occupied wholly for only three to five months in the year, and practically all the cities studied show a large percentage of idleness in these trades not only from December to March, but in other months as well.

Many of the seasonal ups and downs are undoubtedly preventable. During

\*Asbestos workers, steam fitters, and some smaller allied trades are differently affected than other classes of construction workers.

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the past winter (1923-24) there has been greater activity than ever before in what normally is the dull season and this activity has had salutary effects on the building-material producers, the transportation companies, and their employees. The construction industries are grappling with the problem; they now need and should have the support of the general public.

For the burden of idleness falls most heavily not on the producers and distributors but on the employees and the public. Construction costs are high in part because of the seasonal hazard, which affects each step of the construction process from felling timber, quarrying rock, manufacturing brick, cement, tile, plaster, and a hundred and one other commodities, transporting these materials by railway, waterway, and highway, distributing them through retail supply dealers, clearing of site and excavating, to the completion and furnishing of the finished building. Idle time represents waste and direct losses to the construction industries, the workers, and the public.

The art of construction has advanced to such a point that the effect of bad weather on building operations has been greatly reduced. The survey shows that there is today much less manual labor on the job than formerly; a greater proportion of the work is done in factories or by power machinery, which is less affected by the elements than hand labor. Steel and concrete construction with certain safeguards can go forward at low temperatures. Methods of winter construction developed by leading contractors should now be greatly extended. Winter work is being done in some more cases cheaply than summer work, and in others at an increase in cost which is slight compared with the advantages of holding down the contractor's overhead expense by keeping his organization together, the shorter time that the owner's capital is tied up in the operation, and the earlier date at which occupancy is made possible.

In order to secure a better distribution of construction activities throughout the year the facts in the case of each community must be determined and the community must be made aware of them. Organized group efforts started by the various local elements interested in construction affords the best channel for obtaining and circulating the facts.

#### *Information Needed*

In every city the facts on average and extreme weather conditions affecting construction should be made available. This important information can be obtained from the local Weather Bureau.

In addition to this basic information the customary peaks and depressions in

employment of each of the principal trades should be recorded. Such data, checked by records of retail sales of materials and records of architects, contractors, and labor organizations, must be available to furnish the framework for any thoroughgoing campaign to eliminate seasonal idleness. The fact-finding survey should include a study of construction, maintenance, and repairs by classes, such as residential, industrial, business and commercial, hospitals, church buildings, public utilities, public buildings, public works, and streets and roads, to show which can adjust its program with benefit to the community. The costs of present practice should be set forth in terms of time lost, of money wasted, and of new construction needed. The public requires a striking presentation of the facts in order to be moved to act.

#### *Responsibility Rests Largely with the Public*

Forethought in planning new construction and repair work is necessary if a marked betterment in conditions is to be brought about. Practically any owner can find out how to schedule his building or repairs to take advantage of the time when competent workers will probably be available and when the contractor will not have to resort to "snowballing" to obtain workers. The majority of owners do not take into consideration their own financial interest or that of the construction industries and workers in this respect.

Besides scheduling their construction and repair work citizens may use their influence in modifying prevailing customs and in securing a proper scheduling of public works.

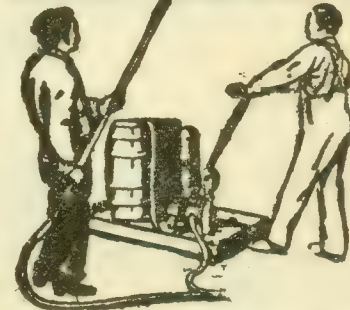
#### DATA ON STRUCTURAL MATERIAL

Values of the strength of pure metals and their alloys, and of wood are given in the revised edition of the Bureau of Standards circular on the physical properties of materials. The data include the strength in tension, compression, and in shear, the resistance to fatigue, and many other properties which an engineer must know in order to design a structure that will safely carry its intended load. The effect of high temperatures on the strengths of different metals is shown by tables and by graphs, and the physical properties such as specific gravity, melting point, and co-efficient of expansion are given.

The information given is compiled from various sources, including tests made at the Bureau of Standards. The data on wood are taken from Bulletin 556 of the United States Forest Service, Department of Agriculture. Most of this

(Continued on page 512)

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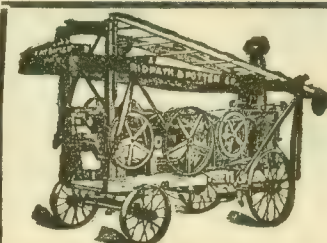
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CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residence (alts.)**, Seventieth and City Line, Oak Lane, Philadelphia. Architect, Carl P. Berger, 1512 Walnut street, Philadelphia. Owner, Dr. D. Reisman, on premises. Plastering, tile work, carpentry, mill work, alterations to hot water heating, alterations to electric work, plumbing, repairing slate roof, sheet metal work. Architect taking bids due August 8th.

**Fuel Oil**, Philadelphia. Owners, City of Philadelphia, C. J. Lafferty, Purchasing Agent, 312 City Hall, Philadelphia. Owners taking bids due August 12th at 11 A. M. (Standard Time) at Room 329, City Hall, Philadelphia.

**Chapel and School, Rectory, Convent (add.)**, Twenty-second and West Clearfield streets, Philadelphia. (Convent 2127 Indiana avenue.) Architects, H. Rex Stackhouse and W. W. Donohoe, 1120 Locust street, Philadelphia. Owners, St. Mary's Roman Catholic Church, Rev. Thomas Barra, D. D., 2031 West Toronto street, Philadelphia. Chapel and school, 3 stories and basement, 60x130 feet, slag roof, reinforced concrete floors, rectory, 3 stories and basement, 20x70 feet, slag roof, hardwood floors. Convent, 3 stories, 18x20 feet. Plans in progress.

**Residences (5)**, Glenloch and Magee streets, Philadelphia. Architect, John H. Rackie, 4448 Frankford avenue, Philadelphia. Owners, Lewis & Myers, Disston and Heston streets, Philadelphia. Brick, 2 stories, 18x32 feet, slag roof, hardwood floors, hot water heat, electric light, tile work, garages in basement. Plans in progress.

**Preparatory School (add.) and New Gymnasium Building**, Coulter street and Germantown avenue, Philadelphia. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Germantown Friends' Preparatory School, on premises. Brick, 3 stories, 60x100 feet. Plans in progress. Architects will take bids in three weeks.

**Fire Station**, 316 Florist street, Philadelphia, \$30,000. Architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, City of Philadelphia, Bureau of City Property, Department of Public Safety, City Hall, Philadelphia. Brick, 2 stories, general remodeling. Plans in progress.

**Residences (100)**, Roosevelt Boulevard and F street, Philadelphia. Architect, not yet selected. Owners, Solomon Brothers, Ninth and Walnut streets, Philadelphia. Brick, 2 stories. Work contemplated.

**Store (alts.)**, 924 Walnut street, Philadelphia. Architect, Joseph Margolis, 1505 Race street, Philadelphia. Owner, name withheld. New front, heating alterations, electric work, hardwood floors, marble work, plate glass, metal bulks, general interior alterations. Plans in progress.

**Residence and Garage**, Somerton, Philadelphia. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Dr. Charles Stuart, 4602 Frankford avenue, Philadelphia. Hollow tile and stucco, 2½ stories, 36x41

feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work, metal lath, garage in basement. Plans completed.

**Entrance**, 815-19 Chestnut street, Philadelphia. Architects, Hoffman-Henon, Inc., Finance Building, Philadelphia. Owners, Gimbel Brothers, Ninth and Market streets, Philadelphia. Plans completed. Will be ready for bids in a few days.

**Upper Church**, F and Westmoreland streets, Philadelphia. Architects, Hoffman-Henon, Inc., Finance Building, Philadelphia. Owners, Ascension of Our Lord Roman Catholic Church, Rev. D. J. Broughal, on premises. Stone, 120x180 feet, slate roof, electric light. Plans about completed. Architects will be ready for bids about August 12th.

**Legion Home**, 6717 Woodland avenue, Philadelphia. Architect, Thomas Edward Ash, 1012 Walnut street, Philadelphia. Owners, William P. Roche Post American Legion, on premises. Brick, 2 stories, 27x60 feet, slag roof, pine floors, vapor heat, electric light. Revised plans in progress. Ready for bids in one week.

**Building**, Southwest Corner Fifteenth and Spruce streets, Philadelphia. Architects, Arthur W. Hall & Co., Otis Building, Philadelphia. Owner, name withheld. Brick, 4 stories, alterations and additions. Architects will be ready for bids in a few days.

**Warehouse**, West side Richmond street, North of Westmoreland street, \$25,000. Architect, John H. Rackie, 4448 Frankford avenue, Philadelphia. Owners, Richmond Grocery Co., on premises. Brick, 1 story, with provisions for 2 stories, 90x100 feet, metal partitions, asphalt roof, cement and plank floors, electric light, rolled steel sash, rolling steel shutters, fire doors. Architect will build.

**Medical Arts Building (add.)**, Sixteenth and Walnut streets, Philadelphia (\$600,000). Architect, Charles E. Oelschlager, 1615 Walnut street. Owners, Medical Arts Realty Co., on premises. 15 stories, 40x120 feet. Ready for bids.

**Chapel and Deanery, Faculty Houses 16 and 17**, Northwest Corner Forty-second and Spruce. Architects, Zantzinger, Borie & Medary, Otis Building, Philadelphia. Owners, Protestant Episcopal Divinity School, Dr. George C. Bartlett, 316 South Tenth street,

Philadelphia. Reinforced concrete, stone, artificial cut stone, steel, bluestone, flagstone, alternate limestone, leaded glass, wrought iron pipe, 1 and 3 stories and 2½ stories. Chapel, 130x50 feet. DeDanery, 62x42 feet. Faculty Houses, 76x39 feet, slate roof, pine and cement floors, hollow tile, painting, glazing, plumbing, steam heat, electric light, metal lath, tile, marble and terrazzo work, hollow metal sash, bond, ornamental iron work. Architects taking bids due August 15th.

**Church and Parsonage**, Broad and Cheltenham avenue, Philadelphia. Architects, Norman Hulme and John J. Dull, 1524 Chestnut street, Philadelphia. Owners, St. Mark's Evangelical Lutheran Church, on premises. Brick, hollow tile, cut stone, steel, stucco, 2½ stories, 49x28 feet, slate roof, oak floors, hollow tile, painting, glazing, plumbing, electric work, tile and marble work, rolled steel skylights, fire doors, ornamental iron work, wrought iron pipe. Architects taking bids due August 11th.

**Hotel (alts.)**, Thirteenth and Walnut streets, Philadelphia. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owners, St. James Hotel, on premises. Carpentry and mill work, tile work, metal lath, plumbing, plastering, marble work, rolled steel skylights, slag roof, concrete floors, revolving doors, elevator doors, kalamain doors, hollow metal doors, kitchen equipment, elevators, electric work, hollow metal sash, steel and iron work, refrigerating plant, sidewalk lift, bronze work, ornamental terra cotta, hollow tile. Architect taking bids due August 7th.

**Basement (alts.)**, 925 Chestnut street, Philadelphia. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owners, Federal Reserve Bank, Ninth and Chestnut streets, Philadelphia. Carpentry, mill work, plastering, terrazzo floors, marble work, hardware, plumbing, painting, glazing, electric work. Architects taking bids due as soon as possible.

**Store and Office Building**, Southwest Corner Fifteenth and Ionic streets, Philadelphia. Architect, Gabriel B. Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Brick, cut stone, steel, granite, 4 stories and

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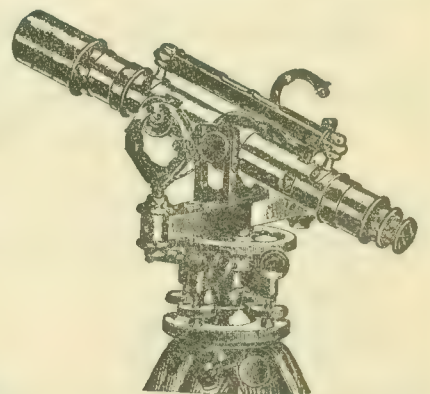
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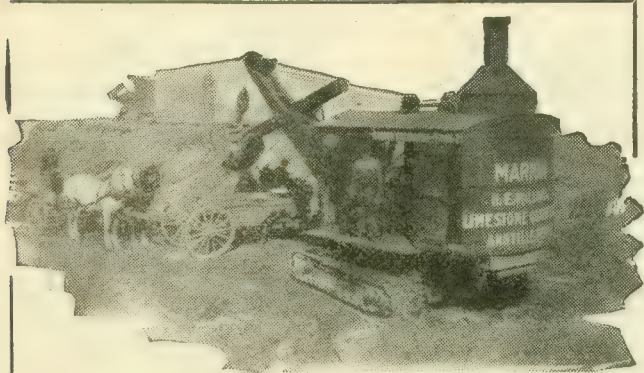
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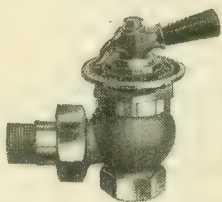
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**Garage**, 124 Chestnut avenue, Chestnut Hill, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Mrs. W. F. Ballinger, on premises. Three-car garage, 2 stories and basement. Architects taking bids due August 7th.

**Garage**, 2404 Naudain street, Philadelphia. Architects, Rehuss & North, 1709 Sansom street, Philadelphia. Owner, Harry E. Culbertson, on premises. Brick, 1 story, 30x87 feet, slag roof, cement floors, steam heat, electric light, metal sash, skylights, plumbing. Owner taking bids.

**Residence**, East Tulpehocken and Ardleigh streets, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Arthur Sylvester, care of architect. Stone, 2½ stories, 36x28 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Architect taking bids due August 12th.

**Residence and Garage**, Wissahickon avenue and Allens Lane, \$18,000. Architect, private plans. Owner, E. G. Costello, 7034 Tulip street, Philadelphia. Stone, 3 stories, 59x22 feet, 28x20 feet, 2 stories, 22x23 feet, slate roof, hardwood, pine and cement floors, hot water heat, electric light, tile work. Owner will build.

**Club Building**, Eighteenth and Locust streets, Philadelphia. Architects, Zantzinger, Borie & Medary, Otis Building, Philadelphia. Owners, Penn Athletic Club, E. B. Morris, Jr., Chairman Building Committee, Morris Building, Philadelphia. Reinforced concrete, brick, limestone, steel, 9 stories, basement and 2 mezzanines, 195x175 feet, slag roof, cement, cork tile and rubber tile floors, elevators, shoring, dampproofing, ornamental terracotta, steam heat, electric light, metal lath, tile, marble and terrazzo work, hollow metal sash, tin clad doors, bronze doors, bond, iron stairs, ornamental iron work, caen stone. Architects taking bids due as soon as possible.

**Residences (33)**, Sixty-seventh and Haverford and Sixty-seventh and Media streets, \$200,400. Architect, private plans. Owner, Robert Loughrey, Upper Darby, Pa. Brick, 2 stories, (3) 15x45 feet, (29) 15x28 feet, 11x9 feet, and (1) 24x16 feet, 15x38 feet, hot water heat, electric light, hardwood and pine floors, slag roof. Owner will build.

**Apartments (2)**, Forty-eighth and Chester avenue, Philadelphia, \$99,500. Architect, Louis J. Tunis, 1423 Locust street, Philadelphia. Owner, Louis E. Faulkner. 4245 Ludlow street, Philadelphia. Brick, 3 stories, 63x52

feet and 52x63 feet, slag roof, hardwood and pine floors, vapor heat, electric light. Owner will build.

**Garage**, East side Belfield avenue, South of Tulpehocken street, \$22,000. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, B. W. Glover, 5300 Chestnut street, Philadelphia. Brick, 1 story, 91x88x148 feet, slag roof, cement floors, electric light. Owner will build.

**Moving Picture Theatre**, 873-75 North Ninth street, \$20,000. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, J. J. Gillman, 6326 North Broad street, Philadelphia. Brick, 1 story, 36x100 feet, slag roof, electric lighting, tile and marble work, metal lath. Owner will build.

**Apartment and Store (alts. and add.)**, 640 Spruce street, \$10,000. Owner, Louis E. Wiser, on premises. Brick, 4 stories add., 18x40 feet, general alterations. Owner will build.

**Residences (2)**, 5420-22 North Twelfth street, Philadelphia \$10,000. Architect, private plans. Owner, Morton Messinger, 4917 North Eighth street, Philadelphia. Brick, 2 stories, 15x42 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Flamingo street, East of Silverwood street, \$6,000. Architect, private plans. Owner, A. C. Wilson, Jr., 480 Rector street, Philadelphia. Frame, 2 stories, 23x35 feet, shingle roof, hardwood and pine floors, electric work. Owner will build.

**Stores and Apartments (2) (alts.)**, 2024-26 Sansom street, \$5,500. Architect, private plans. Owner, William W. Mentzinger, Jr., 260 South Fifteenth street, Philadelphia. General alterations. Owner will build.

**Residences (2)**, East side Montour street, South of Cottman street, \$5,000 each. Architect, private plans. Owner, Jacob Kaiser, 1223 Cottman street, Philadelphia. Brick, 2 stories, 14x48 feet, hot water heat, electric light. Owner will build.

**Residences (3)**, 3022-24-26 Howell street, Philadelphia, \$4,000 each. Architect, private plans. Owner, A. Huber, 3028 Howell street, Philadelphia. Brick, 2 stories, 16 feet, 8 inches x 30 feet, hot air heat, electric light. Owner will build.

**Garage**, 327-29 Mt. Pleasant avenue, Philadelphia, \$3,000. Architect, private plans. Owner, J. C. Haldeman, Seventh and Dauphin streets, Philadelphia. Brick, 1 story, 65x16 feet, 17x40 feet, slag roof, cement floors, electric light. Owner will build.

**Residences (29)**, Sixth and Bristol streets, Philadelphia, \$148,800. Architect, private plans. Owners, Nathanson, Sax & Gartzman, 332 East Roosevelt Boulevard. Brick, 2 stories, various sizes, hot water heat, electric light, hardwood and pine floors. Owners will build.

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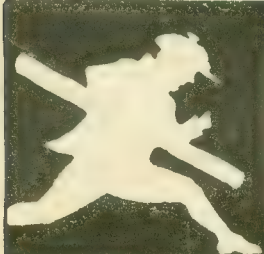
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**Garage**, 2332-34 Vine street, Philadelphia, \$5,000. Architect, private plans. Owner, A. Lynch, 2227 Vine street, Philadelphia. Brick, 1 story, 29x100 feet, slag roof, cement floors. Owner will build.

**Residences (10)**, East side Tampa street, South of Wyoming avenue, \$4,500 each. Architect, private plans. Owners, Smith, McGowan & Donnelly, 813 East Allegheny avenue. Brick, 2 stories, 15x27 feet, 10x10 feet, slag roof, pine floors, electric light. Owners will build.

**Residences (12)**, Granite and Rutland streets, \$7,500 each. Architect, private plans. Owner, J. D. Fotheringham, 1000 Arrott street, Philadelphia. Brick, 2 stories, 16 feet, 6 inches x 48 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (14)**, East side Lambert street, South of Nedro, \$71,000. Architect, private plans. Owner, Frank R. Datesman, 4401 Germantown avenue, Philadelphia. Brick, 2 stories, 15 feet, 6 inches x 35 feet, hot water heat, electric light. Owner will build.

**Garage**, West side Fifth street, South of Shunk street, \$25,000. Owners, Babis & Bender, 201 Shubert Building, Philadelphia. Brick, 1 story, 65x196 feet, slag roof, cement floors, electric light. Owners will build.

**Residences (32)**, Mirian Road and Bridge and Pratt streets, \$6,000 each. Architect, private plans. Owner, M. Best, Roosevelt Boulevard and Herbert streets, Philadelphia. Brick, 2 stories, 16x40 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Store and Office (alts.)**, 2401 North Clarion street, \$3,000. Architect, private plans. Owner, N. Friedman, on premises. General alterations. Owner will build.

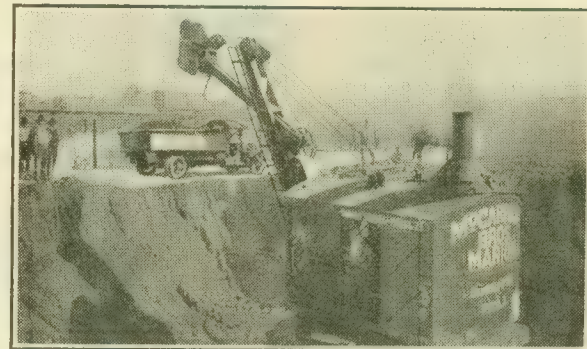
**Store and Residence (alts.) and Garage**, 850 South Fifty-sixth street, Philadelphia, \$3,600. Architect, private plans. Owner, John S. Sinnott, Jr., 5515 Baltimore avenue, Philadelphia. General alterations, garage, brick, 1 story, 10x15 feet. Owner will build.

**Garage**, North side Atlantic street, East of F street, Philadelphia, \$9,000. Architect, private plans. Owners, A. Earle Barnes & Co., 2044 East Clementine street, Philadelphia. Brick, 1 story, 130x36 feet, slag roof, cement floors, electric lighting. Owners will build.

**Residences**, North side Griffith street, West of Horrocks street, \$6,500. Architect, private plans. Owner, Charles Sinn, 5518 North American street, Philadelphia. Frame, 2 stories, 24x34 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Sewers**, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Low bidders: Schedule E, relining main sewer between 50 feet South of Balti-

more avenue to Locust, J. Joseph McHugh, 1617 Race street, Philadelphia, \$100,625. Schedule E, main sewer in Forty-third street, from 204 feet North of Baltimore avenue to Pine, J. Joseph McHugh, 1617 Race street, \$195,687. Schedule D, sewer in Cleveland street, Carlisle street, Smedley street and Denham street, J. Joseph McHugh, 1617 Race street, \$21,742.40. Schedule C, Frankford avenue sewer, Fred T. Buckius, Jr., Kensington avenue and Deal street, \$18,000. Schedule B, main sewer, Bingham street, Emelio Pascuzzi, Lincoln Building, \$100,891.59. Main sewer, Seventy-sixth avenue, Lombardi, Inc., Lincoln Building, \$37,800. Main sewer, Tenth street, Emilio Pascuzzi, Lincoln Building, \$172,318.65. Schedule A—Branch sewers: Amber street, Battiere and Potterello, \$12,220; Bristol street et al., Joseph Moss, 1652 Wakeling street, \$23,472.78; Buckius street, Fred T. Buckius, Kensington and Deal street, \$1,500; C street et al., Battieri & Potterello, \$36,341.25. C street, Wyoming avenue, Battiere & Potterello, \$6,560.60. Castor street et al., Fred T. Buckius, Kensington and Deal street, \$135,000. Champlost street et al., Battiere & Potterello, \$42,673.40; Cheltenham avenue et al., J. Joseph McHugh, 1617 Race street, \$47,932.15; Chester avenue et al., Higgins & Reilly, 324 Stanwood street, Fox Chase, \$20,329.70; Milne street, M. J. McCrodden, Philadelphia, \$9,632.50; Morse street, Higgins & Reilly, 324 Stanwood street, \$7,404.50; Musgrave street, Edward T. Bennis, 5638 Chew street, \$19,950; Peach street, Higgins & Reilly, 324 Stanwood street, \$13,515; Sansom street, J. Perna, Sixty-fifth and Callowhill streets, \$4,904.40; Sheldon street, William H. Yetman, Lincoln Building, \$7,415; Sixteenth street, William H. Yetman, Lincoln Building, \$9,204; Sixty-sixth street, Adolph Jafolla, 139 South Fiftieth street, \$4,483; Tulip street, Battieri & Potterello, Philadelphia, \$5,504.45. Thirteenth street, Battieri & Potterello, Philadelphia, \$4,407; Twentieth street, Lombardi Co., Lincoln Building, Philadelphia, \$32,403; Thirty-second street, Battieri & Potterello, Philadelphia, \$7,378.75; Georges Lane, Higgins & Reilly, 324 Stanwood street, \$12,025; Hanson street, J. Perna, Jr., Sixty-fifth and Callowhill, \$3,295.50; Jacob street, Higgins & Reilly, 324 Stanwood street, \$5,982; K street, Battieri & Potterello, Philadelphia, \$25,578.50; Lebanon avenue, Higgins & Reilly, 324 Stanwood street, \$17,371; Loudon street, C to Rosehill, Battieri & Potterello, \$1,988.15; Loudon street, Marshall to Seventh, W. H. Yetman, Lincoln Building, \$4,436; Malvern avenue, Higgins & Reilly, 324 Stanwood street, \$20,032; McMahon street, Edward T. Bennis, 5648 Chew street, \$8,820; Miller street, J. Perna, Jr., Sixty-fifth and Callowhill streets, \$7,925.75; Ellet street, Edward T. Bennis, 5648 Chew street,



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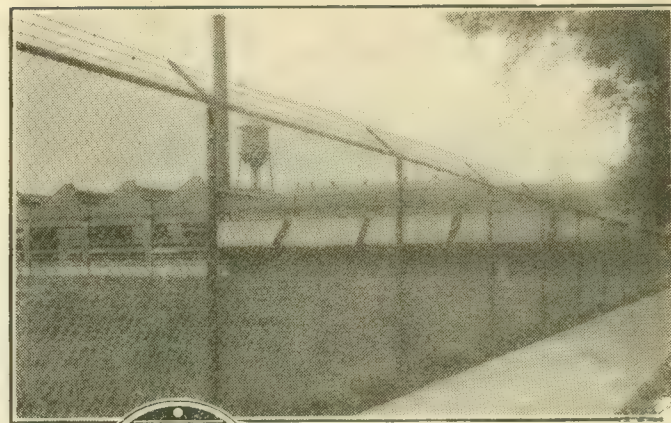
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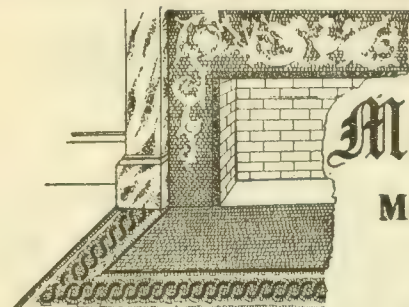
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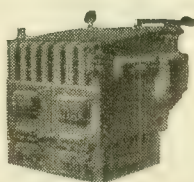
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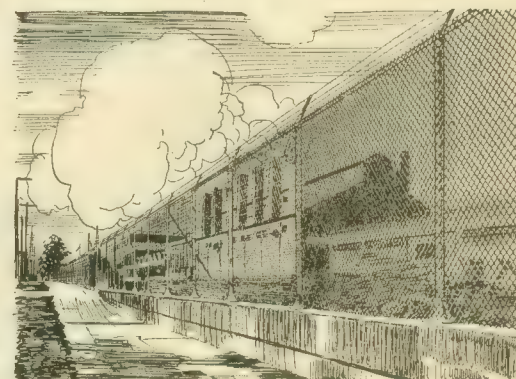
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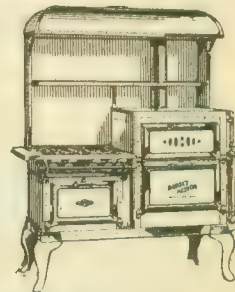
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Philadelphia, \$30,323; Emlen street, Ballieri & Potterello, Philadelphia, \$12,359.50; Fairhill street, William H. Yetman, Lincoln Building, \$3,698; Fifty-seventh street, Lombardi, Inc., Lincoln Building, \$16,990; Fifty-ninth street, Higgins & Reilly, 324 Stanwood street, \$16,771.30.

**Grading and Paving, Philadelphia.** Architect, private plans. Owners, Department of Public Works, Bureau of Highways, 232 City Hall, Philadelphia. Grading, asphalt paving, country road improving. Low bidders: Asphalt Paving—Beechwood street, Barber Asphalt Paving Co., Land Title Building, \$4,518.69; Sedgwick street, Union Paving Co., Thirtieth and Locust streets, \$5,770.50; Fifty-fifth street, Barber Asphalt Paving Co., Land Title Building, \$17,246.80. Country

Road Improvement—Arthur street and 2 others, Curtis Brothers, State Road, Tacony, Philadelphia, \$16,562. Grading — Sansom street, A. Boylan, Fifty-seventh and Sansom streets, \$333.90; Ellet street, Frank Mark Cont. Co., 2820 North Twenty-first street, \$14,552.60; Marsden street, M. Leewright, 426 Seville street, \$4,644; Woodstock street and 2 others, J. Nolan & Son, 364 East Penn street, Philadelphia, \$7,307.84.

**Supplies, Philadelphia.** Owners, Department of Public Safety, 215 City Hall, Philadelphia. Furnishing 6,000 feet more or less ten conductor rubber insulated and lead covered cable made up of 10 No. 14 B & L gauge solid wire laid straight. Owners taking bids due August 11th at 11 A. M. (Standard Time).

avenue, foot of Wheatsheaf Lane, below Pennsylvania Railroad Bridge, Philadelphia, \$12,000,000. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Philadelphia Electric Co., Tenth and Chestnut street, Philadelphia. Brick, steel, reinforced concrete, 4 stories, 929x600 feet, capacity (12) 50,000 K. W. Turbo Generators, slag roof, concrete floors, steel sash. Contract awarded to Stone & Webster, Real Estate Trust Building.

**Nixon Grande Theatre (alts.),** Broad and Montgomery avenue. Architects, Hoffman-Henon, Inc., Finance Building, Philadelphia. Owners, B. F. Keith Nixon Grande Corporation, on premises. Carpentry, mill work, plastering, sheet metal work, painting, electric work, cement work, bond. Contract awarded to Albert Moorshead, 67 Laurel street, Philadelphia.

**Store Building (alts.),** 1635 Spruce street, Philadelphia. Architect, Edward Schoeppe, 316 South Fifteenth street, Philadelphia. Owner, William M. Horner, on premises. Brick, limestone, 1 story, 22x25 feet, slag roof, pine floors, painting, glazing, metal ceilings, plate glass. Contract awarded to E. E. Hollenback, Inc., 1804 Brandywine street.

**Stores and Apartments (alts. and add.),** 6223-25 Woodland avenue, \$17,000. Architect, F. P. Canavan, 7032 Greenway avenue, Philadelphia. Owner, J. B. Keidel, care of J. W. Camae, Sixty-second and Woodland avenue. Brick and concrete, slag roof, cement and composition floors, hot water heat, electric light, metal lath, metal ceilings, metal bulks, stair work, iron work, mill work, plumbing, plastering, cut stone, hardware, tile work. Contract awarded to Woodland Const. Co., Sixty-fifth and Chester avenue, Philadelphia, who are ready for sub-bids.

**Rectory, Roxborough, Philadelphia.** Architects, Frank R. Watson, George E. Edkins, William Heyl Thompson, 1211 Walnut street, Philadelphia. Owners, St. Timothy's Church, Pensdale and Merriek streets, Philadelphia. Stone, pre-cast stone, steel, brick, 2½ stories, 47x21 feet, slate roof, North Carolina pine and linoleum floors, hollow tile, vapor vacuum heat, electric light, tile and marble work, rolled steel sash, bond. Contract awarded to E. L. Cuthbertson, 334 Roxborough avenue, Philadelphia.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Office (alts. and add.),** 1337 North Fifteenth street, Philadelphia, \$4,200. Architect, private plans. Owners, H. Elmer & Co., on premises. Brick, 1 story add., 18½x32 feet, general alterations. Contract awarded to John W. Emory Co., 34 South Sixteenth street, Philadelphia.

**Garage,** 168 East street, Philadelphia, \$2,500. Architect, private plans. Owner, T. Dudeck, on premises. Brick, 1 story, 44x18 feet, slag roof, cement floors. Contract

awarded to William Dradwell, 244 Pensdale street, Philadelphia.

**Residence and Garage,** Queen Lane Manor, Philadelphia. Architect, Albert F. Schenck, Real Estate Trust Building, Philadelphia. Owner, name withheld. Stone, 2½ stories, 30x40 feet, hardwood and cement floors, hot water heat, electric light, tile work. Contract awarded to William J. Gruhler Co., 219 East High street, Philadelphia.

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**Hospital (alts. and add.),** 136 Diamond street, Philadelphia. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, Kensington Hospital for Women, on premises. Contract awarded to A. Raymond Raff, 1635 Thompson street.

**Railroad Track Elevation,** South Philadelphia. Engineer, A. C. Shand, 607 Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad, Broad Street Station, Philadelphia. Contract No. 17 for construction of concrete viaduct retaining walls, wood trestle, removal of buildings and arsenal walls along the line of Delaware extension of Pennsylvania Railroad, between Arsenal Bridge and Schuylkill River and at Reed street. Contract awarded to Sinclair & Grigg, Medical Arts Building, Philadelphia, \$240,455.

**Building (alts.),** 1929 Chestnut street, Philadelphia. Engineer, W. H. Gravell, Otis Building, Philadelphia. Owner, name withheld. Brick, stone, cut stone, 4 stories and basement, slag roof, cement and concrete work, carpentry, mill work, plastering, excavation, painting, glazing, plumbing, hardware, tile and marble work, electric light, steam heat. Contract awarded to William R. Graham, 3649 Filbert street, Philadelphia.

**Residence and Garage,** Vernon Road and Anderson street, Philadelphia. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, V. C. Trout, care of architect. Stone, 3 stories, 21x50 feet, 18x20 feet, slate roof, hardwood and cement floors, hot water heat, electric light, tile and marble. Contract awarded to E. Allen Reeves, Abington, Pa.

**Residence and Garage,** Wissahickon avenue, South of Allens Lane, \$20,000. Architect, John H. Rackie, 4448 Frankford avenue, Philadelphia. Owner, Dr. Seth A. Brumm, Stock Exchange Building, Philadelphia. Stone, 3 stories, 69x31 feet, 2 stories, 22x23 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to E. G. Costello, 7034 Tulip street, Philadelphia.

**Residences (8),** Walnut Lane and Johnson street, Philadelphia, \$63,000. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owners, Greisler Brothers, 1035 Walnut St., Philadelphia. Brick, 2 stories, (4) 18x38 feet, (4) 16x40 feet, hot water heat, electric light,

hardwood and pine floors. Contract awarded to Weinstein & Pearson, 222 South Fifty-seventh street, Philadelphia.

**Residence (alts. and add.),** 33 East Springfield avenue, Chestnut Hill. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owner, Alexander Paul Brown, on premises. Stucco, metal lath, 2½ stories, 14x15 feet, shingle roof, oak and pine floors, hot water heat, electric light, metal lath, tile and marble work, bond, ornamental iron work. Contract awarded to Bennett-McLaughlin Co., 3260 Ludlow street.

**School and Gymnasium Building,** Oak Lane avenue, North of City Line. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Oak Lane Country Day School, Jerome J. Rothschild, Chairman Building Committee, Flanders Building, Philadelphia. Hollow tile and stucco, 1 story and basement, 55x110 feet, 1 story, 80x100 feet, hardwood and pine floors, electric light, tile work. Contract awarded to Austin Co., 1015 Chestnut street, Philadelphia.

**Club House (alts.),** 118-20 North Eighteenth street, Philadelphia, \$10,000. Architect, private plans. Owners, Musicians' Protective Association, on premises. Alterations to heating, electric work, plumbing, carpentry, mill work, plastering, tile work, painting, glazing. Contract awarded to Hood & Gross, 1613 Chestnut street, Philadelphia.

**Store (alts.),** Northwest Corner Eighth and Filbert streets, Philadelphia, \$7,500. Architect, Ralph Goldberg, 10 South Eighteenth street, Philadelphia. Owner, A. B. Buxbaum, 32 North Eighth street, Philadelphia. Brick, 3 stories, general renovation, vapor vacuum heat, electric light, tile and marble work,

store fixtures, plate glass. Contract awarded to M. J. Benamy, 5758 North Fifth street, Philadelphia. (Note change.)

**Residence (alts.),** 1828 Diamond street, Philadelphia, \$2,000. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. W. J. Felsburg, Jr., on premises. Stone, brick, 2 stories, 12x14 feet, mill work, electric light, new partitions, plumbing. Contract awarded to Charles H. Booker, 2257 North Uber street, Philadelphia.

**Garage,** Southeast Corner Evergreen avenue and Shawnee street, Philadelphia, \$35,000. Architect, W. K. Henkels, 106 West Highland avenue, Philadelphia. Owners, Chaitt Brothers, care of Wyneva Garage, 152 West Logan street. Brick, stone, steel, 1 story and basement, 144x114 feet, steam heat, electric light, metal lath, rolling steel sash, galvanized iron skylights, ornamental iron work, slag roof, cement floors. Contract awarded to N. Nardy & Co., 1713 Sansom street, Philadelphia. (Note change.)

**Residences (16),** Fourth and Olney avenue, Philadelphia, \$82,000. Architect, private plans. Owner, John Kuhn, 405 Tabor Road, Philadelphia. Brick, 2 stories, (14) 15x29 feet, 11x10 feet, (2) 16x19 feet, 13x16 feet, hot water heat, electric light. Contract awarded to H. P. Mueller, 4738 North Camac street, Philadelphia.

**Store and Office,** 25 South Fifty-second street, Philadelphia, \$15,000. Architect, private plans. Owner, Mrs. R. L. Decker, on premises. Brick, 3 stories, 15x67 feet, slag roof, electric lighting. Contract awarded to M. Benjamin, 241 Market street, Philadelphia.

**Store and Residence (add.),** 5205 Warren

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street, Philadelphia, \$4,000. Architect, private plans. Owner, Charles Conway, 5203 Warren street, Philadelphia. Brick, 2 stories add., 16x20 feet. Contract awarded to Peter McDonald, 1442 North Fifty-second street, Philadelphia.

**Residence and Bakery (add.) and Garage,** Southwest Corner Smick and Hermitage streets, Philadelphia, \$4,000. Architect, Benjamin Shulman, 1722 Arch street, Philadelphia. Owner, Nick Consolo, 4208 Main street, Philadelphia. Brick, 1 story add., 18x49 feet, garage, 1 story, 10x18 feet. Contract awarded to Rocco Dalesandro, 2968 North Taylor street.

**Residence (add.),** 932 New Market street, Philadelphia, \$3,500. Architect, private plans. Owner, John Oleksiak, on premises. Brick, 3 stories add., 15x13 feet, and third story add., 18x17 feet, 13x31 feet. Contract awarded to George Choma, 609 North Marshall street, Philadelphia.

**Residence,** Afton street, West of Bustleton Pike, Philadelphia, \$7,500. Architect, private plans. Owner, Mrs. Charlotte Robinson, 7245 Lawndale avenue, Philadelphia. Frame, 2 stories, 26x30 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Charles M. Sinn, 5518 North American street, Philadelphia.

**Store and Residence (add.) and Garage,** 2721 Diamond street, \$8,800. Architect, private plans. Owner, A. Stark, on premises. Brick, 1 story add., 15x16 feet, general alterations, garage, 1 story, 8x16 feet. Contract awarded to Pearlman & Chapman, 1729 North Lindenwood street.

**Garage and Office,** East side Lawrence street, North of Buttonwood, \$8,000. Architect, private plans. Owner, Charles Jarm, 412 Green street, Philadelphia. Brick, 2 stories, 29x22 feet, slag roof, cement floors. Contract awarded to Wedow & Myers, 528 Perry Building, Philadelphia.

**Garage (alts.),** 675 North Forty-first street, Philadelphia, \$4,500. Architect, private plans.

Owner, F. I. Matchesky, on premises. General alterations. Contract awarded to Shechtman Brothers, 1924 North Marshall street.

**Church (add.),** Southeast Corner Frankford avenue and Decatur street, \$3,400. Owners, Holmesburg Presbyterian Church, on premises. Hollow tile, 1 story add., 43x12 feet. Contract awarded to J. A. Hand, 2511 Rhawn street, Philadelphia.

**Building (alts. and add.),** 1943 Snyder avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Harry Bellis, on premises. Brick, 1 story add., 11x30 feet, general alterations. Contract awarded to Max Detchman, 2317 South Franklin street, Philadelphia.

**Residence (alts. and add.),** 34 West Upsal street, \$4,600. Owner, Merwyn Sluizer, Northwest Corner Tenth and Parrish streets, Philadelphia. Stone, 1 story add., 6x12 feet, general alterations. Contract awarded to Walter G. Hunt, 2827 North Sixth street, Philadelphia.

**Store and Residence (alts.),** 524 South street, Philadelphia, \$4,400. Owners, Geworts & Walberg, 512 Lombard street, Philadelphia. General alterations. Contract awarded to H. Miller, 427 Catharine street, Philadelphia.

**Stores (2),** 2067 Ann street, Philadelphia, \$3,500. Architect, private plans. Owner, James Marks, 2081 East Elkhart street, Philadelphia. Brick, 1 story, 16x50 feet and 14x50 feet. Contract awarded to J. Enoch, 3059 Agate street, Philadelphia.

**Garage (add.),** 534 West Olney avenue, Philadelphia, \$15,400. Architect, private plans. Owner, John J. Trainor, on premises. Brick, second story add., 42x115 feet. Contract awarded to H. A. Hopple, 221 Heed Building, Philadelphia.

**Residence,** North side Tyson street, West of Castor avenue, \$6,500. Architect, private plans. Owner, Paul Albert, 2754 Coral street, Philadelphia. Stone and frame, 2 stories, 24x30 feet, hardwood and pine floors. Contract awarded to P. E. Goodnow, 111 Huntingdon Pike, Philadelphia.

**Store and Residence (add.),** 914 North Marshall street, \$4,500. Architect, private plans. Owner, R. Tinenberg, 1520 Walnut street, Camden, N. J. Brick, 2 stories add., 13x12 feet. Contract awarded to M. Singer, 430 Snyder avenue, Philadelphia.

**Store and Residence (add.),** 838 North Thirteenth street, Philadelphia, \$2,200. Architect, private plans. Owner, Samuel Levy, 558 North Sixteenth street, Philadelphia. Brick, 2 stories add., 15x16 feet. Contract awarded to N. De Palma, 1411 South Ninth street, Philadelphia.

**Building (alts.),** 2104 East Cheltenham avenue, Philadelphia, \$2,800. Architect, private plans. Owner, Dr. M. J. Larkin, 2004 Cheltenham avenue, Philadelphia. General alterations. Contract awarded to S. S. Billingsley, 1230 Cheltenham avenue, Philadelphia.

**Garage,** South side Lyecoming avenue, East of Fifth street, Philadelphia, \$3,000. Architect, private plans. Owners, K. Seeler & Son, 4100 North Fifth street, Philadelphia. Brick, 1 story, 17x50 feet, 42x17 feet, cement floor, slag roof. Contract awarded to Frank A. Adair, Martins Mill Road and Magee street, Philadelphia.

**Store and Residence (alts. and add.),** 726 South Eighth street, \$2,900. Architect, private plans. Owner, G. Felecia, on premises. Brick, 2 stories add., 13x12 feet, general alterations. Contract awarded to A. Puntillo, 1046 South Fifth street, Philadelphia.

**Bank (alts.),** 905 Market street, Philadelphia, \$2,500. Owners, Union National Bank, Third and Arch streets, Philadelphia. General alterations, mill work, partitions. Contract awarded to Basch & Co., Ruan and Tackawanna streets.

**Store and Storage Building (alts. and add.),** Northeast Corner F and Lippincott streets, Philadelphia, \$2,400. Owner, Mary Michael, 3122 F street, Philadelphia. Brick, 1 story add., 16x10 feet, general alterations. Contract awarded to K. Lubzenski, 3181 Edgemont street, Philadelphia.

**Residence (add.),** 6314 Haverford avenue, Philadelphia, \$3,300. Architect, private plans. Owner, E. W. Girbin, on premises. Brick, 2 stories add., 12x20 feet. Contract awarded to John H. Patterson, 6209 Girard avenue.

**Garage,** North side Wishart street, East of Richmond street, \$3,100. Architect, private plans. Owner, A. McDonald, 3157 Richmond street, Philadelphia. Brick, 1 story, 25x18 feet, 18x55 feet, slag roof, cement floors. Contract awarded to A. E. Barnes & Co., 2044 East Clementine street.

**Residence,** East side Verree Road, North of Oakmont street, \$5,000. Architect, private plans. Owner, Henry S. Weaver, Burholme, Philadelphia. Frame, 2 stories, 28x44 feet, shingle roof, hot water heat, electric work. Contract awarded to Fred Redner, Cheltenham, Pa.

**Store Building (alts.),** 1015 West Somerset street, \$2,665. Owners, Donnelly & Suess, on premises. General alterations. Contract awarded to H. P. Werner Co., 3245 Germantown avenue.

**Paving and Grading,** Philadelphia. Owners, Department of Public Works, Bureau of Highways, 216 City Hall, Philadelphia. The following contracts have been awarded: Schedule A—Grading: Fairhill street, Wingohocking to Blavis; Wingohocking, Reese to Fairhill; Wyoming avenue, Fifth to Fairhill street; \$2,253.12; contract awarded to Thomas Flanagan, 531 East Girard avenue, Philadelphia. Park avenue, Medary to Godfrey; Twelfth street, Champlost to Spencer; Thirteenth street, Champlost to Spencer, \$8,722.06; contract awarded to F. Mark Cont. Co., 2820 North Twenty-first street, Philadelphia. Sheldon street, Wister to Collum, \$3,773.76; contract awarded to R. B. Wenner, 3106 Midvale avenue, Philadelphia. Schedule B—Asphalt Paving: Bass street, Phil-Ellena to Dorset; Crowson, Phil-Ellena to Dorset, \$7,537.85; contract awarded to Barber Asphalt Paving Co., 139 North Thirtieth street. Broad street, intersection of Roosevelt Boulevard and Cayuga street; Collins street, Willard to Tioga; Glenwood avenue, Ridge to Northeast line of City Property, Broad street, \$3,555.18; contract awarded to Barber Asphalt Paving Co., 139 North Thirtieth street; Collins street, \$14,298.55; contract awarded to Eastern Paving Co., Colonial Trust Building, Philadelphia. Hunting Park avenue, Worrell to Torresdale; Worrell, Potter to Frankford avenue, \$16,751.25; contract awarded to Eastern Paving Co., Colonial Trust Building. Ritner street, Passyunk to Twenty-second, \$7,952.26; contract awarded to Barber Asphalt Paving Co., 139 North Thirtieth street. Rorer street, Tioga to Ontario street, \$6,523; contract awarded to Eastern Paving Co., Colonial Trust Building. Schedule C—Vitrified Block Paving: Zeralda street, Pulaski to Apsley, \$5,929.28; contract awarded to J. F. Nolen & Son, 364 East Penn street, Philadelphia. Schedule D—Improvement of Spring Garden street, from Delaware avenue to Sixth street, \$169,987.80; contract

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awarded to Eastern Paving Co., Colonial Trust Building. Schedule E—Thirty-third Street Bridge over New York Branch of Pennsylvania Railroad, \$5,652.50; contract award-

ed to William A. Mundy, 226 South Warnock street, Philadelphia. Twenty-first Street Bridge over Main Line of Philadelphia and Reading Railway will be readvertised.

## PENNSYLVANIA Construction News

**Sewerage System and Sewage Disposal Plant**, Media, Pa. Engineers, Remington & Vosbury, Camden, N. J. Owners, Borough Council, Edward Minton, secretary, Borough Hall, Media, Pa. Low bidder on Sewage Disposal Plant: P. A. Hennessy & Fowell, Pleasantville, New York, approximate bid \$64,000. Low bidder on Sewer: Vincenzo Di Francesco, Llanerch, Pa., \$134,000.

**School**, Bethlehem, Pa. Architects, Gleeson, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, Sts. Cyrillus and Methodius Roman Catholic Church, Rev. Francis Blossok, Bethlehem, Pa. Brick, stone, 2 stories and basement, 63x102 feet. Plans in progress. Too early for details.

**Residence and Garage**, Latham Park, Montgomery County, Pa. Architect, Conrad Neff, 1200 Locust street, Philadelphia. Owner, Mrs. Mary E. La Dow, Thirteenth and Oak Lane avenue, Philadelphia. Hollow tile or concrete block and stucco, 2½ stories, 48x46 feet, slate roof, hardwood and cement floors, hot water heat, electric light, tile work. Plans completed.

**Drug Store (add.)**, 16 East King street, Lancaster, Pa. Architect, J. B. Harmon, Lancaster, Pa. Owners, Heinitsch Drug Store, Edward Page, on premises. Brick, steel, 3 stories, 84x24 feet, Barrett roof, maple floors, heating extension, electric light, plate glass, rolled steel sash. Plans in progress.

**Pythian Temple**, State street, Harrisburg, Pa. Architect, C. H. Kane, 317 Chestnut street, Harrisburg, Pa. Owners, Pythian Castle Association, O. G. Breneman, 1325 Kitatiny street, Harrisburg, Pa. Stone, brick, 4 stories, 52x107 feet. Plans in progress.

**Store and Apartment (alts. and add.)**, Lemon and Duke streets, Lancaster. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, D. A. Skyllas, Penn Square, Lancaster, Pa. Brick, steel, 3 stories, 150x17 feet, slag roof, hardwood floors, vapor heat, electric light, metal lath, plate glass. Plans in progress.

**Orphanage**, Millmont, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Bernardine Sisters of St. Francis, care of architect. Brick, steel, 2 and 3 stories, 240x187 feet, composition tile roof, tile, cement and hardwood floors, hollow tile, dumb waiters, safety treads, roof ventilators, architectural terra cotta (heating, plumbing and electric reserved), metal lath, tile and marble work, bond, ornamental iron work. Architect will be ready for bids in one week.

**Cold Storage Building**, Sixth and Forrest streets, Harrisburg. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, J. H. Kreamer, on premises. Cinder block, 2 stories, 35x47 feet, Barrett roof, cement floors, freight elevators, electric light,

insulation, refrigeration, waterproofing. Architect ready for bids.

**Residence**, Reading, Pa. Architect, L. D. Lance, 108 North Fifth street, Reading, Pa. Owner, W. A. Rhoads, 1541 Delaware avenue, Wyomissing, Pa. Stone, 2½ stories, 38x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner taking bids.

**Church (alts. and add.)**, Parsonage and Sunday School, York, Pa. Architect, Edward Leber, Hay Building, York, Pa. Owners, First Methodist Episcopal Church, Rev. B. Harle, care of architect. Stone, brick, 1 and 2 stories, 50x100 feet, 35x70 feet, 80x100 feet, slate roof, hardwood and pine floors. Architect will be ready for bids next week.

**Club House**, Ardmore, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owners, care of Frank Mahon, Ardmore, Pa. Stone, plaster, 1 story, 30x50 feet, shingle roof. Owners, care of Frank Mahon, Ardmore, Pa., taking sub-bids.

**Stores**, Lancaster, Pa. Architect, J. B. Harmon, 54 North Queen street, Lancaster, Pa. Owner, C. Woodmeyer, 48 North Queen street, Lancaster, Pa. Structural steel, 1 story and basement, 100x36 feet, asphalt roof, cement work, plate glass, tile and marble work, rolled steel skylights, waterproofing and dampproofing, architectural terra cotta. Owner taking sub-bids.

**Hotel, Store, Restaurant and Dance Hall**, Ashland, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Anton & Peter H. Loeper, Ashland, Pa. Brick, steel, 4 stories, 50x125 feet, 75 rooms, slag roof, wood and cement floors, elevators, tile and marble work, steam heat, electric light. Architect taking bids due August 14th.

**Residence**, Wyomissing, Pa. Architect, L. D. Lance, 108 North Fifth street, Reading, Pa. Owner, H. L. Althouse, Belmont avenue, Wyomissing, Pa. Brick, stone, steel, 2 stories, 54x26 feet, slate and tin roof, hardwood and yellow pine floors, hollow tile, hot water heat, electric light, tile work. Architect taking bids due August 9th.

**Parish House**, Radnor, Pa. Architects, Zant-zinger, Borie & Medary, Otis Building, Philadelphia. Owners, Old Saint David's Church, Radnor, Pa. Stone, 1½ stories, 61x40 feet, shingle roof, maple floors, steam heat, electric light, steel, bond, ornamental iron work, flagstone paving, wrought iron piping. Architects taking bids due August 15th.

**Apartment (alts. and add.)**, 150 East Walnut street, Lancaster, Pa. Architect, J. B. Harmon, 54 North Queen street, Lancaster, Pa. Owner, Evangelist Manolakis, on premises. Brick, 3 stories, 22x64 feet, slate roof, hardwood floors, tile work (heating, plumbing reserved), electric light. Architect taking bids due as soon as possible.

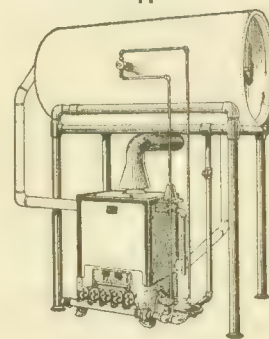
**High School**, Port Allegany, Pa. Architects, M. E. Kressley Co., Commonwealth Building, Harrisburg, Pa. Owners, Port Allegany School Board, L. C. Ritzer, secretary, Port Allegany, Pa. Low bidders: Cramer & Co., Emporium, Pa.

**Bridge**, Route No. 150, Bristol Borough, Bucks County, Pa. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Removing floor system of 2 85-foot plate girder spans, shifting two existing girders, providing and placing new floor beams and reinforced concrete slab floor. Providing new concrete back walls above present bridge seat. Certified check, \$300. Owners taking bids due August 19th at 10 A. M.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Owners taking bids due August 19th at 10 A. M.

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foundation or one course reinforced concrete. Certified check, \$2,500.

Fayette County, Appli. 1216, Nicholson Township, 9,024 feet. One course reinforced concrete. Certified check, \$1,500.

Franklin County, A-585, Quincy Township and Mont Alto Borough, 11,876 feet. One course reinforced concrete. Certified check, \$2,000.

Mercer County, R-73, Grove City Borough, 3,048 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$1,500.

Northumberland County, R-18, Turbot and Delaware Townships and Watsontown Borough, 11,040 feet. One course reinforced concrete. Certified check, \$2,000.

Potter County, A-2738, Lewisville Borough, 1,800 feet. One course reinforced concrete. Certified check, \$1,000.

Somerset County, R-51, Summit Township, 1,485 feet. One course reinforced concrete. Certified check, \$1,000.

**Road Work, Pennsylvania.** Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Low bidders on work opened July 29th.

Beaver County, R-204, Sec. 6, Chippewa Township, 3,491 feet. One course reinforced concrete. L. H. Young Const. Co., West Austintown, O., \$38,986.30.

Erie County, R-304, Greenfield Township, A-3140, 21,767 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Charles H. Frey Const. Co., Erie, Pa., \$196,789.28.

Somerset County, A-1616, Somerset Township, 5,868 feet. One course reinforced concrete. Vepond-Strite & Moore, Hollidaysburg, Pa., \$32,293.80.

Beaver County, A-2935, North Sewickley Township, 4,352 feet. One course reinforced concrete. W. S. Morrison, New Brighton, Pa., \$58,824.85.

Lehigh County, A-2497, Catasauqua Borough, 7,491 feet. One course reinforced concrete. Continental Cont. Co., Baltimore, Md., \$121,904.85.

Potter County, A-2595, R-101, Coudersport Borough, 1,806 feet. One course reinforced concrete. George Metzger, Jr., Emporium, Pa., \$22,713.36.

Elk County, A-944, Fox Township, 20,655 feet. Grading and drainage. Luther F. Edwards, Greensburg, Pa., \$37,318.80.

Luzerne and Wyoming Counties, R-232, Exeter Township, 27,126 feet. One course reinforced concrete. J. M. Boyd, Kingston, Pa., \$279,740.95.

Lycoming County, A-1036, R-335, A-2207, R-291, Muncy Township, Montoursville Borough, 12,398 feet. One course reinforced concrete. George I. Thompson, Clearfield, Pa., \$119,129.15.

Erie County, A-2882, Mill Creek Township, 10,614 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Charles H. Frey Const. Co., Erie, Pa., \$99,598.80.

Indiana County, R-63, Spur, Rayne and East Mahoning Townships, 35,352 feet. One course reinforced concrete. R. H. Cunningham & Sons Co., Turtle Creek, Pa., \$324,756.14.

Erie County, A-2832, Girard Township, 19,121 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Charles H. Frey Const. Co., Erie, Pa., \$146,627.

Beaver County, A-1951, Greene Township, 12,316 feet. One course reinforced concrete. Garvey-Weyenberg Const. Co., Appleton, Wis., \$131,683.13.

Erie County, R-86, Mill Creek Township, Peninsula Project, 21,070 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Charles H. Frey Const. Co., Erie, Pa., \$204,749.75.

Columbia County, R-183, A-2118, Locust Township, 14,466 feet. One course reinforced concrete. James Christiano, Shamokin, Pa., \$125,642.20.

Venango County, A-2276, Oil Creek Township, 24,871 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. W. W. Wilt, Franklin, Pa., \$67,563.85.

Venango County, A-2004, Sugar Creek Township, 5,282 feet. One course reinforced concrete. Colonial Const. Co., Pittsburgh, Pa., \$196,163.05.

## Pennsylvania Contracts Awarded

**Taylor Community Hospital**, Ridley Park, Pa. Architects, William Macy Stanton and Stanley P. Stewart, 1524 Chestnut street. Owners, Taylor Hospital, Ridley Park, Pa. Reinforced concrete, stone, 6 stories, 40x80 feet, slag roof, cement floors, composition, tile and rubber floors, elevators, signal system, plumbing, metal doors, rolling steel sash, tile and marble work, electric light, vacuum high and low pressure steam heat. Contract awarded to Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Bungalow**, Edmunds and Highland avenues, Drexel Hill, Pa. Architect, Albert F. Schenck, Real Estate Trust Building, Philadelphia. Owner, Dr. J. J. Nelson, Drexel Hill, Pa. Hollow tile, stucco, 1½ stories, 48x32 feet, oak floors, slate roof, cement floors, tile work, bond, electric work, hot water heat. Contract awarded to W. J. Ryder, 1718 Sansom street, Philadelphia.

**Biddle School**, West Chester, Pa., \$74,556. Architects, Davis, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, Building Committee, West Chester School District, West Chester, Pa. Brick, cut stone, steel, 3 stories and basement, 100x64 feet, slag and composition roof, cement, pine, wood block floors, plumbing, painting, glazing, shoring, water and dampproofing, ornamental iron work, ornamental terra cotta, iron stairs, floor hardener, bond, hollow metal doors, rolling steel skylights, hollow metal sash, tile and marble work, metal lath, electric light, steam heat, cast iron pipe, wrought iron pipe. Contract awarded to Wm. R. Dougherty, 1610 Sansom street, Philadelphia. Electric awarded to Raymond Cox, Malvern, Pa. Heating and plumbing awarded to George Palmer, West Chester, Pa.

**Residence**, Montgomery avenue and Birch Lane, Montgomery County, Pa. Architect, Robert R. McGoodwin, 1600 Walnut street, Philadelphia. Owner, Staunton B. Peck, care of architect. Stone, brick, cut stone, 2½ stories and basement, 42x32 feet, wing 36x26 feet, slate roof, oak and pine floors, painting, glazing, vapor heat, electric light, metal lath, tile work, bond, flagstone. Contract awarded to John E. Walt, 204 East Willow Grove avenue, Philadelphia.

**Store Building (alts. and add.)**, 14-20 N. Market street, York, Pa. Architect, J. H. McClymont, Market and Queen streets, York, Pa. Owners, P. Wiest's Sons, J. H. Rogers, on premises. Brick, terra cotta, 4 stories, 65x240 feet, hardwood and composition floors, heating extension, electric light. Contract awarded to S. F. Glatfelder, York, Pa.

**Garage**, Cynwyd, Pa. Architects, Savery & Scheetz, Stephen Girard Building, Philadelphia. Owner's name withheld. Contract awarded to J. Howard Roberts, Lansdowne, Pa.

**Store (alts.)**, 641 Penn street, Reading, Pa. Architect, H. R. Heckman, Baer Building, Reading, Pa. Owner, A. Kagen, 705 Penn

street, Reading, Pa. Brick, 15x150 feet, store front, copper work, general interior alterations. Contract awarded to Fink Const. Co., 658 Penn street, Reading.

**Residence (alts. and add.)**, Camp Hill, Pa. Architect, C. J. Lappley, Cotterel Ebner Building, Harrisburg, Pa. Owner, C. G. Heyd, 230 South Forty-ninth street, Philadelphia. General interior alterations, hardwood floors, tile work. Contract awarded to W. E. Bushey, Lemoyne, Pa.

**Store and Office**, Carlisle, Pa. Architects, Lawrie & Green, Commonwealth Building, Harrisburg, Pa. Owner, S. W. Haverstick, Carlisle, Pa. Brick, 3 stories, 34x86 feet, comp. roof, hardwood floors, electric light. Contract awarded to H. A. Lackey, Carlisle, Pa.

**Grade School**, Hanover, Luzerne County, Pa. Architect, R. M. Herr, Simon LoLug Building, Wilkes-Barre, Pa. Owners, Hanover Township School Board, care of architect. Brick, 2 stories. Contract awarded to Herman Mailander, Wilkes-Barre, Pa.

**Theatre Building**, Nesquehoning, Pa. Architect, Wm. H. Lee, 1505 Race street, Philadelphia. Owner, W. B. Freed, Mauch Chunk, Pa. Brick, frame, structural steel, 1 story, 40x150 feet, slag roof, concrete floors, hollow tile, dampproofing, hot blast heat, electric light, metal lath, plumbing, iron work, plastering, sheetrock, copper work, plate glass, brickwork. Contract awarded to George M. Thomas, Nesquehoning, Pa.

**Road Work, Pennsylvania.** Owners, State Highway Department, Harrisburg, Pa.

Allegheny County, R. 247, Baldwin, Bethel and Snowden Townships, 33,656 feet. One course reinforced concrete, \$33,018.95. Contract awarded to Johnson, Drake & Piper, Erie, Pa.

Beaver County, A. 2753, Conway and Freedom Borough, 8,990 feet. One course reinforced concrete, \$132,943.00. Contract awarded to Burns Bros., New Castle, Pa.

Perry County, R. 31, Home and Greenwood Townships, 26,491 feet. One course reinforced concrete, \$339,935.63. Contract awarded to Union Paving Company, Thirtieth and Locust streets, Philadelphia.

Somerset County, R. 50, A. 2731-32-33, Milford Township, N. Centerville and Bockwood Borough, 14,062 feet. Either bit. surface course on concrete foundation or one course reinforced concrete, \$145,472.15. Contract awarded to W. H. Wilkey, Uniontown, Pa.

## New Jersey Construction News

**School**, French Estate, near Westmont, Haddon Township, N. J. Architect, Charles R. Peddle, 136 South Fourth street, Philadelphia. Owners, Board of Education of Haddon Township, J. R. Given, secretary, Westmont, N. J. Reinforced concrete and brick, 2 stories, 60x140 feet, (8) rooms. Plans completed. Ready for bids in a few days.

**Synagogue**, Pleasantville, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. Y. Owners, B'nai Israel Congregation, care of Lewis Allen, Pleasantville, N. J. Brick, cut stone, 1 story and basement, 40x61 feet, slate roof, hardwood floors, roof ventilators, painting, dampproofing, hot water heat, electric light, metal lath. Plans in progress.

**Hotel**, Inlet Section, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. J. Owner's name withheld. Fireproof, 5 stories, 100x175 feet, slag roof, composition, tile and hardwood floors, hollow tile, 2 elevators, safety treads, steam heat, electric light, metal lath, tile and



marble work, iron stairs, ornamental terra cotta. Plans in progress.

**Apartment and Store (alts. and add.),** 6516-3 Ventnor avenue, Ventnor, N. J. Architect, A. A. Rosenstein, Humphrey Building, Atlantic City, N. J. Owner, D. Ravinovitz, on premises. Brick, 3 stories, slag or slate roof, hardwood floors, partitions, tile work, general interior alterations, ornamental iron work. Plans in progress.

**Apartment,** rear of 129-31 North Georgia avenue, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owner, J. A. Majane, 33 North Arkansas avenue, Atlantic City, N. J. Brick, frame, 4 stories, 60x30 feet, pine floors, hot water heat, electric light, tile work. Plans in progress.

**Comfort Station,** Pleasantville, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. J. Owners, City of Pleasantville, City Council, Pleasantville, N. J. Brick, stucco, 1 story, 27x50 feet, Spanish tile roof, tile floors, hot water heat, electric light, tile and marble. Plans in progress.

**Bank,** Elmer, N. J. Architect, Thomas Edw. Ash, 1012 Walnut street, Philadelphia. Owners, Elmer Trust Co., Oscar Simpkins, Aldine, N. J. Brick, limestone, 1 and 2 stories and basement, 36x48 feet, slag roof, maple and hardwood floors, hot air heat, electric light, steel vault, 1 steel door. Plans in progress. Architect will be ready for bids in one week.

**Convent,** Perth Amboy, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, Holy Trinity R. C. Church, Rev. James Szuchy, Perth Amboy, N. J. Brick, stone, 3 stories, 88x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Revised plans in progress.

**Residence,** 6 South Morris street, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owner, Anna McDonough, Hampton Court Apartments, Atlantic City, N. J. Brick, 3½ stories, 62x50 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Architect will take bids in one week.

**Parochial School,** South River, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Mary's R. C. Church, South River, N. J. Concrete, fireproof, 3 stories, 144x64 feet 8 inches, steel floors, brick work, plastering, fireproofing, slag roof, ornamental terra cotta, sheet metal work, blackboards. Woodland Const. Co., Sixty-fifth and Chester avenue, Philadelphia, ready for bids on plumbing, heating and electric work.

**Office Building,** Brigantine Beach, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, H. G. Harris & Co., Guarantee Trust Building, Atlantic City, N. J. Cinder block and stucco, 1 story, 34x46 feet, tile roof, tile and pine floors, hot water heat, electric light, flagstone walks, brick porches, ornamental iron work. Owners, care of Mr. Cuthbert, Guarantee Trust Building, Atlantic City, N. J., taking sub-bids.

**Residence (alts. and add.),** 109 South Dorset street, Chelsea, N. J. Architect, Conrad F. Neff, 1200 Locust street, Philadelphia. Owner, Charles J. Mayer, 109 South Dorset street, Chelsea, N. J. Brick and frame, one story, 29x7 feet, slate roof, hardwood and composition floors, concrete foundations and piling, alterations to heating, plumbing. Architect will build.

**Building,** Pottsville, Pa. Architect, W. D. Hill, Pottsville, Pa. Owners, Yoengling Realty Co., Pottsville, Pa. Tile and face brick, 30x105 feet, slag roof, yellow pine floors, hollow tile, waterproofing, terra cotta (plumbing, heating and electric work reserved), metal lath, rolled steel skylights, fire

doors. Architect taking bids, due September 15th.

**Hospital Group,** Morris Plains, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, New Jersey Hospital for Insane, Morris Plains, N. J. Brick, fireproof, 1, 2 and 3 stories, various sizes, slate roof, mastic, composition and cement floors, hollow tile, elevators, roof ventilators, water and dampproofing, steam and hot water heat, electric light, metal lath, tile, marble and terrazzo work, rolled steel sash, metal sash, fire, kalamem and hollow metal doors, floor hardener, iron stairs, screens, shades. Architects taking bids, due September 4th. Note date.

**McKinley Hospital (add.),** Brunswick avenue and Ferries, Trenton, N. J. Architect, Wm. A. Klemann, First National Bank Building, Trenton, N. J. Owners, McKinley Memorial Hospital, Trenton, N. J. Brick, steel, 3 stories, 40x100 feet, concrete and slag roof, hardwood floors, hollow tile, elevators, roof ventilators (heating, plumbing reserved), electric light, metal lath, tile and marble work, fire doors, iron stairs, ornamental iron work. Architect taking bids, due August 12th.

**Sanitary Sewerage System,** Glassboro, N. J. Construction engineer, W. A. Goff, Collingswood, N. J. Consulting engineer, W. H. Boardman, 426 Walnut street, Philadelphia. Owners, Borough of Glassboro, Franklin E. Scott, Clerk, Glassboro, N. J. 5 inch, 3 inch, 12 inch, 15 inch, 18 inch, 22 inch terra cotta pipe, 8 inch to 12 inch cast iron pipe, 358 manholes. Owners taking bids, due August 12th.

## New Jersey Contracts Awarded

**Bank (add.),** Paulsboro, N. J. Architect, C. R. Peddle, 136 South Fourth street, Philadelphia. Owners, First National Bank, Paulsboro, N. J. Rear additions, brick, general alterations. Contract awarded to Ernest Smith, Paulsboro, N. J.

**Haddon Hall and Chalfonte Hotel (adds.),** Atlantic City, N. J. Architects, Rankin, Kellogg & Crane, 1805 Walnut street, Philadelphia. Owners, Leeds & Lippincott Co., Atlantic City, N. J. Stone, steel, reinforced concrete, bluestone, limestone, granite, Haddon Hall, 1 story and basement, 67x66 feet; Chalfonte Hotel, 2 stories and basement, 78x129 feet, slag roof, concrete floors, plumbing, wrought iron pipe, waterproofing, ornamental terra cotta, steam heat, electric light, metal lath, tile and marble work, metal sash, hollow metal doors, bond, ornamental iron work, cold water painting, bronze, marble treads, cork tile floors. Contract awarded to George A. Fuller Co., Morris Building, Philadelphia.

**Bath House,** Kentucky, Massachusetts avenue, Boardwalk, Atlantic City, N. J. Architects, L. B. Rothschild, 215 South Broad street, Philadelphia, and H. E. Stout, Guarantee Trust Building, Atlantic City, N. J. Owner, S. Bershad, 1329 Northeast Boulevard, Philadelphia. Brick, stucco, terra cotta, 4 stories, 104x65 feet, steam heat, electric light, metal lath, tile and cement work, marble work, hollow metal sash, galvanized iron skylights, tin clad doors, ornamental iron work, waterproofing, terra cotta. Contract awarded to Morris Beck, 601 Adriatic avenue, Atlantic City, N. J.

**School,** Delair, Pensauken Township, N. J., \$25,733. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, School Board of Pensauken Township, Camden County, Pensauken, N. J. Brick, composition

stone, steel, 1 story and basement, 2 wings, 24x30 feet, slag roof, cement and maple floors, hollow tile, painting, glazing, roof ventilators, water and dampproofing, rolled steel sash, bond, ornamental iron work. Contract awarded to Hugh B. Miller, Edgewater Park, N. J. Heating awarded to American Heating and Ventilating Co., 200 North Fifteenth street, Philadelphia, \$4,581.00.

## Delaware Construction News

**Stores and Apartments,** Sixth street, between Orange and Shipley, Wilmington, Del. Architects, R. R. Neely & E. Wm. Martin, 2301 Spruce street, Philadelphia. Owners, H. L. Blest, 109 West Sixth street, Wilmington, Del. Brick, 21x92 feet, 116x16 feet, slag roof, hardwood and pine floors, electric work. Plans completed. Owners taking general bids.

**George Gray School,** Twenty-second and Locust streets, Wilmington, \$250,000. Architects, Guilbert & Betelle, 526 Broad street, Newark, N. J. Owners, School Board of Wilmington, care of Mr. A. J. Taylor, Delaware School Auxiliary Association, DuPont Building, Wilmington, Del. Brick, steel, concrete, 3 stories and basement, 288x70 feet, slag roof, concrete floors (plumbing, heating, ventilating, electric work reserved), tile work. Owners taking bids, due August 26th at 1 P. M. Daylight Saving time. \$25.00 required, \$25.00 refunded. 5% of amount of bid required.

**Residence,** Price's Corner, Wilmington, Del. Architect, E. C. May, DuPont Building, Wilmington, Del. Owner, William Frederick, Price's Corner, Wilmington, Del. Brick, stucco, 2½ stories, 26x36 feet, asbestos shingle roof, hardwood floors, composition floors, hot water heat, electric light, tile work. Owner will build.

**Residence,** Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington, Del. Owner, L. R. Cantero, Ninth and Union streets, Wilmington, Del. Brick, 2½ stories, 24x40 feet, composition roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Apartment,** 2808 Jefferson street, Wilmington, Del., \$12,000. Architect, private plans. Owner, Wilmer W. McElroy, 2818 Jefferson street, Wilmington, Del. Brick, stone, 2 stories, 32x56 feet, pine floors, hot water heat, electric light. Owner will build.

**Factory,** Wilmington, Del., \$5,000. Architect, private plans. Owner, W. H. Bullock, 2934 Market street, Wilmington, Del. Brick and iron, 1 story, 45x60 feet, cement floors. Owner will build.

**Apartment (alts. and add.),** 1004 Madison avenue, Wilmington, Del., \$10,000. Architect, private plans. Owner, Peter J. Ford, 927 W. Tenth street, Wilmington, Del. Brick, 1 story addition, 18x18 feet, 18x30 feet, general alterations. Owner will build.

## Delaware Contracts Awarded

**Residences (25),** Newark, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington, Del. Owner's name withheld, care of builder. Frame, 2 stories, 22x55 feet, shingle roof, hardwood floors, steam heat, electric light, tile work. Contract awarded to J. A. Bader & Co., Lackey Building, Wilmington, Del.

**Residences (2),** 404-06 West Twenty-eighth street, Wilmington, Del. Architect, private plans. Owner, C. E. Yost, 304 North Twenty-eighth street, Philadelphia. Brick, 2½ stories,



62x75 feet, slag roof, pine floors, electric work. Contract awarded to Heindle & Samworth Co., 1600 West Fourteenth street, Wilmington, Del.

**Residence**, 1715 Delaware avenue, Wilmington, Del., \$8,000. Architect, private plans. Owner, Mrs. Amelia Heinel, 520 South Franklin street, Wilmington, Del. Brick, 2 stories, 22x46 feet, flat roof, pine floors, hot water heat, electric light. Contract awarded to G. Scharle & Son, 701 Tatnal street, Wilmington, Del.

**Residence**, 1713 Delaware avenue, Wilmington, Del. Architect, private plans. Owner, Charles Sell, 1716 Pennsylvania avenue, Wilmington, Del. Brick, 2 stories, 25x41 feet, slate roof, pine floors, hot water heat. Contract awarded to W. F. Hadley, Claymont, Del.

## Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., July 25, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., August 26, 1924, for the construction of a one-story brick and terra cotta semi-fireproof Post Office building, approximately 70 by 50 feet in size, at Walden, N. Y. Drawings and specifications may be obtained from the Custodian of the Site at Walden, N. Y., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

TREASURY DEPARTMENT, Supervising Architect's Office, Washington, D. C., July 31, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., August 28, 1924, for New Water Pumps, etc., U. S. Quarantine Station, Reedy Island, Del. Drawing and specifications may be obtained from this office or at the office of the Custodian, U. S. Quarantine Station, Reedy Island, Del., in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from page 500)

material has been available before, but in such a scattered form that considerable searching might be required to secure necessary information. The first edition was issued in 1921. The present edition contains a large amount of new material, much of which has been published since that time.

These data are given in Circular 101 of the Bureau of Standards, Department of Commerce, entitled "Physical Properties of Materials." Copies may be obtained from the Superintendent of Documents, Government Printing Office, Washington, D. C. The price is 40 cents.

Plans for the Home Beautiful Exposition to be held at the Commercial Museum in October are going forward by leaps and bounds, according to Andrew C. Borzner, Chairman of the Architects' Exhibits Committee. It is estimated that 300,000 people will visit the Show, which it is hoped to make the largest building construction and home furnishing Exposition that was ever held in the City, and in it show everything that is

newest in building materials and things that go into the home.

Thousands of engraved invitations will be sent out by the Architects who are sponsoring the Exposition, and it is hoped to have everyone who is in any wise interested in the building industry on hand, while a special drive will be made to bring out the women folk, it being the consensus of opinion among architects that when building a home a great many points are decided by the fair sex.

An outstanding feature of the Exposition will be the great number of concerns exhibiting stucco, which testifies to the ever increasing popularity of this material.

An exhibit by the T-Square Club is also planned as a feature of the exhibition, in which members of this organization will endeavor to bring out just how much more essential it is to engage the services of an architect today than it was in the past. With the modern conveniences and appliances such as are coming into general use the architect is confronted on every hand by problems which he has to solve that were unheard of a few years ago. Door beds, telephone niches, radios, many new ideas in electrical appliances, wall ironing boards, and permanent furniture in breakfast rooms are the questions which the architect has to contend with.

"I am satisfied this show will mean a great deal to the home buyers of Philadelphia and vicinity," said Wm. F. B. Koelle, the Chairman, "for people can come out to the show and in a couple of hours get a better idea of building materials, construction and home furnishings than they could by spending a week meandering around among brick yards, lumber yards and department stores, and many will see things they never knew existed."

The Committee which is co-operating in holding the Exposition is made up of the following:

Wm. F. B. Koelle, General Chairman, Andrew C. Borzner, Chairman Exhibits Committee, Thomas Edward Ash, Jr., Duffield Ashmead, Jr., Amos W. Barnes, S. Brian Baylinson, Carl P. Berger, Max A. Bernhardt, George Howard Bickley, Wesley Leshner Blithe, Arthur H. Brockie, G. Edwin Brumbaugh, Bunting and Shrigley, Morgan Bunting, John J. Carroll, Geo. W. Casey, Horace W. Castor, C. Wharton Churchman, Ralph L. Colton, John L. Coneys, Edward A. Crane, Paul P. Cret, Henry D. Dagit, Jr., Day & Klauder, Clarence DeArmond, DeArmond, Ashmead & Bickley, W. W. Donohoe, Frederick W. Dreher, Dreher & Churchman, J. H. Druckenmiller, Druckenmiller and Williams, John J. Dull, Walter K. Durham, Durham Brothers, Victor Eberhard, Byron H. Edwards, Edwards & Green, Allen

Evans, Wilson Eyre, Furness Evans & Co., Raymond Gleeson, Alfred Green, Fred N. Greisler, Frank E. Hahn, John F. Harbeson, James Russell Harris, Samuel D. Hawley, Norman Henline, Oscar M. Hokanson, Walter D. Karcher, Thomas M. Kellogg, Albert Kelsey, Guy King, Charles Z. Klauder, H. E. Kleinfelder, John W. Lachman, Lachman & Murphy, I. W. Levin, J. Gilbert McIlvaine, MacKenzie & Wiley, Lewis P. MacKenzie, Magaziner, Eberhard & Harris, Louis Magaziner, Alfred H. Megrail, G. Harold Murphy, Stanley K. Neubauer, Neubauer & Supowitz, Oliver Randolph Parry, Watson K. Phillips, William C. Prichett, Charles F. Rabenold, John Hall Rankin, Rankin, Kellogg & Crane, Henry L. Reinhold, Jr., Verus T. Ritter, Ritter & Shay, Edward A. Roth, Edward L. Rothschild, Louis H. Rush, George E. Savage, Albert H. Savery, Savery & Scheetz, Wm. C. Scheetz, C. E. Schermerhorn, Frank Seeburger, Howell Lewis Shay, Arthur Shrigley, H. Rex Stackhouse, Jesse L. Stetler, Stetler & Deyster, F. Russell Stuckert, Stuckert & Co., David Supowitz, Alfred Lewis Ward, Frank R. Watson, Joseph H. Wiley, Carl H. Williams, Wilson, Eyre & McIlvaine.

The Van Seiver Corporation and associate companies, the largest miners and distributors of sand, gravel and allied building materials in the Philadelphia territory, have just announced their acquisition of the sand and gravel plants located at Morrisville, Pa., and formerly owned and operated by the Curtis & Hill Sand & Gravel Company.

This addition to their already large resources will increase the daily output of sand and gravel by the Van Seiver Corporation to 3,000 tons per day. Improvements will be made immediately, whereby the tonnage will be increased to 5,000 tons per day. Shipments from this plant are made by way of the Pennsylvania Railroad. The facilities at Morrisville, Pa., for the loading of trucks will be maintained.

The Van Seiver Corporation will have the exclusive sale of all of the products of this modern plant, and Mr. T. P. McCue, well known in the sand and gravel industry, and for a number of years connected with the Curtis & Hill Sand & Gravel Company, will be actively engaged in the Sales Department of the Van Seiver Corporation.

All contracts made by the Curtis & Hill Sand & Gravel Company prior to August 1st, 1924, for the shipment of sand and gravel from Morrisville, Pa., will be assumed and fulfilled by the Van Seiver Corporation.

On and after August 1st, 1924, all orders will be received by the Van Seiver Corporation at their Wholesale Order Department located on the Parkway at 24th Street, Philadelphia.



# Reference Directory for Architects, Builders and Owners

**ARCHITECTURAL CEMENT CASTINGS**  
Erickson & Weiss, Fisher's Ave. and Mascher St.

**ARTESIAN WELLS.**  
Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

**ARTISTS AND ARCHITECTS' SUPPLIES.**  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

**ASPHALT CONSTRUCTION.**  
Rulon, Ralph V. ....239 N. 30th St., Phila.

**BLUE PRINTS.**  
Blue Print Shop. ....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 33

August 13, 1924

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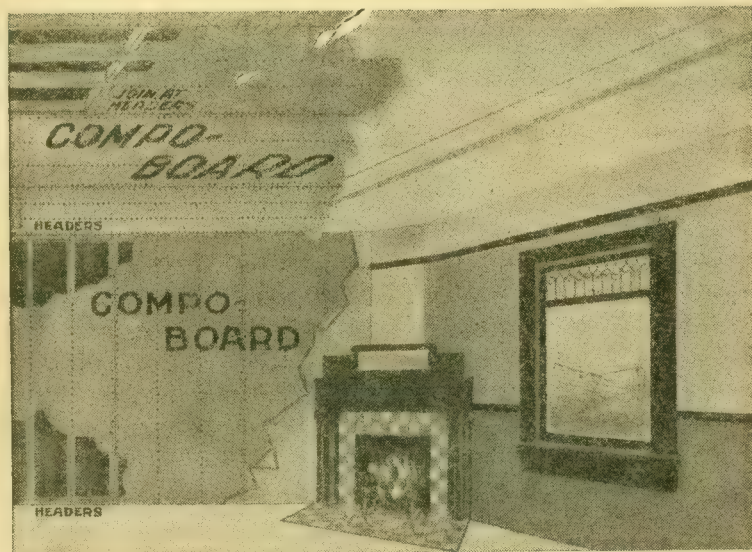
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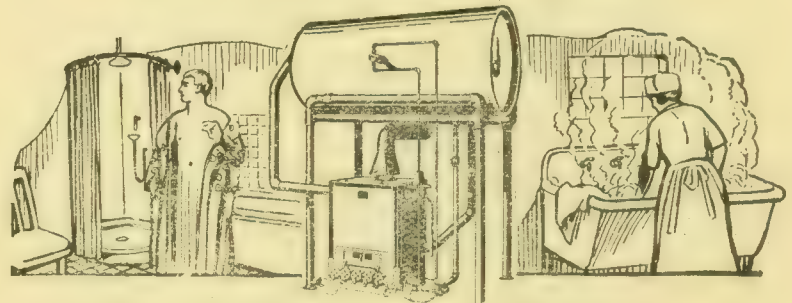
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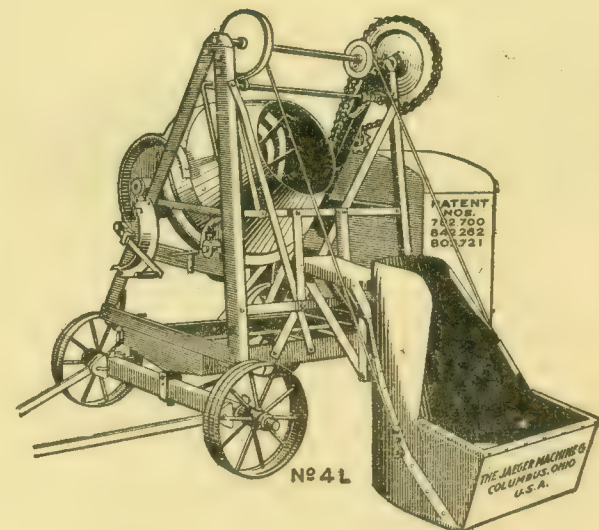
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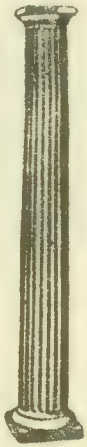


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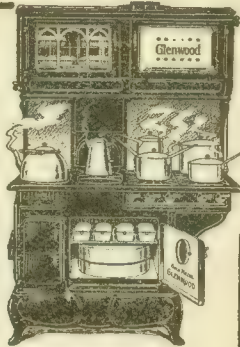


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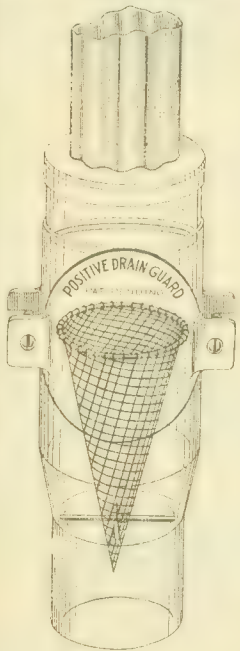
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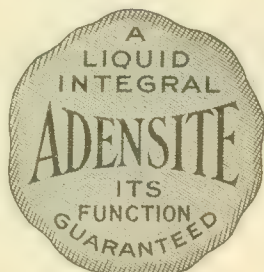
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Devoted to the Advancement of American Architecture, Structural  
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VOLUME XXXIX  
Number 33

PHILADELPHIA  
August 13, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### ORIGINALITY

The charge is sometimes made that there is no originality shown in the architecture of today. In fact, the extreme view is that there has been nothing new in the history of architectural development since the Middle Ages. As all readers know, such charges have been met by those well qualified to meet them. Those making the charges may still hold to their opinions yet most of us feel that the defense of the Renaissance Movement has shown that it was not without originality and inspiration, nor without justification.

To the extremists, what does originality mean? If originality means the production of that which is unprecedented and unparalleled, then their charges would be just. But to the majority, originality does not imply a sudden and total departure from all that has gone before, nor the defiance of all precedent and all tradition. Such a departure would not be acceptable to humanity at large, nor would anything that is good or lasting in art be expected to come of it.

The history of any art or of any science is a development. Nothing that is absolutely and entirely new in art has ever been produced in any given age, by any nation or people. Surely no individual or group of individuals could hope to do at once what a nation has not done. No attempt to create a new order of architecture or an entirely new style in art has ever been more than a short-lived move-

ment which has contributed nothing lasting to the world. Any given order or style of architecture represents centuries of growth and some four thousand years of growth are represented in what we have attained today. There have been periods of decadence and there have been revivals of styles of former periods. Periods of decadence are followed by reactions and while a revival is in the nature of an excursion, rather than a step in the direct line of progress, it is not without its good effect. True progress would not consist in a series of revivals; but the revival of a former style may mean gaining new inspiration from an old source, with consequent benefit.

In a nation as young as this one, with all of its traditions inherited from the mother countries of those who have combined to make it, a style of architecture that is entirely of this country is not to be expected. Even in its relatively short period of development, the architecture of this country has shown unusual progress.

To say that a new style in architecture can only result from new structural principles is trite, but nevertheless true. The rapid development of steel skeleton construction, as well as that of reinforced concrete, presented problems in exterior design which could not at once be solved. There have been many attempts to express the facts of a steel frame in a clothing of masonry. In this, we have made little more than a beginning. There

are a few outstanding examples which are signally successful. The "base, shaft and capital" treatment which early became accepted for tall buildings, with the use of forms that belong to an architecture of stone masonry construction, has lacked that which would have fully justified it. The more recent tendency has been to reduce masonry, to increase openings, to acknowledge vertical and horizontal steel members and to do away with great overhanging cornices. The "gradually reducing mass" which in some instances has been devised to comply with city building and zoning laws, is more logical and more appropriate than the exaggerated cornice. The termination of some of our most successful tall buildings has been accomplished in this way.

Not only in commercial buildings have the architects of this country made progress. Notable among the buildings which made great advances is the American country house. We have had the experience of all times and all countries by which to profit; and there is scarcely a civilized country that has not had its influence to a greater or less degree. This, of course, has resulted many times in styles that are imported or exotic; but this is not the usual rule. Nor is a combination of incongruities in any way typical of the American house. Some of the best examples of modern country house design show influences which could be traced to a variety of sources, yet they are so combined and adapted that the re-

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sult is that of unity, harmony and appropriateness.

The architectural profession is not without its copyists. There are those who lack originality and independence but they are in the minority. Certain designs have become stereotyped and standardized. The bank building or school building which does not represent a formula is to be commended.

No system of elementary training has been devised which takes the place of a thorough study of the orders of architecture. Although the individual may never express himself in terms of column and entablature, the lessons in scale and proportion which the orders teach give a working knowledge and a refinement which can be acquired in no other way. The designer who is best grounded in architectural history and tradition is likely to attain the most originality with the greatest success.

Construction and material for their own sake have come to be much more generally and fully appreciated. The frank expression of construction, together with the use of appropriate materials enhanced in effect by good craftsmanship will elevate a building far above the commonplace.

That which is best in building is that which is most genuine. The great stone arches of an aqueduct, which are beautifully proportioned and meet all static requirements, have never been surpassed as examples of beauty in construction. The modern steel bridge that is perfect from the standpoint of engineering may be of no less beautiful. Where every member is correctly proportioned and placed to serve its structural purpose in a faultlessly designed network of steel, pure utility may result in the acme of beauty. Its beauty lies not in its detail, but in the structure as a whole.

The ancient temple, the Medieval cathedral or the modern structure may each represent the best of its kind. Each is true to certain ideals, and each is good from its own standpoint.

Modern design is far from being at a

standstill. When the best work of today shows constant modification and adaptation with an avoidance of imitation, we can hope for the development of a style that is fully as expressive of this age as any earlier style is of its own.—*Edgar R. Thayer in Architecture and Building.*

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(Continued on page 528)

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CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Stores (4), Apartments (4),** Northeast Corner Broad and York streets, Philadelphia. Architect, Ruben Beard, 2120 North Lambert street, Philadelphia. Owner, S. L. Belin, on premises. Brick, 4 stories, 21x97 feet, slag roof, hardwood floors, electric light, metal lath, tile and marble work, metal ceilings, flush bulks. Plans in progress. Architect will be ready for bids in two weeks.

**Store and Residence (alts. and add.),** 1534 Ridge avenue, Philadelphia. Architect, Ruben Beard, 2120 North Lambert street, Philadelphia. Owner, H. Katz, 1531 Ridge avenue, Philadelphia. Hot water heat, electric light, metal lath, slag roof, cement floors, metal ceilings, flush bulks. Plans in progress. Architect will take general bids in one week.

**Store and Apartment,** Parker avenue and Ridge avenue, Philadelphia. Architect, Ruben Beard, 2120 North Lambert street, Philadelphia. Owner, Sam Wolpert, 6800 Ridge avenue, Philadelphia. Brick, 2 stories, 18x70 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath, tile work. Plans in progress.

**Stores and Apartments,** Southeast Corner Seventh and Spruce streets, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, Louis E. Wiser, care of architect. Brick and steel, 5 stories and basement, 25x100 feet, slag roof, oak and pine floors, steam heat, electric light, ornamental iron work. Revised plans in progress.

**Stores and Apartments,** Southeast Corner Fifteenth and Spruce streets, Philadelphia. Architects, Neibauer & Supowitz, 1524 Chestnut street, Philadelphia. Owner, Gladys Hindley, on premises. Brick, cut stone, steel, 4 stories, 20x80 feet, slag roof, oak and pine floors, hot water heat, electric light, metal lath, tile work, ornamental iron work. Architects taking bids due August 16th.

**Residence,** City Line and Haverford Road, Philadelphia, \$125,000. Architect, not yet selected. Owner, Pompey Ansell, 6503 Race street, Philadelphia. Stone, 1½ stories, 75x75 feet. Contemplated.

**Garage,** Southeast Corner Germantown and Glenwood avenues, Philadelphia. Architect, Ruben Beard, 2120 North Lambert street, Philadelphia. Owner, Harry Braveman, Germantown and Glenwood avenues, Philadelphia. Brick, concrete and steel, 2 stories, 74x129 feet, steam heat, electric light, slag roof, cement and maple floors, elevators, hollow metal sash, rolling steel doors. Architect ready for general bids.

**Apartments (12),** Fourth and Lombard streets, Philadelphia. Architect, Ruben Beard, 2120 North Lambert street, Philadelphia. Owner, name withheld. Brick, 3 stories, 38x92 feet, slag roof, pine floors, hot water heat, electric light. Plans in progress. Architect will be ready for bids in one week.

**Residence,** Allen Lane and Buttercup Lane, Philadelphia. Architect, Ruben Beard, 2120 North Lambert street, Philadelphia. Owner, name withheld. Stone, 2½ stories, 23x70 feet, slate roof, hardwood floors, hot

water heat, electric light, tile work. Plans completed. Architect ready for bids.

**Stores (2) and Apartments (alts. and add.),** Eighty-fourth and Eastwick avenue, Philadelphia. Architect, Ruben Beard, 2120 North Lambert street, Philadelphia. Owner, name withheld. Brick, 2 stories, 28x20 feet, slag roof, cement and pine floors, metal ceilings, flush bulks, metal lath, electric light. Plans in progress. Architect will be ready for bids in one week.

**Garage (add.),** West side Oxford Pike, South of Cottman street, \$8,000. Architect, private plans. Owner, S. Diringer, 7249 Rising Sun avenue, Philadelphia. Brick, 1 story add., 55x102 feet, cement floors, slag roof. Owner will build.

**Garage (alts.),** 1220 South Broad street, Philadelphia, \$6,000. Architect, private plans. Owner, M. Lempone, on premises. General alterations. Contract awarded to A. P. Lucker, Southeast Corner Thirty-fourth and Haverford.

**Home (Lodge),** Northwest Corner Seventh and Pine streets, Philadelphia. Architect, W. L. Charr, 149 South Fourth street, Philadelphia. Owner, Boslove's Beneficial Association, I. L. Stern Secretary, 417 Pine Street. Stone, steel, 4 stories and roof garden, 44x95 feet. Too early for details.

**Post Office Building,** Oak Lane and Franklin street, Philadelphia. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owner, name withheld. Lessee, United States Government, Post Office Department, Washington, D. C. Brick and terra cotta, 1 story, 32x73 feet, slag roof, cement floors, steam heat, electric light. Plans in progress. Architect will take bids in one week.

**Apartment (alts.),** 1428-34 Pine street, Philadelphia. Architects, R. Erskine and William Sandord, 1716 Cherry streets, Philadelphia. Owner, Louis B. Moffett, 1420 Pine street, Philadelphia. Brick, steel, repairs to slag roof, plastering, painting and glazing, carpentry and mill work, metal lath, tile work, bond, ornamental iron work (plumbing, heating, electric, kitchen fixtures, Murphy beds and hardware reserved). Revised plans in progress.

**Fire House,** Juniper and Race streets, Philadelphia, \$275,000. City architect, John Molitor, Bankers' Trust Building, Philadelphia.

Owners, City of Philadelphia, Department of Public Works, City Hall, Philadelphia. Brick, reinforced concrete, 2 stories, 108x138 feet, slag roof, cement floors, steam heat, electric light. Plans in progress.

**Stores (3), Apartments,** Mt. Pleasant avenue near Lincoln Drive, Philadelphia. Architect, Samuel Abramson, 2313 Walnut street, Philadelphia. Owner, Joseph Bernstein, care of architect. Brick, 2 stories, 70x100 feet, slag roof, hardwood floors, hot water heat, electric light, tile and marble work, metal bulks, plate glass. Plans in progress. Architect will take sub-bids in two weeks.

**Store and Apartment,** Southwest Corner Fifty-ninth and Chestnut streets, Philadelphia. Architect, W. L. Charr, 149 South Fourth street, Philadelphia. Owner, Samuel Wolkov, care of architect. Brick, stucco, 3 stories, 16x60 feet, slag roof, pine and hardwood floors, ornamental iron work, metal bulks, bnd, store fixtures, tile and marble work, metal lath, electric lighting, hot water heat. Plans in progress. Owner will build.

**Residences (42),** Sixty-sixth and Lansdowne, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owner, Pompey Ansell, 6503 Race street, Philadelphia. Brick, 2 stories, 15x42 feet, slag roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress. Owner will take bids in the fall.

**Residences (22),** Gratz street, North of Medary street, Philadelphia. Architect, private plans. Owner, Raymond G. Frick, 1400 West Erie avenue, Philadelphia. Brick, 2 stories, 15x42 feet, hot water heat, electric light, tile work, slag roof, hardwood floors. Owner will build.

**Residences (58),** Emlen and Ellet streets, Philadelphia. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, Eugene Tourison, Jr., Bankers' Trust Building, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Residences (34),** Magee and Edmund streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, J. Stewart Patton, 1132 Land Title Building, Philadelphia. Brick, 2 stories, (32) 15x36 feet, (2) 18x42 feet, slag roof, hardwood

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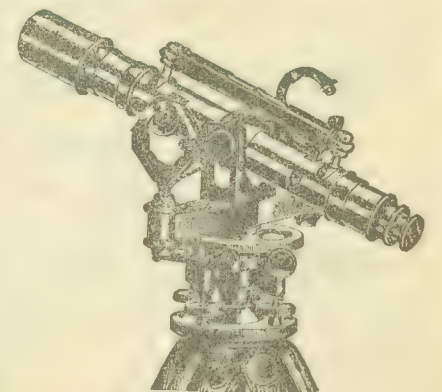
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**Residences (318) and Garages**, Sixty-fifth and Chester avenue, Philadelphia. Architect, private plans. Owner, S. Rader, 1634 South Fifty-eighth street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Apartment House (34 apartments)**, Northwest Corner Forty-third and Chestnut streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, J. Newton Smith, Hotel Marlyn, Fortieth and Walnut streets, Philadelphia. Brick, steel, concrete, limestone, terra cotta, 4 stories and basement, 116x226 feet, slag roof, oak floors, vapor heat, electric light, metal lath, tile and marble work, elevators, roof ventilators, fire doors, ornamental iron work. Revised plans in progress. Architect will be ready for general bids August 15th.

**Apartment House**, Sixty-third and Oxford streets, Philadelphia. Architectural Engineer, M. M. Boonin, Eighth and Porter streets, Philadelphia. Owners, Charles L. Podgor and Jacob Sklar, 5931 Spruce street, Philadelphia. Brick, cinder block, limestone, 4 stories and basement, 92x122 feet, slag roof, oak and composition floors, electric elevators, waterproofing, terra cotta, ornamental iron work, iron stairs, fire and kalamein doors, tile, marble and terrazzo work, metal lath, electric light, vapor heat. Plans completed. Owners taking sub-bids due as soon as possible.

**Store (alts. and add.)**, Ninth and Buttonwood streets, Philadelphia. Architect, E. L. Rothschild, Bankers' Trust Building, Philadelphia. Owners, Benjamin Loan Co., on premises. New front, metal bulks. Plans in progress. Architect will take bids in a few days.

**Residences (24) and Garages**, Forty-ninth and Brown streets, Philadelphia. Architect, John E. Sindoni, 1628 West Passyunk avenue, Philadelphia. Owner, John F. Basford, 1420 Chestnut street, Philadelphia. Brick, 2 stories, 15x43 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Owner ready for sub-bids.

**Fire House (alts.)**, Third and Race streets, Philadelphia, \$20,000. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, City of Philadelphia, Department of Public Works, City Hall, Philadelphia. Plans about completed. Owners will take bids in a few days.

**Factory Building**, Third and Wingohocking streets, Philadelphia, \$32,000. Architect, H. Frank Clark, 23 South Sixteenth street, Philadelphia. Owners, Columbia Steel Equipment Co., on premises. Brick, steel, 2 stories, 63x97 feet, 34x25 feet (plumbing, heating, electric and elevators reserved), slag roof, painting

and glazing, shoring, bond, ornamental iron work, fire doors, painting and glazing, plank and cement floors, galvanized iron skylights, rolled steel sash, metal toilet partitions. Owners will build and sublet.

**Bath House**, Torresdale avenue and Wakefield street, \$45,000. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, City of Philadelphia, Department of Public Welfare, Bureau of Recreation, 595 City Hall, Philadelphia. Brick, steel, concrete, 1 story. Owner ready for bids.

**Music Pavilion**, Hunting Park, Philadelphia. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Commissioners of Fairmount Park, 127 City Hall. Reinforced concrete, brick, iron work, 1 story circle 48 feet in diameter, shingle roof, pine floors, hollow tile, painting and glazing, electric light. Owners taking bids due August 14th at noon.

**Home Building (alts. and add.)**, Powelton and Saunders avenue, Philadelphia. Architect, Charles Barton Keen & Wallace, 338 South Smedley street, Philadelphia. Owners, Pennsylvania Industrial Home for Blind Women, on premises. Brick, 4 stories, 30x46 feet, fire tower, 15x11 feet, slag roof, Dura-flex and oak floors, elevators, roof ventilators, architectural terra cotta, iron stairs, fire doors, tile and mable work, electric lighting, vapor heating (plumbing, heating, electric elevators, tile work, refrigerators, ranges, Murphy beds reserved). Architects taking bids due August 15th.

**Garage (alts. and add.)**, 1413 Locust street, Philadelphia. Architect, Clarence Wunder, 1520 Locust street, Philadelphia. Owners, Brown Service Co., on premises. Brick, steel, 4 stories and basement, 21x10 feet, gypsum iron skylight roof, cement floors, plastering, elevator doors, plumbing, electric light, bond, ornamental iron work. Architect taking bids due August 14th.

**Store House**, 606 South Ninth street, Philadelphia. Architect, Henry Coscia, 1611 South Fifteenth street, Philadelphia. Owners, Tripoli Barber Supply Co., 606 South Ninth street, Philadelphia. Brick, 4 stories, 109x22 feet, slag roof, pine floors, elevators, hot water heat, electric light, fire doors. Architect taking bids.

**Residence**, Gates street, Roxborough, Philadelphia. Architect, Andrew C. Borzner, 721 Walnut street, Philadelphia. Owner, Edward Kaufman, Silverwood and Gates streets, Philadelphia. Brick, 2½ stories, 28x41 feet, shingle roof, oak and pine floors, hot water heat, electric light. Architect taking bids due August 15th.

**Alterations and Additions**, 306 Stock Exchange Place, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Phila-

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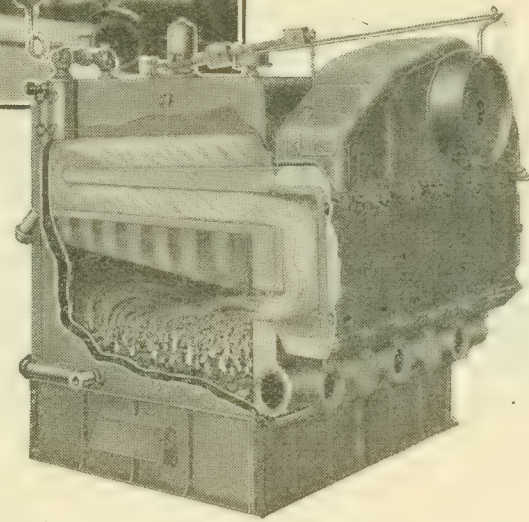


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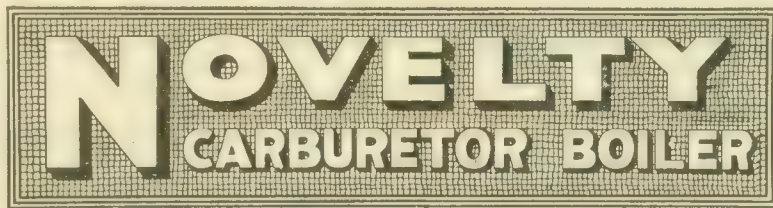


## How the Architect Solved this Problem

The architect faced a trying situation in planning the new School Building for St. Bernard's Parish, Bradford, Pa.

The Church, about 150 feet away from the site of the School, was fitted with a steam heating system. The Parish House, about 300 feet away from the School site, was equipped with hot water heat. In the interests of economy and convenience it was found desirable to combine these two dissimilar heating systems with the new heating system to be installed in the School.

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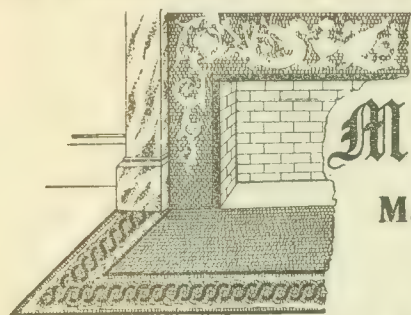
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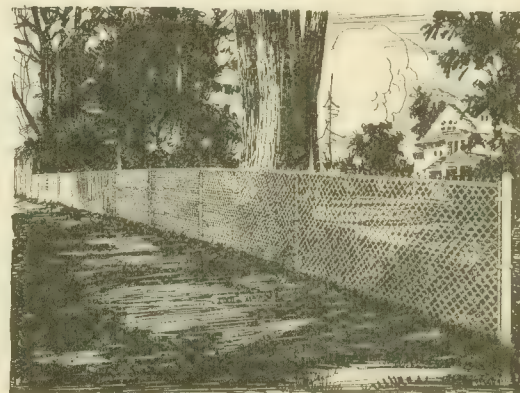
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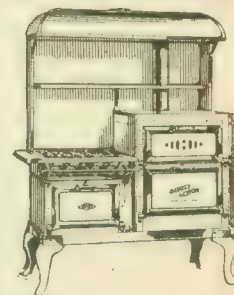
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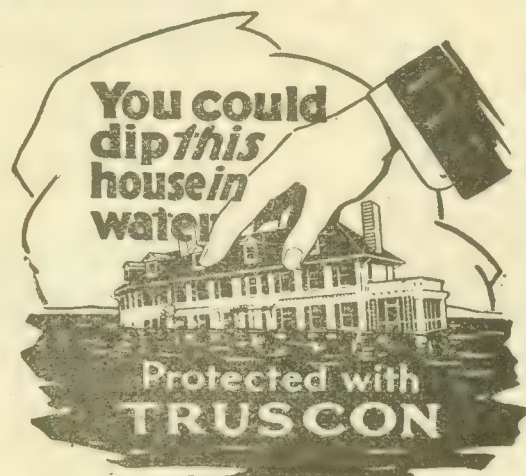
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**Community Building**, rear 19 South Tenth street, Philadelphia. Architect, Wetherill F. Trout, 222 South Jessup street, Philadelphia. Owners, St. Stephen's Church, 19 South Tenth street, Philadelphia. Brick, cut stone, granite, reinforced concrete, steel, 3 stories, mezzanine and basement, 70x27 feet, slag roof, linotile floors, painting and glazing, plumbing, roof ventilators, metal weather strips, waterproofing, ornamental iron work, bond, fire, kalamein and hollow metal doors, rolled steel sash and skylights, metal lath, electric light, dumb waiter, hollow terra cotta partitions, caulking, Byers or Reading wrought iron pipe. The following items are reserved: Heating, insert screens, leaded glass, gas ranges, refrigerators. Architect taking bids due August 15th.

**Store (alts.)**, 815-19 Chestnut street, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Gimbel Brothers, on premises. Bronze work, rubber flooring, plumbing (alts.), heating, electric work, hardware, painting and glazing, slag roof repairs, marble work, plastering, revolving doors, stair work, carpentry and mill work, brick work, cut stone, concrete cement work, steel, shoring, demolition. Architects taking bids due August 14th.

**Public Toilet** in Cobb's Creek Park, near West avenue, Philadelphia. Owners, Commissioners of Fairmount Park, 127 City Hall,

Alan Corson, Chief Engineer, Park Commissioners. Brick, 1 story, 26x22 feet, shingle roof, cement floors, toilet partitions, hardware, painting and glazing. Owners taking bid due August 14th at noon.

**Miscellaneous Work**, Philadelphia. Owners, Department of Wharves, Docks and Ferries, 211 Municipal Pier No. 4, South Wharves. Owners taking bids due August 28th, 11 A. M. (Standard Time). Schedule A, apron track, North side of Porter street, Pier No. 84, South Wharves. Schedule B, electric wiring, Porter street, Pier No. 84, South Wharves. Schedule C, steam and hot water heat, Porter street, Pier No. 84, South Wharves. Plans and specifications may be secured from Room 204, Municipal Pier. Deposit: Schedule A, \$25; Schedules B and C, \$10 each; same to be refunded. Certified check 5 per cent. of amount of bid.

**Apartment (alts. and add.)**, 218 West Walnut Lane, Philadelphia, \$7,000. Architects, Penwood Co., 131 North Fifteenth street, Philadelphia. Owner, William Biren, Seventeenth and Norris streets, Philadelphia. Brick add., second story, 16x13 feet, 1 story, 8x8 feet, and 3 stories, 8x14 feet, general alterations. Owner will build.

**Residences (5)**, East side Fifth street, North of Nedro avenue, \$7,000 each. Architect, private plans. Owners, H. & B. Friedman, 4831 North Twelfth street, Philadelphia. Brick, 2 stories, 16x25 feet, 13x30 feet, hot water heat, electric light. Owners will build.

**Residence**, West side Castor avenue, South of Bleigh street, \$6,500. Architect, private plans. Owner, G. Bauerle, 4122 North Reese street, Philadelphia. Frame, 2 stories, 29x42 feet, shingle roof, hardwood and pine floors, electric light. Owner will build.

**Garage**, Southeast Corner Godfrey and Norwood streets (rear), \$6,000. Architect, private plans. Owner, A. Gluckman, 6021 Chestnut street, Philadelphia. Brick, 1 story, 18x90 feet, 8x24 feet and 38x62 feet, slag roof, cement floors. Owner will build.

**Residences (2)**, North side Laycock street, West of Seventy-seventh street, \$5,000 each. Architect, private plans. Owner, John Rae, 7709 Laycock avenue, Philadelphia. Brick, 2 stories, 15x38 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (37)**, Sanger and Loretta streets, \$280,500. Architect, private plans. Owner, Harry R. Moyer, 1828 Arch street, Philadelphia. Brick, 2 stories, various sizes, hot water heat, electric light. Owner will build.

**Residences (4)**, Whitaker and Bleigh streets, Philadelphia, \$3,000 each. Architect, private plans. Owner, M. Glazer, 1238 North Lawrence street, Philadelphia. Frame, 2 stories, 16x36 feet, shingle roof, hot water heat, electric light. Owner will build.

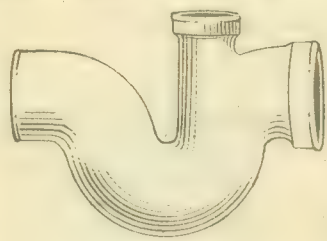
**Residence and Garage**, 1031 West Cliveden street, \$41,500. Architect, private plans. Owner, John A. Seeds, 1028 West Upsal street, Philadelphia. Stone, 3 stories, 51 feet, 8 inches x 32 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work, cement work, garage, 1 story, 22x22 feet. Owner will build.

**Residence**, 2922 North Twenty-first street, Philadelphia, \$5,000. Architect, private plans. Owner, G. Carsello, 2851 North Twenty-first street, Philadelphia. Brick, 2 stories, 15x55 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (25)**, Seventeenth and Conlyn streets, Philadelphia, \$169,000. Architect, private plans. Owners, B. Gersensteen & Son, 4729 North Eighth street, Philadelphia. Brick, 3 stories, 16x60 feet and 16x34 feet, 13x12 feet, hot water heat, electric light. Owners will build.

**Residences**, Wilton, Poplar and Wyalusing avenue, \$209,000. Owners, Shapiro & Reed, 1530 South Fifty-seventh street, Philadelphia. Brick, 2 stories, various sizes, hot water heat, electric light, slag roof, hardwood and pine floors. Owners will build.

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plans. Owners, F. W. Biddle & Co., 4651 North Fifth street, Philadelphia. Brick, 2 stories, various sizes, slag roof, hot water heat, electric light. Owners will build.

**Residences (2)**, North side Shelmire avenue, East of Whitaker street, \$5,000 each. Architect, private plans. Owner, Peter Heidt, Jr., 7402 Montour street, Philadelphia. Frame, 2 stories, 16x30 feet, shingle roof, hot air heat, electric light. Owner will build.

**Residences (2)**, 1321-23 Bleigh street, Philadelphia, \$4,250 each. Architect, private plans. Owner, William Moore, 1327 Bleigh street, Philadelphia. Frame, 2 stories, 18x16 feet, 20x14 feet, hot water heat, electric light. Owner will build.

**Garage**, Northeast Corner Sixth and Rockland streets, Philadelphia, \$12,000. Architect, private plans. Owner, E. C. Durell, 1713 North Twenty-fourth street, Philadelphia. Brick, 1 story, 53x117 feet, 95x62 feet, slag roof, cement floors. Owner will build.

**Garage and Warehouse**, Southwest Corner Salford and Vine streets. \$12,000. Architect, private plans. Owner, W. O. Rasmussen, Fifty-seventh and Master streets, Philadelphia. Brick, 2 stories, 48x55 feet, steam heat, electric light, cement floors. Owner will build.

**Residence**, Southeast Corner Vernon Road and Woolston avenue, \$8,000. Architect, Bruce E. Howden, 5045 Chancellor street, Philadelphia. Owner, James Scoles, 3054 Fox street, Philadelphia. Stone, 3 stories, 30x30 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Shawmont avenue, East of Ridge avenue, \$3,000. Architect, private plans. Owner, Frank E. Culp, East Shawmont avenue, Philadelphia. Frame, 1 story, 26x24 feet, 9x6 feet, and second story, 24x12 feet, shingle roof. Owner will build.

**Garages (2)**, West side Twenty-first street,

North of Nedro avenue, \$3,800 each. Architect, private plans. Owner, Emil P. Stahl, 5209 North Third street, Philadelphia. Brick, 1 story, 24x17 feet, cement floors. Owner will build.

**Residence**, Southeast Corner Haines and Boyer streets, Philadelphia, \$10,000. Architect, private plans. Owner, J. H. C. Daubel, 508 Glenwood avenue, Philadelphia. Stone, 3 stories, 38x28 feet, 1 story, 10x13 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Service Station**, Southwest Corner Kensington avenue and N street, \$7,500. Architect, private plans. Owners, Gulf Refining Co., Widener Building, Philadelphia. Brick, 1 story, 14x14 feet, tile roof, cement work, electric lighting. Owners will build.

**Garage**, rear 8015 Ardleigh street, Philadelphia, \$4,500. Architect, private plans. Owners, Lounzen Brothers, 8021 Winston Road, Philadelphia. Brick, 1 story, 115x20 feet, slag roof, cement floors. Owners will build.

**Garage**, 433-35 West Hewson street, Philadelphia, \$2,500. Architect, private plans. Owner, Stephen Yehl, on premises. Brick, 1 story, 22x53 feet, slag roof, cement floors. Owner will build.

**Schools**, various locations, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Low bidders: 145, Campbell School, general, William Langhorne, 10 South Eighteenth street, \$24,690. 146, Campbell School, plumbing, L. J. Somers, 2436 Brown street, \$15,629. 147, Campbell School, heating, L. J. Somers, 3436 Brown street, \$1,604. 282, Brooks School, rebuilding boilers, McClintock Brothers, 5608

Race street, \$3,025. 289, Claghorn School, general, William Langhorne, 10 South Eighteenth street, \$8,500. 290, Claghorn School, plumbing, S. Faith & Co., 2427 Pennsylvania avenue, \$6,237. 291, Claghorn School, heating, L. J. Somers, 3456 Brown street, \$343. 292, South Philadelphia High, general, E. C. Durell, 1713 North Twenty-fourth street, \$3,534. 293, South Philadelphia High, plumbing, D. J. Keating, 2042 Rittenhouse, \$2,777. 301, Central High, general, E. C. Durell, 1713 North Twenty-fourth, \$23,858. 302, Central High, electric, Walker & Kepier, 531 Chestnut street, \$2,398. 303, Central High, heating, S. Faith & Co., 2427 Pennsylvania avenue, \$11,600. 306, West Philadelphia Portable Buildings, Carr & Courtney, 3025 Poplar street, Philadelphia, \$18,000. 313, James Forten, electric work, Ross Electric Co., Beach and Brown streets, Philadelphia, \$1,150. 314, Wilmot School, electric work, Enterprise Electric Co., 239 South Tenth street, Philadelphia, \$460.

### Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., August 4, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., Sept. 2, 1924, for remodeling and enlarging the United States Post Office at Wilkes-Barre, Pa. Drawings and specifications may be obtained from the Custodian at Wilkes-Barre, Pa., or at this office in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

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# Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Warehouse and Power House**, 149 West Berkley street, Philadelphia. Architects, Harris & Richards, Drexel Building, Philadelphia. Owners, Arguto Oilless Bearing Co., on premises. Brick, cut stone, steel, 2 stories and basement and 1 story, 94x29 feet, power house, 65x20 feet (heating, electric power work, radial brick chimney reserved), slag roof, maple and cement floors, elevators, painting and glazing, plastering, waterproofing, glazed vitrified terra cotta, ornamental iron work, rolling steel sash, cast iron pipe. Contract awarded to Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Residence**, 5963 Woodbine avenue, Philadelphia. Architect, C. E. Schermerhorn, 213 South Fifth street, Philadelphia. Owner, J. F. Goodwin, 916 South Forty-eighth street, Philadelphia. Stone, cut stone, 2½ stories, 68x26 feet, steam heat, electric light, metal lath, tile work, slate roof, oak and pine floors, ornamental iron. Contract awarded M. W. Young, 2037 North Sixty-third street, Philadelphia, \$18,000.

**Building (add.)**, 2901 Stenton avenue, Philadelphia. Architects, Morris & Erskine, 1716 Cherry street, Philadelphia. Owners, Leeds & Northrop, on premises. Brick, steel, concrete, 1 story, 13x17 feet, slag roof, cement floors (plumbing, heating and electric work reserved), rolled steel sash and skylights, ornamental iron work. Contract awarded

to Bushnell Brothers, 2146 East Norris street, Philadelphia.

**Store (alts.)**, 1264 Chestnut street, Philadelphia, \$17,000. Architect, H. Chambers, Baltimore, Md. Owners, Huyler's Confectionery, 1320 Chestnut street, Philadelphia. Brick work, cut stone, cement work, iron and steel, carpentry and mill work, slag roof, plastering, hardware, plumbing, electric work, steel sash, painting and glazing. Contract awarded H. E. Grau Co., 1707 Sansom street, Philadelphia.

**Garage**, 2074-82 East Clearfield street, Philadelphia. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, Herman Pepper, care of architect. Brick, 2 stories, 63x83 feet, slag roof, cement floors, plumbing, steam heat, electric light, rolling steel sash, ornamental iron work, wrought iron and cast iron pipe. Contract awarded Franklin Const. Co., 23 South Sixteenth street, Philadelphia.

**Stores (alts.) and Garage**, 4449-51 Main street, Philadelphia, \$12,500. Architect, private plans. Owner, C. Brooke Jones, 4447 Main street, Philadelphia. Copper store front, brick, 2 stories, 30x35 feet, slag roof, hot water heat, garage add., brick, 1 story, 20x42 feet, 42x28 feet, slag roof, hot water heat, cement floors. Contract awarded to E. L. Cuthbertson, 334 Roxborough avenue, Philadelphia.

**Store Building**, 1307 Market street, Philadelphia, \$6,000. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Truly Warner, on premises. Carpentry and mill work, plastering, brick work, slate work, tile work, painting, glazing, ornamental iron work, patent metal bulk windows, kalamein doors, electric work, bond, metal lath, Caen stone, repairs to heating (plumbing and lighting fixtures reserved). Contract awarded to Kober Const. Co., 34 South Seventeenth street, Philadelphia.

**Store Front**, 1343 South street, Philadelphia. Architect, J. J. Carroll, 1619 Chestnut street, Philadelphia. Owner, George Fricke, on premises. Oak floors, stone front, plate glass, painting and glazing, metal ceilings, marble work. Contract awarded to E. H. Keefer & Son, 1321 Rodman street, Philadelphia.

**Residence**, Southwest Corner Orthodox and Edgemont streets, Philadelphia, \$8,000. Architect, private plans. Owner, Mr. Ozkowski, 4843 Melrose street, Philadelphia. Brick, 2 stories, 20x60 feet, 15x16 feet, hot water heat, electric light, hardwood and pine floors. Contract awarded to Felix Tatko, 2119 Pratt street, Philadelphia.

**Residence (alts. and add.)**, 320 North Fifty-second street, Philadelphia, \$5,800. Architect, private plans. Owner, James Sweeney, on premises. Brick, 1 story, 16x12 feet, 16x13 feet, hot water heat, electric light, general alterations. Contract awarded to Frank I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Residence (alts.)**, 7913 Crefeld street, Philadelphia. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owner, Dr. George W. Woodward, Mermaid Lane, Chestnut Hill, Pa. Hot air heat, electric light, tile work, shingle roof, oak floors. Contract awarded J. Riley & Son, Forrest avenue, Mt. Airy, Philadelphia.

**Residence (alts.)**, Rumford Road and Mt. Airy avenue, Mt. Airy, Philadelphia. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owner, Miss A. W. Neal, on premises. Flagstone, hot air heat, electric light, tile work, shingle roof, oak floors. Contract awarded J. Riley & Son, Forrest avenue, Mt. Airy, Philadelphia.

**Stores and Rooming House**, Thirteenth and Kater streets, Philadelphia. Architect, E. L. Rothschild, Bankers' Trust Building, Philadelphia. Owner, Louis Ginsen, 238 North Seltford street, Philadelphia. Brick, 4 stories, 40x60 feet, steam heat, slag roof, metal lath, electric light, pine floors. Contract awarded to Harry Alterman, 2731 Somerset street, Philadelphia.

**Alterations (front)**, 1415 Locust street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, William Goldstein, on premises. Stucco work, Spanish tile roof, ornamental iron work, electric work, carpentry and mill work. Contract awarded to M. Yellin, 712 North Franklin street, Philadelphia.

**Workshop**, 4450 Leiper street, Philadelphia, \$6,500. Architect, private plans. Owners, Cullen & Buchalla, 1310 Unity street, Philadelphia. Brick, 2 stories, 20x20 feet, 1 story, 20x57 feet, slag roof, pine floors, cement work, electric lighting. Contract awarded to J. Maurer & Co., 1304 North Second street, Philadelphia.

**Residence**, South side Orthodox street, West of Edgemont avenue, \$6,000. Architect, private plans. Owner, Mr. Ozkowski, 4843 Melrose street, Philadelphia. Brick, 2 stories, 15x39 feet, 12x12 feet, slag roof, hot water heat, electric light. Contract awarded to Felix Tatko, 2119 Pratt street, Philadelphia.

**Garage**, West side Fifty-sixth street, North of Walnut street, Philadelphia, \$5,000. Architect, private plans. Owners, Dore Construction Co., 806 Bailey Building, Philadelphia. Brick, 1 story, 18x77 feet, 18x67 feet, 28x10 feet. Contract awarded to Harry Feldman, 425 Victory Building, Philadelphia.

**Residence (add.)**, 239 West Hottter street, Philadelphia, \$4,500. Architect, private plans. Owner, J. W. Hoover, on premises. Brick, 2 stories add., 10x10 feet, iron, 1 story add., 10x10 feet. Contract awarded to W. C. Nester, 2019 North Sixty-third street, Philadelphia.

**Business Building (alts. and add.)**, Northeast Corner Twelfth and Oregon avenue, \$4,000. Architect, private plans. Owner, Mrs. Mary Finn, 2654 South Sartain street, Philadelphia. Brick, 1 story add., 9x16 feet, general alterations. Contract awarded to Seurei & Macrane, 734 South Seventh street, Philadelphia.

**Garage**, Northeast Corner Herbert and Rauch streets, Philadelphia, \$3,640. Architect, private plans. Owner, J. Pelligrino, 4722 Edmund street, Philadelphia. Brick, 1 story, 16x79 feet, slag roof, cement floors. Contract awarded to J. Matza, 1519 Ruan street, Philadelphia.

**Residence and Store (add.)**, 5452 Media street, Philadelphia, \$3,000. Architect, private plans. Owner, G. Assayan, 1613 North Sev-

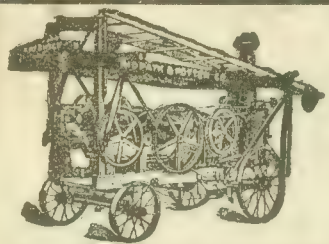


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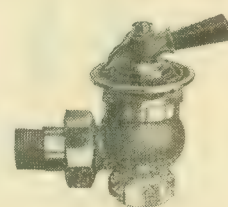
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enteenth street, Philadelphia. Stone and brick, 1 story add., 16x14 feet. Contract awarded to H. Devletion, 5948 Walnut street, Philadelphia.

**Store and Residence (add.),** 8012 Germantown avenue, \$2,000. Architect, private plans. Owner, Pasquale Constantino, on premises. Brick, 2 stories add., 15 feet, 10 inches x 21 feet, 8 inches. Contract awarded to Beaun Brothers, 115 East Moreland avenue, Philadelphia.

**Store and Apartment (alts. and add.),** 4070 Lancaster avenue, \$4,000. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. H. Waldow, Widener Building, Philadelphia. Brick, 1 story, 9x13 feet, slag tile roof, mineral stucco, plate glass, metal bulks, tile and marble work, steam heat, electric work. Contract awarded to P. Correnti, 1725 South Ninth street, Philadelphia.

**Building (alts.),** 1818 Spring Garden street, Philadelphia, \$3,500. Architect, private plans. Owner, Philadelphia College of Osteopathy, Nineteenth and Spring Garden streets. General alterations. Contract awarded to E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Residence (alts. and add.),** 938 North Twelfth street, Philadelphia, \$3,000. Architect, private plans. Owner, Jacob Cohen, on premises. Brick, 3 stories add., 11x7 feet, 7 inches, general alterations. Contract awarded to Copeland Const. Co., 1218 North Seventh street, Phila.

**Residence (alts.),** 2803 Girard avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Anna Sharpe, on premises. General alterations. Contract awarded to Frank N. Percival, 6229 Market Street, Phila.

**Shop (alts.),** 1823-25 Bainbridge street, Philadelphia, \$3,700. Architect, private plans. Owner, Sol. Stein, 5736 Pine street, Philadelphia. General alterations. Contract awarded to A. Rubin, 6148 Webster street, Philadelphia.

**Store and Residence (alts.),** 1444 Point Breeze avenue, \$3,500. Architect, private plans. Owner, Samuel Nerenberg, on premises. General alterations. Contract awarded to Dillon & Jeffries, 1242 South Twentieth street, Philadelphia.

**Dressing Room,** Southeast Corner Twentieth and Clearfield streets, \$3,200. Architect, private plans. Owner, R. L. McHale, Cynwyd, Pa. Concrete, 1 story, 18x63 feet, concrete floors, electric work. Contract awarded to Fernwood Const. Co., 4445 Sansom street, Philadelphia.

**Building (add.),** Northwest Corner Eighth and Island Road, \$4,200. Owners, Elmwood Mills Co., on premises. Brick, 1 story add., 35x50 feet. Contract awarded to Joseph K. Long, 1619 North Robinson street.

**Moving Picture Theatre (alts.),** 120 Midvale avenue, \$3,600. Architect, private plans. Owner, Henry Martin, 300 Berkley street, Philadelphia. General alterations. Contract awarded to F. H. Mitchell, 3664 Midvale avenue, Philadelphia.

**Residence,** Northwest Corner Eleventh and Medary avenue, Philadelphia, \$12,000. Architect, private plans. Owner, Joseph W. Maurer, Southwest Corner Sixth and Cheltenham avenue, Philadelphia. Stone, 3 stories, 34x23 feet, 1 story, 13x7 feet, hot water heat, electric light, oak and pine floors, slate roof, tile work. Contract awarded to J. B. R. Miller, 1505 Arch street, Philadelphia.

**Residence,** North side Princeton avenue, East of Frontenac street, \$7,200. Architect, private plans. Owner, W. J. Craston, 1506 South Twenty-sixth street, Philadelphia. Frame, 2 stories, 26x28 feet, shingle roof, steam heat, electric light. Contract awarded to Daniel Carter, Hatboro, Pa.

**Apartment (alts.),** 200 South Thirty-ninth street, Philadelphia, \$5,000. Architect, private plans. Owner, David Larkin, 2003 South Tenth street, Philadelphia. General alterations. Contract awarded to Harry Goldberg, 2419 South Fairhill street.

**Office Building,** 5229 Market street, Philadelphia, \$17,000. Architect, private plans. Owners, United States Post Office, Ninth and Market streets, Philadelphia. Brick, 1 story, 20x82 feet, 50x120 feet, 2 stories, 50x25 feet. Contract awarded to William Steele & Sons Co., 219 North Broad street.

**Garages (2),** West side Sydenham street, North of Courtland street, \$7,500 total. Architect, private plans. Owner, Charles Scott, 4810 North Sydenham street, Philadelphia. Brick, 1 story, 26x16 feet, 17x7 feet each, slag roof, cement floors. Contract awarded to Wilbur F. Chapman, 1805 West Venango street.

**Garage (add.),** North side Willow Grove avenue, East of Prospect avenue. Architect, private plans. Owner, Mrs. H. P. McKean, on premises. Brick, 1 story, 5x10 feet, and 1 story, 5x15 feet. Contract awarded to Bowman & Ralston, 8126 Germantown avenue.

**Grandstand,** East side Frankford avenue, South of Devereaux street, \$5,000. Owners, Frankford A. A., on premises. Concrete, steel and wood. Contract awarded to George W. Crosley, 5717 Jackson street, Philadelphia.

**Apartment (alts.),** 3333 North Sixteenth street, Philadelphia, \$2,400. Owner, Mrs. William Wirth, on premises. General alterations. Contract awarded to Roy E. Hafner, 3912 North Sixth street, Philadelphia.

**Store (add.),** 2105 Cemetery Lane, Philadelphia, \$2,000. Architect, private plans. Owner, William Didden, on premises. Brick, 1 story add., 18x26 feet. Contract awarded to James R. Booth, Garrettford, Delaware County, Pa.

## PENNSYLVANIA

# Construction News

**RResidence,** Somerton, Pa. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Dr. Charles Stuart, care of architect. Hollow tile and stucco, 2½ stories. Revised plans in progress.

**Cold Storage Building,** Sixth and Forrest streets, Harrisburg, Pa. Architect, C. J. Lappley, Ebner Building, Harrisburg, Pa. Owner, J. H. Kreamer, on premises. Cinder block, 2 stories, 35x47 feet, Barrett roof, cement floors, freight elevators, electric light, insulation, refrigeration, waterproofing. Architect taking bids due as soon as possible.

**Office Building,** Harrisburg, Pa. Architects, Lawrie & Green, 116 Locust St., Harrisburg, Pa. Owners, Pennsylvania State Chamber of Commerce, Harrisburg, Pa. Architects taking bids due August 18th.

**Road Work,** Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa. Low bidders on work opened August 5th.

**Lackawanna County,** R-5, Lackawanna Township. One course reinforced concrete. W. R. Wolfinger, Norristown, Pa., \$251,700.60.

**Chester County,** R-360, East and West Marlboro Township, 2,949 feet. One course reinforced concrete. Ambler-Davis Co., Harrison Building, Philadelphia, \$158,987.65.

**Cambria County,** R-222, Scalp Level Borough. One course reinforced concrete. Torquato Brothers, Windber, Pa., \$29,673.75.

**Cambria County,** R-52 and 53, Ebensburg Borough. One course reinforced concrete. Vi-

pond-Strite & Moore, Hollidaysburg, Pa., \$71,680.50.

**York County,** R-333, Newberry, Conewago and Manchester Townships. One course reinforced concrete. Ambler-Davis Co., Harrison Building, Philadelphia, \$432,106.75.

**Residence and Garage,** Bryn Mawr, Pa., \$35,000. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owner, name withheld. Hollow tile and stucco, 2½ stories, hot water heat, electric light, tile work, slate roof, hardwood floors. Plans in progress.

**Telephone Exchange,** Chester, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, steel, limestone, 3 stories, steam heat, electric light, slag roof. Plans in progress.

**Telephone Exchange,** West Chester, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, steel, limestone, 3 stories, steam heat, electric light, slag roof. Plans in progress.

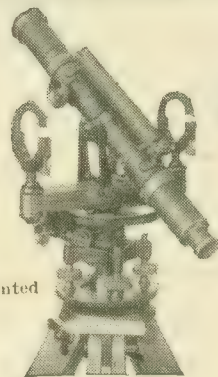
**Moose Temple (alts. and add.),** Reading, Pa., \$400,000. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Loyal Order of Moose, Reading, Pa. Stone, 3 stories, 75x220 feet, capacity 180, slate roof, cement and hardwood floors, hollow tile, elevators, steam heat, electric light, tile and marble work. Plans in progress.

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**School**, Wallingford, Delaware County, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, School Board of Wallingford Township, Delaware County, Pa. Stone and half timber, 2 stories, 40x150 feet, slate roof, vapor heat, electric light. Plans in progress. Architect will be ready for bids in two weeks.

**Apartment Buildings (2)**, East Lansdowne and Dudley avenues, Lansdowne, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owner, Mrs. Seymour Eaton, Lansdowne, Pa. Stone, concrete tile and half timber, 3 stories, 33x59 feet each, slate roof, rubber and hardwood floors, dumb waiter elevators, tile work, kalamein doors, steam heat, electric light. Architect taking bids due August 18th.

**Hospital**, Coatesville, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Coatesville Hospital, Coatesville, Pa. Brick and concrete, 3 stories and basement, 39x120 feet, slate roof, steam heat, electric light. Plans in progress.

**School (add.)**, Edge Hill, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Cheltenham Township School Board, Edge Hill, Pa. Stone, 2 stories, 70 feet, 6 inches x 36 feet, slate roof, steam heat, electric light. Plans in progress. Architects will take bids in one week.

**Apartment (alts. and add.)**, 1112 Turner street, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Mrs. A. Miller, on premises. Brick, 3 stories, 18x40 feet, slag roof, tile and hardwood floors, vapor heat, electric light, tile work, general alterations. Plans in progress.

**Residence and Garage**, Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owner, Mrs. H. McFadden, care of architect. Brick, 2½ stories, 70x30 feet, 28x30 feet, slate roof, hardwood and concrete floors, hot water heat, electric light, tile work. Plans in progress.

**Garage and Show Room**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, Frank Motor Company, Allentown, Pa. Concrete, brick, 2 stories, 80x220 feet, slag roof, concrete floors, steam heat, electric light, steel sash. Plans in progress. Owners will take bids.

**Colonial Residence**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Colonel F. J. Stephenson, 533 Walnut street, Royersford, Pa. Hollow tile and stucco, 2½ stories, 54x26 feet, stained shingle roof, oak and tile floors, hollow tile, metal window guards, waterproofing (heating, electric work and plumbing reserved), tile work, wood sash, Morgan doors, bond, floor hardener. Plans in progress. Owner will take bids.

**Gymnasium**, Lancaster, Pa. Architect, William C. Prichett, 225 South Sixth street, Philadelphia. Owners, Franklin and Marshall College, Lancaster, Pa. Brick, stone, steel, 1½ stories, 129x57 feet, 10 inches (plumbing, heating, electric reserved), slate roof, cement and pine floors, hollow tile, waterproofing, ornamental iron work, bond, rolling steel sash, marble work, Reading or Byers iron pipe. Architect taking bids due August 14th.

**Residences (250) and Power Plant**, Sunbury, Pa. Architect, private plans. Owners, Pennsylvania Light & Power Co., Sunbury, Pa. Owners will build and take sub-bids.

**Monroe County Home**, near Sciota, Pa. Architects, Lacey & Rinker, Henry Building, East Stroudsburg, Pa. Owners, County Commissioners, Monroe County, Court House, Stroudsburg. Brick, hollow tile, 2 stories, 77x131 feet (heating, plumbing and electric work reserved). Owners taking bids due August 18th.

**Foundations for Church**, Spruce and Logan streets, Lewistown, Pa. Architect, George F. Savage, Witherspoon Building, Philadelphia. Owners, Grace Evangelical Church, Lewistown, Pa. Concrete and stone, 110x60 feet, wing 61x55 feet. Owners taking bids.

**Post Office (alts. and add.)**, Wilkes-Barre, Pa. Architect, James A. Wetmore, Washington, D. C. Owners, Treasury Department, Office of the Supervising Architect, Washington, D. C. Remodeling and enlarging post office. Owners taking bids due September 2nd at 3 P. M.

**Residence and Garage**, Merion, Pa. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owner, Mrs. Edward H. Boyd, on premises, Merion, Pa. Stone and plaster, 2½ stories, 25x102 feet (vapor heat and plumbing reserved), electric, tile work, slate roof, hardwood floors. Plans in progress. Ready for bids in a week.

**Residence and Garage**, Merion, Pa. Architects, Seeburger & Rabenold, 1524 Sansom street, Philadelphia. Owner, W. H. Lutz, Monta Vista Apartments, Philadelphia. Stone, hollow tile, 2½ stories, 25x87 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress. Ready for bids in one week.

**Franklin Grade School (fire repairs)**, Fourth and Concord avenue, Chester, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, School District, City of Chester, George S. Mitchell, president, Larkin Building, Chester, Pa. Brick, cut stone, ornamental terra cotta, metal lath, painting and glazing, carpentry and mill work, iron work, plastering. Owners taking bids due August 18th, 7 P. M.

**High School**, Duryea, Pa., \$250,000. Architect, T. J. Miller, Brooks Building, Scranton, Pa. Owners, Duryea School District, P. Fualle, secretary, Duryea, Pa. Brick, steel, semi-fire-proof, 2 stories and basement, 125x150 feet, slag roof (heating, plumbing and electric work reserved). Owners will take bids August 15th, due September 15th.

**Apartment House**, 263 West Seventh street, Chester, Pa. Architect, Jesse T. Hoekstra, 1713 Sansom street, Philadelphia. Owner, Alan P. Musselman, 712 Fulton street, Chester, Pa. Brick, cut stone, steel, 4 stories and basement, and pent house, 118x50 feet, slag roof, composition and oak floors, painting and glazing, metal ceilings, ornamental iron work, kalamein and hollow metal doors, rolled steel skylights, tile work, metal lath. The following items are all reserved: Plumbing, refrigeration, heating, electric work, folding beds, gas ranges, medicine cabinets, wall safes, elevators, ironing boards, folding tables and chairs. Architect taking bids due August 18th.

**Residence and Garage**, Drexel Hill, Delaware County, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Frame, 2½ stories, 26x42 feet, garage, 22x22 feet, shingle roof, hot water heat, electric light, tile and marble work, hardwood floors. Plans in progress. Architect will be ready for general bids August 18th.

**Foot Bridge**, Croyden, Pa. Owners, Pennsylvania Railroad, Office of Engineer of Bridges and Buildings, Broad Street Station, Philadelphia. Reinforced concrete, 88 feet long, with reinforced concrete steps. Owners taking bids due August 15th.

**Sewer**, Cheltenham Township, Montgomery County, Pa. Engineers, Albright & Mebas, 1502 Locust street, Philadelphia. Owners, Board of Township Commissioners, H. C. Pike, Elkins Park, Pa. Construction of main out fall sewer for house drainage along Tacony Creek, through Cheltenham Township, from City Line to Mt. Carmel avenue, Glenside. Size of pipe from 33 inches to 12 inches in diameter. Work to be divided in 4 sections. Low bidder: Tony Pietro, Morgantown, W. Va., \$543,000.

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## Pennsylvania

### Contracts Awarded

**Apartment House**, Bryn Mawr, Pa. Architect, C. L. Caspary, 1705 Chestnut street, Philadelphia. Owner, name withheld. Brick, stucco, steel, 3 stories, 95x60 feet, slag roof, composition, oak and pine floors, hot water heat, electric light, metal lath, tile work, ornamental iron work. Contract awarded H. P. Schneider, 3713 Old York Road, Philadelphia, who is taking sub-bids due as soon as possible.

**Residence and Garage**, Rydal, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Mrs. C. E. Doan, care of architect. Stone, 2½ stories, 30x80 feet, garage, 25x32 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Contract awarded E. Allen Reeves, Abington, Pa.

**School**, Newton Square, Pa. Architects, R. Brognard Okie and D. F. Edmunds, 306 South Smedley street, Philadelphia. Owners, Board of Education, S. T. Campbell, secretary, Newtown Square, Pa. Contract awarded to C. C. Eddleman, 1627 Sansom street, \$57,100.

**School**, Littlestown, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, St. Aloysius' Parish, Rev. E. O. Flynn, Littlestown, Pa. Brick, steel, 1 and 2 stories, 46x140 feet, slate roof, pine floors (heating, electric work and plumbing reserved). Contract awarded to Eline Brothers, Littlestown, Pa.

**Residence (alts.)**, Villa Nova, Pa., \$12,000. Architects, Bissell & Sinkler, 1520 Locust street, Philadelphia. Owner, George R. Packard, Villa Nova, Pa. Carpentry and mill work, plastering, metal lath, tile work, iron work, cement work, painting and glazing (plumbing, heating and electric work reserved). Contract awarded to H. H. Burrell, 206 South Quince street, Philadelphia.

**Sunday School**, Pottstown, Pa., \$27,000. Architects, Charles W. Bolton & Son, 1505 Race street, Philadelphia. Owners, Reformed Church of Pottstown, Rev. J. M. Walters, Pottstown, Pa. Stone, 2 stories, 40x75 feet, slate roof, steam heat, electric light. Contract awarded W. H. Wiand, 32 East Fifth street, Pottstown, Pa.

**Slaughter House**, Bethlehem, Pa. Architect, E. R. Bitting, Bethlehem Trust Building, Bethlehem, Pa. Owner, John Kipp, 1134 West North street, Bethlehem, Pa. Brick, 1 story, 30x60 feet, slag roof, concrete floors, electric light, rolled steel sash, skylights, refrigeration, insulation, floor hardener. Contract awarded to George Murdinger, Bethlehem, Pa.

**Residence**, Park Lane, Ithan, Delaware County, Pa. Architect, Louis H. Rush, 34 South Seventeenth street, Philadelphia. Owner, William M. Field, Haverford, Pa. Brick, cut stone, east stone, steel, stucco, 2½ stories, 52x37 feet, wing 23x31 feet, shingle roof, cement floors, oak and pine floors, hollow tile, painting and glazing, ornamental iron work, bond, tile and marble work, metal lath, electric light. Contract awarded to E. J. Heddon Co., Finance Building, Philadelphia.

**Church (alts. and add.)**, Easton, Pa. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, St. Mark's Reformed Church, Rev. A. Meek, 1017 Lehigh avenue, Easton. Brick and limestone, 2 stories, 36x30 feet, slate roof, electric light, new chancel. Contract awarded H. D. Folkensen, 42 South Tenth street, Easton, Pa.

**Store (alts. and add.)**, Fourth and Vine streets, Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, John Gaskadaska, South Bethlehem, Pa. Brick, 2 stories, 15x30 feet, slag roof, maple floors, electric light, plate glass,

ornamental iron work. Contract awarded to Benjamin Schrader, 612 Fiot avenue, Bethlehem.

**Boiler House**, Adams avenue, Scranton, Pa. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, St. Joseph's Infants' Asylum, 2010 Adams avenue, Scranton, Pa. Brick, 1 story, 40x38 feet, concrete slag roof (pipe and apparatus reserved). Contract awarded to Beilman & Son, 220 Ash street, Scranton, Pa.

**Road Work**, Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa. Warren County, A-1788, Freehold Township, 5,218 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded to Dubois Const. Co., Dubois, Pa., \$46,426.40.

## New Jersey

### Construction News

**Residence (alts.) and Garage**, Valley avenue, Vineland, N. J. Architect, Ruben Beard, 2120 North Lambert street, Philadelphia. Owner, Morris Shore, on premises. Frame and stucco, garage, 1 story, 20x20 feet, Spanish tile roof, hardwood and cement floors, electric light, plumbing, metal lath, tile work. Architect ready for bids.

**School (add.)**, Willingsboro, Burlington County, N. J. Architects, Hill & Gollmer, Broad Street Bank Building, Trenton, N. J. Owners, Willingsboro Township School Board, Dr. J. Stuart, Beverly, N. J. Frame, 1 story and basement, 35x65 feet, shingle roof, pine floors, unit heat, electric light. Plans in progress.

**Detention House**, Pensauken Township, Camden County, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden County Board of Chosen Freeholders, J. Riggins, Court House, Camden, N. J. Fireproof, 2 stories, 50x200 feet, slate roof, tile, composition floors, cement block, safety treads, metal window guards, waterproofing and dampproofing, vapor heat, electric light, metal lath, tile work, rolled steel sash, fire doors, iron stairs, ornamental iron work. Architect will be ready for bids in one week.

**School**, North Rosedale, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden County School Board, Mr. Mackey, secretary, Camden, N. J. Fireproof, 3 stories, 160x82 feet, Barrett Specification roof, composition floors, hollow tile, roof ventilators, waterproofing and dampproofing (heating, electric work and plumbing reserved), metal lath, tile work, rolled steel sash and doors, bond, iron stairs, ornamental iron work. Architects taking bids due August 25th.

**Residence and Garage**, Merchantville, N. J. Architect, Dale Truscott, 222 South Jessup street, Philadelphia. Owner, James Lynn Truscott, Merchantville, N. J. Brick, steel, cut stone, 2½ stories and 1½ stories, 72x38 feet, garage 24x18 feet, slate roof, linoleum, oak, pine and cement floors, painting and waterproofing, ornamental iron work, bond, tile work, metal lath, flag stone, alternate building block, alternate linoleum floors. Architect taking bids due August 21st.

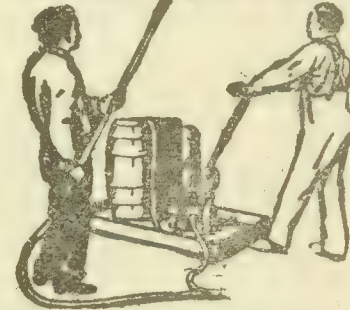
**School**, French Estate, near Westmont, Haddon Township, N. J. Architect, C. R. Peddle,

136 South Fourth street, Philadelphia. Owners, Board of Education, Haddon Township, J. R. Given, Westmont, N. J. Reinforced concrete and brick, 2 stories, 60x140 feet, (8) rooms, slag roof (plumbing, heating, electric separate). Architect taking bids due August 22nd.

**School**, Haddonfield, N. J. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owners, Board of Education, Delaware Township, Ellisburg, N. J. Low bidders: Bezaehler & Schulke, 348 Kaighn avenue, Camden, \$78,967.50, deduct \$2,034; George Shaner & Son, Palmyra, N. J., \$79,985, deduct \$3,400. Heating, Deckman Pwr.

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Htg. & Rfg. Co., Woodlyn, N. J., \$7,326. Plumbing, Wm. J. Kelly, 675 Ferry Avenue, Camden, N. J., \$7,392. Electric, Charles Wright, Camden, N. J., \$2,475.

**Comfort Station**, Log Basin, Trenton, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton, N. J. Owners, City of Trenton, City Hall, Trenton, N. J. Lowest bidders: Harrison & Fisher, Trenton, N. J. Plumbing, William G. Royer, 510 Stuyvesant street, Trenton, N. J. Electric, Carr & Schultz, Perry and Stockton streets, Trenton, N. J.

## New Jersey Contracts Awarded

**Dining Hall (add.)**, Trenton, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, State Hospital for the Insane, Dr. W. Natchlay, Trenton, N. J. Brick, steel, hollow tile, 2 stories, 31x186 feet, slate roof, fireproof floors, hollow tile, waterproofing and dampproofing, metal lath, tile and marble work, rolled steel sash, fire doors, bond, iron stairs (heating, plumbing, electric work reserved). Contract awarded to F. D. Priory, Trenton, N. J., \$97,370. Plumbing awarded Trenton Plumbing & Heating Co., Trenton, \$3,584. Heating awarded Trenton Plumbing & Heating Co., Trenton, \$5,498. Electric awarded Randolph Electric Co., Trenton, \$1,435.

**School**, Baker's Basin, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Lawrence Township School Board, Lawrenceville, N. J. Brick, 2 stories, 75x125 feet, terra cotta, slate roof, hardwood floors, hollow tile, metal ceilings (heating and electric work reserved), metal lath, rolled steel sash, fire doors, iron stairs and work. Contract awarded to General Cont. & Const. Co., 117 Emory street, Trenton, N. J., \$40,384. Heating awarded J. Heidweiler, 30 Division street, Trenton, \$2,896. Plumbing awarded William G. Royer, 510 Stuyvesant street, Trenton, \$2,010. Electric awarded West End Electric Co., 112 West Hanover street, Trenton, N. J., \$696.80.

**Residence**, Northwest Corner Broadway and McClelland avenue, Pitman, N. J. Architect, C. E. Schermerhorn, 213 South Fifth street, Philadelphia. Owner, Dr. H. Bailey, Chalfont, N. J. Dutch Colonial, concrete foundations, cinder block, stuccoed, 2 stories, 42x34 feet, shingle roof and sidings, cement and oak floors, white enamel finish, tile bath rooms, hardware, tile fireplaces, enclosed side porch, painting (electric, plumbing, heating reserved). Contract awarded to Arthur S. Benny, Pitman, N. J.

## Miscellaneous Construction News

**George Gray School**, Wilmington, Del. Architects, Guilbert & Betelle, 526 Broad street, Newark, N. J. Owners, School Board of Wilmington, care of Mr. A. J. Taylor, Delaware School Auxiliary Association, DuPont Building, Wilmington, Del. Owners taking bids due August 26th.

**School**, Cronton, New York. Architect, Harvey Stevenson, 101 Park avenue, New York. Owners, Board of Education, Union Free School, District No. 2, Cortlandt, N. Y. Brick, stone, steel, reinforced concrete, 3 stories, 222x134 feet, 6 inches, composition and slate roof, Duraflex, mastic, cement, linoleum floors, hollow tile, roof ventilators, metal window guards, waterproofing and dampproofing,

mailcode, blue stone, ornamental iron work, iron stairs, bond, kalamein doors, slate, tile and marble work, rolled steel sash, metal lath, electric light, steam heat. Owners taking bids due August 15th.

**High School**, Seneca Falls, New York. Architects, Tooker & Marsh, 101 Park avenue, New York. Owners, Board of Education, Seneca Falls, Union Free School District, Seneca Falls, N. Y. Brick, reinforced concrete, steel, stone, 3 stories, 160x136 feet, built-up asbestos roof (plumbing, heating, electric work reserved), metal tile floors, maple, cement and linoleum floors, metal lath, slate, tile, marble and terrazzo work, metal partitions, copper skylights, kalamein doors, bond, ornamental iron work, iron stairs, architectural terra cotta, waterproofing, metal weather strip, roof ventilators, safety treads, cast concrete, hollow tile. Owners taking bids due August 19th.

**Bridge**, Sixteenth street, Jessup street, Wilmington, Del. Engineers, Harrington, Howard & Ash, 55 Liberty street, New York. Owners, New Castle County, Charles E. Grubb, County Engineer, Levy Court, Room 133, County Building, Wilmington, Del. Concrete, 628 cubic yards, structural steel, 430,000 pounds; reinforcing metal, 30,500 pounds; paving, 812 square yards; machinery, 24,000 pounds. Bond. Owners taking bids due August 19th at 11 A. M.

**Retaining Wall**, Yorklynne, Delaware. County engineer, Charles E. Grub, Wilmington, Del. Owners, New Castle County Levy Court, Wilmington, Del. Concrete. Owners ready for bids.

## Miscellaneous Contracts Awarded

**Church**, Dunkirk, New York, \$60,000. Architects, Charles W. Bolton & Son, 1505 Race street, Philadelphia. Owners, Grace Lutheran Church, Dunkirk, N. Y. Stone, 1 story, 60x80 feet, slate roof, steam heat, electric light. Contract awarded J. A. Taylor, Dunkirk, N. Y.

**Church and Chapel**, Washington, D. C., \$250,000. Architects, Charles W. Bolton & Son, 1505 Race street, Philadelphia. Owners, Hamline Methodist Episcopal Church, Washington, D. C. Stone, 1 story, 125x150 feet, slate roof, steam heat, electric light. Contract awarded W. E. Mooney, Evans Building, Washington, D. C.

**Residence and Garage**, Concord, North Carolina. Architects, Charles Barton Keen & Wallace, 338 South Smedley street, Philadelphia. Owner, C. A. Cannon, Concord, N. C. Clapboard, 2½ stories, 104x25 feet, garage, 20x24 feet, tile roof, hardwood floors, vapor heat, electric light, tile and marble work. Contract awarded P. F. Cecil, Spartansburg, N. C.

(Continued from page 516)

### IV.

**KNOWLEDGE**—through and specific—and unceasing study of the facts and forces affecting a business enterprise are essential to a lasting individual success and to efficient service to the public.

### V.

**PERMANENCY** and continuity of service are basic aims of business. that knowledge gained may be fully utilized, confidence established and efficiency increased.

### VI.

**OBLIGATIONS** to itself and society prompt business unceasingly to strive toward continuity of operation, bettering conditions of employment, and increasing the efficiency and opportunities of individual employees.

### VII.

**CONTRACTS** and undertakings, written or oral, are to be performed in letter and in spirit. Changed conditions do not justify their cancellation without mutual consent.

### VIII.

**REPRESENTATION** of goods and services should be truthfully made and scrupulously fulfilled.

### IX.

**WASTE** in any form—of capital, labor, services, materials, or natural resources—is intolerable and constant effort will be made towards its elimination.

### X.

**EXCESSES** of every nature—inflation of credit, over-expansion, over-buying, over-stimulation of sales—which create artificial conditions and produce crises and depressions are condemned.

### XI.

**UNFAIR COMPETITION**, embracing all acts characterized by bad faith, deception, fraud, or oppression, including commercial bribery, is wasteful, despicable, and a public wrong. Business will rely for its success on the excellence of its own service.

### XII.

**CONTROVERSIES** will, where possible, be adjusted by voluntary agreement or impartial arbitration.

### XIII.

**CORPORATE FORMS** do not absorb from or alter the moral obligations of individuals. Responsibilities will be as courageously and conscientiously discharged by those acting in representative capacities as when acting for themselves.

### XIV.

**LAWFUL CO-OPERATION** among business men and in useful business organizations in support of these principles of business conduct is commended.

### XV.

**BUSINESS** should render restrictive legislation unnecessary through so conducting itself as to deserve and inspire public confidence.

America stands supreme in the development and use of advertising, and advertising is the seed which by implanting desire produces the fruit of social advancement. Education promotes efficiency and efficiency in turn makes possible higher earning power, higher purchasing power and improved living conditions.



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Weber, F., Co. ....125 S. 12th St., Phila.  
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Well, J. H., Co. ....1315 Cherry St., Phila.

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Ketcham, O. W. ....121 N. 18th St., Phila.

**BUILDERS.**  
Mitchell Bros. ....2125 Race St., Phila.

**BUILDING NEWS.**  
Daily Building News.....Perry Bldg., Phila.

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The Parkway at 24th St., Phila.  
West Jersey Sand & Supply Co.,  
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**CEMENT.**  
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West Jersey Sand & Supply Co.,  
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**CEMENT WORK.**  
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Massiah, Frederick. Juniper and Cypress Sts., Phila.

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Patton, Edward W. ....400 Lincoln Bldg., Phila.

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Gillingham Co. ...Norris and Richmond Sts., Phila.

**CUT STONE.**  
Cosenza Albert,  
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**DAILY BUILDING NEWS.**  
Building News Pub. Co. ....Perry Bldg., Phila.

**DAMP-PROOFING.**  
Anti-Hydro Waterproofing Co.,  
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Well, J. H., Co. ....1315 Cherry St., Phila.

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McCool, John...Broad St. and Passyunk Ave., Phila.

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Morrissey Bros. ....4345 N. 7th St., Phila.

**FENCES.**  
Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ....Erie Ave. and "D" St., Phila.

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Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

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Edwin Elliot & Co. ....1011 Chestnut St., Phila.

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Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

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Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 34  
August 20, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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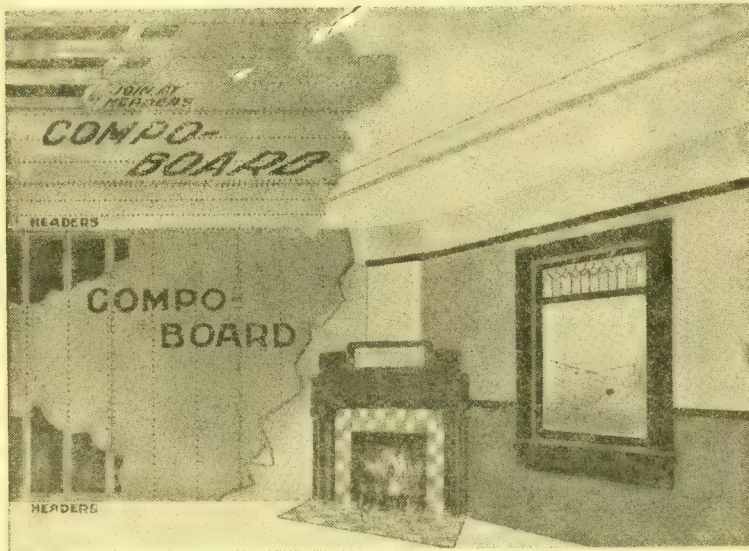
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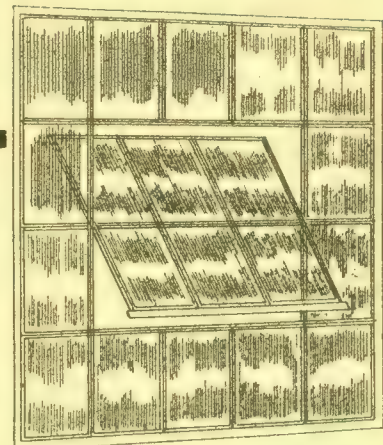
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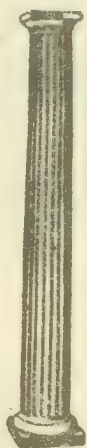
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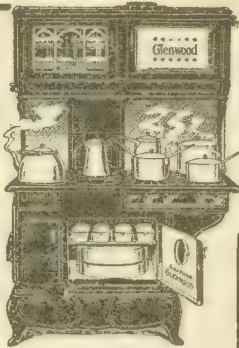


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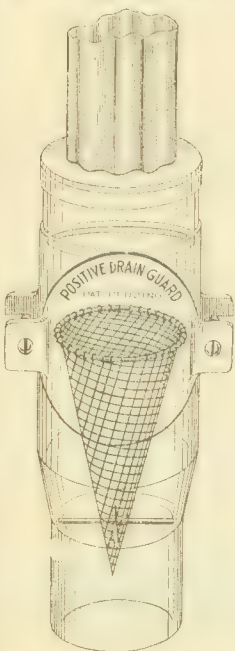
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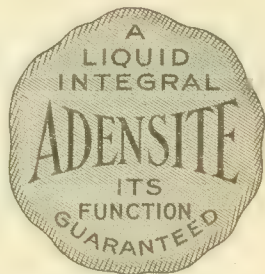
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VOLUME XXXIX  
Number 34

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August 20, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### FIRE-STOPPING IN DWELLING CONSTRUCTION

BY DUDLEY F. HOLTMAN

*Construction Engineer of the National  
Lumber Manufacturers' Association*

**I** PREVIOUSLY have made the statement that fire-stopping in dwelling construction is as rare as a well-spent life. And there are many more dwellings which contain no evidence of fire-stopping details than there are persons willing to assume responsibility for the omission of those details.

These inexpensive construction expedients which will help reduce the excessive toll of the fire loss to the country should be peculiarly worthy of study. And it is desired to emphasize at this point that it is just as essential that fire-stopping be employed in those houses whose exterior walls are built of masonry as in those houses whose exterior walls are built of lumber. The lumber-built house adequately fire-stopped is a safer structure than the masonry-walled house with no fire stops.

#### *Materials for Fire Stops*

Fire-stopping materials are numerous. Any material or combination of materials that will effectively accomplish the purpose of concealing open spaces in the walls or floors so that air cannot pass may be considered suitable fire-stopping material. Lumber fire stops, consisting usually of solid blocking, are economical, inexpensive and easy to install.

Incombustible fire-stopping materials, such as mineral wool, crushed mortar, plaster, concrete, hollow tile, or gypsum block may be used as dry fill. Loose boiler cinders form one of the best fire-stopping materials.

A mixture of sand and gravel with cinders, ashes, or even dry earth, will likewise serve the purpose. The weight of sand or gravel alone would be objectionable if supported by metal lath and the same would be true of crushed concrete. An inexpensive fire-stopping may be provided by inserting a basket of wire netting covered with plastering.

#### *Methods More Important Than Materials*

It is not so much the material, however, as correct methods which I desire to emphasize. Those methods, which I am about to enumerate, will completely and effectively fire-stop not only the lumber-built house but, with very slight modifications, may be made to prevent the spread of fire in masonry veneered houses and masonry wall houses. For this reason, the lumber-built house will be discussed first.

There are three general types of lumber-built houses, those with framing known as balloon framing, those with framing known as western framing, and those with framing known as braced framing.

Balloon framed buildings are those in which the supporting studs extend from the foundation to the eaves (a ribbon or

ledger board let into the studs forms the support for the joists.)

Western framed buildings are those in which the supporting studs extend from the top of each tier to the underside of the tier next above (the studs are provided with top plates and sole plates).

Braced framed buildings are those in which solid corner posts extend from the foundation to the eaves with joists supported on heavy girts framed into the posts (the studs are cut in between the girts and heavy knee braces are provided at all corners at each floor level).

The braced frame type of lumber-built houses was brought from Europe by early New England and Colonial builders, and still survives in some sections of the country. Rigidity and strength are its outstanding characteristics, but because of its cost it is not in common usage in present-day construction where speed and economy are likely to receive first consideration. The tendency, therefore, in most localities, is to displace the braced frame with either the balloon or the western type of framing.

#### *Balloon-Frame Buildings*

The exterior walls of balloon framed buildings should be fire-stopped at the sill and between the studs in the form of bracing placed at an angle of not less than 15 degrees nor more than 30 degrees from the horizontal to avoid possible openings due to shrinkage and at the same time to stiffen the frame. The last named

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detail is often called herringbone bracing. Where the ends of joists are supported on a ribbon let into the face of the studs, two fire stops are required. One should be between the studs to prevent vertical drafts and the other should be between the joists to prevent horizontal drafts from passing through ducts formed by the studding and the surfacings on each other.

To further increase the value of this particular fire-stopping construction, it is only necessary to fill the spaces with loose incombustible material. The method of fire-stopping the partitions in this type of frame house consists of placing the fire stop at right angle to the joists.

#### *Western-Framed and Braced*

Western frame and braced frame construction, the other two types of frame construction, require very little fire-stopping. Where studs are set upon a sole, no fire-stopping at the floor line is required, except that necessary between the joists to prevent horizontal drafts. A similar situation is encountered in the outside wall construction at the junction of the floors and walls.

The general principles of fire-stopping applicable to frame houses apply also to masonry veneered and masonry walled houses with the exception of slight differences necessitated by the open space between veneering and sheathing on the one hand and by the furring on exterior and interior masonry walls on the other. Joists which parallel masonry walls also require special treatment.

#### *Masonry Construction*

In the case of houses veneered with masonry, a space is generally left between the veneering and the sheathing of the frame wall. A fire within this space is an exceptionally difficult one to locate exactly.

For this reason, the space between the veneering and the outside surface of the frame wall should be fire-stopped not only horizontally but also vertically, at intervals of at least three feet. The horizontal lumber strips will accumulate sufficient mortar droppings to act as an effective seal and perform fire-stopping functions satisfactorily.

When the stops are set close together in this space a fire cannot spread over any considerable area, and the fire department need not wreck the entire wall to get at the center of action.

Where masonry walls are furred, the masonry between the ends of the lumber joists should project to the thickness of the furring beyond the inner face of the wall either the full depth of the joists or a double course above and below. Equally effective is the method which continues the inner face of the wall flush and places horizontal furring strips above and below the joists.

Where walls are studded off, as is sometimes done in a stairway in order to maintain a plane surface, the space between the inside face of the wall and the studding at the floor level should be fire-stopped with brickwork or other incombustible material.

In cases where beams or joists are parallel to masonry walls, there should be a space of at least two inches between such walls and the nearest joints. This space should be filled in solid with brickwork, concrete, or loose incombustible material for the full depth of the joists.

These fire-stopping places which I have mentioned are not the only opportunities in house construction for protection against fire. There are fully as important places in interior wall construction. Among these are opening at stairways, sliding doors, clothes chutes, and around pipes.

Attention should also be called to the spaces between the attic and roof; back of or over porches; and between the basement, which houses the heating equipment, and the first floor.

#### *Duty of the Home-Owner*

I feel that there is no need on my part to convince readers that fire-stopping is important. Rather I wish to leave with you the belief that not only are representatives of the building public, who have to do with the design, with the construction, or with the inspection of dwelling construction, responsible for the lack of fire-stopping precautions in our dwellings but that each home builder should be as careful that these precautions have been taken as he is in the selection of garments which he inspects for imperfections.

Second, that some such good methods as I have mentioned is more important than the fire-stopping material. Third, all opportunities to fire-stop should be taken in order to make it complete. Partial fire-stopping is not much better than no fire-stopping. Full fire-stopping properly placed affords maximum security to those who dwell within and guarantees minimum damages in case of fire, and is inexpensive to install when building.—*Building Age and Builders' Journal.*

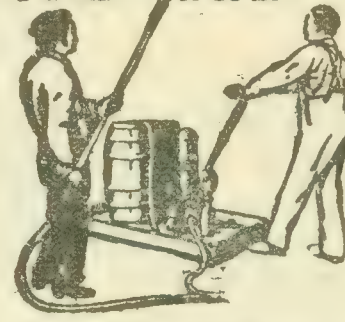
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(Continued on Page 543)

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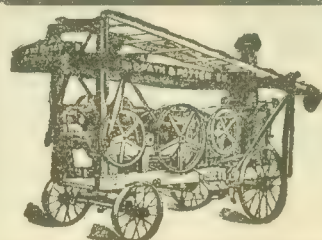
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CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residence**, Northeast Corner Ashton Road and Fulmer street, Philadelphia, \$6,000. Architect, private plans. Owner, Chris Leidy, Fulmer and Ashton street, Philadelphia. Stone, 2 stories, 30x29 feet, hot water heat, electric light, slag roof, oak and pine floors. Owner will build.

**Swimming Pool and Bath House**, Torresdale avenue and Wakeling street. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, City of Philadelphia, Bureau of Recreation, 595 City Hall. Concrete, brick, limestone, steel, 1 story, 90x61 feet, bath house, 97x61 feet, slag roof, cement floors, steel doors, bond, floor hardener, ornamental iron work (plumbing, drainage and electric separate). Owners taking bids due August 26th at noon.

**Apartment House**, Southwest Corner Sixty-first and Messau streets, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Brick, 4 stories, 44x66 feet each, hot water heat, electric light, tile and marble work, slag roof, oak floors, ornamental iron work, architectural terra cotta. Plans in progress. Architect will take sub-bids in 10 days.

**Alterations and Addition**, 1118 South Forty-eighth street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Mrs. Mary Heston, on premises. Brick, cut stone, bond, carpentry and mill work, painting and glazing, slag roof, hardware, plastering, electric light, plumbing. Architect taking bids due August 22nd.

**Garages**, Northeast Corner Fourth and Spring Garden streets, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Ladner Realty Co., Fifth and Green streets, Philadelphia. Brick, steel, 1 story, 178x39 feet, composition roof, cement floors, plumbing, electric light, bond, wrought iron pipe. Architects taking bids due August 25th.

**Warehouse**, 11-13-15 Norfolk street, Philadelphia. Architect, private plans. Owners, Philadelphia Grease Co., 846 South Swanson street, Philadelphia. Brick, steel, 3 stories, irregular, steam heat, electric light, slag roof, plank floors, rolling steel sash, ornamental iron work. F. I. Wintz, 1618 Sellers street, taking sub-bids due as soon as possible.

**New Club House**, Southeast Corner Darien and Locust streets, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, The Philadelphia Labor Institute, on premises. Brick, cut stone, 3 stories and basement, 113x25 feet, slag roof, cement and maple floors, painting and glazing, metal lath, tile and marble work, rolling steel sash, tin lined doors, bond, floor hardener, iron stairs, ornamental iron work, dampproofing, exterior terra cotta, travertine plaster, ornamental plaster, slate work, cold water painting. The following items are reserved: Plumbing, drainage, plumbing fixtures, heating system, electric work, kitchen equipment, lighting fixtures. Architect taking bids due August 27th.

**Hall Building (alts.)**, 808 Locust street, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, Philadelphia Labor Institute, Southeast Corner Darien and Locust streets, Philadelphia. Brick, concrete, cut stone, shoring, terra cotta, reinforced concrete, cement floors, ornamental plastering, metal lath, fireproofing, ornamental iron work, iron stairs, marble and tile work, repairs to tin roof, maple floors, carpentry and mill work, painting and glazing, hardware. The following are reserved: Plumbing, drainage, plumbing fixtures, heating, electric work, lighting fixtures, wall and ceiling painting and decorating. Architect taking bids due August 27th.

**Hospital**, Eighth and Thompson, Franklin streets, Philadelphia. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Children's Homeopathic Hospital, on premises. Brick, stone, steel, concrete, slag roof, cement and linoleum floors, electric light, tile and marble work, plumbing. Dispensary, 3 stories and basement, 36x70 feet. Power House and Laundry, 2 stories, 34x70 feet. Nurses' Home, 3 stories and basement, 36x103 feet. Hospital Wing, 2 stories, 36x40 feet. Architect taking bids due August 22nd.

**Residence (alts.)**, 250 South Twenty-first street, Philadelphia. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, Mrs. John A. Johnston, care of architect. Steam heat, electric light, painting, plumbing, plastering. Architect taking bids from Trumbull & Cornell, 15 South Twenty-first street, and sub-bids.

**Store (1), Apartments (3)**, 422 North Sixty-third street, Philadelphia. Architect, Solomon Kaplan, Fuller Building, Philadelphia. Owner, Mrs. Rose Richmond, care of N. S. Small, 7032 Garrett Road, Upper Darby, Delaware County, Pa. Brick, steel, 2 stories, 20x40 feet, slag roof, N. C. pine and oak floors, metal ceilings, tile and marble work, electric work. N. S. Small is taking general bids for owner.

**Power House**, Germantown, Philadelphia. Architect, Arthur H. Broekie, 254 South Fifteenth street, Philadelphia. Owners, Germantown Dispensary and Hospital, Price street, Germantown, Philadelphia. Brick, cut stone, steel, 1 story, 97x61 feet (plumbing, heating, electric, boiler house equipment, machine

room equipment reserved), slag and slate roof, cement floors, rolling steel sash, steel doors, waterproofing. Architect taking bids due August 22nd.

**Store and Apartments**, 5013 Baltimore avenue, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, 3 stories, 18x80 feet, slag roof, pine floors, hot water heat, electric light, metal lath, tile and marble work, bond, hollow metal skylights, store fixtures, metal bulks. Plans in progress.

**Residence (alts.)**, 1922 North Twelfth street, Philadelphia. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, Dr. Graham, care of architect. New porch, tin roof, pine floors, steam heat, electric light, tile and marble work. Architects taking sub-bids.

**Office Building (alts. and add.)**, Maplewood avenue, Germantown, Philadelphia. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Edwin C. Emhardt and A. B. Schulte, 5600 Germantown avenue, Philadelphia. Limestone, 2 stories, 30x50 feet, steam heat, electric light, slag roof, pine floors. Plans will be completed in a few days. Owners will take bids.

**Store and Apartments**, 122 West Cheltenham avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, E. A. Havens Co., Land Title Building, Philadelphia. Brick, hot water heat, electric light, tile work, slag roof, oak floors. Architect ready for bids.

**Building**, Fifty-sixth and Arch streets, Philadelphia. Architect, W. H. Timms, Perry Building, Philadelphia. Owners, Abbott's Alderney Dairies, on premises. Brick and steel, 2 stories and basement, 56x60 feet, slag roof, cement floors, marble work, ornamental iron work. Architect taking bids due August 25th.

**Transformer Building**, Northeast Sewer Disposal Plant. Architect, private plans. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Brick, steel, limestone, 1 story and basement, 32x40 feet, gypsum roof, cement floors, steel casement sash, tubular steel doors, ornamental iron work. Owners taking bids due August 27th.

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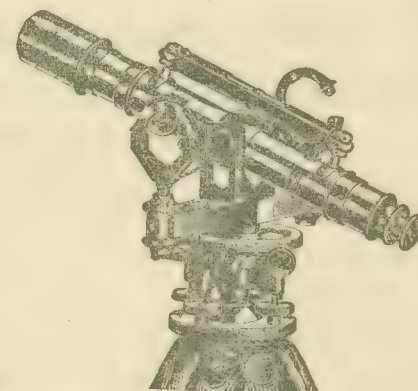
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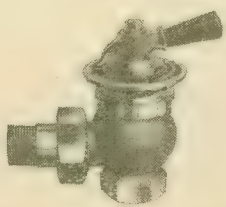
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**Apartment (alts.)**, Southwest Corner Fifteenth and Jefferson, Philadelphia, \$7,000. Owner, Harry Lichtman, 6105 Pine street, Philadelphia. General interior alterations. Owner will build.

**Residence and Garage**, Vernon Road and Stenton avenue, Philadelphia. Architect, Joseph F. Lowery, Land Title Building, Philadelphia. Owner, Joseph F. Lowery, Land Title Building, Philadelphia. Stone, 2½ stories, 30x50 feet, garage, 20x22 feet, slate roof, oak floors, hot water heat, electric light, tile and marble work. Plans in progress. Architect will take bids in one week.

**Residence (int. alts.)**, 1639 North Franklin street, Philadelphia. Architect, Charles H. Schaefer, 11 South Sixteenth street, Philadelphia. Owner, D. A. M. Orstein, 1639 North Franklin street, Philadelphia. Brick, 3 stories, 20x70 feet, hot water heat, electric light, tile and marble work, oak floors. Plans in progress. Architect will take bids in a few days.

**Sewage Treatment Project**, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Owners taking bids due August 27th, 11 A. M. (Standard Time). Schedule A, intercepting sewer along Pennypack Creek. Schedule B, open drainage channels, Fortieth Ward lowlands. Schedule C, transformer building and equipment, Northeast Sewage Treatment Work. Contract 1, build; No. 2, electric; No. 3, plumbing; No. 4, heating. Schedule D, underground structures, Wheatshaf Lane, Northeast Sewage Treatment Works. Schedule E, bridge on line of Second street over the connecting railway. All bids must be accompanied with a certified check of 5 per cent. of amount of bid.

**Residences (129)**, Marvine to Bigler, Twenty-fourth to Twenty-fifth streets, Fitzgerald street, Philadelphia, \$482,300. Architect, private plans. Owner, Burton C. Simon, Twenty-fifth and Passyunk avenue, Philadelphia. Brick, 2 stories, 16x37 feet, 14x30 feet, slag roof, hot water heat, electric light, oak and pine floors. Owner will build.

**Residences (15)**, East side Algard street, South Devcreaux, Philadelphia, \$187,200. Architect, private plans. Owner, Frank Storeh, 426 East Roosevelt Boulevard, Philadelphia. Brick, 2 stories, 16x38 feet, hot water heat, electric light, oak and pine floors, slag roof. Owner will build.

**Residences (6)**, West side Pechin street, South of Kingsley street, \$6,500 each. Architect, private plans. Owners, Manayunk Coal & Lime Co., 6737 Ridge avenue, Philadelphia. Brick, 2 stories, (5) 19x33 feet, (1) 16x42

feet, hot water heat, electric light, slag roof, oak and pine floors. Owner will build.

**Garage**, East side Fifty-fifth, North Thomas avenue, Philadelphia, \$30,000. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, Simon Kaplan, 243 South Sixty-second street, Philadelphia. Brick, 1 story, 160x100 feet, 63x100 feet, steel sash, electric work, steam heat, slag roof, cement floors, skylights. Owner will build.

**Residences (2)**, South side Tyson street, West Rising Sun avenue, \$4,500 each. Architect, private plans. Owners, Harry F. Hastings & Son, 7403 Bingham street, Philadelphia. Brick, 2 stories, 20x29 feet, hot water heat, electric work, slag roof, oak and pine floors. Owner will build.

**Residences (26)**, Charles street, South Benner street, Philadelphia, \$144,500. Architect, private plans. Owner, Edward R. Rusk, 1116 South Fifty-fourth street, Philadelphia. Brick, 2 stories, 15x38 feet, oak and pine floors, hot water heat, slag roof, tile work. Owner will build.

**Residences (22)**, Gratz, North of Medary avenue, Philadelphia, \$5,000 each. Architect, private plans. Owner, Ray G. Frick, 2860 North Judson street, Philadelphia. Brick, hot water heat, electric light, oak and pine floors, tile work, 2 stories, 15x26 feet, 12x8 feet. Owner will build.

**Residences (2)**, 1211-23 Shelmire avenue, Philadelphia, \$13,000. Architect, private plans. Owners, Betzel Brothers, 7312 Bingham street, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light, shingle roof, oak and pine floors. Owners will build.

**Residences (2)**, 1221-23 Shelmire avenue, East of Eighty-sixth street, Philadelphia, \$3,800 each. Architect, private plans. Owner, Louis Roch, 8532 Laycock avenue, Philadelphia. Brick, 2 stories, 16x36 feet, hot air heat, electric light, slag roof, pine floors. Owner will build.

**Residences (3)**, Lincoln Drive and Allens Lane, Philadelphia. Architect, private plans. Owners, Samuel Harting & Sons, 20 East Johnson street, Philadelphia. Stone, 2½ stories, 60x35 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Owners will build.

**Residence**, Southeast Corner Sedgwick and Rugby avenue, Philadelphia, \$5,000. Architect, private plans. Owner, Phil J. Cattan, on premises. Concrete block, 2 stories, 22x36 feet, hot air heat, electric work, slag roof. Owner will build.

**Residence**, North Crothers avenue, East Eighty-second street, Philadelphia, \$3,000. Owner, Vini Lucci, 8142 Mingo avenue, Philadelphia. Brick, 2 stories, 16x29 feet, hot air

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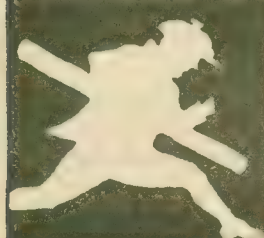
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heat, electric light, slag roof, pine floors. Owner will build.

**Residences (10)**, North side Mt. Airy, West Stenton avenue, \$8,000 each. Architect, private plans. Owners, J. Franklin Moss & Co., Price and Anderson streets, Philadelphia. Stone and brick, 2 stories, 18x35 feet, 13x5 feet, hot water heat, electric light, oak and pine floors, tile work. Owners will build.

**Residences (2)**, 3512-14 Germantown avenue, Philadelphia, \$15,000 each. Architect, private plans. Owner, W. P. Cameron, 701 Witherspoon Building, Philadelphia. Brick, 3 stories, 20x70 feet, hot water heat, electric light, slag roof, oak and pine floors, tile work. Owner will build.

**Residences (2)**, West side Ditman street, South of St. Vincent street. **Residences (2)**, East side Ditman street, South St. Vincent street; Philadelphia, \$5,000 each. Architect, private plans. Owner, E. Samuel Gereke, 7019 Montague street, Philadelphia. Slag roof, hot water heat, electric light, oak and pine floors. Brick, 16x42 feet, 2 stories. Owner will build.

**Residence**, East side Mitchell, North Cinnamon Lane, Philadelphia, \$10,000. Architect, A. C. Borzner, 717 Walnut street, Philadelphia. Owner, Walter Dearden, 533 East Conarroe street, Philadelphia. Stone, 2 stories, 20x38 feet, slate roof, hot water heat, tile work, hardwood floors. Owner will build.

**Residences (2), Stores**, North side Comly street, West Erdnick street, \$5,000 each. Owner, A. Palackas, 3132 Almond street, Philadelphia. Brick, 2 stories, 16x44 feet, hot water heat, electric light, slag roof, oak and pine floors. Owner will build.

**Residence**, north side Eastwick street, West Ninety-first street, Philadelphia, \$3,500. Architect, private plans. Owner, Charles Thompson, Ninety-first and Eastwick avenue, Philadelphia. Concrete block, 2 stories, 16x32 feet, slag roof, electric light, hot air heat. Owner will build.

**Community Building**, 19 South Tenth street, Philadelphia. Architect, Wetherill F. Trout, 222 South Jessup street, Philadelphia. Owner, St. Stephen's Church, on premises. Brick, cut stone, steel, granite, 3 stories and basement and mezzanine, 70x27 feet, slag roof, cement, lintile floors, painting and glazing, metal weather strip, plumbing, waterproofing, ornamental iron work, hollow metal doors, rolling steel and hollow metal sash, tile and marble work, metal lath, electric light, dumb waiters, incinerator, Byers or Reading wrought iron pipe. Architect taking new bids due September 4th.

**Store and Office Building (alts. and add.)**, Tenth and Lombard streets, Philadelphia. Architects, Ballinger Co., Southeast Corner Twelfth and Chestnut streets, Philadelphia. Owners, Charles E. Johnson & Co., Tenth and Lombard streets, Philadelphia. Brick, concrete, 2 stories and basement, 78x57 feet, slag roof, cement floors, electric light, rolling steel sash, architectural terra cotta. Architect taking bids due August 26th.

**Apartment House**, 6236-38 North Broad street, Philadelphia. Architect, Edward A. Roth, Drexel Building, Philadelphia. Owner, D. Simpson, care of architect. Brick and stone, 3 stories, 50x145 feet, slag roof, hardwood floors, plumbing, elevators, radio connections, vapor heat, electric light, tile and marble work, laundry equipment, incinerator, kitchen cabinets. Architect taking bids due September 1st.

**Elevator Shaft Enclosure**, Fuller Building, 10 South Eighteenth street, Philadelphia. Architects, Norman Hulme and John H. Dull, 1524 Chestnut street, Philadelphia. Owner, J. Cutler Fuller, 10 South Eighteenth street, Philadelphia. Brick, 5 stories, 14x14 feet, tile and terrazzo work, painting and glazing, electric work, plastering, metal lath, carpentry and mill work, iron work, plumbing alterations, new skylights (steel), elevator doors. Architects taking bids due August 22nd.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Garage**, Northwest Corner Roy and Goodman streets, Philadelphia, \$10,000. Architect, private plans. Owner, Frank P. Florentine, 1107 Rising Sun avenue, Philadelphia. Brick, 1 story, irregular shape, steel sash, cement floors, slag roof. Contract awarded Stewart Brothers Co., 2626 North Orkney street, Philadelphia.

**Store (add. and alts.)**, 133 South Eighth street, Philadelphia, \$10,000. Architect, pri-

ivate plans. Owner, Charles W. Fuller, 5236 Walnut street, Philadelphia. Brick, 3 stories, 18x50 feet, electric work, pine floors, slag roof. Contract awarded Clarence Ramos, 5233 Rodman street, Philadelphia.

**Residence and Store (alts. and add.)**, 1437 Point Breeze avenue, Philadelphia, \$4,000. Architect, private plans. Owner, Samuel Raycoff, 1432 Point Breeze avenue, Philadelphia. Brick, 2 stories, 13x20 feet, electric work,



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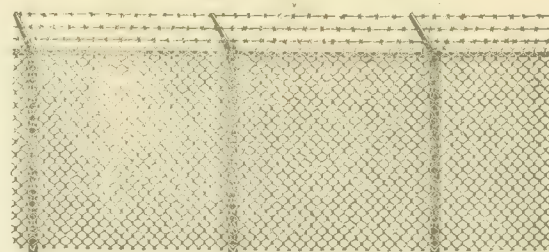
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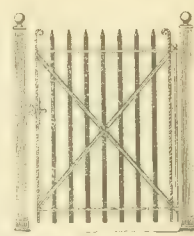
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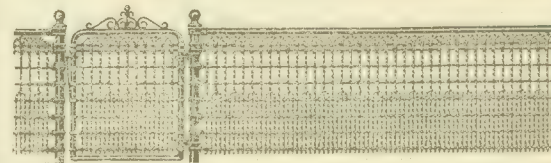
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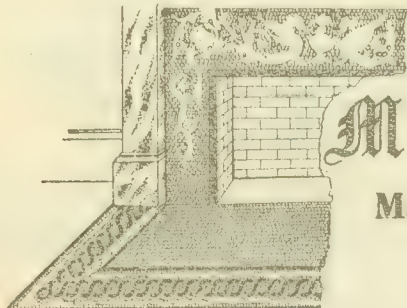
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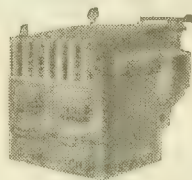
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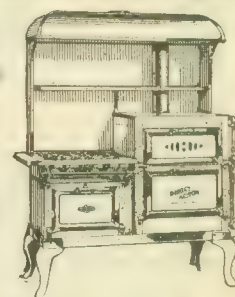
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oak and pine floors, slag roof. Contract awarded Dillon & Jefferies, 1242 South Twentieth street, Philadelphia.

**Divisional Headquarters, Warehouse Building**, 3317-27 Arch street, Philadelphia. Architect, private plans. Owners, Union News Co., C. A. Schultz, engineer Division of Construction, 45 West Eighteenth street, New York City. Reinforced concrete, brick, steel, 1 story and basement, 112x100 feet, asbestos built-up roof, asphalt floors, painting and glazing (plumbing, heating, electric separate bids), rolled steel sash and skylights, kalamine doors, iron stairs, ornamental iron work, rolled steel shutters. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

**Building (add.)**, Northeast Corner Nineteenth and Hamilton streets, Philadelphia. Architect, private plans. Owners, Cutter Elec. & Manfg. Co., Northeast Corner Nineteenth and Hamilton streets. Reinforced concrete, brick, 4 stories and basement, 53x85 feet, slag roof, pine and cement floors, elevators, painting and glazing, plumbing, rolling steel sash, steam heat, electric light, cork insulation, elevator doors. Contract awarded John N. Gill Const. Co., City Center Building, Philadelphia.

**Stone Garage**, Foulkrod and Castor Road, Philadelphia. Architects, Morris & Erskine, 1716 Cherry street, Philadelphia. Owner, Lynford Rowland, on premises. Stone and steel, 1 story, 23x27 feet, shingle roof, cement floors (electric reserved), Davis garage heater, bond, ornamental iron work, flagstone. Contract awarded to I. A. Dunkelberger, 71 East Herman street, Philadelphia.

**Trestle**, South of Philadelphia Art Museum, Fairmount Park, Philadelphia. Architects,

Zantzinger, Boris & Trumbauer, Land Title Building, Philadelphia. Owners, Commissioners of Fairmount Park, 127 City Hall. Steel, paving, carpentry and shoring, ornamental iron work. Contract awarded Andrew O'Neill, 127 East Memaid Lane, Philadelphia, \$40,400.

**Bleachery**, State Road, Rhawn street and Holmesburg avenue, Philadelphia. Architect, private plans. Owners, Herman Bleachery Co., Wilmington, Del. Brick, steel, saw tooth, 1 story, 320x250x60 feet, steam heat, slag roof, cement floors, electric light, rolled steel sash. Contract awarded Armstrong & Latta, 1926 Sansom street, Philadelphia.

**Garage**, 329 North American street, Philadelphia, \$12,000. Architect, Samuel Abramson, 2313 Walnut street, Philadelphia. Owners, Joseph Benjamin & Son, on premises. Brick, steel, 2 stories, 20x93 feet, slag roof, cement floors, electric light, rolled steel sash. Contract awarded Conneen Const. Co., 2313 Walnut street, Philadelphia.

**Apartment House**, 5541 Baltimore avenue, Philadelphia, \$18,000. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, Mary Bodoff, 725 Walnut street, Philadelphia. Brick, 2 stories, 38x57 feet, hot water heat, electric light, pine floors. Contract awarded Weistein & Pearson, 222 South Fifty-seventh street, Philadelphia.

**Warehouse (add.)**, 144 Bread street, Philadelphia, \$4,000. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, H. Marconty, Southwest Corner Second and Arch streets, Philadelphia. Brick, 2 stories and third story, 17x57 feet, electric, cement work, slag roof. Contract awarded A. Shestack, 5829 Walnut street, Philadelphia.

**Residence (add.)**, 6301 Sherwood Road, Philadelphia, \$4,000. Architect, private plans. Owner, Mrs. John Z. Turner, on premises. Brick, 2 stories, 10x6 feet, slag roof, electric work, pine floors. Contract awarded C. T. Zimmerman, 5940 Arch street, Philadelphia.

**Hall and Stores**, Manayunk and Ridge avenues, Philadelphia, \$20,000. Architect, private plans. Owner, Seville Melloden, Ridge avenue, Philadelphia. Stone, brick, 2 stories, 96x33 feet, steam heat, electric work, oak and pine floors, slag roof. Contract awarded to A. J. Makem, 201 Levering street, Philadelphia.

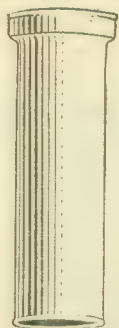
**Alterations**, East side Sixty-first street, South Eastwick street, Philadelphia, \$7,500. Architect, private plans. Owner, John Murphy, Third and Walnut streets, Philadelphia. Carpentry and mill work, painting and glazing, plastering. Contract awarded Gurley Const. Co., Twenty-first and Ridge avenue, Philadelphia.

**Residence and Store (add.)**, 435 West Girard avenue, Philadelphia, \$7,500. Architect, private plans. Owner, Val. J. Wagner, 427 West Girard avenue, Philadelphia. Brick, 2 stories, 14x8 feet, 4x13 feet, slag roof, oak and pine floors, electric light. Contract awarded Charles Maenner, 3355 North Fifteenth street, Philadelphia.

**Residence**, West side Jackson street, North of Bridge street, \$6,000. Architect, private plans. Owner, C. O'Neill, Hawthorne and Wakeling streets, Philadelphia. Brick, 2 stories, 16x48 feet, hot water heat, electric work, slag roof, oak and pine floors. Contract awarded Wintz Brothers, 1618 Sellers street, Philadelphia.

**Warehouse**, 5534-38 Haverford avenue, Philadelphia, \$5,000. Owner, Walter D. Rhea, on premises. Brick, 1 story, 38x75 feet, cement floors, slag roof, electric light. Contract awarded L. Rosengarten, 4742 Market street, Philadelphia.

**Residences (6)**, West side Twelfth street, South of Nedro avenue, Philadelphia, \$5,000 each. Architect, private plans. Owner, P. A. Greenspan, 142 South Eleventh street, Philadelphia. Brick, 2 stories, 16x16 feet, 20x14 feet, 16x23 feet, hot water heat, oak and pine floors, slag roof, electric work, tile work. Contract awarded William Liss, 2618 South Sheridan street, Philadelphia.



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**Store and Residence (add. and alts.),** Northwest Corner Forty-second street and Aspen street, Philadelphia, \$5,000. Owner, Charles A. Young, 1928 Point Breeze avenue, Philadelphia. Brick, 2 stories, 14x22 feet, third floor, 15x74 feet, slag roof, pine floors, electric work. Contract awarded H. T. Dinkelacker, 1612 McKean street, Philadelphia.

**Hospital (add.),** 1512-16 North Sixteenth street, Philadelphia, \$4,800. Architect, private plans. Owners, National Stomach Hospital, on premises. Brick, 2 stories, 16x21 feet, cement floors, slag roof. Contract awarded to William G. Uhlers Son, Twenty-fifth and Snyder avenue, Philadelphia.

**Shop (add.),** 4036 Poplar street, Philadelphia, \$4,500. Architect, private plans. Owners, M. Kelly Sons, Forty-first and Poplar streets, Philadelphia. Brick, 1 story, 24x48 feet, slag roof, pine floors, electric. Contract awarded Harry G. Walters, 412 North Fortieth street, Philadelphia.

**Hotel and Store (alts.),** Southwest Corner Franklin and Girard avenue, \$4,500. Owners, Astor Realty Co., 722 West Girard avenue, Philadelphia. General interior alterations. Contract awarded S. Yellin, 3125 West Montgomery avenue, Philadelphia.

**Store (alts.),** 5616 Germantown avenue, Philadelphia, \$4,000. Architect, G. B. Roth, 1629 Chestnut street, Philadelphia. Owners, Lawson & Barg, on premises. General interior alterations. Contract awarded Edward M. Canny, Sixty-first and Sansom streets, Philadelphia.

**Residence and Store,** Northeast Corner New Market and Poplar, \$2,000. **Garage,** Northwest Corner Poplar and Waterloo, \$2,400. Architect, private plans. Owner, John Koss, 905 North Hancock street, Philadelphia. Brick, 2 stories addition, 13x10 feet, 1 story, 20x52 feet, slag roof, hot water heat, electric work, oak and pine floors, tile work. Contract awarded George Choma, 609 North Marshall street, Philadelphia.

**Residences (2),** North side Fry street, West Shalkop, Philadelphia, \$6,000 each. Architect, private plans. Owner, H. H. Kirk, 8819 Ridge avenue, Philadelphia. Concrete block and frame, 2 stories, 16x36 feet, hot water heat, electric work, slag roof, pine floors. Contract awarded Merion Const. Co., Ardmore, Pa.

**Residences (2),** West side Gillespie, South of Deveraux street, Philadelphia, \$5,000 each. Architect, private plans. Owner, George Weidman, 6015 Ditman street, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light, oak and pine floors, tile work. Contract awarded J. G. Stevenson, 7014 Hergerman street, Philadelphia.

**Residences (2),** 7209-11 Clavidge street, Philadelphia, \$4,500 each. Architect, private plans. Owner, Charles Otte, 7324 Claridge street, Philadelphia. Brick, 2 stories, 14x40 feet, hot water heat, electric light, oak and pine floors, slag roof. Contract awarded Charles Freeman, 7323 Claridge street, Philadelphia.

**Addition,** 4613 Woodland avenue, Philadelphia, \$4,400. Owner, James N. Dailey, 4650 Larchwood avenue, Philadelphia. Brick, 1 story, 16x10 feet, hot water heat, electric work, slag roof, oak and pine floors. Contract awarded William H. Erb & Sons, 4533 Springfield avenue, Philadelphia.

**Drug Store (alts.),** Northwest Corner Frankford avenue and Susquehanna avenue, Philadelphia, \$3,000. Architect, Ernest R. Armstrong, 7151 Sprague street, Philadelphia. Owner, Robert Metzler, on premises. Plate glass, painting and glazing, brick, carpentry and mill work, concrete work. Contract awarded C. C. Eddleman, 1627 Sansom street, Philadelphia.

**Alterations,** 214-20 Brown street, Philadelphia. Owner, A. Gerson, on premises. General interior alterations. Contract awarded A. Bass, 713 Walnut street, Philadelphia.

**Alterations,** 6706 North Sixth street, Philadelphia. Architect, Raymon Coran, 5604 North Hutchinson street, Philadelphia. Own-

er, Hugh Stewart, on premises. Stone work, carpentry and mill work, plastering, tile work, painting and glazing, oak floors, electric work, plumbing, hot water heat, bond, wrought iron pipe. Contract awarded to Alfred Gilchrist, 527 South Yewdell street, Philadelphia.

**Residence (alts.),** 1812 Pine street, Philadelphia, \$3,500. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owner, Dr. C. T. McCarthy, on premises. Carpentry and mill work, plastering, tile and marble work, painting and glazing, hardware, electric work, plumbing, cast iron pipe, heating alterations. Contract awarded W. Edward Pierce, 328 South Juniper street, Philadelphia.

**Office Building,** Broad and Arch streets, Philadelphia. Architects, Dennison & Hirons, 228 Lexington avenue, New York City. Owners, Liberty Title & Trust Co., J. N. Fort, Jr., president, on premises. Reinforced concrete, brick, cut stone, steel, granite, 21 stories, basement and sub-basement, 97x60 feet, vacuum heat, Byers or Reading wrought iron pipe, electric light, metal lath, tile, marble and terrazzo work, rolling steel sash, hollow metal doors, bond, iron stairs, ornamental iron work, mail chutes, architectural terra cotta, shoring, waterproofing, elevators, cement floors, sheet piling, Barrett Specification and Spanish tile roof, caulking, painting and glazing, plumbing. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia.

**Church Building,** Haverford avenue, between Fifty-seventh and Fifty-eighth streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Champhor Methodist Episcopal

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Church, care of architect. Brick, stone, 1 story and basement, 33x56 feet, steam heat, electric light, slate roof, pine floors, kitchen equipment in basement. Contract awarded to H. S. Barnes, 2080 East Willard street, Philadelphia.

**Sewer Work**, Philadelphia (opened July 29th). Owners, City of Philadelphia, Department of Public Works, 216 City Hall. Contracts awarded: Milne street, M. J. McCrod-den, Philadelphia, \$9,632.50. Morse street, Higgins & Reilly, 324 Stanwood street, \$7,404.50. Musgrave street, Edward T. Bennis, 5638 Chew street, \$19,950. Peach street, Higgins & Reilly, 324 Stanwood street, \$13,515. Sansom street, J. Perna, Sixty-fifth and Callowhill streets, \$4,904.40. Sheldon street, William H. Yetman, Lincoln Building, \$7,415. Sixteenth street, William H. Yetman, Lincoln Building, \$9,204. Sixty-sixth street, Adolph Jafolla, 139 South Fiftieth street, \$4,483. Tulip street, Battieri & Potterello, Philadelphia, \$5,504.45. Thirteenth street, Battieri & Potterello, Philadelphia, \$4,407. Twentieth street, Lombardi Co., Lincoln Building, Philadelphia, \$32,403. Thirty-second street, Battieri & Potterello, Philadelphia, \$7,378.75. Gorgas Lane, Higgins & Reilly, 324 Stanwood street, \$12,025. Hanson street, J. Perna, Jr., Sixty-fifth and Callowhill streets, \$3,295.50. Jacob street, Higgins & Reilly, 324 Stanwood street, Philadelphia, \$5,982. K street, Battieri & Potterello, Philadelphia, \$25,578.50. Lebanon avenue, Higgins & Reilly, 324 Stanwood street, \$17,371. Loudon street, C to Rosehill, Battieri & Potterello, \$1,988.15. Loudon street, Marshall to Seventh street, W. H. Yetman, Lincoln Building, \$4,436. Malvern avenue, Higgins & Reilly, 324 Stanwood street, \$20,923. McMahon street, Edward T. Bennis, 5648 Chew street, \$8,820. Miller street, J. Perna, Jr., Sixty-fifth and Callowhill streets, \$7,925.75. Elliot street, Edward T. Bennis, 5648 Chew street, Philadelphia, \$30,323. Emlen street, Battieri & Potterello, Philadelphia, \$12,359.50. Fairhill street, Wil-

liam H. Yetman, Lincoln Building, \$3,698. Fifty-seventh street, Lombardi, Inc., Lincoln Building, \$16,990. Fifty-ninth street, Higgins & Reilly, 324 Stanwood street, \$16,771.30. Schedule F, relining main sewer, between 50 feet South of Baltimore avenue to Locust, J. J. McHugh, 1617 Race street, Philadelphia, \$100,625. Schedule E, main sewer in Forty-third street, from 204 feet North of Baltimore avenue to Pine, J. J. McHugh, 1617 Race street, \$195,687. Schedule D, sewer in Cleveland street, Carlisle, Smedley, Sydenham, J. J. McHugh, 1617 Race street, \$21,742.40. Schedule C, Frankford avenue sewer, Fred T. Buckius, Jr., Kensington avenue and Deal street, \$18,000. Schedule B, main sewer, Bingham street, Emilio Pascuzzi, Lincoln Building, \$100,891.59. Main sewer, Seventy-sixth avenue, Lombardi, Inc., Lincoln Building, \$37,800. Main sewer, Tenth street, Emilio Pascuzzi, Lincoln Building, \$172,318.65. Branch sewers, Schedule A—Amber street, Battiere & Potterello, Philadelphia, \$12,220. Bristol street et al., Joseph Moss, 1652 Wake-ling street, \$23,472.78. Buckius street, Fred T. Buckius, Kensington avenue and Deal, \$1,500. C street et al., Battieri & Potterello, \$36,341.25. C street, Wyoming avenue, Battieri & Potterello, \$6,560.60. Caster street et al., Fred T. Buckius, Kensington and Deal, \$135,000. Champlost street et al., Battieri & Potterello, \$42,673.40. Cheltenham avenue et al., J. J. McHugh, 1617 Race street, \$47,932.15. Chester avenue et al., Higgins & Reilly, 324 Stanwood street, Fox Chase, \$20,329.70.

**Music Pavilion**, Hunting Park, Philadelphia. Architect, private plans. Owners, Commissioners of Fairmount Park, 127 City Hall. Reinforced concrete, brick, iron work, 1 story circle, 48 feet in diameter, shingle roof, pine floors, hollow tile, painting and glazing, electric work. Contract awarded Conneen Const. Co., 2315 Walnut street, \$10,413.

**Public Toilet** in Cobb's Creek Park, near West avenue, Philadelphia. Owners, Commissioners of Fairmount Park, 127 City Hall. Brick, 1 story, 26x22 feet, shingle roof, cement floors. Contract awarded Kauffman Const. Co., North American Building, \$7,322.

**Shop (rear)**, 1212 North Eighth street, Philadelphia, \$2,500. Architect, private plans. Owner, Ida Shelman, on premises. Brick, 2 stories, 22x26 feet, pine floors, slag roof. Con-

tract awarded B. Shelman, 1212 North Eighth street, Philadelphia.

**Warehouse (add.)**, 329 Race street, Philadelphia, \$15,000. Architect, private plans. Owner, Benjamin H. Shoemaker, 205 North Fourth street, Philadelphia. Brick, fourth and fifth stories, 20x70 feet, 24x13 feet, steel sash, slag roof, skylights, plank floors. Contract awarded W. R. Dougherty, 1610 Sansom street, Philadelphia.

**Residence and Store (alts. and add.)**, 44 South Sixtieth street, Philadelphia, \$6,650. Architect, private plans. Owner, Walt Bates, on premises. Brick, 2 stories, 12x9 feet, 1 story, 3x14 feet, hot water heat, electric work, slag roof. Contract awarded O. D. Perrault, 3145 Diamond street, Philadelphia.

**Residence**, North side Longshore street, West of Lorrétto street, Philadelphia, \$5,200. Architect, private plans. Owner, Miss Anna L. Nugent, 3128 North Bambrey street, Philadelphia. Frame, 2 stories, 24x34 feet, hot water heat, electric light, shingle roof, oak and pine floors. Contract awarded S. W. Ewing, 62 Elm avenue, Aldan, Pa.

**Bank (alts.)**, Northwest Corner Ridge and Columbia avenues, Philadelphia, \$5,000. Architect, Carl P. Berger, 1512 Walnut street, Philadelphia. Owners, Northwestern Trust Co., on premises. Cement floors, steel beams, cabinet work, plastering. Contract awarded P. Haibach Cont. Co., 1261 North Twenty-sixth street, Philadelphia.

**Store and Office (alts.)**, 1100 Chestnut street, Philadelphia, \$5,000. Owners, United Cigar Stores Co., 44 West Eighteenth street, New York. General interior alterations. Contract awarded Klee Thompson & Co., 340 East Fortieth street, New York.

**Store and Residence (alts. and add.)**, 1243 South Second street, Philadelphia, \$3,000. Owner, A. Sixover, 1245 South Second street, Philadelphia. Brick, 3 stories, 12x22 feet, pine floors, slag roof. Contract awarded H. Shumskey, 1310 South Second street, Philadelphia.

**Store and Storage (add.)**, 1428 South Twentieth street, Philadelphia, \$2,500. Architect, private plans. Owner, A. Massanova, on premises. Brick, 2 stories, 16x8 feet, 16x17 feet, pine floors, slag roof. Contract awarded E. Mestickelli, 1931 Fernon street, Philadelphia.

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## PENNSYLVANIA

## Construction News

**Residence**, Butler Pike at Skippack Pike, Ambler, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. J. Rex Hobensack, 1706 Columbia avenue, Philadelphia. Stone, steel, 2½ stories, 60x42 feet, slate roof, oak, pine and cement floors, electric lighting, metal lath (heating reserved), bond. Architect taking bids due August 22nd.

**Theatre**, Johnstown, Pa., \$200,000. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owners, Grand Amuse-

ment Co., G. Fanagotacos, president, Johnstown. Brick and steel, 1 story and basement. Sketches in progress.

**Apartments (24), Stores (8)**, Baltimore Pike, Church Lane and Beverly Road, East Lansdowne, Pa. Architect, Willis A. Hall, Post Office Building, Upper Darby, Delaware County, Pa. Owner, F. C. Hoopes, Fernwood, Pa. Brick, steel and limestone, 3 stories, 51x133x172 feet, slag roof, hardwood floors, vapor heat, electric light, tile and marble work. Plans in progress.

**Residences (4)**, Spring City, Pa. Architect, J. V. Poley, 162 Second avenue, Royersford, Pa. Owner, John Thomas, South Main street, Spring City, Pa. Brick and stone, 2 stories, 16x38 feet, pipeless heat, electric light, tin roof, yellow pine floors, terra cotta flues (heating, plumbing, electric lighting reserved). Plans in progress.

**Apartments (6), Store Rooms (6)**, Pottsville, Pa. Architect, W. D. Hill, Pottsville, Pa. Owners, Yuengling Realty Co., Pottsville, Pa. Brick, 2 stories, 106x30 feet. Plans in progress.



**Residence (alts. and add.),** Washington Lane and Ashbourne avenue, Jenkintown. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, E. A. Havens Co., Land Title Building, Philadelphia. Plans completed. Ready for bids.

**Residence and Garage,** Ambler, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. J. Rex Hobensack, 1706 Columbia avenue, Philadelphia. Stone, 2½ stories, 40x60 feet, slate roof, oak floors, hot water heat, electric light, tile and marble work. Architect ready for bids.

**Residence and Garage,** No. 553, Haverford, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owners, McIlvaine & Co., Otis Building, Philadelphia. Stone, 2½ stories, 86 feet 7 inches x 20 feet, shingle roof, hardwood floors, vapor heat, electric light, tile and marble work. Plans completed. Architects ready for bids.

**Residence and Garage,** Norristown, Pa. Architect, Edward Thompson Boggs, 119 South Fourth street, Philadelphia. Owner, Kenneth Howie, Norristown, Pa. Brick, cut stone, 2½ stories, 1½ stories, 49x34 feet, garage, 24x16 feet (heating separate), slate roof, cement, oak and pine floors, painting and glazing, plumbing, electric light, tile work, ornamental iron work, alternates cinder concrete block (Straub), galvanized iron pipe, vacuum cleaning system. Architect taking bids due August 21st.

**Hospital,** Williamsport, Pa. Architects, Stearns & Woodnutt, Stephen Girard Building, Philadelphia. Owners, Williamsport Hospital, Williamsport, Pa. Brick, steel, concrete, cut stone, 7 stories, 44x180 feet, slag roof (heating, plumbing, electric elevators, finished flooring separate bids), steam heat, electric light, metal lath, tile and marble work, fire doors, ornamental iron work, hollow tile, concrete floors, (2) electric elevators. Architects taking bids due August 27th.

**Residences (3),** Drexel Hill, Delaware County, Pa. Architects, Wallace & Warner, Franklin Trust Building, Philadelphia. Owner, Richard H. Wallace, Jr., 8 South Fifty-second street, Philadelphia. Stone, frame, hollow tile, stucco, 2½ stories, 28x32 feet, 29x39 feet, 30x40 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Architect taking sub-bids.

**Chester Central Office Building (alts.),** 20 East Fifth street, Chester, Pa. Engineer of Buildings, 261 North Broad street, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, masonry, carpentry and mill work, cement work, electric wiring, heating alterations, metal work, painting and glazing, plastering, plumbing alterations, tile work. Owners taking bids due August 21st.

**Road Work,** Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Owners taking bids due August 26th at 10 A. M.

**Armstrong County,** R-214, A-2981, Brady's Bend Township, 6,620 feet. One course reinforced concrete. Certified check, \$1,500.

**Bucks County,** A-1302, Morrisville Borough, 3,785 feet. One course reinforced concrete. Certified check, \$1,500.

**Clarion County,** A-2577, Sec. 2, Beaver Township, 10,572 feet. One course reinforced concrete. Certified check, \$2,000.

**Eric County,** R-258, A-2883-2908, McKean Township, Middleboro Borough, 19,950 feet.

Either bituminous surface course on concrete or one course reinforced concrete. Certified check, \$3,500.

**Fayette County,** A-1468, Luzerne Township, 6,571 feet. One course reinforced concrete. Certified check, \$1,500.

**Indiana County,** A-985, Canoe Township, 7,904 feet. One course reinforced concrete. Certified check, \$1,500.

**Lycoming County,** A-1381, Clinton Township, 13,406 feet. One course reinforced concrete. Certified check, \$2,000.

**Perry County,** R-30, A-3037, Carroll and Centre Townships, 16,966 feet. One course reinforced concrete. Certified check, \$3,000.

**Washington County,** R-268, East Pike Run Township, California Borough, 2,126 feet. One course reinforced concrete. Certified check, \$1,000.

**Washington County,** R-242, Independence Township, 4,922 feet. One course reinforced concrete. Certified check, \$1,500.

**York County,** A-1998, Hopewell Township, 6,092 feet. One course reinforced concrete. Certified check, \$1,500.

**York County,** A-2003, North Codorus Township, 18,384 feet. One course reinforced concrete. Certified check, \$3,000.

**Residence and Garage,** Merion, Pa. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owner, William H. Lutz, Monta Vista Apartments, Philadelphia. Stone, hollow tile, 2½ stories, 25x87 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work (plumbing and heating reserved). Architects taking bids due August 25th.

## Pennsylvania Contracts Awarded

**Road Work,** Pennsylvania. Owners, Department of Public Highways, Harrisburg, Pa. Contract awarded (July 29th letting), Somerset County, A1616, Somerset Township, Vipond, Strite & Moore, Hollidaysburg, Pa., \$32,293.80.

**Store and Apartments,** Hatboro, Pa., \$15,000. Architect, Wesley Mullen, Maple Glen, Pa. Owner, Stanley A. Shiles, Hatboro, Pa. Brick, 18x84 feet, slag roof, hot water heat, electric light, slag roof, maple, oak and pine floors, hollow metal skylights, metal ceilings, flush bulks, iron stairs, ornamental iron work. Contract awarded to Roy Randall, Jenkintown, Pa.

**Residence (alts. and add.),** Hatboro, Pa. Architect, William Woodburn Potter, Real Estate Trust Building, Philadelphia. Owner, Mrs. Oliver B. Wallis, Hatboro, Pa. Stone, canvas and tin roof, hardwood floors, carpentry. Contract awarded Roy Randall, Jenkintown, Pa.

**Residence,** Narberth, Pa. Architect, John H. Carroll, 1619 Chestnut street, Philadelphia. Owner, name withheld. Frame, 2½ stories,

42x29 feet, shingle roof, tile, oak and pine floors, painting and glazing, metal weather strip, metal lath, tile work, bond, ornamental iron work. Contract awarded Joseph S. Creamer, 1730 North Twenty-sixth street, Philadelphia.

**Change House,** Trainer, Pa., \$25,000. Architect, private plans. Owners, Sinclair Refining Co., care of Union Petroleum Co., Trainer, Pa. Brick, steel, 1 story, 136x40 feet, slag roof, concrete floors, steam heat, electric light, rolled steel sash, fire doors, ornamental iron work, terra cotta coping, lockers. Contract awarded Chester Cont. & Const. Co., Chester, Pa.

**Residence (alts.),** West Conshohocken, Pa. Architects, Karcher & Smith, 34 South Seventeenth street, Philadelphia. Owner, Clement B. Wood, Wood Lane, Conshohocken, Pa. Frame porch and interior alterations. Contract awarded H. H. Burrell, 206 South Quince street, Philadelphia.

**Office Building,** Media, Pa. Architect, Horace W. Castor, Stephen Girard Building, Philadelphia. Owners, W. R. Froneeld and J. M. Lutz, Media, Pa. Brick, cut stone, 2 stories and basement, 59x37 feet, slag roof, pine and cement floors, painting and glazing, hot water heat, electric light, metal lath, kalamein doors, ornamental iron work, architectural terra cotta. Contract awarded to Merion Const. Co., 2313 Walnut street, Philadelphia.

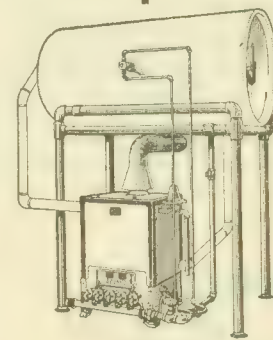
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**Residence**, Merion, Pa. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owner, Norman Jameson, care of architect. Stone, 2½ stories, 59x62 feet, slate roof, oak and pine floors, tile work, ornamental iron work (heating, plumbing and electric work reserved). Contract awarded J. Riley & Son, Forrest avenue, Mt. Airy.

**Store and Apartment Building**, Minersville, Pa. Architect, W. D. Hill, Pottsville, Pa. Owners, Yuengling Realty Co., Pottsville, Pa. Contract awarded J. J. Hauser & Co., Pottsville, Pa. Electric, Harry G. Beck, Pottsville, Pa. Plumbing, James Orf, Pottsville. Heating will be readvertised.

**Road Work**, Pennsylvania (July 15th letting). Owners, State Highway Department, Harrisburg, Pa. Contracts awarded:

Allegheny County, R-181, A-2130, Forward and Elizabeth Townships, Mosteller & Virgin, Wilkesburg, Pa., \$178,794.45.

Contract awarded July 29th letting: Elk County, A-944, Fox Township, L. E. Edwards, Greensburg, Pa., \$37,218.80.

**Road Work**, Pennsylvania. Contracts awarded, July 15th letting:

Jefferson County, A-2735, Washington Township, Milliron Const. Co., Dubois, Pa., \$102,905.08.

Somerset County, A-2839-2861, Paint and Ogle Townships, Corrado & Galiardi Const. Co., Connellsville, Pa., \$244,731.80.

Contracts awarded, July 29th letting: Columbia County, R-183, A-2118, Locust Township, James Christiano, Shamokin, Pa., \$125,642.28.

Erie County, R-304, Greenfield Township, Charles H. Frey Const. Co., Erie, Pa., \$196,789.28.

Indiana County, R-36, Rayne and East Mahoning Townships, R. H. Cunningham & Sons Co., Turtle Creek, Pa., \$324,756.14.

**Residence and Garage**, McCallum and Allen Lane, St. Martin's, Pa. Architects, Willing, Sims & Talbutt, 129 South Eighteenth street, Philadelphia. Owner, Dr. George Woodward, Mermaid Lane, Chestnut Hill, Pa. Stone, 2½ stories, 81x22 feet, wing 48x19 feet, 22x22 feet (heating, plumbing and electric reserved), slate roof, oak and pine floors, cement floors, tile work, ornamental iron work. Contract awarded George S. Roth & Son, 230 East Graver's Lane, Philadelphia.

## New Jersey Construction News

**High School**, Haddonfield, N. J. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Board of Education, Borough of Haddonfield, N. J. Brick, stone, steel, 3 stories, steam heat, slag roof, electric light. Plans in progress. Details undecided.

**School (Mickle)**, Sixth and Van Hook streets, Camden, N. J., \$100,000. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia, and 23 Broadway, Camden. Owners, Board of Education, Camden, N. J. Brick, steel, 3 stories. Plans in progress. Too early for details.

**Club House**, Northwest Corner Kaighn avenue and Park Boulevard, Camden, N. J. Architects, Edwards & Green, 23 Broadway, Camden, N. J. Owners, Knights of Columbus, J. Smith, chairman of Building Committee, 1418 Princess avenue, Camden, N. J. Brick and limestone, 2 and 3 stories, 70x150 feet. Plans in progress.

**Club House**, Rawley and Boardwalk, Atlantic City, N. J. Architect, David Levy, 5641 Lebanon avenue, Philadelphia. Owner, name

withheld. Brick and terra cotta, 4 stories, 72x96 feet, slag roof, vapor heat, electric light, tile and marble work, pine floors. Plans in progress. Architect will take bids in two weeks.

**Hospital Group**, Morris Plains, N. J. Architect, Alan Mills, Division of Architects, Trenton, N. J. Owners, New Jersey State Hospital for the Insane, Commission of Institutes and Agencies, Trenton, N. J. Reinforced concrete, brick, steel, cinder concrete, tile block, limestone (heating, ventilating, plumbing, electric, elevators separate bids), metal lath, tile, marble and terrazzo work, rolling steel sash, copper skylights, kalamein and hollow metal doors, bond, floor hardener, ornamental iron work, shoring, waterproofing, cement, mastic and pine floors, slate roof, elevators, doors, bluestone, granite, alternate for terra cotta tile blocks, painting and glazing. Tunnels 270 feet long, 128 feet long. Reception Hospital, 2 and 4 stories, 117x36 feet, 4 wings, 197x34 feet, 2 wings, 26x27 feet, 40x27 feet, 2 wings. Classified dining room and kitchen building, 236x61 feet, 1 story and basement. Male convalescent building, 2 stories and basement, 145x24 feet, wing 47x26 feet. Female employees' building, 2 stories and basement, 160x30 feet, wing 52x30 feet. Married employees' building, male employees' building, 120x33 feet, wing 57x30 feet, 2 stories and basement. Owners taking bids due September 4th.

**Church (alts.)**, Haddonfield, N. J. Architect, Albert M. Dobbins, Seventeenth and Arch streets, Philadelphia. Owners, Haddonfield Methodist Episcopal Church, Haddonfield, N. J. General altering; including leaded glass, painting, slate roof, steam heat, electric light. Architect taking sub-bids.

**School**, Woodlynne, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owners, Board of Education, Woodlynne, N. J., care of architect. Brick, concrete block, steel, 2 stories and basement, 38x63 feet, steam heat, electric light, metal lath, slag roof, pine floors, roof ventilators. Architect will be ready for bids August 22nd.

**McKinley Hospital (add.)**, Brunswick avenue and Ferries, Trenton, N. J. Architect, William A. Klemann, First National Bank Building, Trenton, N. J. Owners, McKinley Memorial Hospital, Trenton, N. J. Low bidder: Thomas Day & Son, Trenton, N. J.

**School**, Haddon Township (French Estate, near Westmont), N. J. Architect, Charles R. Peddle, 136 South Fourth street, Philadelphia. Owners, Board of Education, Haddon Township, N. J. Brick, concrete, cut stone, steel, 2 stories and basement, 78x77 feet, slag roof, pine floors, metal lath, painting and glazing, tin lined and kalamein doors, bond, ornamental iron work, limestone, granite. Owners taking bids due August 22nd.

**Detention Home**, Pensauken, Camden County, N. J. Architects, Lackey & Hettle, 5 Hudson street, Camden, N. J. Owners, Board of Chosen Freeholders, Camden County, Camden, N. J., F. G. Riggins, chairman. Brick, 2 stories, 50x200 feet, vapor heat, electric light, metal lath, tile work, rolling steel sash, fire doors, bond, iron stairs, ornamental iron work, waterproofing and dampproofing, metal window guards, safety treads, cinder block, composition floors, slate roof. Certified check 10 per cent. of bid required. Owners taking bids due September 4th, 2 P. M. (Daylight Saving Time).

**Fire House**, Merchantville, N. J. Architect, J. C. Jeffers, 312 Market street, Camden, N. J. Owners, Borough of Merchantville, care of Clerk, Merchantville, N. J. Brick, stucco, steel, 1 story and basement, 24x50 feet, steam heat, electric light, metal lath, composition roof, concrete and maple floors, waterproofing. Revised plans in progress.

## New Jersey Contracts Awarded

**School**, Haddonfield, N. J. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owners, Board of Education, Delaware Township, Ellisburg, N. J. Brick, reinforced concrete, steel, cut stone, hollow tile, stucco, 3 stories, 94x24 feet, slate roof, pine floors, metal lath, bond (plumbing, heating and electric separate), painting, glazing, waterproofing and dampproofing, ornamental iron work, grading. Contracts awarded: G. Shaner & Son, Palmyra, N. J. Heating, Deckman Power Heating & Rfg. Co., Woodlyn, N. J. Plumbing and electric work will be revised.

**Convent**, Perth Amboy, N. J. Architect, Robert Schuman, Trenton, N. J. Owners, Holy Trinity Roman Catholic Church, Rev. J. Sozuckey, Perth Amboy. Brick, limestone, steel, stone, 3 stories and basement, 50x100 feet, slate roof, pine and oak floors, architectural terra cotta, tile and marble, hot water heat, electric light. Contract awarded Woodland Const. Co., Sixty-fifth and Chester avenue.

**New Boiler House on Central Plant**, Asyla, N. J. Architects, A. H. Moses and F. H. Schoppe, Temple Building, Camden, N. J. Owners, Camden County Hospital, Board of Chosen Freeholders, Camden, N. J. Brick, reinforced concrete, cut stone, 1 story and basement, 62x47 feet, slag roof, cement floors, rolling steel sash, ornamental iron work, soapstone. Contract awarded Lawrence Hurley, Camden, N. J., \$17,250.

## Miscellaneous Construction News

**School**, Bucksport, Maine, \$50,000. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owners, East Maine Conference Seminary, Rev. R. E. Morris, Bucksport, Maine. Brick, 3 stories and basement, 61x83 feet. Plans in progress. Architects will take bids in ten days.

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del. Owners taking bids due September 3rd, 2 P. M.

Contract No. CN-21, Mermaid to Valley Road, 1.96 miles. 9,800 cubic yards excavation, 600 cubic yards rock excavation, 180 tons broken stone base course, 4,000 cubic yards cement concrete pavement, 10,350 lineal feet longitudinal metal joint, 70 cubic yards Class A concrete, 2,100 pounds reinforcement, 300 lineal feet 16-inch corrugated iron pipe, 100 lineal feet 18-inch corrugated iron pipe, 30 lineal feet 15-inch R. C. pipe, 140 lineal feet 18-inch R. C. pipe, 30 lineal feet 24-inch R. C. pipe, 300 lineal feet 30-inch R. C. pipe, 30 lineal feet 48-inch R. C. pipe, 100 lineal feet relaid pipe, 5,200 square yards Class A concrete gutter, 1,200 lineal feet wire cable guard rail, 2,600 lineal feet wood shoulder curb.

Contract CS-34, Dagsboro towards Vines Creek, 1.53 miles. 4,900 cubic yards excavation, 200 cubic yards borrow, 50 tons broken stone base course, 2,575 cubic yards cement concrete pavement or 2,575 cubic yards 1:2:3½ slag concrete, 110 cubic yards Class A concrete, 5,000 pounds reinforcement, 250 lineal feet 16-inch corrugated iron pipe, 84 lineal feet 15-inch R. C. pipe, 70 lineal feet 18-inch R. C. pipe, 800 lineal feet wood shoulder curb.

Contract 25-C, concrete approach at Smyrna, .01 mile. 50 cubic yards excavation, 50 cubic yards borrow, 75 cubic yards cement concrete pavements.



**Road Work, Delaware.** Owners, State Highway Department, Dover, Del. Owners taking bids due September 10th, 2 P. M.

Contract CS-35, Clark's X Roads-Maryland Line, 4.578 miles. .60 acre clearing, .60 acre grubbing, 11,500 cubic yards excavation, 2,000 cubic yards borrow, 120 tons broken stone base course, 7,100 cubic yards cement concrete pavement, 24,172 lineal feet longitudinal metal joint, 100 cubic yards Class A concrete, 2,600 pounds reinforcement, 500 lineal feet 16-inch corrugated pipe, 90 lineal feet 15-inch, 60 lineal feet 18-inch, 60 lineal feet 24-inch, 30 lineal feet 30-inch, 30 lineal feet 48-inch R. C. pipe, 4,400 lineal feet wood shoulder curb.

Contract CS-36, Omar-Clarksville, 3.50 miles. 1 acre clearing, 1 acre grubbing, 9,500 cubic yards excavation, 2,000 cubic yards borrow, 80 tons broken stone base course, 5,500 cubic yards cement concrete pavement or 5,500 cubic yards 1:2:3½ slag concrete, 125 cubic yards Class A, 25 cubic yards Class B concrete, 8,000 pounds reinforcement, 450 lineal feet 16-inch corrugated pipe, 72 lineal feet 15-inch, 138 lineal feet 18-inch, 28 lineal feet 24-inch R. C. pipe, 300 lineal feet wire cable guard rail, 4,000 lineal feet wood shoulder curb, 500 lineal feet timber piling.

**Residence (alts. and add.),** Kennett Pike, Wilmington, Del. Architect, Edmund B. Gilchrist, 1618 Latimer street, Philadelphia. Owner, Hollyday S. Meeds, 2403 MacDonough street, Wilmington, Del. Brick, clapboard, 1½ stories, 43x50 feet, wing 52x50 feet, shingle roof, pine floors, plumbing, hot water heat, electric light, bond, ornamental iron work, brass piping, cast iron pipe. Architect taking bids due September 2nd.

## Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., August 14, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., September 15, 1924, for the construction, including mechanical equipment and approaches, of a (one-story brick and tile semi-fireproof) Post Office building (approximately 55x65 feet in size) at Washington, Ct. H., Ohio. Drawings and specifications may be obtained from the Custodian of the site at Washington Ct. H., Ohio, or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

### ADVERTISEMENT FOR THE CONSTRUCTION OF BUILDINGS FOR A NEW DETENTION HOME FOR JUVENILES, CAMDEN COUNTY

Public notice is hereby given that sealed proposals for furnishing labor and materials to construct and equip a New Detention Home for Juveniles, consisting of a main building and garage, located as shown on Plot Plan, in Township of Pennsauken, County of Camden, New Jersey, for the County of Camden, will be received and opened by the Chairman of the Committee on Detention Home, in the Meeting Room of the Board of Chosen Freeholders, in the Court House, Camden, New Jersey, on the fourth day of September, 1924, at two o'clock P. M., Daylight Saving Time.

The work for which proposals are hereby invited, and for which bids will be received covers the complete construction of the above mentioned buildings, including Heating, Plumbing and Electrical Work.

The right is reserved to accept or to reject any or all proposals or to waive any formality in any proposal presented. All bids must be in sealed envelopes endorsed "Pro-

posal for Camden County Detention Home for Juveniles" and stating the branch of work covered. No bid will be considered unless accompanied by a certified check to the order of the County of Camden, or cash in amount of 10% of the bid (the certified check or cash to accompany the bids). In case the bid is less than \$5,000.00, said check or cash must not be less than \$500.00, and also a statement from a surety company that it will provide the contractor with a bond, binding the bidder to execute a contract if awarded to him. The terms of the proposal with surety Required are fixed by the specifications.

Copies of the drawings and specifications will be on file at the Office of the Architects, Benjamin Howell Lackey and Joseph Norman Hettel, No. 5 Hudson Street, Camden, N. J. A limited number of copies of the plans and specifications will be loaned to prospective bidders.

Plans and specifications must be returned with bid.

County of Camden, a municipal corporation of New Jersey, by the Committee of the Board of Chosen Freeholders on Detention Home.

FRANCIS G. RIGGINS,

Chairman.

BENJAMIN HOWELL LACKEY,  
JOSEPH NORMAN HETTEL,

Architects.

(Continued from Page 532)

stages, the Council is now established with definite lines of activity to follow. These have to do especially with national conferences representative of the entire industry throughout the country held at various times to call the attention of the public to marked tendencies in construction activities, with the general promotion in their national phases of such work as apprenticeship, better building and responsibility in the financing of building operations, and with the furthering of the organization of new building congresses in important centers of the country.

In connection with the announcement that Mr. Hoopingarner has recently become Director of the New York Building Congress, which represents the same idea for the metropolitan New York district that the American Construction Council does for the construction industry nationally, I wish to state that the Council's activities will be under the direction of a committee of officers at headquarters and will continue to receive the general supervision of Mr. Hoopingarner, who in addition to having been its Executive is also serving as chairman of its committee on general activities. In this work he will have charge of the plans for the national conferences and other appropriate activities, keeping in touch with the Council's work throughout the year, and will have the advice and support of the Council's Treasurer, Mr. Wright D. Goss, and myself as President.

This step is in line with the Council's established policy of close accord with the various local building congresses and other organizations within the industry

and it will furnish the medium for insuring the cordial relationships between the Council and the congresses and other agencies which should exist in their daily operation as well as in spirit.

Better Homes in America was organized to try to give to all, regardless of the size of the family purse, the utmost in beauty, comfort, and utility in their homes. As is well known now, Better Homes in America is absolutely non-commercial in character.

As a means of extending its benefits as widely as possible, the directors of the organization have authorized the preparation and publication of a number of booklets on subjects of vital interest to home makers, specializing on those whose incomes will not permit lavish spending of money.

With this purpose in view, Mrs. Chas. Bradley Sanders, a well known authority in her field, was commissioned to prepare a booklet for Better Homes in America on "How to Furnish the Small Home."

This pamphlet was prepared with two purposes in view. The first was to help individual owners of small houses who seek to make their homes as attractive and homelike as their means will permit. To them it offers the essential rules of furnishing and decoration. The pamphlet contains suggested list of furniture, floor-coverings, curtains, pictures, and other furnishings which should increase the range of their choice. Without such a list, materials which are less appropriate and needlessly expensive might be selected.

The second purpose is to provide a handbook for the furnishing and decoration of the demonstration homes erected or remodeled as a part of the educational campaign of Better Homes in many hundreds of communities and demonstrated during Better Homes Week.

As Better Homes in America is strictly non-commercial in character, no profit is made on any of its publications. For that reason, the booklet on "How to Furnish the Small Home," is sold to those interested by national headquarters of the organization, 1653 Pennsylvania Avenue, Washington, D. C., at cost price, 25 cents.

The booklet treats in detail of the complete furnishings for a three-room house, a five-room house, and a seven-room house. To secure the proper furnishings in their entirety for a six-room house, one bedroom may be omitted from the furnishings given for a seven-room house, and similarly, a bedroom omitted from the specifications of the five-room house gives the requisite furnishings for a four-room house.

The booklet first takes up the preliminary considerations in furnishing any home—that the objects should suit the



house in size, coloring and style; that the pieces should be harmonious with one another; that they should be comfortable and well made; that they suit the requirements of the family; and that they fit the family purse.

The booklet deals with the subject of backgrounds, floors, floor varnishes and floor coverings, woodwork for the home in harmony with the scheme of furnishing it, curtains and draperies, the selection of furniture, lamps, ornaments, and the kinds of wood most commonly used in the manufacture of modern furniture.

The booklet then takes up the three-room house and the others in turn. It discusses the subject of the model kitchen, the home library, breakfast alcoves, the laundry, proper ways to set the table, linen, closet essentials, and contains a brief selected list of recommended books on the furnishing of the small home.

Dr. James Ford, Executive Director of Better Homes in America, in the foreword to the booklet, says, in part, as follows:

"Too often the furnishing of American homes include an accumulation of ugly, uncomfortable, and meaningless objects which would better be eliminated. This criticism applied particularly to the pictures, hangings, and ornaments, but often also to rugs and furniture. Too often also the tools and equipment of the home are needlessly meagre and inconvenient. The time and energy wasted in their use might be applied much more advantageously if they were replaced by labor-saving devices. One should not be the slave of his possessions but their master.

"Avoidance of waste and conservation of energy for life's higher purposes may then wisely be dominating principles in the selection of household furnishings precisely as they are in the other serious undertakings of life. But above all it should be remembered that the purpose of the house is to serve as the home of the growing family. I should then provide not only convenience for all household activities of kitchen and laundry but also rest and comfort and inspiration for the leisure hours."

It is part of the creed of Better Homes in America that inexpensive but attractive small homes should be accessible to all families. That is one of the main reasons why the 1924 competition in a thousand communities scattered throughout the nation, which culminated in the demonstrations of "better homes" during the week set aside for that purpose, laid special stress on homes for families of average or small means—homes in the \$5,000 class and vicinity.

Recognized authorities have repeatedly made the statement that America is in need of many hundred thousands more

houses of a type within the reach of wage earners' families. Housebuilding, like many other normal activities, was virtually arrested during the war period, and the shortage thus brought about has never been overcome.

The educational organization known as Better Homes in America aims to help in overcoming this housing shortage, and it is aware that prospective home owners need expert guidance and assistance. This organization is fully aware of the basic needs for small homes—a good house plan drawn by a competent designer, to insure sound construction and sensible planning in the building of even the smallest house.

For this reason, Better Homes in America has published a booklet for the aid of prospective owners or builders of small houses—houses containing up to six rooms. This booklet, called "Plan Book of Small Houses," was prepared for them by the Architects Small House Service Bureau.

As Better Homes in America is non-commercial and purely educational in character, these plan books are distributed to those writing in for them to national headquarters, 1653 Pennsylvania Avenue, Washington, D. C., at the bare cost of issuing them, 25 cents each.

The "Plan Book of Small Houses" contains floor plans, descriptions, and excellent pictures of twenty-four attractive and approved houses, ranging from three-room cottages and bungalows to six-room two-story houses.

The types included are the English cottage, the Cape Cod bungalow, Italian style houses, Pennsylvania Colonial, Dutch Colonial, Spanish type houses, New England Colonial, and others.

This publication offers every one an opportunity to enjoy many of the privileges of architectural service at low cost.

The Architects' Small House Service Bureau is a professional non-profit making organization composed of many practicing architects from the leading architectural firms of the country. It is controlled by the American Institute of Architects and has the endorsement of the Department of Commerce of the United States. In purpose it is a public service.

The "Plan Book of Small Houses" published by Better Homes in America contains not only the floor plans, descriptions and pictures of the twenty-four different types of excellent small houses, but contains two interesting articles prepared for it by competent architects. Maurice I. Flagg, Director of Service of the Architects' Small House Service Bureau, has contributed an excellent and carefully thought out article on "Selecting a Home Plan," and the important considerations which precede building a house. Mr. Robert Taylor Jones, of the American Institute of Architects, who is

Technical Director of the Northwestern Division of the Architects' Small House Service Bureau, is the author of a practical article for the prospective small house builder on "Keeping Down Building Costs."

This plan book, and related publications of an educational character, of interest to home builders and home makers, are available now at cost prices from national headquarters of Better Homes in America, 1653 Pennsylvania Avenue, Washington, D. C.

### THE BUILDERS' CODE

*Code of Ethics Adopted by the Members of the Associated Building Contractors of Illinois*

The Builder considers his vocation worthy of respect and adulation as affording him distinct opportunity to serve society.

The Builder desires to improve himself increase his efficiency and enlarge his service and by so doing he expects to profit through and by such service.

The Builder realizes that he is a business man and ambitious to succeed, but that, first he must be ethical and wish no success that is not founded on justice and morality.

The Builder holds that he must exchange his product, his labor, his service, and his ideas for profit. He wants that profit to be legitimate and ethical and desires all parties in the exchange benefited.

The Builder wants to be an example to his brother builders and uses his best efforts to elevate the standards of his vocation, and conduct his affairs that, others may find it wise profitable, and conducive to happiness.

The Builder wants to conduct his business so as to render perfect service, superior to his competitors, and, when in doubt, give service beyond the strict measure of obligation.

The Builder believes in the Golden Rule: "All things, whatsoever ye would that men should do unto you, do ye even so unto them."

The Builder contends that, society best holds together, when equal opportunity is accorded all men.

**There is not a business one can think of, which is not full of little temples where one can curse or pray. Every business that one knows has its host of light in it, fighting against its host of darkness; one set of men conducting the business as if they and the public were engaged in a sort of mutual enthusiasm and daily service, with permanent success as the goal; and another set of men whose success is ruining the business to which they belong, and the public besides—and themselves.**



# Reference Directory for Architects, Builders and Owners

## ARCHITECTURAL CEMENT CASTINGS

Erickson & Weiss, Fisher's Ave. and Mascher St.

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

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Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK (Face, Common, Paving).

Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

Erickson & Weiss, Fisher's Ave. and Mascher St.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE (Insulation and Covering)

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1345 Arch St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE TILE.

Gramm, Price, Turner, Inc. ....Ashland, N. J.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

Lee T. Ward Co. ....617 Filbert St., Phila.

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

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Weber, F., Co. ....125 S. 12th St., Phila.

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## ELEVATOR DOOR CONTROLLERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## ELEVATOR DOOR HANGERS.

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## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

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## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1345 Arch St., Phila.

## FLOOR HARDENER.

Anti-Hydro Waterproofing Co.,  
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## FLOOR PLATES.

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Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

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Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

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Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

## GARAGE HEATERS.

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## GAS RANGES.

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## HEATING CONTRACTORS.

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## HOLLOW METAL WINDOWS.

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## HOLLOW TILE.

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Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

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Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

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1711 Chestnut St., Phila.

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Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

Wood, Alan, Iron & Steel Co. ....Widener Bldg., Phila.

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## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Ketcham, Howard.....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
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Italian Marble Mosaic Co. ....433 Spruce St., Phila.

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D'Lauro, John .....55 E. Mermaid Lane, Phila.

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Rulon, Ralph V. ....239 N. 30th St., Phila.

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Pearce Fireproof Co. ....1345 Arch St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## ORNAMENTAL IRON.

Pettit, Frank, Ornamental Iron Works,  
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Reisbord, Wolf.....4437-43 Ludlow St., Phila.

## PAINTS AND VARNISHES.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

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## PLUMBING FIXTURES.

Fleck Bros. Co. ....44 N. 5th St., Phila.

## RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

The Beckwith Co. ....2401 Chestnut St., Phila.

## REFRIGERATORS.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REINFORCING BARS.

Lukens, Lewis N. ....19th and Washington Ave., Phila.

H. T. Potts & Co. ....Erie Ave. and "D" St., Phila.

## ROAD MACHINERY.

Lee T. Ward Co. ....617 Filbert St., Phila.

## ROOFING SLATE.

Chapman Slate Co. ....Bethlehem, Pa.

## ROOFING TILE.

Ketcham, O. W. ....121 N. 18th St., Phila.

## SAFETY GUARDS.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

## SAND AND GRAVEL.

Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

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## SOUNDINGS.

Ridpath & Potter Co.,  
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## STEAM SHOVEL CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## STEAM SPECIALTIES.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## STEEL DOORS

Bur-Vett Mfg. Co. ....929 Chestnut St., Phila.

## STEEL SASH.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

## STONE.

St. Martin's Building Stone,  
55 E. Mermaid Lane, Phila.

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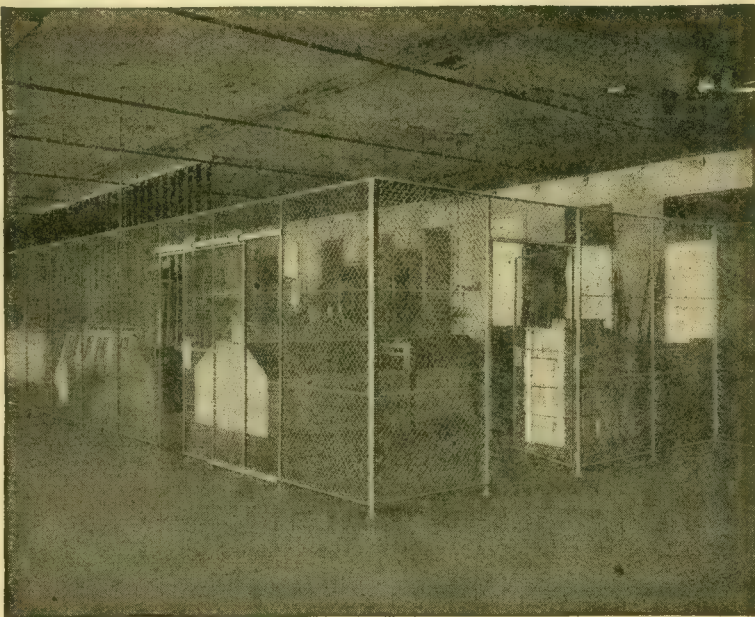
Vol. XXXIX, No. 35  
August 27, 1924

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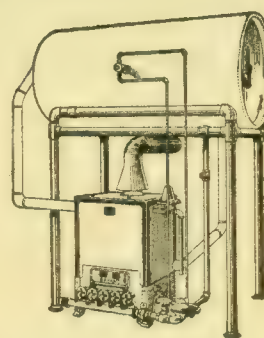
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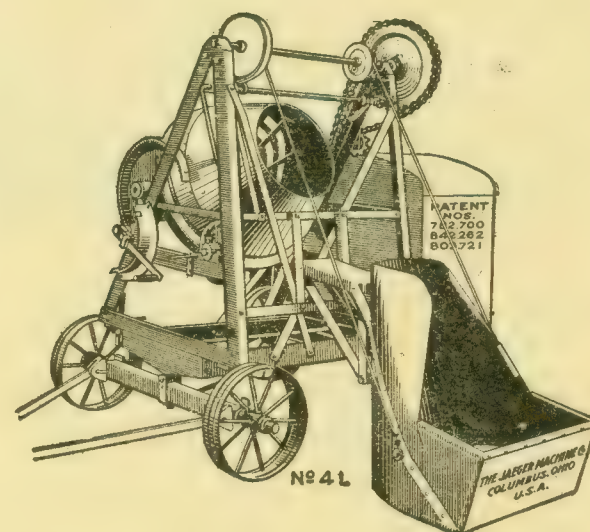
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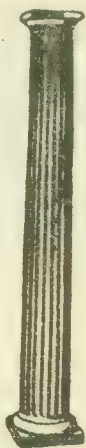
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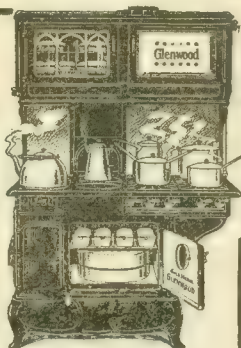


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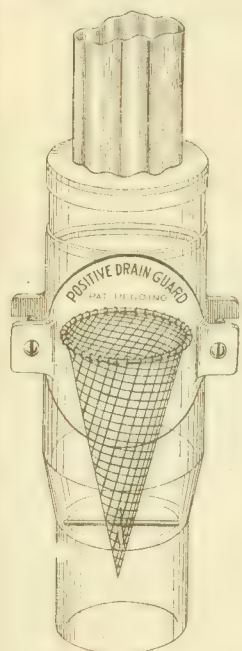
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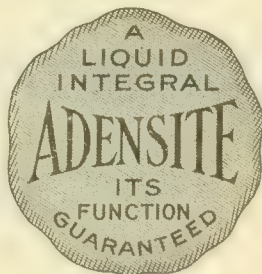
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural

VOLUME XXXIX

Number 35

Engineering and the Building Trades

PHILADELPHIA

August 27, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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BY

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## As The Editor Sees It



### THE PHILADELPHIA BUILDING EXPOSITION

As a result of several meetings among various foremost manufacturers of materials entering into Building Construction and equipment industries a co-operative movement has been launched to give to Philadelphia, its Architects, Contractors and Builders an exhibit of these materials and service. This movement crystalized into the Philadelphia Building Exposition which will be held at the Arena, Market Street, 45th to 46th, during the period September 20th to 27th, 1924.

The Committee consists of Mr. E. F. Glore, of Abram Cox Stove Company, Jr., John E. Lloyd, of Wm. M. Lloyd Lumber Company; I. B. Blain, of Asbestos Shingle Slate & Sheathing Co.; J. Randall Williams, Jr., of Williams Lumber Co.; J. R. Ross, of Gas Utilities Corp.; L. M. Whitcraft, of Portland Cement Association; W. S. Hays, of National Slate Ass'n.; John L. Wansor, of the Electric Club of Philadelphia; J. Harold Way, of Way Works, Inc.; D. Knickerbocker Boyd, Consulting Architect.

It has been an admitted fact that Expositions previously held in Philadelphia under the old promotion plan, with the usual appeal to vast numbers with special entertainment and amusement features were not conducive to sales and the fact that many catch penny schemes were in evidence on the floor lowered the en-

tire character of the Exposition. The Philadelphia Building Exposition is being held to fill a certain niche along the requirements of material men with a view of making its appeal to the buyers in such a manner as will obviate the necessity of holding more than one Exposition yearly.

The Electric Club of Philadelphia have agreed to use, among its members, the entire allotment of booths allowed this important industry and the buyers of electrical equipment of all types will enjoy viewing the most comprehensive electrical exhibition ever held here.

Mr. Glore, of Abram Cox Stove Company, has taken personal charge of the heating industry, and all prominent steam, hot water, vapor and warm air systems will be displayed in connection with gas ranges and water heating devices. Coal, oil and gas burning equipment have secured locations.

Mr. John E. Lloyd, of Wm. M. Lloyd Lumber Company, has secured the co-operation of lumber dealers to formulate an instructive display of various lumber, mill work, wall board and other material handled by this important branch of building construction.

The Cement Industry will be much in evidence and thoroughly reliable cement block, cement brick and ornamental cement work will be shown.

A co-operation of clay brick and clay products, slate and its uses, asbestos shingle and pipe covering and many de-

vices to enhance the beauty of buildings and increase the value of property will be shown for the first time.

While the directing Manager of the Philadelphia Building Exposition has his office, 604 Real Estate Trust Building, the Exhibitors meet from time to time to go over the matter of policy and the spirit of co-operation is welded into a foundation that will bring the Philadelphia Building Exposition with the realization of its ideals into a permanent yearly event.

Many new and novel features that will appeal to a type of visitor usually impossible to attract to an ordinary show—a class appeal rather than a mass appeal—where the interested persons of the entire trade will meet for their mutual benefit.

Daily talks will be given by men foremost in their respective lines and each day will bring its quota of information to the progressive Architect, Contractor, Builder and owner.

The accessibility of the Arena and the elegant parking facilities are factors which make this location valuable. Elevated service from Jersey Ferries and suburban Philadelphia is unequalled. The construction of the new type booth and the well balanced decoration shows the deep interest taken in the matter of detail that will reflect credit on all exhibitors as well as on the men responsible for putting across this grand project.

"The Philadelphia Building Exposi-

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tion," says D. Knickerbacker Boyd, the Consulting Architect, "by the fact of making only one worth while exhibit necessary per year, will tend to lower prices of everything entering the building field, and while the Philadelphia Chapter of American Institute will not officially endorse any exhibit due to the fact that they would not consider it entirely ethical, however, the theory and purpose of the Philadelphia Building Exposition is an elegant one and one that will be viewed with much interest by all progressive persons."

"The firms that have already secured space at this Exposition," says Mr. Hedrick, cover the entire list of industries, and we have but few locations not contracted for. The Philadelphia Exposition is already a decided success and everyone connected with the project is pleased with the manner in which the display booths have taken and there are but a few booths now available."

One of the outstanding features of this Exposition is the fact that applications for space must be passed upon by the committee after the approval of the sub-chairman who has control of the division under which the prospect desires to exhibit. "This method," says Mr. Glore, "gives us a type of exhibitor, that, even though he be a competitor, we welcome him and his clean business methods and the aggregation of such high type business houses and men strengthen the scope that the Philadelphia Building Exposition aims to set for its goal among the various interested lines."

This Exposition has all the earmarks of a wonderful business getting proposition that will bring direct sales as well as direct advertising where the visitor can see merchandise and the exhibitor can get an interview with his prospect under conditions that are ideal for closing business.

September 20th to 27th was selected as an ideal time to hold such a show, due to the fact that the summer drag is just about over and a resumption of the industries are ready to go ahead on a constructive basis.

## THE BUGBEAR OF EXCESSIVE COST

One persistent bugbear that does more than anything else to hamper progress on both brick and hollow tile in building operations is that groundless idea in the minds of the public that it costs so much to build a brick or tile house that only the very rich can afford it. It may be that this bugbear is fed on propaganda of promoters of other building material, but whether that is so or not, the fact remains that every home builder seems to have the impression it will cost too much to build with brick or hollow tile, and that the only thing he can afford to build is a frame home.

We get plenty of evidence of this in the reports of building permits in the big cities which show such a majority of permits for frame homes as to be rather astonishing, in view of the present high cost of lumber and the need to build for greater permanence so as to get an assurance of return value for the cost of home building today. One reason is, that not only the builder himself but quite often the carpenter contractor, who is more familiar with lumber, has the impression that to build the walls of brick and hollow tile will add so much to the cost as to make it prohibitive except for wealthy people.

There is an illustration of this in some of the reports of the Promotion Committee of the Hollow Building Tile Association, where one member of the committee wanted to build a home for himself, using the plan design of a frame house. The carpenter contractor, when asked for a figure, made an off-hand estimate that it would cost 30 per cent. more. In other words his impression was that to build a hollow tile or brick or combination of the two would add nearly a third to the cost of the home. In this case the committee member said that finally, in going into the details of construction, it was found that the house could be built of common brick and hollow tile at an

(Continued on page 560)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Residence (interior alts.),** 1639 North Franklin street, Philadelphia. Architect, Charles Schaef, 11 South Sixteenth street, Philadelphia. Owner, D. A. K. Orstein, 1639 North Franklin street, Philadelphia. Brick, 3 stories, 20x70 feet, hot water heat, electric light, tile and marble work, oak floors. Architect taking bids due as soon as possible.

**Apartment House,** 6236 North Broad street, Philadelphia. Architect, Edward A. Roth, Drexel Building, Philadelphia. Owner, D. Simpson, care of architect. Architect taking bids due September 3rd. (Note extension of time.)

**Church (add.),** Queen Lane and Wayne avenue, Philadelphia. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owners, Wayne Avenue Baptist Church, on premises. Stone, 1 story, 20x40 feet, steam heat, electric light, slate roof, pine floors. Architects taking bids due September 3rd.

**Residences (6),** Saville street, East of Ridge avenue, Philadelphia. Architect, private plans. Owner, name withheld. Brick, 2 stories, 15x40 feet, hot water heat, electric light, tin roof, hardwood floors, wood lath, tile work. Owner, care of Charles Stock, 595 Hermit Lane, Roxborough, ready for bids.

**Store (alts. and add.),** Ninth and Buttonwood streets, Philadelphia. Architect, E. L. Rothschild, Bankers' Trust Building, Philadelphia. Owners, Benjamin Loan Co., on premises. New front, metal bulks. Architect taking bids.

**Factory Building and Cafeteria, Boiler House,** Dye and Bleach Building, Butler and Jasper streets, Philadelphia. Owners, Lehigh Silk Hosiery Mills, Inc., D and Ontario streets, Philadelphia. Engineer, W. H. Gravell, Otis Building, Philadelphia. Reinforced concrete, brick and hollow tile, factory, 4 stories, cafeteria, 2 stories, boiler house, 2 stories, slag roof, cement floors, steam heat, electric light, elevators, rolling steel sash, galvanized iron skylights. Turner Const. Co., 1713 Sansom street, Philadelphia, taking sub-bids.

**School and Chapel,** vicinity of Broad and Oregon, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Richard's Roman Catholic Church, Rev. Richard F. L. Hanagan, care of St. Monica's Roman Catholic Church, Seventeenth and Ritner streets, Philadelphia. Site not selected.

**Stores (4) and Apartment Building,** Southwest Corner Seventh and Spruce streets, Philadelphia. Architect, H. A. Bernhardt, 721 Walnut street, Philadelphia. Owner, Louis E. Wiser, 260 South Fifth street, Philadelphia. New plans in progress.

**Residence (alts. and add.),** Southwest Corner Seventieth and City Line, Oak Lane, Philadelphia. Architect, Carl P. Berger, 1512 Walnut street, Philadelphia. Owner, Dr. David Reisman, on premises. Stone, limestone, 3 stories, 26x34 feet, slate roof, cement and canvas, hardwood floors, hot water heat, elec-

tric light, tile work, metal weather strip, metal casements, rolling steel skylights, ornamental iron work. Revised plans in progress.

**Building (alts.),** 815-19 Chestnut street, Philadelphia. Architects, Hoffman-Henon, Inc., Finance Building, Philadelphia. Owners, Gimbel Brothers, on premises. Bronze work, rubber flooring, plumbing, heating, electric work, hardware, painting and glazing, slag roof, marble work, plastering, revolving doors, stair work, carpentry and mill work, brick work, cut stone, concrete and cement work, steel shoring, demolition. Will include banking facilities. Revised plans in progress.

**Residences (twin) (22),** Howarth and Horrocks, Philadelphia. Architect, private plans. Owner, J. Connor, Princeton avenue, Tacony, Philadelphia. Brick, 2 stories, 17x50 feet, hot water heat, electric light, tile work, slag roof, hardwood floors. Owner will be ready for sub-bids in 3 weeks.

**Residence,** Gravers Lane and Navahoe street, Chestnut Hill, Pa. Architect, Samuel W. Marshall, 1524 Chestnut street, Philadelphia. Owner, Fletcher Schaum, Second and Glenwood avenue, Philadelphia. Stone, 2½ stories, 40x30 feet, shingle roof, cement and oak and pine floors, hot water heat, electric light, tile and marble work. Architect is subletting and will build.

**Additions and Alterations to Building,** Southeast Corner Sedgley and Lawrence streets, Philadelphia. Architect, private plans. Owners, Franklin H. and Joseph B. Baker, Ridgeway Refg. Co., on premises. Brick, concrete, steel, 2 stories and basement, 70x46 feet, slag roof, composition and maple floors, plumbing, steam heat, rolling steel sash, sprinklers. J. N. Gill Const. Co., City Center Building, taking sub-bids.

**Store and Garage,** Melon, Ridge and Potts street, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owner, Walter F. Ballinger, care of architect. Brick, cut stone, steel, 1 story, 236x69 feet, slag roof, cement floors, metal lath, marble work, rolling steel sash, rolling steel skylights, tin clad and hollow metal doors, bond, floor hardener, iron stairs, ornamental iron work, terra cotta copings, shoring, metal ceilings, artificial stone. Architects taking bids due August 29th.

**Apartment House,** Forty-third and Chestnut streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, I. Newton Smith, Hotel Marlyn, Fortieth and Walnut streets, Philadelphia. Brick, cast stone, steel, 4 stories and basement, 233x116 feet, slag roof, oak floors, elevators, roof ventilators, metal weather strips, metal lath, tile and marble work, copper skylights, fire doors, ornamental iron work (painting, plumbing, electric, oil burning equipment, rubber tile floors\*reserver). Architect taking bids due September 10th.

**Public School,** Twelfth and Federal streets, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, limestone, cut stone, steel, 3 stories and basement, 211x85 feet (plumbing, heating and electric separate bids), composition, tile and asbestos shingle roof, cement, mastic and maple floors, hollow tile, safety treads, metal weather strips, waterproofing and dampproofing, ornamental iron work, bond, rolling steel skylights, marble and terrazzo work, metal lath, cold water paint. Owners taking bids due September 4th. Also Lawnton Public School, new wings, 73x34 feet, 113x34 feet, 2 stories and basement.

**Arcade,** 1812-14 Chestnut street, Philadelphia. Architects, William H. Gravell and Arthur W. Hall, Otis Building, Philadelphia. Owner, name withheld. Brick, concrete, cut stone, steel, limestone, 2 stories and basement, 230x50 feet, slag roof, cement, plumbing, roof ventilators, bond, waterproofing, floor hardener, ornamental iron work, copper skylights, tile and marble work, metal lath, steam heat, electric light, sprinkler system. Architects taking bids due September 2nd.

**Alterations and Additions (Lavatory Section of School),** Forty-ninth and Wyalusing avenue, Philadelphia. Architect, George I. Lovatt, 223 South Sudemham street, Philadelphia. Owners, St. John's Orphans' Asylum, on premises. Brick and steel, 1 story and basement, 45x28 feet, brick work, tile work, waterproofing, reinforced concrete, steel and iron work, metal sash, carpentry and mill work, tin roofing, painting and glazing, electric work, safety treads, cement

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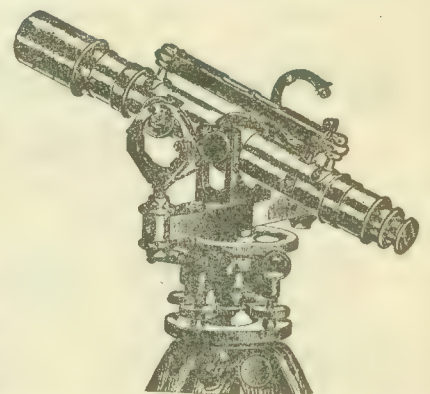
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floors. Architect taking bids due August 28th.

**Store and Residence**, 3255 North Front street, Philadelphia. Architect, Morris Bruchtbau, 6100 Spruce street, Philadelphia. Owners, Duffy Brothers, on premises. Brick, 2 stories, 25½x100 feet, slag roof, hardwood and composition floors, hot water heat, electric light, tile work, hollow metal skylights, plate glass, sheet metal cornice, cement work. Architect taking bids due August 30th.

**Residence**, Montgomery avenue, Northwest of Birch Lane, Chestnut Hill, Pa. Architects, Frank Watson, George E. Edkins and W. H. Thompson, 1211 Walnut street. Owner, Frank R. Watson, 1211 Walnut street, Philadelphia. Stone, cement block, steel, 2½ stories, 29x37 feet, wing 32x24 feet (tile, marble, linoleum, precast stone, plumbing, heating reserved), ornamental iron work, bond, rolling steel sash, flagstone, brick. Architects taking bids due September 4th.

**Alterations and Additions**, 1726 Chestnut street, Philadelphia. Architects, McLanahan & Bencker, Bellvue Court Building, Philadelphia. Owner, George W. Jacobs, on premises. Brick, 3 stories and basement, 23x17 feet, iron and steel, marble and tile, metal weather strip, hardware, dumb waiters, cement and concrete, painting and glazing, plastering, slag roof, metal windows, electric work, plumbing, steam heat, wrought iron pipe. Architects taking bids due September 2nd.

**Schools (miscellaneous work)**, various locations, Philadelphia. Widener, grading and paving. George C. Thompson School, gymnasium equipment. J. Story Jenks, gymnasium equipment. Junior High School, display panels. Frankford High, maple flooring, project storage balcony, etc. Various Schools, moving picture machines. Kelley Public, repairs and repainting roof. Removing and re-setting flag pole, pole to be moved from Wheathead to McDaniels School. Owners taking bids due September 4th at 12 noon (Daylight Saving Time).

**Residences (19)**, North side Kenwyn street, West of Oaklane, \$86,500. Architect, private plans. Owners, P. J. and T. P. McFarland, 2409 East Allegheny avenue, Philadelphia. Brick, 2 stories, 15 feet, 4 inches x 38 feet, hot water heat, electric light, slag roof, hardwood and pine floors. Owners will build.

**Residence and Garage**, South side Coulter street, West of Fox street, \$21,500. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, G. N. English, 3015 Queen Lane, Philadelphia. Stone, 3 stories, 28x40 feet 10 inches, slate roof, hardwood and cement floors, hot water heat, electric light, tile work. Owner will build.

**Residences (24), Garages (3), Store (1)**, Forty-ninth and Brown streets, \$130,300. Architect, private plans. Owner, John F. Basford, 608 Crozer Building, Philadelphia. Brick, 2 stories, 15x43 feet, store, 1 story, 16x19 feet 6 inches, garages, 1 story, 77x19 feet, 108x19 feet and 16x19 feet, 218x17 feet. Owner will build.

**Residences (2)**, West side Hegerman street, North of Comly street. Architect, private plans. Owner, Frank W. Zebley, 6012 Hegerman street, Philadelphia. Brick, 2 stories, 15x38 feet 6 inches, hot water heat, electric light. Owner will build.

**Bridge**, Girard avenue, over Pennsylvania avenue and Philadelphia and Reading Railroad, Philadelphia. Owners, Bureau of Surveys, 216 City Hall, Philadelphia. Reinforced concrete and steel. Owners taking bids due September 9th.

**Residences (3)**, Gorgas and Anderson streets, Philadelphia, \$46,000. Architect, private plans. Owners, Johnson & Talley, Room 11, Post Office Building, Germantown, Philadelphia. Stone, 3 stories, 27x40 feet, 25x40 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences and Garages (21)**, North side Chelwynde avenue, East of Bailey street, Philadelphia, \$95,000. Owners, Victor Const. Co., 6232 Cedar street, Philadelphia. Brick, 2 stories, 16x36 feet, hot water heat, electric light. Owners will build.

**Residences (2)**, East side Ardleigh street, North of Willow Grove avenue, \$15,000 each. Architect, private plans. Owner, William M. Wolverton, 224 East Willow Grove avenue, Philadelphia. Brick, 2 stories, 16x47 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, East side Whitaker street, North of Cottman, \$5,500 each. Architect, private plans. Owner, A. Glaser, 1646 North Fourth street, Philadelphia. Frame, 2 stories, 16x40 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, West side Montour, North of Cottman, \$5,000 each. Architect, private plans. Owner, John H. Bauer, 4938 North Fairhill street, Philadelphia. Brick, 2 stories, 14 feet 6 inches x 40 feet, hot water heat, electric light, hardwood and pine floors, slag roof. Owner will build.

**Workshop**, 341½ North Fifty-sixth street, Philadelphia, \$5,000. Architect, private plans. Owner, Thomas C. Duffy, 18 North Paxon street, Philadelphia. Brick, 1 story, 20x150 feet. Owner will build.

**Residence**, East side Bleigh street, North

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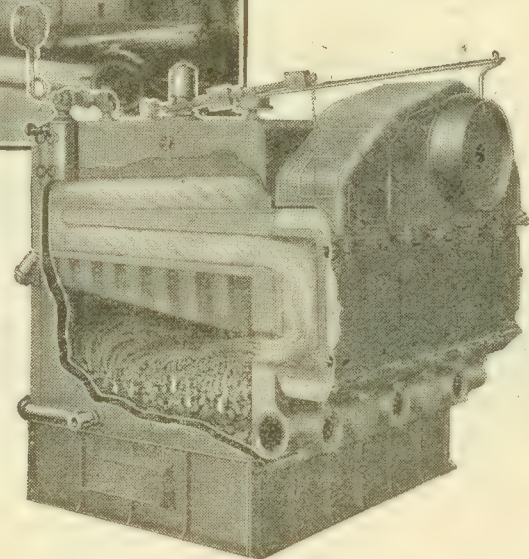
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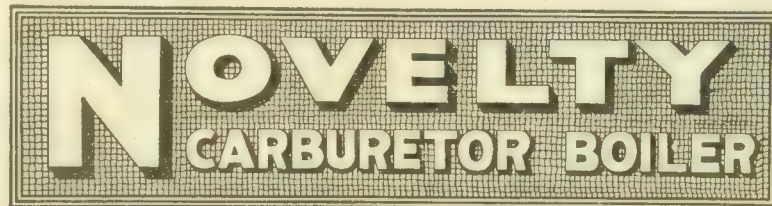


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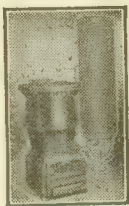
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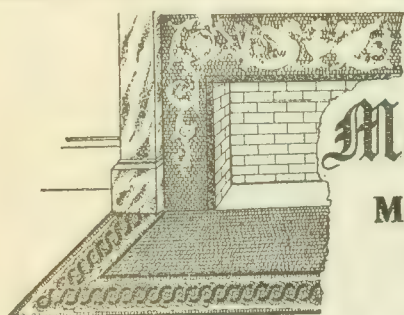
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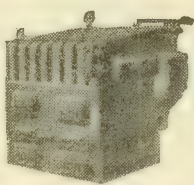
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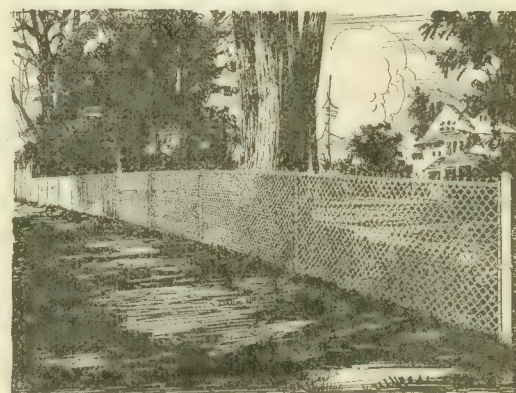
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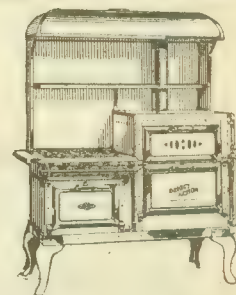
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of Pennway street, Philadelphia, \$4,000. Architect, private plans. Owner, William S. Cornelius, 5907 North Sixth street, Philadelphia. Brick and frame, 2 stories, 23x26 feet 7 inches, hot air heat, electric light. Owner will build.

Garage and Storage Building, 3230 Mantua avenue, Philadelphia, \$3,500. Architect, private plans. Owner, Patrick McCue, 3232 Mantua avenue, Philadelphia. Brick, 2 stories, 23x60 feet, slag roof, cement and pine floors. Owner will build.

pine floors, metal lath, hollow metal doors, bond, ornamental iron work (heating, plumbing and electric reserved). Contract awarded Fairrell Roth Const. Co., 1624 Spruce street, Philadelphia, but not yet signed.

**Rectory**, Jackson and Foust streets, Wisconsin, Pa. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, St. Bartholomew's Roman Catholic Church, Rev. Joseph J. Scanlon, Wisconsin. Stone, cut stone, steel, 3 stories and basement, 61x40 feet, wing 43x25 feet, slag roof, oak floors, metal lath, tile, marble and terrazzo work, bond, ornamental iron work (plumbing, heating and electric separate. Contract awarded Murphy Quigley Co., 1524 Sansom street, Philadelphia, but not yet signed.

**Residence and Garage (alts.)**, Twelfth street and Cheltenham avenue, Oak Lane, Philadelphia. Architect, private plans. Owner, Samuel Hammer, 107 South Thirteenth street, Philadelphia. Extensive alterations. Too early for details. Contract awarded Edward Fay & Son, 2 South Mole street, Philadelphia.

**Home Building (alts. and add.)**, Powelton and Saunders avenues, Philadelphia. Architects, Charles Barton Keen & Wallace, 338 South Smedley street, Philadelphia. Owners, Pennsylvania Industrial Home for Blind Women, on premises. Brick, 4 stories, 40x46 feet, fire tower, 15x11 feet, slag roof, Duralux and oak floors, elevators, roof ventilators, architectural terra cotta, iron stairs, fire doors, tile and marble work, electric lighting, vapor heat (plumbing, heating and electric elevators, tile work, refrigerators, ranges, Murphy beds reserved). Contract awarded R. C. Ballinger Co., 925 Walnut street, Philadelphia.

**Garage**, Chestnut street, between Forty-fourth and Forty-fifth streets, Philadelphia. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owners, Philadelphia Auto Radiator Co., 261 North Fifteenth street, Philadelphia. Brick, steel, 2 stories, 214x65 feet, slag roof, cement floors, steam heat, electric light, elevators, ornamental terra cotta, ornamental iron work, cold water painting. Contract awarded L. Swerdloff, 229 South Fifty-ninth street, Philadelphia.

**Alterations and Additions**, 435 West Girard avenue, Philadelphia. Architect, Peter F.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Garage**, 326 South Hicks street, Philadelphia, \$15,000. Architect, private plans. Owners, Stecker, Inc., 1220 Walnut street, Philadelphia. Brick, 2 stories, 34 feet 9 inches x 51 feet 8 inches, slag roof, cement floors, steel sash, steam heat, electric light. Contract awarded to Edward Fay & Son, 2 South Mole street, Philadelphia.

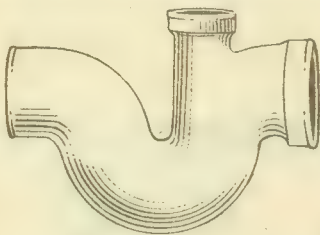
**Residence and Store (add.)**, 6014 Torresdale avenue, \$8,000. Architect, private plans. Owner, Frederick Deitrich, on premises. Brick, 1 story, 38x32 feet, second story, 18x16 feet, slag roof, oak and pine floors, electric lighting. Contract awarded to Wintz Brothers, 1618 Sellers street, Philadelphia.

**Store and Residence (alts.)**, 2717 Girard avenue, Philadelphia, \$2,000. Architect, private plans. Owner, L. Schoenbron, on premises. General alterations. Contract awarded to Frank I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Warehouse**, 735 Callowhill street, Philadelphia. Architect, Stanford B. Lewis, Presser

Building, Philadelphia. Owners, Kingan Provision Co., on premises. Brick, reinforced concrete, cut stone, steel, limestone, 3 stories, 110x115 feet, slag roof, cement floors, hollow tile shoring, waterproofing and damp-proofing, ornamental iron work, bond, fire and kalamein, vault doors, rolling steel sash and skylights, painting and glazing. The following items are all reserved: Cork insulations, plastering, on insulation, and painting of same, steam heat, ventilating and boilers, electric work, power wiring, rail system smoke house doors, brick floors, elevator and doors. Contract awarded Barclay White Co., 1713 Sansom street, Philadelphia.

**School Building**, North side Lemon, between Twelfth and Thirteenth streets, Philadelphia. Architect, F. V. Nickels, 15 South Twenty-first street, Philadelphia. Owners, St. Andrew's Roman Catholic Church, Rev. Joseph G. Chitakitis, 1123 Wallace street. Brick, cut stone, steel, stone, 3 stories and basement, 63x92 feet, slag roof, composition and



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Garage, 1634 North Sixth street, Philadelphia. Contractor, Valentine Wagner, on premises. Brick work, carpentry and mill work, concrete work, dumb waiter, electric light, hot water heat, metal bulks, plumbing, metal lath, wrought iron pipe (Byers or Reading), lead pipe, slag roof, galvanized iron skylights, metal ceilings, painting and glazing. Contract awarded Charles Maenner, 3355 South Fifteenth street, Philadelphia.

**Residence**, Gates street, Roxborough, Philadelphia. Architect, Andrew C. Borzner, 721 Walnut street, Philadelphia. Owner, Edward Kaufman, Silverwood and Gates streets, Philadelphia. Brick, 2½ stories, 28x41 feet, shingle roof, oak and pine floors, hot water heat, electric light. Contract awarded Carl F. Hirsch, 418 Ripka avenue, Roxborough.

**Stores (alts.)**, 1727 Sansom street, Philadelphia. Architect, J. W. Thompson, 703 South Sixtieth street, Philadelphia. Owner, Albert F. Brown, 310 Lincoln Building, Philadelphia. Shoring, brick work, plastering, carpentry and mill work, glazing, slag roof, pine floors, metal lath. Contract awarded W. A. Evitt, Fiftieth and Chestnut streets, Philadelphia.

**Paving**, Independence Hall, Philadelphia, \$2,398. Owners, City of Philadelphia, Bureau of City Property, City Hall. Paving, first floor entrance and stair halls, flagstone paving. Contract awarded Kaufman Const. Co., North American Building, Philadelphia.

**Church (add.)**, Northwest Corner Seventieth and Woodland avenue, Philadelphia, \$11,800. Architects, Lackman & Murphy, Drexel Building, Philadelphia. Owners, Siloam Methodist Episcopal Church, on premises. Brick, 1 story add., 41x60 feet 6 inches, pine floors, electric light. Contract awarded to D. A. McClelland Co., Drexel Building, Philadelphia.

**Bank**, Southwest Corner Thompson and Kirkbride streets, Philadelphia, \$10,000. Architect, private plans. Owners, Oxford Bank, Overington and Frankford avenue, Philadelphia. Brick, 1 story, 14x36x44 feet, slag roof, cement floors, steam heat, electric light. Contract awarded to Edward T. Bender, 1135 Wakeling street, Philadelphia.

**Bank**, Southwest Corner Cottman and Rising Sun avenue, Philadelphia, \$10,000. Architect, private plans. Owners, Oxford Bank, Overington and Frankford avenue, Philadelphia. Brick, 1 story, 22x52 feet, slag roof, stone foundations, electric lighting, yellow pine floors. Contract awarded to Edward T. Bender, 1135 Wakeling street, Philadelphia.

**Business Building (alts.)**, 47 North Water street, Philadelphia, \$13,000. Architect, private plans. Owners, A. Leroy & Bro., Southwest Corner Delaware avenue and Arch street. Carpentry and mill work, changing floor levels. Contract awarded to R. C. Balingier & Co., 925 Walnut street.

**Store (alts.)**, 940 Market street, Philadelphia, \$12,000. Architect, private plans. Owner, Charles Hallahan, 921 Market street, Philadelphia. General alterations. Contract awarded to William E. Hale, 1516 Summer street, Philadelphia.

**Factory (add.)**, Southwest Corner Pickwick and Salmon streets, Philadelphia, \$10,000. Architect, private plans. Owner, John M. Kennedy, Jr., 406 South Van Pelt street, Philadelphia. Brick, second story add., 60x160 feet, slag roof, electric light. Contract awarded to Joseph N. Long, 1619 North Robinson street, Philadelphia.

**Apartment (add.)**, 200 South Thirty-ninth street, Philadelphia, \$6,000. Architect, pri-

vate plans. Owner, David Larkin, 2003 South Tenth street, Philadelphia. Brick, 2 stories, 18x21 feet, hardwood and pine floors, slag roof. Contract awarded to J. S. Fuller, 5438 Locust street, Philadelphia.

**Residence and Garage (alts.)**, 121 West Johnson street, Philadelphia, \$5,000. Architect, B. Franklin Betts, 335 South Eighteenth street, Philadelphia. Owner, Theodore Presser, on premises. Carpentry, plastering, painting, glazing, general alterations. Contract awarded to H. E. Baton, 1713 Sansom street, Philadelphia.

**Garages (3)**, Southwest Corner Forty-ninth and Reno streets, Philadelphia, \$10,500. Architect, private plans. Owner, W. G. Roseberry, 1033 South Fifty-fourth street, Philadelphia. Brick, (1) 2 stories, 17x40 feet, (1) 1 story, 24x18 feet, 17x48 feet, (1) 1 story, 35x49 feet, slag roof, pine and cement floors, electric light. Contract awarded to Edward V. Holland, 124 South Fifty-fourth street, Philadelphia.

**Shop (add.)**, 4121 North Sixteenth street (rear), Philadelphia, \$7,000. Architect, private plans. Owner, Y. P. Womenberg, on premises. Brick, 1 story add., irregular shape, pine floors, electric work. Contract awarded to J. Y. Loux, Fifteenth and Hunting Park avenue.

**Store and Office (alts. and add.)**, 702 Sansom street, Philadelphia, \$7,000. Architect, private plans. Owner, I. Rubin, on premises. Brick, 2 stories add., 18x50 feet, general alterations. Contract awarded to S. Warshawsky, Eighth and Porter streets, Philadelphia.

**Garage**, 4943-45 Pentridge street, Philadelphia, \$6,500. Architect, private plans. Owner, John Howgate, 4941 Pentridge street, Philadelphia.

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delphia. Brick, 1 story, 40x85 feet, slag roof, cement floors. Contract awarded to J. D. Fisher, 5424 Thompson street, Philadelphia.

**Residence**, South side Tyson street, West of Loretta street, \$7,300. Architect, private plans. Owner, Charles Beaver, 811 East Russell street, Philadelphia. Brick, 2 stories, 28½x41 feet 10 inches, hot water heat, electric light. Contract awarded to A. E. Barnes & Co., 2044 East Clementine street.

**Residence (2)**, 7210-12 Montour street, Philadelphia, \$5,000 each. Architect, private plans. Owner, Julia Krigle, 4801 North Howard street, Philadelphia. Brick, 2 stories, 14 feet 6 inches x 40 feet, hot water heat, electric light. Contract awarded to John H. Bauer, 4938 North Fairhill street, Philadelphia.

**Residences (2) and Garage**, 5625-27-29 Summer street, \$15,500. Architect, private plans. Owner, M. Di Giacomo, 240 North Fifty-seventh street, Philadelphia. Brick, 2 stories, 14x26 feet, 11x11 feet, garage, 1 story. Contract awarded to A. Generoso, 1329 South Tenth street, Philadelphia.

**Residence and Store (add.)**, 2035 East Cheltenham avenue, \$4,000. Architect, private plans. Owner, James McEldry, on premises. Brick, 2 stories, 15 feet 4 inches x 22 feet 6 inches. Contract awarded to Maurice C. Manchey, 802 East Washington Lane.

**Residence and Office (alts.)**, 5130 Walnut street, Philadelphia, \$3,600. Architect, private plans. Owner, Dr. De Forest Ewing, on premises. General alterations. Contract awarded to Henry E. Dahl, 231 South Eighth street, Philadelphia.

**Garage**, 7225 Woodland avenue, Philadelphia, \$3,500. Architect, private plans. Owner, Anna Kotoffer, on premises. Brick, 1 story, 18x64 feet, 42x18 feet, slag roof, cement floors. Contract awarded to M. J. Welsh, 7000 Woodland avenue, Philadelphia.

**Residence (add.)**, 2202 Delancy street, Philadelphia, \$3,500. Architects, Bissell & Sinkler, 1520 Locust street, Philadelphia. Owner, B. Dawson Coleman, on premises. Mansard, fourth story add., 19 feet 6 inches x 32 feet, 13x27 feet. Contract awarded to William R. Dougherty, 1610 Sansom street, Philadelphia.

**Garage**, rear 2931 North Marshall street, Philadelphia, \$4,500. Architect, private plans. Owners, B. Ernst & Co., 2922 North Sixth street, Philadelphia. Brick, 1 story, irregular size, slag roof, cement floors. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Garage**, 1518-22 North Fifty-fourth street, Philadelphia, \$4,250. Architect, private plans. Owner, George J. Dougherty, 1522 North Fifty-fourth street, Philadelphia. Brick, 1 story, 60x40 feet, slag roof, cement floors. Contract awarded to G. H. Crossan, 1311 North Fifty-fifth street, Philadelphia.

**Store (alts.)**, South side Market street, East of Eleventh street, \$4,200. Owners, Stephen Girard Estate, Stephen Girard Building, Philadelphia. General alterations. Contract awarded to Montgomery Iron & Steel Co., 918 Berks street.

**Residence (alts. and add.)**, 2805 Bridge street, Philadelphia, \$4,200. Architect, private plans. Owners, Zedami Leather Co., on premises. Brick, second story add., 18x17 feet, general alterations. Contract awarded

to M. Zedemowski, 2805 Bridge street, Philadelphia.

**Garage (add.)**, 1625 Wellington street, Philadelphia, \$3,500. Architect, private plans. Owner, William Bolland, on premises. Brick, 1 story add., 23x78 feet, slag roof, cement floors. Contract awarded to T. Olivieri & Bro., 26 South Fifteenth street.

**Apartment (alts. and add.)**, Southwest Corner Fifty-fifth and Hunter streets, \$3,000. Owner, Lilly B. Rhoads, on premises. Brick, 1 story, 16x8 feet, new hot water heat. Contract awarded to J. D. Fisher, 5426 Thompson street, Philadelphia.

**Residence (add.) and Garage**, 5728 Kingessing avenue, \$3,200. Architect, private plans. Owner, F. G. Hildebran, on premises. Brick, 2 stories add., 16x8 feet; garage, 1 story, 16x16 feet. Contract awarded to G. Adams, 5905 Chester avenue, Philadelphia.

**Garage**, 6314 Drexel Road, Philadelphia, \$3,000. Architect, private plans. Owner, W. C. Fromke, on premises. Concrete block, 1 story, 20x20 feet, cement floors. Contract awarded to W. C. Nester, 2019 North Sixty-third street, Philadelphia.

**Apartment (alts. and add.)**, 5926 Master street, Philadelphia. Architect, private plans. Owner, William A. Parks, 332 Riverview avenue, Drexel Hill, Pa. Brick, 1 story add., 15x8 feet, general alterations. Contract awarded to William J. Fullmer, 1532 North Sixty-third street, Philadelphia.

**Garage**, 5314 Walnut street (rear), Philadelphia, \$3,000. Architect, private plans. Owner, J. M. Robinson, on premises. Brick, 1 story, 28x66 feet, slag roof, cement floors. Contract awarded to A. K. Cooper, 3242 Beaumont avenue, Philadelphia.

**Office**, West side Almond street, South of Ash street, Philadelphia, \$3,000. Architect, private plans. Owners, Behn & Wolff Co., on premises. Brick, 1 story, 16x32 feet. Contract awarded to F. Crompton & Bro., 4614 Oaklane street.

**Store and Residence (add.)**, 908 North Sixty-sixth street, Philadelphia, \$2,700. Architect, private plans. Owner, A. Bluestein, Fifty-seventh and Master streets, Philadelphia. Brick, 1 story, 15x6 feet, and 1 story, 11x4 feet. Contract awarded to Lawrence & Cox, 113 North Fifty-first street, Philadelphia.

**Store and Residence (add.)**, 5001 Ormes street, Philadelphia, \$2,000. Architect, private plans. Owner, Jacob Marsman, on premises. Brick and concrete bake oven, 12x14 feet. Contract awarded to A. Patchilfsky, 609 South Sixth street, Philadelphia.

**Residence**, East side Donaldson street, North of Corinthian, \$3,400. Architect, private plans. Owner, George Smith, 1938 Welsh Road, Philadelphia. Frame, 2 stories, 24x36 feet, shingle roof, electric light. Contract awarded to Joseph A. Link, 1938 Welsh Road, Philadelphia.

**Garage**, 5963 Woodbine avenue, Philadelphia, \$3,250. Architect, private plans. Owner, J. F. Goodwin, Jackson avenue, Atlantic City, N. J. Stone, 1 story, 18x20 feet, slate roof, cement floors. Contract awarded to M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Residence (alts.)**, 172 Manheim street, Philadelphia, \$3,000. Architect, private plans. Owner, Mrs. M. Cunningham, on premises. General alterations and hot water heating. Contract awarded to John Roman, 414 East Bringhurst street, Philadelphia.

**Garage**, 6306 Drexel Road, Philadelphia, \$2,350. Architect, private plans. Owner, Walter L. Eckhardt, on premises. Stone, 1 story, 18x20 feet, cement floors. Contract awarded to M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Garage and Add. to Residence**, 8901 Thompson street, \$2,700. Architect, private plans. Owner, Miss Anna E. Biddle, on premises. Brick, 1 story, 16x20 feet, slag roof, cement floors, residence add., 1 story, 16x8 feet. Contract awarded to John H. Patterson, 6209 Girard avenue, Philadelphia.

## PENNSYLVANIA

# Construction News

**Apartment House**, Clifton Heights, Delaware County, Pa. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owner, Frank Di Nanno, Sixty-fourth and Girard avenue, Philadelphia. Brick and steel, 2 stories and basement, 40x110 feet, hot water heat, electric light, slag roof, oak and pine and composition floors, ornamental iron work, flag stone. Architect taking bids due August 29th at noon.

**High School**, Mount Joy, Pa. Architects, H. E. Kressley Co., Commonwealth Building, Harrisburg, Pa. Owners, Mt. Joy School Board, care of architects. Sketches in progress.

**Apartment and Store (alts. and add.)**, Second street, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, A. Blake, 225 North Second street, Harrisburg, Pa. Brick, 1 story, 35x75 feet, slag roof, maple floors, city heat, electric light, tile and marble work, interior alterations. Plans in progress.

**Residence**, Merion, Pa. Architects, Davis, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owner, Jane Gilfillan, care of architects. Stone, cut stone, limestone, 2½ stories, 64x29 feet, wing 29x22 feet, garage 19x23 feet, slate roof, oak and pine floors, painting and glazing, dampproofing, ornamental iron work, hollow metal sash, tile and marble work, metal lath, electric light, hot water heat. Revised plans in progress.

**Residence (alts. and add.) to Apartment**, 108 Locust street, Harrisburg, Pa. Architect, T. H. Hamilton, 11 North Second street, Harrisburg, Pa. Owner, J. C. Kimble, Jr., care of architect. Brick, 3 stories, 22x30 feet, tin roof, maple floors, electric light, tile work, interior alterations. Plans in progress.

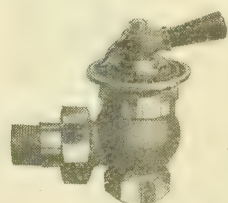
**Residence**, Harrisburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, Dr. G. B. Stull, 217 Woodbine avenue, Harrisburg, Pa. Plans in progress.

**Church and Sunday School**, Herr street above Cameron, Harrisburg, Pa. Architects,

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Bureau of Architecture, 1701 Arch street, Philadelphia. Owners, Asbury Methodist Episcopal Church, Harrisburg, Pa. Brick, 1 and 2 stories and basement, 25x50 feet, slate roof, pine floors, steam heat, electric light. Plans drawn. Work contemplated.

**Residence**, Lancaster, Pa. Architects, Hamme & Witman, City Bank Building, York, Pa. Owner, J. M. Hetrick, Woolworth Building, Lancaster, Pa. Stone, 2½ stories, 65x31 feet, 24x48 feet, slate roof, hardwood and tile floors, vapor vacuum heat, electric light, metal lath, tile and marble work. Owners will be ready for bids September 1st.

**Residence**, Lancaster, Pa. Architect, C. E. Urban, Woolworth Building, Lancaster, Pa. Owner, J. F. Brennan, care of architect. Stone, stucco, 2½ stories, 78x35 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Architect will be ready for bids in one week.

**Store Front**, Mahanoy City, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owner, Mrs. M. Sievert, Mahanoy City, Pa. Marble, Caen stone, tile and terrazzo work, hardwood floors, plate glass, ornamental plaster, cast iron. Plans completed. Architect will sub-let.

**Polyclinic Hospital**, Third avenue and Fourth street, Harrisburg, Pa. Architects, Kast & Kelker, Commonwealth Building, Harrisburg, Pa. Owners, Polyclinic Hospital, Dr. H. Gross, Front and Harris streets, Harrisburg, Pa. Reinforced concrete, brick, fireproof, 3 and 4 stories, 194x110 feet, concrete roof, reinforced concrete floors, hollow tile, (2) elevators, safety treads, steam heat (heating, plumbing, electric reserved), tile and marble work, rolled steel sash, steel doors, iron stairs. Architects will be ready for bids in early part of September.

**School**, Wallingford, Delaware County, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, School Board of Wallingford Township, Delaware County, Pa. Stone and half timber, 2 stories, 40x150 feet, slate roof, vapor heat, electric light. Plans ready for builders.

**Bungalow**, Riverside, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, Mrs. P. Vaughn, Third and Reilly streets, Harrisburg, Pa. Brick, 1 story, 60x75 feet, tile roof, hardwood floors, vapor heat, electric light, tile work. Owner will sublet.

**Hospital (add.), Power Plant (alts. and add.)**, Reading, Pa. Architect, F. A. Muhlenberg, Ganster Building, Reading, Pa. Owners, St. Joseph's Hospital, Reading, Pa. Brick, terra cotta, concrete, steel, 6 stories, 45x150 feet and 35x50 feet, asphalt roof, composition and terrazzo and tile floors, hollow tile, (2) elevators, roof ventilators, waterproofing and dampproofing, terra cotta (heating, plumbing, electric reserved), metal lath, tile, marble and terrazzo work, rolled steel sash and skylights, fire doors, bond, iron stairs, ornamental iron work. Architect will be ready for revised bids September 2nd.

**Orphanage**, Millmont, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Bernadine Sisters of St. Francis, care of architect. Brick, steel, 3 and 2 stories, 240x187 feet, composition and tile roof, tile, cement and hardwood floors, dumb waiters, safety treads, roof ventilators, architectural terra cotta, steam heat, electric light, metal lath, tile work, bond, or-

namental iron work. Architect ready for bids.

**Store and Office**, Reading, Pa. Architect, F. A. Muhlenberg, Ganster Building, Reading, Pa. Owners, C. Breneiser & Sons, Seventh and Penn streets, Reading, Pa. Fireproof, steel, 3 stories, 45x60 feet, composition roof, maple floors (heating, plumbing and electric work reserved), metal lath, plate glass, bronze work, ornamental iron work. Architect ready for bids next week.

**Club House**, Reading, Pa. Architect, Calvin J. Young, 226 North Sixth street, Reading, Pa. Owners, Harmony Association, care of architect. Brick, steel, 1 story and basement, 80x35 feet, built-up roof, maple floors, vapor heat, electric light, metal lath. Architect ready for bids.

**Residence and Store (add.)**, Wilkes-Barre, Pa. Architect, W. Whitman, Harrisburg, Pa. Owner, Fred Bennetto, Church and Horton streets, Wilkes-Barre, Pa. Frame, 2 stories, 28x65 feet, composition roof, pine floors, steam heat, electric light. Owner will take bids.

**Apartment**, Boas street, Harrisburg, Pa. Architects, Kast & Kelker, Commonwealth Building, Harrisburg, Pa. Owner, H. W. Baker, 216 Boas street, Harrisburg, Pa. Brick, 3 stories, 40x52 feet, tin roof, pine floors, steam heat, electric light. Owner will take bids.

**Church (Memorial Front)**, Gettysburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, care of Rev. M. E. Stock, Gettysburg, Pa. Indiana limestone, 30 feet high, 48 feet wide, marble work. Architects taking bids due August 30th.

**Hotel**, York, Pa., \$1,000,000. Architect, W. L. Stoddart, 50 East Forty-first street, New York. Owners, Community Hotel Co., Dr. C. P. Rice, president, York, Pa. Steel frame, reinforced concrete, brick, 10 stories, 145 feet 9 inches x 96 feet 7 inches, concrete and slag roof, tile and composition floors, hollow tile, elevators, safety treads, metal window guards, waterproofing and dampproofing, terra cotta (heating and electric reserved), metal lath, marble and terrazzo work, vault door, rolled steel skylights, kalamein doors, bond, iron stairs, ornamental plaster. Architect and owners taking bids due September 15th.

**High School**, Lancaster, Pa. Architect, C. Emlen Urban, Woolworth Building, Lancaster, Pa. Owners, Lancaster City School District, Prince and Lemon streets, Lancaster, Pa. Brick, granite, stone, steel, 4 stories, 65x108 feet, cement and maple floors, slag roof, hollow tile, metal lath, tile and marble work, galvanized iron skylights, bond (heating, electric and plumbing reserved). Owners taking revised bids due September 2nd.

**Residence and Garage**, Ogontz, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owner, Mrs. B. C. Dickenson, care of Louis Burk, Third and Girard avenue, Philadelphia. Brick, cut stone, stucco, 2½ and 1½ stories, 82x37 feet, garage 40x26 feet, tile roof, slag roof, oak, pine and cement floors, hot water heat, electric light, metal lath, tile and marble work, bond, floor hardener, ornamental iron work, dampproof-

ing, brass piping. Owner taking bids due September 2nd.

**School**, Norristown, Pa. Architect, Charles J. Cumiskey, 86 West Sharpnack street, Philadelphia. Owners, Holy Saviour School, Rev. Lambert Travi, on premises. Brick, cut stone, steel, 2 stories and basement, 112x46 feet (heating reserved), slate and slag roof, cement and maple floors, hollow tile, plumbing, electric light, metal lath, rolling steel skylights, hollow metal doors, bond, ornamental iron work, Reading or Byers wrought iron pipe, granite and limestone. Architect taking bids due August 28th.

**Residence**, Wayne, Pa. Architect, J. L. Canorro, 225 South Sydenham street, Philadelphia. Owner, Bruce N. Watson, care of architect. Frame, 2½ stories, 31x38 feet, shingle roof, hardwood floors, vapor vacuum heat, electric light, tile work. Architect taking bids due August 29th.

**Residence**, Merion, Pa. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owner, Clarence E. Hall, care of architect. Brick, cut stone, hollow tile and stucco, 2½ stories and 1½ stories, 50x38 feet, garage 27x17 feet, shingle roof, oak and pine and cement floors, hollow tile, painting and glazing, plumbing, ornamental iron work, bond, electric light, tile work. Owner taking sub-bids and general bids.

**Market Arcade and Public Comfort Station**, Broad and Main streets, Bethlehem, Pa. Architect, Howard J. Weigner, Bethlehem, Pa. Owners, Bethlehem Business Men's Assn., Bethlehem, Pa. Brick, 1 story and basement, steel, 90x128 feet, Barrett's Specification roof, cement, oak and maple floors, safety treads, roof ventilators, metal ceilings, waterproofing, ornamental iron work, floor harlener, hollow metal skylights, rolled steel sash, cast stone, granite, cinder block, plumbing, copper work, incinerator, wrought iron pipe, face brick (Reed's). Owners taking bids due September 8th.

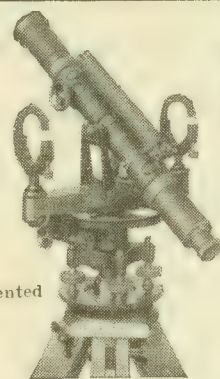


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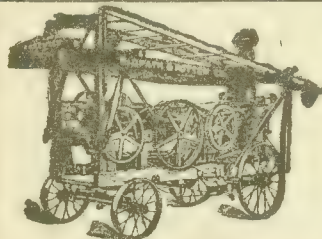
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**Residence**, Drexel Hill, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, A. P. Spencer, care of architect. Frame, 2½ stories, 26x42 feet, hot water heat, electric light, shingle roof, hardwood floors, tile and marble work. Architect taking bids due September 2nd.

**Sunday School**, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, Fourth Street Church of God, care of architect. Brick, 2 stories, 40x85 feet, slag roof, maple floors, hollow tile, city heat, electric light, metal lath, partitions, ornamental iron work. Architect taking bids due September 12th.

**Store and Office Building**, West Chestnut street, Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, Steinman & Steinman, 8 West King

street, Lancaster, Pa. Brick, steel, 2 stories, 80x60 feet, slag roof, pine floors, steam heat, electric light, cast stone, ornamental iron work. Architect taking bids due as soon as possible.

**Church (alts. and add.), Parsonage and Sunday School**, York, Pa. Architects, Edward Leber and J. H. Hatton, Hay Building, York, Pa. Owners, First Methodist Episcopal Church, Rev. B. Harle, care of architects. Stone, brick and steel, 1 and 2 stories, 50x100 feet, 35x70 feet and 80x100 feet, slate roof, hardwood and pine floors, hollow tile, waterproofing, cast stone or architectural terra cotta, tile work, metal lath, electric light (heating and plumbing reserved). Architects taking bids due September 15th.

**Residence**, Lincoln Highway, York, Pa. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owner, J. Stacy, care of architects. Brick, 2½ stories, 42x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Architects taking bids due September 6th.

**Office Building**, 75 East Lancaster avenue, Ardmore, Pa. Architects, Zantzinger, Borie & Medary, Otis Building, Philadelphia. Owners, Commissioners of Lower Merion Township, G. C. Anderson, Merion. Stone, 3 stories. Owners taking bids due September 10th, 3 P. M. (Standard Time). Certified check, \$1,500. Deposit, \$25. Refund, \$20.

**Sewer**, Borough Folerott, Delaware County, Pa. Engineer, Alonzo H. Yocum, 865 Main street, Darby, Pa. Owners, Township Council, Borough of Folerott, T. J. Mains, Chairman of Sewer Committee, Folerott, Pa. Construction of system of sanitary pipe sewers. Owners taking bids due September 9th at 8.30 P. M. (Daylight Saving Time).

**Sheridan School**, Sixth Ward, Bethlehem, Pa. Architect, Henry Anderson, Allentown Bank Building, Allentown, Pa. Owners, School District of Allentown, T. P. Wenner, Allentown, Pa. Lowest bidders: Friel-McLeister, Inc., 1615 Spruce street, Philadelphia, \$154,333; Butz & Clader, Ainey Building, Allentown, Pa., \$162,833.

**Road Work**, Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa. Low bidders on road work opened August 19th.

Berks County, R-197, Mt. Penn Borough and Lower Alsace Township, 12,390 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. William B. Sheidy, Wyomissing, Pa., \$123,163.48.

Fayette County, A-1216, Nicholson Township, 9,024 feet. One course reinforced concrete. Georges Const. Co., Uniontown, Pa., \$83,441.80.

Franklin County, A-585, Quincy Township and Mont Alto Borough, 11,862 feet. One course reinforced concrete. Frey Const. Co., Inc., York, Pa. \$96,900.12.

Mercer County, R-73, Grove City Borough, 3,048 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Joseph H. McCarty Construction Co., Union City, Pa. \$37,786.64.

Northumberland County, R-18, Turbot and Delaware Townships, Watsonstown Borough,

11,041 feet. One course reinforced concrete. Walter A. Godecharles, Milton, Pa. \$89,858.69.

Potter County, A-2738, Lewisville Borough, 1,800 feet. One course reinforced concrete. M. J. McMahon, Brookville, Pa. \$28,467.25.

Somerset County, R-51, Summit Township, 1,484 feet. One course reinforced concrete. M. F. McCabe & Co., Fairmont, W. Va. \$17,939.25.

Bridge, Bucks County, Route 150, Bristol Township, Pa. Craven Company, Philadelphia, Pa. \$7,507.36.

**Road Work**, Pennsylvania. Owners, Pennsylvania Department of Highways, Harrisburg, Pa. Owners taking bids due September 9th at 10 A. M.

Allegheny County, R-70, Tarentum Borough, 3,488 feet. One course reinforced concrete and Hillside vitrified brick. Certified check, \$1,500.

Beaver County, R-204, Chippewa Township, 3,491 feet. One course reinforced concrete. Certified check, \$1,000.

Blair County, R-221, Logan Township, 12,751 feet. One course reinforced concrete. Certified check, \$2,500.

Bradford County, R-17, Monroe Township, Monroeton Borough, 25,864 feet. One course reinforced concrete. Certified check, \$4,000.

Greene County, R-112, Franklin Township, 11,386 feet. One course reinforced concrete. Certified check, \$2,000.

Indiana County, R-62, Cherry Tree Borough, 3,637 feet. One course reinforced concrete. Certified check, \$1,000.

Monroe County, A-2018, Polk Township, 6,705 feet. One course reinforced concrete. Certified check, \$1,500.

Montgomery County, R-178, Lower and Upper Gwynedd Townships and Montgomery Township, 13,614 feet. One course reinforced concrete. Certified check, \$2,500.

Montgomery County, R-151, Jenkintown Borough, 2,728 feet. One course reinforced concrete and reclipped stone block on concrete foundation between trolley rails. Certified check, \$1,500.

Sullivan County, R-19, Davidson Township, 14,100 feet. One course reinforced concrete. Certified check, \$3,000.

**Viaduct**, over Loyalhanna Creek and Ligonier Valley R. R. Reinforced concrete, steel, 744 feet long, 24 feet wide, 2,806 feet of approach fills bituminous macadam penetration surface treatment on 6-inch broken stone or 8-inch Telford base on Route 119. Certified check, \$3,000.

**Retaining Wall**, Route 162, Mauch Chunk Township, Carbon County. 427 feet long, reinforced concrete, excavation, back filling. Also construction of waterbound macadam pavement on the highway. Certified check, \$2,000.

## Pennsylvania

### Contracts Awarded

**Residence**, York, Pa. Architect, R. A. Stair, Guardian Trust Building, York, Pa. Owner, H. E. Dushman, 151 South George street, York, Pa. Stone, 1½ stories, 40x70 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to I. Rein-dollar & Son, York, Pa.

**Road Work**, Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa.

Erie County, A-2882, Mill Creek Township, 10,614 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$99,598.80. Contract awarded to Charles H. Frey Const. Co., Erie, Pa.

Erie County, A-2832, Girard Township, 19,121 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$146,627.68. Contract awarded to Charles H. Frey Const. Co., Erie, Pa.

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Philadelphia



**Bank**, Lewistown, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owners, Mifflin Co., National Bank, Lewistown, Pa. Brick, cut stone, cast stone, steel, cement, travertine, 1 story mezzanine, 100x28 feet (plumbing, heating and electric work reserved), asbestos asphalt roof, cork tile floors, hollow tile, ornamental iron work, bond, rolling steel sash, tile and marble work, metal lath, Ahoustikos sound deadening treatment, steel partitions. Contract awarded W. D. Steinbach & Son, Smith Building, Lewistown, Pa.

**Residence**, Villa Nova, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owners, McIlvaine Co., care of architect. Stone, brick, 2½ stories, 76x23 feet, shingle roof, oak floors, plumbing, painting and glazing, ornamental iron work, bond, tile work, electric light, hot water heat. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**House**, No. 545, Villa Nova, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owners, McIlvaine Co., care of architects. Stone, concrete block, plaster, 2½ stories, 40x30 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work, bond, ornamental iron work. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**Residence**, No. 552, Villa Nova, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owners, McIlvaine Co., care of architects. Brick, stone, cinder concrete block, 2½ stories, 72x36 feet, shingle roof, oak and pine floors, vapor heat, electric light, metal lath, tile work, metal weather strip, bond, dampproofing, ornamental iron work, iron pipe. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**Residence**, Wyndmoor, Pa. Architect, H. L. Duhring, 1309 Locust street, Philadelphia. Owner, Edward L. Clark, Chestnut Hill, Pa. Stone, 2½ stories, 30x49 feet, wing 13x20 feet, slate roof, oak and pine floors (heating, plumbing work reserved), tile work, ornamental iron work. Contract awarded R. C. Borthwick, 6511 Woodstock street, Philadelphia.

**Parish House**, Scranton, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton. Owners, First Presbyterian Church, Rev. Satelle, Madison avenue and Olive street, Scranton, Pa. Brick, steel, limestone, 2 stories, 48x83 feet, slag roof, hardwood floors, city heat, electric light, metal lath, tile and marble work. Contract awarded to Industrial Const. Co., Union Bank Building, Scranton, Pa.

**Residence (alts. and add.)**, New Garage, Sheppack Turnpike, West of Spring Mill Road, Montgomery County, Pa. Architect, Spencer Roberts, 10 South Eighteenth street, Philadelphia. Owner, Stanley Ketcham, care of architect. Brick and stucco, 2½ stories, 32x20 feet, 1½ stories, garage, 25x30 feet, canvas shingle roof, oak and pine, cement, composition floors, painting and glazing, plumbing, bond, ornamental iron work, tile work, excavation and flagstone, heating and electric work. Contract awarded J. S. Cornell & Son, Morris Building, Philadelphia.

**Residence**, Fairview Road, Lower Merion Township (Springfield, Pa.). Architect, J. J. Carroll, 1619 Chestnut street, Philadelphia. Owner, name withheld. Stone, brick, 2½ stories, 34x24 feet, shingle roof, oak and pine floors, painting and glazing, metal weather strips, metal lath, tile work, ornamental iron work, everlasting tile floors, alterations, slate roof. Contract awarded J. Baldy, 4225 West Girard avenue, Philadelphia.

**Office and Apartment**, Annville, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Annville Mutual Fire Ins. Co., Annville, Pa. Brick, steel, 2½

stories, 30x50 feet, slate roof, yellow pine and linoleum floors (heating, plumbing and electric reserved), rolled steel sash, limestone trim, ornamental iron work. Contract awarded to D. L. Saylor & Son, Annville, Pa.

**Turntable**, Rutherford, Pa. Architect, private plans. Owners, Philadelphia & Reading Co., Twelfth and Market streets, Philadelphia. Furnishing and erecting 100 foot twin span turntable. Contract awarded Bethlehem Steel Co., Morris Building, Philadelphia.

**Residence**, Rosemont, Pa. Architect, William Woodburn Potter, Real Estate Trust Building, Philadelphia. Owner, J. Otto Thilow, Palmyra, N. J. Brick and hollow tile and stucco, 2½ stories, irregular size, shingle and tile roof, oak and pine floors, ornamental iron work, tile work, electric lighting. Contract awarded J. Sims Wilson, 1125 Brown street, Philadelphia.

**Twin Residences (6 pairs)**, Old Lancaster Road, Rosemont, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owners, Good Home Co., Memorial Building, Bryn Mawr, Pa. Frame and plaster, concrete block, 2½ stories, 16x32 feet, 16x30 feet, shingle roof, pine floors, hot air heat, electric light. Contract awarded Eugene Powell, Lansdowne, Pa.

**Synagogue**, Coatesville, Pa. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, Congregation Beth Israel, care of A. M. Suckle, 146 East Lincoln street, Coatesville. Local stone, 1 story, capacity 500 to 700, slag roof, wood floors, electric light. Contract awarded W. A. Thorn, Coatesville, Pa.

**Franklin Grade School (fire repairs)**, Chester, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, School District of City of Chester, G. S. Mitchell, Chester, Pa. Brick, cut stone, ornamental terra cotta, metal lath, painting and glazing, carpentry and mill work, iron work, plastering. Contract awarded Chester Const. & Cont. Co., Chester, Pa.

**Fire House**, Ephrata, Pa. Architect, H. R. Heckman, Baer Building, Reading, Pa. Owners, Fire Company of Ephrata, Ephrata, Pa. Brick, 3 stories, 70x36 feet, slag roof, concrete and maple floors, steam heat, electric light. Contract awarded to H. F. Good, Ephrata, Pa.

**Residence and Garage (alts. and add.)**, Reading, Pa. Architect, F. A. Muhlenberg, Ganster Building, Reading, Pa. Owner, J. T. Moore, Colonial Trust Building, Reading, Pa. Stone and frame, 2 stories, 40x80 feet, slate roof, concrete and hardwood floors, electric light, general alterations. Contract awarded to W. E. Spatz, American Gas Building, Reading, Pa.

**Church and Community Hall**, St. Lawrence, Pa. Architect, Harry Maurer, 234 North Fifth street, Reading, Pa. Owners, St. Lawrence Community Association, W. S. Adams, St. Lawrence, Pa. Brick, terra cotta, stucco, 3 stories, 76x34 feet, slate roof, cork and yellow pine floors, electric light (heating reserved), tile and marble work. Contract awarded to C. H. Schlegel, 2250 Perkiomen avenue, Reading.

**Residence**, Reading, Pa. Architect, F. A. Muhlenberg, Ganster Building, Reading, Pa. Owner, William Eckert, Reading, Pa. Brick and limestone, 2½ stories, 35x50 feet, slate roof, hardwood floors, hot water heat, electric

light, metal lath, tile work. Contract awarded to William R. Fromm, 706 North Thirteenth street, Reading, Pa.

**Garage**, Lemoyne, Pa. Architect, T. H. Hamilton, Patriot Building, Harrisburg, Pa. Owners, J. E. and R. L. Meyers, Lemoyne, Pa. Brick, concrete, steel, 1 story, 50x77 feet, composition roof, concrete floors, steam heat, electric light. Contract awarded to A. W. Hartzler, Lemoyne, Pa.

**High School**, Port Allegany, Pa. Architect, M. E. Kressly, Commonwealth Building, Harrisburg, Pa. Owners, Port Allegany School Board, L. C. Ritzer, secretary, Port Allegany, Pa. Brick, steel, 2 stories, 192x82 feet, built-up roof, hollow tile, safety treads (heating, electric and plumbing reserved), metal lath. Contract awarded to Cramer & Co., Emporium, Pa.

**Bank Building (alts.)**, Peckville, Pa. Architects, E. M. Davis and George M. D. Lewis, Union Bank Building, Scranton. Owners, Peckville National Bank, H. N. Barrett, cashier, Peckville, Pa. Brick and stone, 1 story, general alterations. Contract awarded to E. S. Williams, New street, Scranton, Pa.

**Residence**, Elizabethtown, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, William Kline, Elizabethtown, Pa. Stone, 2½ stories, 50x35 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to A. Kraft, Hershey, Pa.

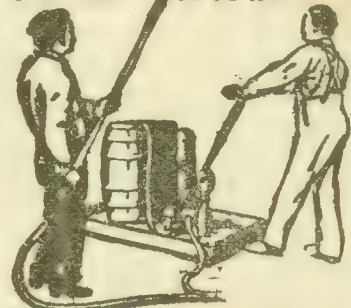
**Residence**, Landisville, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, H. W. Minick, Landisville, Pa. Brick, 2½ stories, 38x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to M. Eshelman, Landisville, Pa.

**Road Work**, Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa.

Cambria County, R-222, Scalp Level Borough. One course reinforced concrete. \$29,673.75. Contract awarded to Torquato Brothers, Windber, Pa.

Chester County, R-360, East and West Mari-boro Townships, 2,949 feet. One course reinforced concrete. \$158,987.65. Contract awarded

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ed to Ambler-Davis Co., Harrison Building, Philadelphia.

Beaver County, A-2935, North Sewickley Township, 4,352 feet. One course reinforced concrete. \$58,824.85. Contract awarded to W. S. Morrison, New Brighton, Pa.

## New Jersey Construction News

**Hotel (front add.),** 1719 Pacific avenue, Atlantic City, N. J. Architect, A. F. Amodio, 2304 Atlantic avenue, Atlantic City. Owner, Marion Meliff, on premises. Brick, 4 stories, 21x31 feet. Plans in progress.

**Cottage,** Margate City, N. J., \$30,000. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owner, H. Youtie, Mississippi and Atlantic avenues, Atlantic City. Brick and terra cotta, 3 stories, 32x46 feet, Spanish tile roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Apartment,** 1908 Pacific avenue, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. J. Owner, Benjamin Rosenblatt, 1904 Pacific avenue, Atlantic City. Brick, frame, steel, 3 stories, 30x85 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath, tile and marble work, terra cotta or stone work, ornamental iron work. Plans in progress.

**Apartment and Store (alts. and add.),** 6516-18 Ventnor Ave., Ventnor, N. J. Architect, A. A. Rosenstein, Humphreys Bldg., Atlantic City, N. J. Owner, D. Ravinovitz, care of architect. Brick, 3 stories, slag or slate roof, hardwood floors, heating extension, electric light, tile work, general interior alterations. Architect ready for bids.

**Residence,** Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, H. Glassman, 2530 Pacific avenue, Atlantic City, N. J. Hollow tile, 2½ stories, 26x47 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Architect ready for bids.

**Cottage,** Ventnor, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. J. Owners, Candler & Ott, Atlantic City, N. J. Frame, 2½ stories, 27x37 feet, sharp tile roof, hardwood floors, hot water heat, electric light, tile work. Owners will take bids.

**Synagogue,** Pleasantville, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. J. Owners, B'Nai Israel, Lewis Allen, Pleasantville, N. J. Brick, cut stone, 1 story and basement, 40x61 feet, slag or slate roof, hardwood floors, hot water heat, electric light, metal lath, roof ventilators. Owners taking bids.

**Residence,** Princeton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Ogden Nevin, 5 Beechwood street, Trenton, N. J. Frame, 2½ stories, 28x70 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Store (alts. and add.),** South Broad street, Trenton, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owner, Mr. Wood, care of architects. Brick, 1 story, 44x27 feet, slag roof, hardwood floors, hot water heat, electric light, plate glass, rolled steel sash, metal ceilings. Plans in progress.

**Residence (alts.) to Apartment,** 33 Prospect street, Trenton. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Mrs. T. F. Fitzgerald, care of architect. Partitions, plumbing, hardwood floors, electric light, general alterations to 3-story building, 20x35 feet. Plans in progress.

**Residence,** Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Frame and stucco, 2½ stories, 24x36 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Residence,** Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Theatre Building, Trenton. Owner, Walter Slack, care of architects. Stone, 2½ stories, 40x26 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress. Owner will build.

**Apartment House,** Mansion avenue, Atlantic City, N. J. Architect, F. A. Berry, Real Estate Trust Building, Philadelphia. Owner, Frank Bloom, 22 South Pennsylvania avenue, Atlantic City, N. J. Brick, 3 stories, 30x57 feet, vapor heat, electric light, slate roof, pine floors, fire escapes. Will contain 12 apartments. Owner taking sub-bids due as soon as possible.

**Comfort Station,** Pleasantville, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. J. Owners, City of Pleasantville, care of City Council, Pleasantville. Brick, stucco, 1 story, 27x50 feet, Spanish tile roof, tile floors, hot water heat, electric light, tile and marble work (heating, electric and plumbing reserved). Architect taking bids due September 2nd.

**Church and School,** New Brunswick, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Joseph's Roman Catholic Church, care of architects. Brick, steel, 2 stories, 45x128 feet, slate roof, maple floors, hollow tile, steam heat, electric light, metal lath, dampproofing, ornamental iron work. Architect taking bids due August 28th.

## New Jersey Contracts Awarded

**McKinley Hospital (add.),** Brunswick avenue and Ferries, Trenton. Architect, W. A. Klemann, First National Bank Building, Trenton, N. J. Owners, McKinley Hospital, Trenton, N. J. Brick, steel, 3 stories, 40x100 feet, concrete and slag roof, hardwood floors, hollow tile, elevators, roof ventilators (heating, plumbing reserved), electric light, metal lath, metal lath, tile and marble work, fire doors, iron stairs, ornamental iron work. Contract awarded to Thomas Day & Son, Hunt Building, Trenton, \$110,311. Plumbing and heating awarded to Piper Brothers, 340 North Broad street, Trenton, N. J., \$26,000.

**Barn,** Farm No. 2, Riverton, N. J. Architect, C. E. Schermerhorn, 213 South Fifth street, Philadelphia. Owners, Campbell Soup Co., Mr. E. F. Hall, Camden, N. J. Frame construction, concrete foundations, 144x105 feet, wood sidings, composition shingle roof, single stalls, box stalls, mule pens, wagon sheds, corn cribs, fertilizer room, storage, etc. Contract awarded George W. Shaner & Son, Palmyra, N. J.

## Miscellaneous Construction News

**School,** Taneytown, Md. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Board of Education of Carroll County, Md., M. S. Unger, secretary, Westminster, Md. Brick, 2 stories, 10 rooms, slag roof, pine floors, tile work (heating, plumbing and electric work reserved). Plans in progress.

**Church,** Norwalk, Conn. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owners, Episcopal Church, Rev. Lewis

Howell, Norwalk, Conn. Stone, 1 story and basement, 60x130 feet, slate roof, stone or tile floors, vapor heat, electric light, tile, marble and terrazzo work. Architects taking bids due September 5th.

**Power House,** Twin Branch, West Virginia. Architect, private plans. Owner, Fordson Coal Co., on premises. Reinforced concrete, brick, artificial stone, cut stone, steel, 1 story and basement, 50x53 feet, cement tile roof, cement floors, tile work, terrazzo work, rolling steel sash, waterproofing, limestone. Owner taking bids due September 16th.

## Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., August 14, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., September 15, 1924, for the construction, including mechanical equipment and approaches, of a (one-story brick and tile semi-fireproof) Post Office building (approximately 55x65 feet in size) at Washington, Ct. H., Ohio. Drawings and specifications may be obtained from the Custodian of the site at Washington Ct. H., Ohio, or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from page 548)

additional cost of approximately \$750 more than if built with frame walls.

This and other incidents encountered in the rounds serve to show plainly that one of the great needs of the day is to disabuse the public mind of this bugbear of excessive cost. There is need for an educational campaign on the part of the clayworking industry everywhere, and on the part of those doing nationwide advertising to impress two things. First, the economy in the final analysis of building with permanent building material. Second, to demonstrate that there is no such widespread difference in the cost between permanent building and frame construction as the public seems to imagine. Once the public gets rid of this bugbear idea of excessive cost it will be much easier going for the clay-working industry among the home builders of the country, both in the cities and out on the farms.—*The Clay Worker.*

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An old legend tells of a magician's vase; the magician could get out of it only that which he put in. Advertising is just that. If you don't get into it the "kick" of salesmanship it is going to miss by just that much the pulling power it ought to have.



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**BUILDING NEWS.**  
Daily Building News.....Perry Bldg., Phila.

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The Van Sciver Corporation,  
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Gramm, Price, Turner, Inc. ....Ashland, N. J.

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Massiah, Frederick. Juniper and Cypress Sts., Phila.

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

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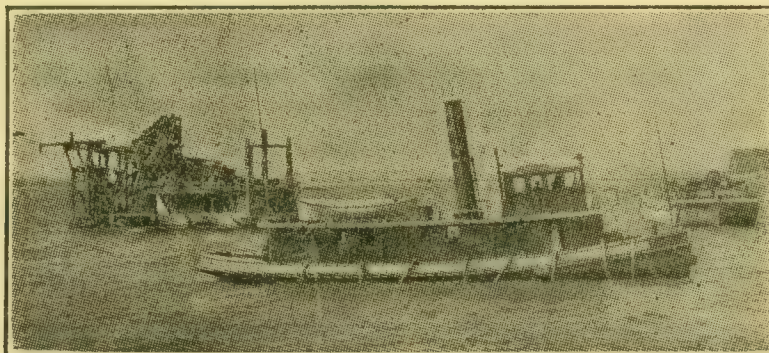
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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

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Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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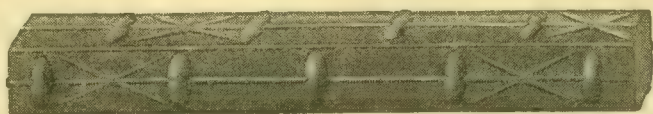
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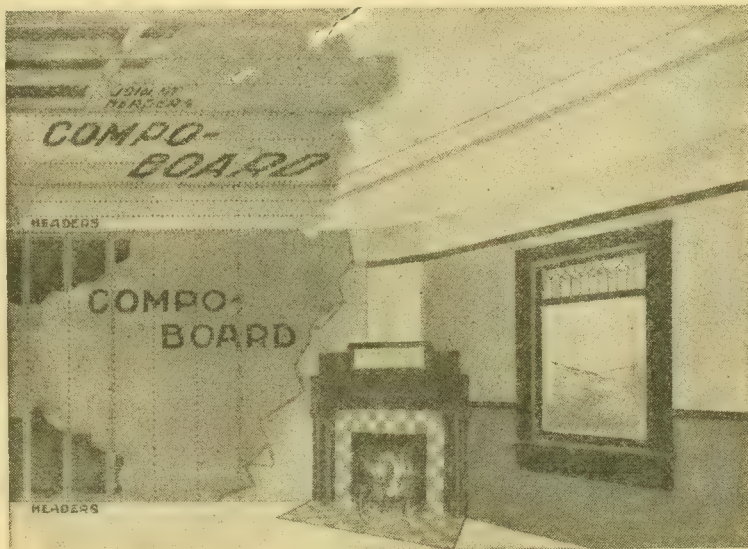
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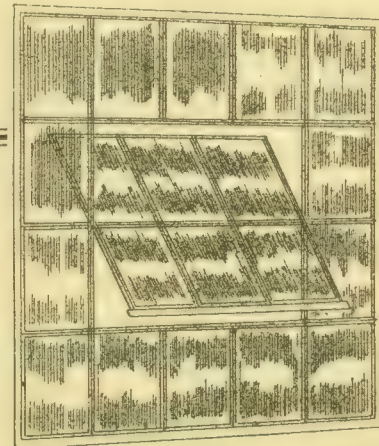
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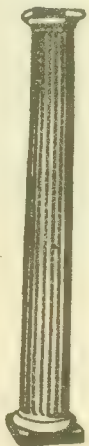


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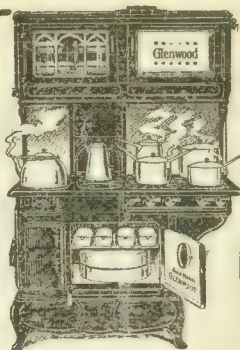


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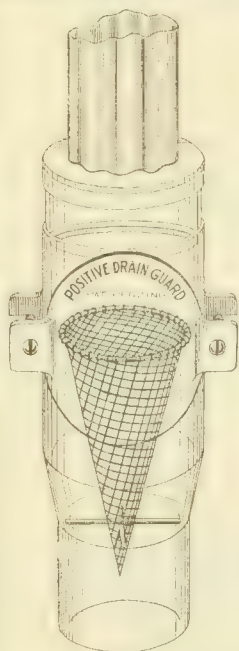
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 36

PHILADELPHIA  
September 3, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### THE MOTIVES THAT PROMPT THE ACTIVITIES OF THE BUILDERS OF ILLINOIS AND THEIR STATE ASSOCIATION

*From an address delivered by Mr. Gerhardt F. Meyne, of Chicago, at the Annual Convention of the Associated Building Contractors of Illinois.*

The duties of the building contractor are much more difficult than one would on first thought imagine. It is a subject that every one is familiar with and yet, if you were asked, "What is the Duty of the Builder?", it would be simply necessary to imply the Moral Law.

The definition of the word "DUTY" in the sense that we Builders understand it, and as an Association understands it, as it may be applied to the subject, is as follows:

*Obedience to the Dictates of Conscience*

At their earliest inception, associations and societies were formed when two or more men banded themselves together for mutual protection against common enemies, oppression for revenge, or for defense. Later, such associations or guilds resolved themselves into commercial organizations for solely selfish purposes.

Today we are endeavoring to have associations (such as ours) serve an unselfish purpose and for the general welfare of the public. When our pagan forefathers formed associations for protec-

tive or aggressive measures, each of the persons joining would deposit some of his blood into the earth, clasp each others' hands and take an oath of allegiance. They were very formal in their ritual and discriminating regards whom they permitted to become one of their number.

With this explanation, the subject of "What is the Builder's Duty towards the Public," will be treated both as individuals and collectively as members of an association.

Broadly speaking, THE BUILDER'S DUTY TO THE PUBLIC should be to encourage and foster ideals of service to the building and general public as a basis of all worthy enterprises. If we are to organize solely for self, our association cannot endure, neither can it remain respectable or confine itself within decent ethical standards. To give full measure of service, the Builder might lean a bit backwards to fulfill every obligation.

Craft guilds were formed in the early part of the middle ages and were essential bands of men organized for mutual protection. However, they soon resolved themselves into organizations for profit, and as they waxed stronger, enjoyed monopolies that made them wealthy. Finally, they became a menace and a nuisance to the public and their existence was forbidden by the Kings, Feudal Lords and Patricians of that period, which was about the Ninth Century.

However, not daunted because of former public and official discredit, the guilds again organized and became powerful in the 14th and 16th Centuries in all sections of Europe and enjoyed monopolies or special privileges granted them by their Kings and Feudal Lords for money. But these guilds were required to register complete returns of their purposes; their foundation; their properties, etc. This was required of them that they could be held accountable for their acts, obligations and taxes. The masters, journeymen and apprentices enjoyed the benefits of these guilds whose chief purpose was to regulate and control their trade monopoly under special license from their King. The guilds' real concern was to supervise the manufacture, impose payments, royalties and restrictions on others who desired to exercise a similar privilege for livelihood.

Unless a craftsman was a member of a guild, he could not work at his trade or even join the masters of the guilds or craft. The monopolies of these guilds however, became so burdensome to the public that, it created a revolt in many countries and the guilds were gradually done away with. In England their danger was recognized and the guilds practically abolished by Act of Parliament. Their monopolies and regulations of output and prices were curbed. They became dangerous when, as trade organizations because of purely selfish motives.

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They forgot the service they ought to have rendered to the public. Such organizations as theirs do not deserve recognition, neither should they be encouraged. Moral: If we turn selfish, we cannot live. Our State Association cannot live.

**THE BUILDER'S DUTY TOWARD THE PUBLIC** should be an active one in all matters whether civic, economic or political, and the moral welfare of the community should always be of paramount importance.

It is the builder's civic duty to keep a watchful eye on all attempted legislation, whether national, state or municipal. His peculiar knowledge and experience especially fit him to exercise a tremendous influence in encouraging helpful legislation to keep building costs within economic limits, and, discourage the enactment of laws that are vicious and contrary to good public policy. Especially should he discourage the enactment of laws that represent purely class legislation and are fostered by organizations with recognized reputations for selfishness to justify them.

*Efficiency of Labor Only Possible When in Unrestricted Competition*

The builder should initiate legislation and aggressively get behind its enactment that will forbid labor monopolies who restrict their membership to numbers, or levy exorbitant initiation fees. The builder should actively sponsor legislation that will eliminate all restrictions on the employment of apprentices and helpers. The idea being to give the American boy every opportunity to choose whichever craft may appeal to him as the craft to become apprenticed in. No union ought be permitted to exercise a monopolistic control and be permitted to decide whether our American boy may or may not become indentured in that trade which has an appeal for him. Experience has found and knows only one economic way to efficiency and that is, to have labor in unrestricted competition for employment.

Another essential condition that the builder should concern himself in, is the enactment of comprehensive laws and their enforcement that will effectively break every attempt to restrict the purchasing power of the builder and public. Combinations of material interests that either control prices or sectional allotment for distribution, should be fought from every angle. Restriction on the purchasing of material, or union label, should not be tolerated. It menaces construction activities and always advances its cost. The present laws that give building material interest special credit privileges that work harm to the unsuspecting building public should have our special attention and should be corrected. (I refer to the Mechanics' Lien Law.)

Under present prevailing conditions, Labor Unions cannot be held accountable

for their acts so they may be brought to court for breach of contract, or because of their interference with the rights of others who may choose to stand up their American constitutional rights to individually bargain for employment. There are, of course, other objectionable conditions as for instance, the restriction of output, that Labor Unions impose upon the public. All these features should be strenuously opposed by the builder in line with his duty to the public.

Everyone engaged in the building industry should participate in those movements for public welfare in which his training and experience qualify him to give competent and disinterested advice. We individually, as well as an Association, should support public officials in the proper enforcement of building codes and safety regulations and should take an active interest in the formulation and improvement of such codes.

*Duty Towards Economic Questions*

In matters economic, one great question that should interest the builder is, proper reduction of freight rates and no favorite rates for other commodities. Freight and fuel rates on building materials are so far advanced as to represent a serious question in relation to the cost of construction work. The item of rates has become a real draw-back to the industry since 1914 and presents one of the biggest inflations and watered conditions our industry has to contend with. Every builder is in duty bound to support every attempt to wring this unjustified water out of the cost of building.

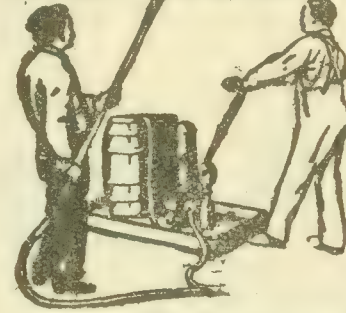
Another condition that indirectly operates to the disadvantage of the building industry and the welfare of the general public, and should occupy the minds of the builder with the purpose of serving the public, is the influence tax exempt securities have in denying the building industry all the money it can, with reasonable security absorb. Tax exempt securities attract investors among the wealthy, because they do not require the payment of income tax and usually net more than real-estate securities on which taxes are assessed.

The builder's duty is to interest himself in the matter by urging either, that the interest of tax exempt securities be so reduced that such investments only offer equal inducements compared with real-estate securities, or, that the tax exempt feature be eliminated, or surtaxes reduced which will tend to bring money for building purposes. There are rears written on Taxes and the builder who is the first to be hit by high taxes should interest himself in this reduction.

It is futile for the U. S. to feel that she can live within herself. She must export, and inasmuch as we export, we get into competition with foreign labor markets, then we soon learn that we can-

(Continued on page 575)

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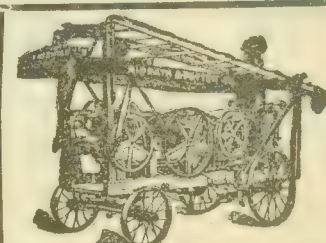
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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS; COST LIMIT: LAST DAYS FOR FILING BIDS;

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Store and Two-Family Residence**, 817 South Thirteenth street, Philadelphia. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Joseph Guarracino, on premises. Brick, 3 stories, 16x46 feet, slag roof, composition floors, electric light, tile work, plumbing, metal ceilings. Plans in progress.

**Residences (4)**, East side Van Dyke street, South of Cottman, \$13,800. Architect, private plans. Owner, John Listmann, 7240 Van Dyke street, Philadelphia. Brick, 2 stories, 14 feet 2 inches x 41 feet, slag roof, hot air heating, electric lighting. Owner will build.

**Residences (2)**, 7323-25 Montour street, Philadelphia, \$4,500 each. Architect, private plans. Owners, Shoemaker Brothers, 5726 North Mascher street, Philadelphia. Brick and frame, 2 stories, 14 feet 6 inches x 38 feet, hardwood and pine floors, hot water heat, electric light. Owners will build.

**School (int. alterations)**, Fifth and Cayuga streets, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, St. Henry's Roman Catholic Church, Rev. Henry E. Koenes, rector, on premises. New partitions and interior alterations. Plans in progress.

**Factory**, Upland street, West of Sixty-eighth street. Architect, F. N. Greisler, 1035 Walnut street, Philadelphia. Brick, 1 story, 40x200 feet, slag roof, pine, cement floors, steam heat, electric light, rolling steel sash, hollow metal skylights, plumbing. Ready for bids in two weeks.

**Bachelor Apartment House**, Southwest Corner Thirty-seventh and Walnut streets, Philadelphia. Architect, not yet selected. Owner, J. Rabovitz, 250 South Broad street, Philadelphia. Will include gymnasium and swimming pool. Building, 12 stories, 78x60 feet. Work contemplated.

**Preparatory School (add.) and New Gym**, Coulter street and Germantown avenue. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Germantown Friends' Preparatory School, on premises. Brick, 3 stories, 60x100 feet. Architects ready for bids in a week.

**Apartment House**, location withheld, Philadelphia. Architects, G. Harold Murphy and C. M. Talley, Drexel Building, Philadelphia. Owner, name withheld. Stone, brick, cast stone, 4 stories and basement, 56x100 feet, vapor vacuum heat, electric, tile work, marble work, slag roof (plumbing, heating and electric work separate bids), fire tower and doors, hardwood and tile floors, electric elevators, screens, special wall finish, metal weather strips, refrigeration, kitchen and laundry equipment. Architects ready for sub-bids.

**Apartment House**, Fifty-third and Wynnefield avenue, Philadelphia. Architects, Murphy & Talley, Drexel Building, Philadelphia. Owner, Dr. Louis Baron, care of architect. Stone, brick, concrete, cut stone, steel, 4 stories and basement, 52x190 feet ((heating, plumbing, electric, elevators reserved), slag roof, oak and pine floors, metal lath, tile and marble work, elevator doors, metal weather

strip, ornamental iron work, blue stone, granite. Architects taking bids due September 8th.

**Central Medical Office Building**, Northeast Corner Eighteenth and Chestnut streets, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, William H. Webster, care of architect. Brick, steel, concrete, stone, terra cotta, 12 stories, stores on first floor, slag roof, cement floors, hollow tile, elevators, ornamental iron work, tile and marble work, steam heat, electric light. Architect and builders, the Barras Co., 366 Madison avenue, New York City, are taking sub-bids due September 15th. Separate bids on equipment, light, plumbing and heating, etc. Plans may be seen at architect's office, builders or office of Greenfield & Taube, Fox Building, Philadelphia.

**Nurses' Home**, Tenth and Sansom streets, Philadelphia. Supervising engineers, Stone & Webster, Real Estate Trust Building, Philadelphia. Architect, J. Fletcher Street, 1120 Locust street, Philadelphia. Owners, Jefferson Medical College, Tenth and Sansom streets, Philadelphia. Brick, concrete, 6 stories and basement, 99x31 feet (steel metal stairs, elevators, elevator doors, plumbing, heating, electric, ash hoist reserved), slag roof, maple and cement floors, shoring, ornamental iron work, bond, hollow metal doors, hollow metal sash, tile, marble and terrazzo work, metal lath. Engineers taking bids due September 4th.

**Buildings (alts.)**, Nos. 5-7-9, Corinthian and Girard avenues, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Girard College, Corinthian and Girard avenues, Philadelphia. Brick, cut stone, steel, steam heat alterations, electric lighting alterations, repairs to roof, hollow tile, plastering (plumbing reserved), painting and glazing, waterproofing, ornamental iron work. Architect taking bids due September 4th.

**Residences and Garages (5)**, Rhawn street and Tabor Road, Philadelphia. Architects, G. Harold Murphy and C. M. Talley, Drexel Building, Philadelphia. Owner, name withheld. Stone, frame, brick and stucco, 2½ stories, 24x40 feet, frame, 1 story, 10x18 feet, slate, shingle and slag roof, hardwood and cement floors, hot water heat, electric light,

tile work (plumbing, heating and electric separate). Architects taking bids due September 8th.

**Delaware River Bridge**, Contract No. 19, Philadelphia. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Construction of Philadelphia approach, between Fourth and Fifth streets, and change incidentals thereto for bridge, including concrete footing on gravel foundations, concrete masonry, granite facing, construction of structural metal, grading of site and certain nearby streets, construction of sewers and inlets, paving and repaving of roadway, sidewalks and other work on streets adjacent. Contract time for street changes eight months. Contract time for entire work 11 months. Unit prices are asked. Deposit, \$25. Refund, 25. Certified check, \$20,000 must accompany each bid. Successful bidder must present 50 per cent. bond. Owners taking bids due September 17th, 1.30 P. M. (Standard Time).

**Apartment Houses (6) (alts.)**, Thirtieth and Walnut streets, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owners, Bogart & Klutch, Bankers' Trust Building, Philadelphia. Brick, steel, 3 stories, hot water heat, electric light, metal lath, tile and marble work, store fixtures, bond, metal bulks, iron stairs, tile, ornamental iron work, terra cotta, waterproofing, metal ceilings, slag and Spanish tile roof, pine and oak floors. Architect taking bids due September 4th.

**Theatre**, Cherry, Juniper and Watts streets, Philadelphia. Architect, Herbert J. Kraph, 116 East Sixth street, New York City. Owner, name withheld. Brick, basement orchestra, mezzanine and balcony, 114x108 feet, slag roof, cement and North Carolina pine floors, plumbing, roof ventilators, shoring, waterproofing and dampproofing, architectural terra cotta, ornamental iron work, cast iron stairs, kalamein and hollow metal doors, hollow metal sash, tile work, metal lath, artificial cast stone, blue stone, wrought iron pipe, ornamental plaster. Architect taking bids due September 5th.

**Building**, 229 South Broad street, Philadelphia. Architect, Leroy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Heyman & Brothers, 225 South Broad street,

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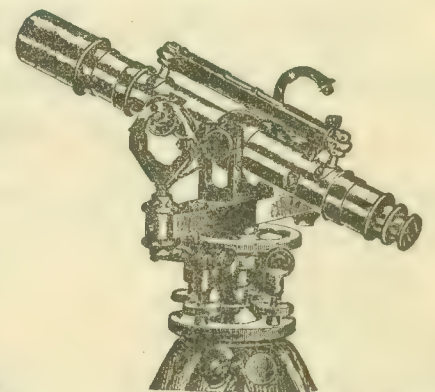
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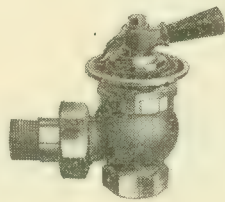
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Philadelphia. Brick, cut stone, granite, 2 stories and basement, 130x20 feet, slag roof, cement and maple floors, plumbing, painting and glazing, shoring, ornamental iron work, wrought iron pipe, bond, tile work, steam heat, electric light. Architect taking bids due September 8th, 10 A. M.

**Residences (2) (alts. and add.),** Rhawn street and Tabor Road, Philadelphia. Architects, C. Harold Murphy and C. M. Talley, Drexel Building, Philadelphia. Owner, name withheld. Excavation, shoring, moving buildings to center of lots, hot water heat, electric light (heating, plumbing and lighting separate), tile work, shingle roof, hardwood floors, stucco work. Architect taking bids due September 8th.

**Firehouse,** Fifty-fourth and Haverford avenue, Philadelphia. Architects, Andrew J. Sauer & Co., Denckla Building, Philadelphia. Owners, Department of Public Safety, Bureau of Fire, Room 215, City Hall. Brick, steel, cut stone, reinforced concrete, 2 stories and basement, 43x91 feet (plumbing, heating and electric light separate), slag roof, linoleum, cement floors, metal lath, tile, marble and terrazzo work, bond, ornamental iron work, shoring, waterproofing, steel lockers, bluestone, artificial stone. Owner taking bids due September 9th, at 11 A. M. (Standard Time). Plans may be obtained from office of City Architect in Bankers' Trust Building.

**Residence,** 510 East Berks street, Philadelphia. Architects, C. Harold Murphy and C. M. Talley, Drexel Building, Philadelphia. Owners, O. McQuire, care of architect. Brick, cast stone, 3 stories, 16x52 feet, slate roof, oak floors, capor heat, electric light, tile work. Architect taking revised bids due as soon as possible.

**Alterations to Building,** 1622 Chestnut street, Philadelphia. Architects, Clarence S. Thalheimer and David Wertz, Fuller Building, Philadelphia. Owner, Edward H. Waly, on premises. Cut stone, structural steel, iron work, sheet metal work, carpentry and mill work, plastering, tile and marble work, bronze work, painting and glazing, electric work, plumbing (alts.). Architects taking bids.

**Bridge,** Girard avenue over Pennsylvania avenue and Philadelphia and Reading Railroad, Philadelphia. Owners, Bureau of Surveys, 216 City Hall, Philadelphia. Owners taking bids due September 9th.

**Sewage Treatment Project,** Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Low bidders: Schedule A, intercepting sewer along Pennypack Creek, Ryan Const. Co., Real Estate Trust Building, \$451,245. Schedule B, open drainage channel, Fortieth Ward lowlands,

Adolph Tafalla, care of owner, \$425,651.11. Schedule C, transformer building, Northeast Sewage Disposal, Conneen Const. Co., 2313 Walnut street, Philadelphia, \$20,613; Kober Const. Co., 34 South Seventeenth street, Philadelphia, \$21,375. Electric, W. V. Pangborne, 1927 West Montgomery avenue, Philadelphia, \$46,774. Plumbing, Bullman Brothers, Fifth and Cumberland streets, \$1,444. Heating, Charles McCarthy, 1723 Sansom street, Philadelphia, \$1,868. Schedule D, underground structures, Wheatsheaf Lane, George F. Dobbins, 1020 South Forty-seventh street, Philadelphia, \$23,800.

**Swimming Pool (Whitehall Commons),** Wakling and Larges streets, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Bureau of Recreation, 595 City Hall. Concrete, brick, limestone, steel, 1 story, 90x61 feet, 97x61 feet, slag roof, cement floors, steel doors, bond, floor hardener, ornamental iron work (plumbing, drainage, electric separate). Low bidders: McCormick Lenham Co., 2403 South Broad street, Philadelphia, \$37,574; Kaufman Const. Co., North American Building, Philadelphia, \$37,591. Plumbing, J. Brugger, 2124 East Cumberland avenue, Philadelphia, \$4,183. Electric, Merrit Elec. Co., 630 Race street, Philadelphia, \$1,080.

**Second Street Bridge,** Philadelphia. Owners, City of Philadelphia, Bureau of Surveys (Bridge Department), 216 City Hall. Low bidders: Brown King Const. Co., Commercial Trust Building, \$99,820; G. F. Dobbins, 1020 South Forty-seventh street, Philadelphia, \$100,780.

**Garage,** North side Krams avenue, East of Pechin street, Philadelphia, \$20,000. Architects, William Steele & Sons Co., 219 North Broad street, Philadelphia. Owners, Bennett & Aspden Co., on premises. Brick, 1 story, 61 feet 4 inches x 60 feet 2 inches, slag roof, cement floors, steel sash, electric light, steam heat. Architects will build.

**Residences (11),** Sixty-seventh avenue, West of Fifteenth street, Philadelphia, \$67,000. Architect, private plans. Owner, Frederick G. Storch, 4940 North Broad street, Philadelphia. Brick, 2 stories, (2) 16x44 feet, (9) 15x34 feet, 12x9 feet, hot water heat, electric light. Owner will build.

**Residences (6),** 3202-12 Devereaux street, Philadelphia, \$18,500. Architect, Frank Sikorski, 4478 Edgemont street, Philadelphia. Owner, Albert Manuszoh, 4622 Tacony street, Philadelphia. Brick, 2 stories, 14 feet 6 inches x 39 feet, slag roof, hot water heating, electric lighting. Owner will build.

**Garage,** Southeast Corner Fourth and Allegheny avenue, Philadelphia, \$9,000. Architect, private plans. Owners, Gulf Refining

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**Residence**, 6335 Race street, Philadelphia, \$5,000. Architect, private plans. Owner, Anthony Mandes, 6333 Race street, Philadelphia. Brick, 2 stories, 16x45 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Store (add.)**, 4028 Lancaster avenue, Philadelphia, \$5,000. Architect, private plans. Owners, F. W. Woolworth Co., Wilkes-Barre, Pa. Brick, 1 story add., 32 feet 4 inches x 40 feet 5 inches. Owners will build.

**Residence**, 500 East Haines street, Philadelphia, \$4,000. Architect, private plans. Owner, Salvatore Cichelli, 551 East Rittenhouse street, Philadelphia. Stone, 2 stories, 20x45 feet 9 inches, electric lighting, slate roof. Owner will build.

**Garage**, 327 North Sixty-fourth street, Philadelphia, \$3,500. Architect, private plans. Owner, L. Rubertucci, on premises. Brick, 1 story, 50x37 feet 4 inches, slag roof, cement floors. Owner will build.

**Residences**, North side Rhawn street, East of Fairview, Philadelphia, \$10,000 each. Architect, private plans. Owner, L. N. Castor, Holmesburg, Philadelphia. Brick, 2 stories, 16x45 feet, hardwood and pine floors, electric lighting, tile work. Owner will build.

**Residences (2)**, South side Gibson avenue, West of Seventy-ninth street, \$6,000 each. Architect, private plans. Owner, John Yoskin, 5624 Larchwood avenue, Philadelphia. Brick, 2 stories, 16x41 feet, slag roof, hardwood and

pine floors, electric lighting, tile work. Owner will build.

**Residences (2)**, North side Hartel street, West of Veree Road. Architect, private plans. Owner, Edward Davis, 7301 Oxford Pike, Philadelphia. Frame, 1 story, 26x30 feet, shingle roof, hardwood and pine floors, electric lighting. Owner will build.

**Residence**, North side Wellington street, East of Loretta street, \$6,000. Architect, private plans. Owner, Samuel Douglass, 1739 Foulkrod street, Philadelphia. Frame, 2 stories, 23x42 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence (alts. and add.)**, 743 East Penn street, Philadelphia, \$3,000. Architect, private plans. Owner, Charles P. Trois, 735 East Penn street, Philadelphia. Stone, 2 stories add., 18x9 feet, general alterations. Owner will build.

**Storage Building (add.)**, Southwest Corner Almond and Luzerne streets, \$3,500. Architect, private plans. Owners, Charles Shoemaker & Co., on premises. Iron, 1 story add., 25x100 feet, corrugated iron roof. Owner will build.

**Apartment (alts. and add.)**, 1409 West Thompson street, \$3,500. Architect, private plans. Owner, Arthur C. Penton, 412 Crozer Building, Philadelphia. Brick, 1 story add., 14x8 feet, general alterations. Owner will build.

**Residence and Store (add.)**, 632 South Fifty-sixth street, Philadelphia, \$3,000. Owner, William Sosoff, on premises. Brick, 2 stories add., 7x16 feet. Owner will build.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

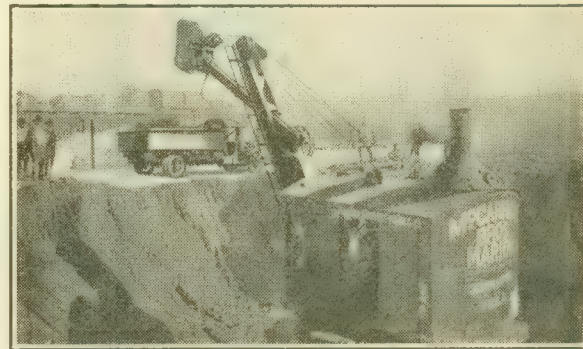
**Residence and Store (alts. and add.)**, Northeast Corner Seventh and Snyder avenue, \$3,000. Architect, private plans. Owner, Morris Blank, on premises. Brick, second and third story adds., 16 feet 9 inches x 11 feet 6 inches, general alterations. Contract awarded to Charles Formen, 2628 South Percy street, Philadelphia.

**Alterations and Additions**, Porter Street Pier, No. 84, South Wharves, Philadelphia, \$123,338. Architect, private plans. Owners, Department of Wharves, Docks and Ferries, Room 211, 4 South Wharves. Railroad siding, piles, concrete work, ties and rails, bollard-mooring posts, armor pilates, steel curbs, structural steel, shoring, granite, block paving, painting, glazing, rolling steel doors, bond, construction of an apron 18 feet wide.

Contract awarded to Fred Snare Corp., 1524 Chestnut street, Philadelphia. Heating awarded to N. Connolly, 1404 North Eighteenth street, Philadelphia, \$17,700. Electric awarded to Ross Electric Co., Beach and Brown streets, Philadelphia, \$30,894.

**Juste Memorial and Superintendent's Cottage**, Mt. Airy, Pa. Architect, Herman Miller, 1420 Chestnut street, Philadelphia. Owners, Lutheran Orphans' Home and Asylum for the Aged, Mt. Airy. Stone, brick, steel, 2½ stories, 50x31 feet, shingle roof, pine floors, oak floors, hollow tile, hot water heat, electric light, tile work, ornamental iron work. Contract awarded C. C. Eddleman, 1627 Sansom street, Philadelphia.

**Church and Parsonage**, Broad and Cheltenham avenue, Philadelphia. Architects, Norman



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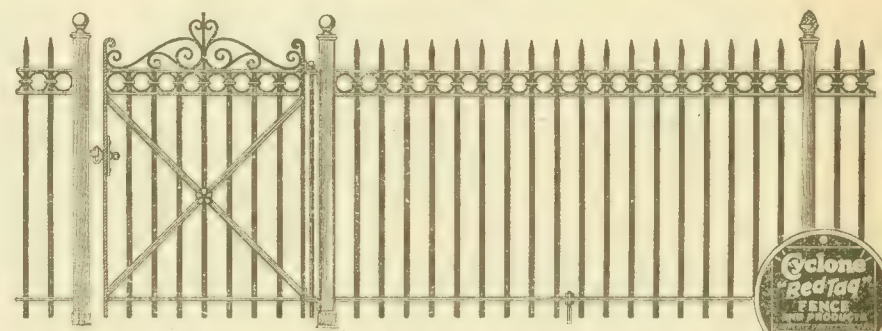
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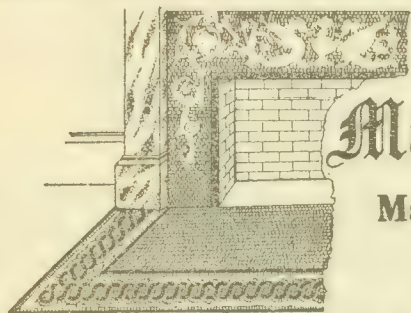
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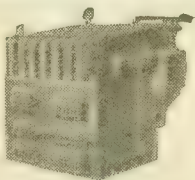
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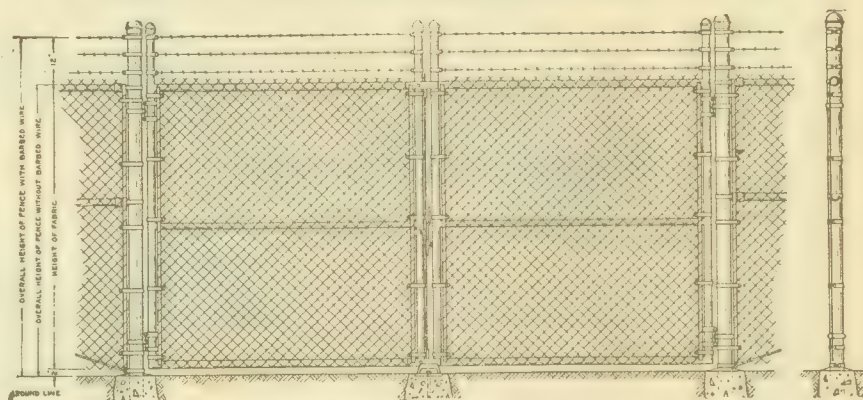
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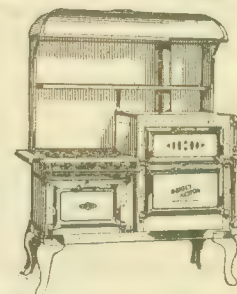
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Hulme and John J. Dull, 1524 Chestnut street, Philadelphia. Owners, St. Mark's Evangelical Lutheran Church, on premises. Brick, hollow tile, cut stone, steel, stucco, 2½ stories, 49x28 feet, slate roof, oak floors, hollow tile, painting and glazing, plumbing, electric work, tile and marble work, rolling steel skylights, fire doors, ornamental iron work, wrought iron pipe. Contract awarded A. Raymond Raff Cont. Co., 1635 Thompson street, Philadelphia.

**Apartments (5)**, 118 South Forty-eighth street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Margret M. Heston, care of architect. Brick, cut stone, bond, carpentry and mill work, painting and glazing, slag roof, hardware, plastering, electric light, plumbing. Contract awarded C. Booker, 2257 North Uber street, Philadelphia.

**Storage Building (alts. and add.)**, Merion avenue, between Fifty-first and Fiftieth streets, Philadelphia. Architect, William H. Cookman, Broad Street Station, Philadelphia. Owners, Pennsylvania Railroad, care of Mr. Dothard, Broad Street Station, Philadelphia. Boiler house and water tank tower, brick work, cement work, reinforced concrete work, steel and mill work, plastering, metal lath (painting and glazing, heating and lighting, sprinkler system reserved), slag and slate asphalt roof, cement floors, slate work, waterproofing, galvanized wrought iron pipe, fire doors. Contract awarded Fred A. Havens, 845 North Nineteenth street, Philadelphia.

**Telephone Exchange Building**, Marsden and Longshore streets, Philadelphia. Architect, Eugene A. Stopper, 10 South Eighteenth

street, Philadelphia. Owner, Charles Kahn, Morris Building, Philadelphia. Lessees, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, steel, 3 stories, 48x80 feet, slag roof, cement floors, steam heat, electric light, ornamental iron work. Contract awarded to J. L. Fawley, 1615 Spruce street, Philadelphia.

**Residence and Store (alts. and add.)**, 6809-11 Germantown avenue, \$12,000. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Andrew Knopf, on premises. Brick, cut stone, steel, plaster, 1 story, 20x22 feet, second story, 10x10 feet, slag roof, plumbing, carpentry, mill work, painting, glazing, hardware, ornamental iron work, electric light (heating reserved). Contract awarded to T. S. Fetter, 1829 Filbert street, Philadelphia.

**Residence and Garage**, North side Graver's Lane, East of Navahoe street, \$19,500. Architect, private plans. Owner, Fletcher Schaum, Second and Glenwood avenue, Philadelphia. Stone, 3 stories, 40x29 feet, 16 feet 8 inches x 7 feet 6 inches, garage, 1 story, 19x22 feet, shingle roof, hardwood, pine and cement floors, hot water heating, electric lighting, tile work. Contract awarded to John R. Erbe, 2551 North Sixth street, Philadelphia.

**Residences (2)**, West side Seventy-sixth street, North of Chelwynde avenue, \$4,500 each. Architect, private plans. Owner, Ernest Dean, Seventy-sixth and Buist avenue, Philadelphia. Brick, 2 stories, 14x33 feet, pipeless heater, electric light. Contract awarded to John McEnhill, Eighty-third and Tinicum avenue, Philadelphia.

**Residence**, North side Longshore street, West of Loretto street, \$7,000. Architect, pri-

vate plans. Owner, A. K. Brigg, 4734 North Hutchinson street, Philadelphia. Frame, 2 stories, 19x12 feet, 28x14 feet, 31x13 feet, 1 story, 10x8 feet, hot water heat, electric light. Contract awarded to E. R. G. Roisler, 2026 North Park avenue, Philadelphia.

**Office (add.)**, East side Sixty-first street, South Eastwick avenue, \$6,500. Architect, private plans. Owner, John Murphy, 701 Manhattan Building, Philadelphia. Brick, 2 stories, 35x17 feet. Contract awarded to Gourley Const. Co., Twenty-first and Ridge avenue.

**Residence**, East side Hoff street, North of Grant avenue, Philadelphia, \$5,000. Architect, private plans. Owner, Walter Beech, Bustleton, Philadelphia. Frame, 2 stories, 26x42 feet, shingle roof, electric lighting. Contract awarded to Walter Freas, 9532 Bustleton avenue, Philadelphia.

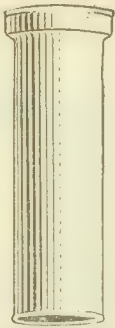
**Residence and Store**, Northeast Corner Fifth and Nedro avenue, Philadelphia, \$9,000. Architect, private plans. Owner, Joseph Friedman, 4831 North Twelfth street, Philadelphia. Brick, 2 stories, 20x58 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to H. & B. Friedman, 4831 North Twelfth street, Philadelphia.

**Store and Storage (add.)**, 129 North Eleventh street, Philadelphia, \$7,000. Architect, private plans. Owner, William A. Lechler, 3705 Germantown avenue, Philadelphia. Brick, 2 stories add., 18x46 feet, slag roof, pine floors. Contract awarded to George A. Boyd, 5701 North Sixth street, Philadelphia.

**Building (alts.)**, 1306 Arch street, Philadelphia, \$2,500. Architect, private plans. Owner, B. B. Todd, on premises. General alterations. Contract awarded to A. H. Moorshead, 67 Laurel street, Philadelphia.

**Business Building and Residence (add.)**, 2117 North Front street, \$5,000. Architect, private plans. Owners, Ross Brothers, on premises. Brick, 1 story, 16x16 feet, second and third stories add., 13x6 feet, 1 story, 3x16 feet. Contract awarded to Brownstein & Sanberg, 1022 Ridge avenue.

**Store and Residence (add.)**, 1856 East Allegheny avenue, \$6,500. Architect, private plans. Owner, L. M. Dienger, 4832 Carlisle street, Philadelphia. Brick, 1 story add., 8 feet 6 inches x 14 feet 7 inches, slag roof,



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electric light. Contract awarded to William E. Edwards, 4832 Carlisle street, Philadelphia.

**Residence**, South side Faunce street, West of Tabor, \$5,000. Architect, private plans. Owner, Anton Bodor, care of builder. Brick, 2 stories, 15x37 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Joseph Ovany, 1728 North Third street, Philadelphia.

**Apartment (alts. and add.)**, 1705-07 South Twenty-first street, Philadelphia, \$5,000. Architect, private plans. Owner, H. Lachren, 1721 South Twenty-first street, Philadelphia. Brick, 1 story add., 6x15 feet, general alterations. Contract awarded to C. Anjider, 2024 Tasker street, Philadelphia.

**Garage and Greenhouse**, Southwest Corner Springfield avenue and St. Martin's Lane, Philadelphia, \$11,000. Architect, private plans. Owner, Isaac W. Jeanes, on premises. Brick, 2 stories, 20x29 feet, greenhouse, 1 story, 17x48 feet, and workshop, 1 story, 16x16 feet, slag roof, cement floors. Contract awarded to R. C. Borthwick, 6511 North Woodstock street.

**Garage**, 4930 Penn street, Philadelphia, \$3,500. Architect, private plans. Owner, Atlee Buckman, on premises. Brick, 1 story, 19 feet 6 inches x 67 feet, slag roof, cement floors. Contract awarded to Rush Brothers, 1006 Harrison street, Philadelphia.

**Residences (7)**, Seventy-third and Buist avenue, (29) Theodore street and Island Road, Philadelphia, \$227,500. Architect, private plans. Owner, Joseph Bobbe, 623 South Sixty-third street, Philadelphia. Brick, 2 stories, 16x37 feet and 16x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Harry Altman, 5949 Pine street, Philadelphia.

**Church (alts.)**, Southeast Corner Frankford avenue and Allengrove street, \$5,000. Architect, Walter Eastburn, 4634 Penn street, Philadelphia. Owners, North Baptist Church, on premises. General alterations. Contract awarded to Buzby & Bropert, 1658 Unity street, Philadelphia.

**Building (alts.)**, 115 Vine street, Philadelphia, \$4,500. Architect, private plans. Owners, W. E. Watson & Co., 249 North Front street, Philadelphia. Brick, 1 story add., 18x58 feet, general alterations. Contract

awarded to J. A. Stoutenburgh, 446 North American street.

**Garage**, Southeast Corner Thirty-eighth and Poplar streets, Philadelphia, \$16,000. Architect, private plans. Owner, Mr. Schestack, 631 South Sixty-third street, Philadelphia. Brick, 1 story, 67x100 feet, slag roof, cement floors. Contract awarded to General Realty Const. Co., 631 South Sixty-third street.

**Store and Residence (alts.)**, Southeast Corner Fifty-first and Baltimore avenue, \$5,420. Architect, private plans. Owner, Dr. Aughenbaugh, on premises. General alterations. Contract awarded to Thomas Strachan, 5108 Hadfield street, Philadelphia.

**Store and Residence (alts.)**, 131 North Eighth street, Philadelphia, \$3,000. Owner, S. W. Higman, Media, Pa. General alterations. Contract awarded to C. L. Goodwin & Co., Worcester, Mass.

**Residences (5), Garages (4)**, Franklin street and Oak Lane, Philadelphia, \$41,500. Architect, private plans. Owners, Myer & Suker, 6024 Delancy street, Philadelphia. Brick, 2 stories, (1) 16x60 feet, (4) 16x43 feet, 13x9 feet, garages, 1 story, 16x56 feet, 32x15 feet, 8x17 feet, 16x16 feet, 16x63 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric lighting, tile work. Contract awarded to Henry Ostroff, 6053 Spruce street, Philadelphia.

**Residence**, Northeast Corner Oxford avenue and St. Vincent street, \$10,000. Architect, private plans. Owner, Charles Wenzinger, Front and Wishart streets, Philadelphia. Brick, 3 stories, 29x39 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Penn

Building Co., 2029 Stenton avenue, Philadelphia.

**Store**, Southeast Corner Twenty-first and Stenton avenue, Philadelphia, \$5,000. Architect, private plans. Owners, Baldwin & Singer, 2083 Chelton avenue, Philadelphia. Brick, 1 story, irregular size. Contract awarded to Penn Building Co., 2029 Stenton avenue.

**Garage**, 124 Chestnut avenue, Chestnut Hill, Philadelphia, \$4,500. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owner, Mrs. W. F. Ballinger, on premises. Stone, 1½ stories, 23x33 feet, asbestos shingle roof, cement floors, electric light. Contract awarded William J. Gruhler Co., 219 High street, Germantown, Philadelphia.

**Store and Residence (alts.)**, 922 South Nineteenth street, \$3,450. Architect, private plans. Owner, N. Nolish, on premises. General alterations. Contract awarded to James S. Tomlinson, 1710 West Venango street.

**Show Room (add.)**, 5424 Germantown avenue, Philadelphia, \$3,000. Architect, private plans. Owners, Jacobs Brothers, on premises. Brick, 1 story add., 9 feet 6 inches x 25 feet and 13 feet 6 inches x 18 feet. Contract awarded to Perry T. McCluskey, 419 Luray street, Philadelphia.

**Garage**, 3621 North Third street, Philadelphia, \$3,000. Architect, private plans. Owner, W. Kresling, 2005 East Clearfield street, Philadelphia. Brick, 1 story, 60x17 feet 6 inches, slag roof, cement floors. Contract awarded to Harold E. Miller, 2528 Coral tree, Philadelphia.

**Residences (2)**, East side Boileau street, South of Jackson street, \$3,000 each. Archi-

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teed, private plans. Owner, Robert McCoy, Bustleton, Philadelphia. Frame, 1 story, 14x42 feet, shingle roof, electric lighting. Contract awarded to Walter Freas, 9532 Bustleton avenue, Philadelphia.

**Garages (2),** Twenty-sixth and Aspen streets, Philadelphia, \$2,600. Architect, private plans. Owner, S. Blackman, 4900 Parkside avenue, Philadelphia. Brick, 1 story, 20x40 feet, slag roof, cement floors. Contract awarded to A. Moses, 4916 Parkside avenue, Philadelphia.

**Residence (alts.),** 6706 North Sixth street, Philadelphia, \$4,000. Architect, private plans. Owner, Hugh Stewart, 6707 North Sixth street, Philadelphia. General alterations. Contract awarded to A. Gilchrist, Drexel Building, Philadelphia.

**Residence and Restaurant (add.),** 1614 South Twelfth street, \$4,000. Architect, private plans. Owner, A. Di Gironimo, on premises. Brick, 3 stories add., 16x29 feet, 13x11 feet. Contract awarded to South Philadelphia Building Const. Co., 766 South Broad street.

**Residence and Store (add.),** 5922 Magnolia avenue, Philadelphia, \$2,600. Architect, private plans. Owner, P. Pompea, on premises. Brick, 2 stories add., 10x14 feet. Contract awarded to Fred Piccari, 5507 Fairhill street, Philadelphia.

**Garage,** East side Oak Road, South of School Lane, Philadelphia, \$2,500. Architect, private plans. Owner, R. D. Brown, on premises. Stone, 1 story, 23x25 feet, cement floors, electric light. Contract awarded to Fred Elvidge & Son, 5522 Germantown avenue.

**Residence (add.),** 6720 Emlen street, Philadelphia, \$2,500. Architect, private plans. Owner, Charles Fearon, on premises. Stone, 1 story add., 25 feet 6 inches x 16 feet. Contract awarded to McClintock & Weaver, 24 West Phil-Ellena street.

**Office and Residence (alts.),** 1828 Green street, Philadelphia, \$3,500. Owner, Dr. C. B. Marseth, on premises. General alterations. Contract awarded to J. Jones Davies, 641

North Eighteenth street, Philadelphia.

**Garage,** 926 South Clifton street, Philadelphia, \$2,800. Architect, private plans. Owner, John Guinta, Northwest Corner Ninth and Christian streets, Philadelphia. Brick, 1 story, 16x45 feet, slag roof, cement floors. Contract awarded to Scurci & Macrame, 734

South Seventh street, Philadelphia.

**Residence (add.),** 314 North Thirty-fourth street, Philadelphia, \$2,000. Architect, private plans. Owners, Rothenberg & Brown, 4821 North Eighth street, Philadelphia. Brick, 1 story add., 6x6 feet. Contract awarded to Thomas Cockerill, 2242 St. James Terrace.

## PENNSYLVANIA

# Construction News

**Residence and Garage,** Norristown, Pa. Architect, Edward T. Boggs, 119 South Fourth street, Philadelphia. Owner, Dr. P. W. McLaughlin, 626 DeKalb street, Norristown, Pa. Stone, cut stone, stucco, brick, 2½ stories, 84x29 feet, garage, 1½ stories, 31x22 feet, slate roof, oak, yellow pine and cement floors, waterproofing, hot water heat, electric light, metal lath, tile and marble work, ornamental iron work, plumbing, galvanized iron pipe. Architect taking bids due September 11th.

**Bank Building,** Haverford and Narberth avenues, Narberth, Pa. Architect, not yet selected. Owners, Merion Title & Trust Co., care of R. J. Hamilton, 1528 Walnut street, Philadelphia. Work contemplated.

**School,** Nether Providence Township, Delaware County, Pa. Architects, Heacock & Hoksanson, Bailey Building, Philadelphia. Owners, Board of Education of Nether Providence Township, Wallingford, Pa. Brick, hollow tile, cut stone, stone, pre-cast stone, 2 stories and basement, 149x48 feet, slate roof, composition, maple and cement floors, painting, glazing (plumbing, heating and electric work separate bids), metal lath, tin-clad doors, bond, iron stairs, ornamental iron work. Owners taking bids due September 9th.

**Garage and Show Room,** Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, Franks Motor Co., Allentown, Pa. Concrete, brick, steel, 2 stories, 74x200 feet, slag roof, concrete floors, cast stone, plate glass, steam heat, electric light, metal lath, tile work, rolled steel sash and skylights, floor hardener. Plans in progress.

**Apartment,** Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, Sylvester & Goldberg, Bethlehem, Pa. Brick, 3 stories, 38x70 feet, slag roof, pine floors, steam heat, electric light, tile and marble work. Plans in progress.

**Residence and Garage,** Bethlehem, Pa. Architect, H. J. Weigner, Bethlehem Trust Building, Bethlehem, Pa. Owner, Mrs. Hugh McFadden, Fourth and Polk streets, Bethlehem, Pa. Brick, 2½ stories, 70x30 feet, 28x30 feet, slate roof, hardwood and concrete floors, hot water heat, electric light, tile work. Architect will be ready for bids next week.

**High School (alts. and add.),** Susquehanna, Pa. Architect, J. A. Barrett, Bowman Building, Scranton, Pa. Owners, School Board of Susquehanna, care of architect. Semi-fireproof, brick, steel, 3 stories, 33x164 feet, slag roof, maple floors (heating, electric

lighting and plumbing reserved), metal lath. Plans in progress.

**Parochial School and Gymnasium,** Scranton, Pa. Architects, Morris & McHale, Mears Building, Scranton, Pa. Owners, Holy Rosary Cong., Rev. Dr. J. Moylan, Scranton, Pa. Brick, 3 stories and basement, 86x125 feet, composition roof, hardwood floors, hollow tile, roof ventilators, waterproofing and dampproofing, tile work, iron stairs, ornamental iron work. Revised plans in progress.

**Club House,** North Washington street, Scranton, Pa., \$600,000. Architects, E. H. Davis and George M. D. Lewis, Edward Langley, D. Morgan and W. S. Lacondes, Union Bank Building, Scranton, Pa. Owners, Scranton Board of Trade, Col. L. A. Watres, president, Scranton. Fireproof, brick, stone, steel, 3 stories, 90x160 feet, hardwood floors, hollow tile, electric light, tile and marble work. Owners will be ready for bids September 15th.

**Residence (alts. and add.),** Plains, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owner, T. J. Morgan, on premises. Frame, 2 stories, 18x24 feet, slate roof, pine floors, steam heat, electric light. Owner will build.

**Hotel, Store, Restaurant and Dance Hall,** Ashland, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Anton and Peter H. Loeper, Ashland, Pa. Brick, steel, 4 stories, 50x125 feet, 75 rooms, slag roof, wood and cement floors, elevators, tile and marble work, steam heat, electric light. Revised plans in progress. New bids will be taken.

**Apartment (alts. and add.),** Wilkes-Barre, Pa. Architects, Schroeder & Schmitt, Weitzenkorn Building, Wilkes-Barre, Pa. Owner, care of architects. Brick, 2 stories, 33x48 feet, slag roof, pine floors, steam heat, electric light, tile work, general alterations. Plans in progress.

**Parochial School,** Nesquehoning, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owners, care of Rev. J. L. O'Connor, Nesquehoning, Pa. Brick, hollow tile, steel, 2 stories and basement, 63x80 feet, slag roof, pine floors, steam heat, electric light, tile work. Architect and owner ready for bids.

**Residence,** Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Fred Helfrick, 15 Sullivan street, Wilkes-Barre, Pa. Cinder block and stucco, 2½ stories, 26x40 feet, asphalt shingle roof, hardwood floors, steam heat, electric light, tile work. Architect ready for bids.

**Wilkes-Barre Hospital (add.),** Wilkes-Barre, Pa. Architect, T. A. Foster, Coal Exchange Building, Wilkes-Barre. Owners, Wilkes-Barre City Hospital, S. C. Chase, chairman, Building Committee, 76 West South street, Wilkes-Barre, Pa. Steel, brick, fireproof, 4 stories and basement, 159x38 feet, flat roof, terrazzo and battleship linoleum, hollow tile, roof ventilators, waterproofing and dampproofing (heating, electric and plumbing reserved), metal lath, tile work, fire and kalamein doors, iron stairs. Architect ready for bids.

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**Factory (add.),** Wilkes-Barre, Pa. Architects, Schroeder & Schmitt, Weitzenkorn Building, Wilkes-Barre. Owner, A. V. Kozak, 592 North Main street, Wilkes-Barre, Pa. Fireproof, brick, steel, 2 stories, 40x75 feet, Barrett roof, concrete floors, steam heat, electric light, rolled steel sash, fire doors. Architects ready for sub bids.

**Factory,** Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre, Pa. Owner, A. V. Kozak, 592 North Main street, Wilkes-Barre, Pa. Fireproof, brick, 1 story, 180x61 feet, Barrett roof, concrete floors, steam heat, electric light, rolled steel sash, fire doors. Architects ready for sub-bids.

**Garage (alts. and add.),** Freeland, Pa. Architect, J. B. Chamberlin, Hazleton National Bank Building, Hazleton. Owner, James W. Boyle, Johnson street, Freeland, Pa. Brick, 2 stories, 66x300 feet, general alterations. Owner will build.

**High School (alts. and add.),** Montrose, Susquehanna County, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Montrose School Board, A. J. Wheaton, secretary, Montrose, Pa. Brick, reinforced concrete, steel, limestone, 2 stories and basement, 115x37 feet, slag roof, composition floors (heating, plumbing and electric reserved), metal lath, tile and marble work, partitions, metal window guards, metal doors, cut stone, iron stairs, ornamental iron work. Architects and owners taking bids due September 9th.

**Residence,** Melrose Park, Pa. Architect, Wesley L. Blythe, 608 Chestnut street, Philadelphia. Owner, Doris A. Miller, on premises. Brick, stucco, frame, 2½ stories, 64x30 feet, wing 10x21 feet, shingle roof, oak and pine floors, electric lighting, tile work, ornamental iron work. Architect taking bids due September 6th at noon.

**Residence and Garage,** Pine Ridge, Delaware County, Pa. Architect, F. N. Greisler, 1035 Walnut street, Philadelphia. Owner, Joseph Shapiro, 321 North Eighth street, Philadelphia. Stone and stucco, 2½ stories, 25x35 feet, 1 story, 20x24 feet, asphalt shingle roof, hardwood floors, hot water heat, electric light, tile work, cement work. Owner ready for bids from Delaware County builders.

**Residence (alts.),** Lansdowne, Pa. Architects, Rankin, Kellog & Crane, 1805 Walnut street, Philadelphia. Owner, Mrs. William E. Bradley, on premises. Frame and stucco, 2½ stories, 10x10 feet, brick, cement and concrete work, carpentry, North Carolina pine floors, plastering, painting and glazing, hardware, plumbing, hot water heating, electric work, bond, shingle roof. Architect taking bids due September 6th.

**Residence,** Ogontz, Pa. Architect, Benjamin Franklin Betts, 335 South Eighteenth street, Philadelphia. Owner, Katherine E. Shaefer, Ogontz, Pa. Stone, brick, cut stone, steel, 2½ stories, 42x48 feet, slate roof, oak and pine floors, plumbing, waterproofing, ornamental iron work, bond, rolling steel sash, tile and marble work, metal lath, hot water heat, electric light, bluestone, wrought iron pipe. Architect taking bids due September 5th.

**Office Building,** Ardmore, Pa. Architects, Zantinger, Boric & Medary, Otis Building, Philadelphia. Owners, Commissioners of Lower Merion Township, Montgomery County,

Ardmore, Pa. Reinforced concrete, cut stone, limestone, steel, brick, 3 stories and basement, 100x60 feet, slag roof, cement and pine floors, steam heat, electric light, metal lath, tile, marble and terrazzo work, vault and kalamein doors, bond, iron stairs, ornamental iron work, shoring, dampproofing, granite, alternate for aqua stone, ornamental plastering, plumbing, Byers or equal wrought iron pipe. Certified check, \$1,500 must accompany each bid. Owners taking bids due September 10th, 3 P. M.

**Warehouse,** Scranton, Pa. Architect, Louis Reisman, Miller Building, Scranton, Pa. Owners, Kaplan's Furniture Bazaar, 211 Lackawanna avenue, Scranton, Pa. Brick, concrete, slow burning, 4 stories, 40x177 feet, slag roof, wood floors, elevators, roof ventilators, electric light, metal lath, rolled steel sash and skylights, hollow metal doors. Architect taking bids.

**School,** Ashley, Pa. Architect, T. H. Ather-ton, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Ashley School Board, care of architect. Brick, hollow tile, steel, 2 stories, 35x103 feet, slate roof, hardwood and pine floors, roof ventilators, steam heat, electric light, rolled steel skylights. Low bidders: E. J. Donohoe, Ashley, Pa. Electric, Shepherd-Rust Electric Co., 11 West Market street, Wilkes-Barre. Heating, B. G. Carpenter, 508 South Main street, Wilkes-Barre. Plumbing, W. J. Stevens, Wilkes-Barre, Pa.

**Church,** Scranton, Pa. Architect, Lester Davis, 616 Spruce street, Scranton, Pa. Owners, Westmont Church of Christ, Scranton, Pa. Lowest bidder: William Weitzel, Kingston, Pa.

**Road Work,** Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa. Low bidders on work opened August 26th.

**Armstrong County,** A-2981, R-214, Brady's Bend Township, 6,661 feet. One course reinforced concrete. Cooper Const. Co., Inc., Clymer, Pa. \$73,303.45.

**Bucks County,** A-1302, Morrisville Borough, 3,785 feet. One course reinforced concrete. Haydock-Martin Co., Franklin Trust Building, Philadelphia. \$51,622.28.

**Clarion County,** A-2577, Sec. 2, Beaver Township, 10,572 feet. One course reinforced concrete. Standard Paving & Cont. Co., Chicago, Ill. \$95,152.65.

**erie County,** A-258, A-2883, 2908, McKean Township, Middleboro Borough, 19,950 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Jamieson & Narlee, Fredonia, Pa. \$169,991.18.

**Fayette County,** A-1468, Luzerne Township, 6,571 feet. One course reinforced concrete. F. S. Wilson, Kittanning, Pa. \$86,303.55.

**Indiana County,** A-985, Canoe Township, 7,904 feet. One course reinforced concrete. Fred E. Fish, Elkton, Md. \$71,179.45.

**Lycoming County,** A-1381, Clinton Township, 13,406 feet. One course reinforced concrete. Thomas B. Evans, Danville, Pa. \$124,969.11.

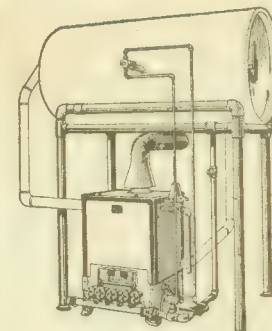
**Perry County,** R-30, A-3037, Carroll, Centre and Wheatfield Townships, 16,948 feet. One course reinforced concrete. Union Paving Co., Thirtieth and Locust streets, Philadelphia. \$172,690.57.

**Washington County,** R-268, Pike Run Township, California Borough, 2,126 feet. One course reinforced concrete. Petriello Brothers, Brownsville, Pa. \$44,402.75.


**Washington County,** R-242, Independence

**Township,** 4,922 feet. One course reinforced concrete. Samuel Gamble Co., Carnegie, Pa. \$56,798.97.

**York County,** A-1998, Hopewell Township, 6,092 feet. One course reinforced concrete. Fred E. Fish, Elkton, Md. \$47,654.28.



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York County, A-2003, North Codorus Township, 18,385 feet. One course reinforced concrete. Paul R. Hostetter Co., Inc., York, Pa. \$158,549.28.

## Pennsylvania Contracts Awarded

**Residence**, Drexel Hill, Pa. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owner, William Burke, care of architect. Brick, stone, stucco, 2½ stories, 30x32 feet, wing 10x20 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Contract awarded Joseph C. Wallace, 5146 Westminister street, Philadelphia, who is taking sub-bids.

**Parish House**, Radnor, Pa. Architects, Zantlinger, Borie & Medary, Otis Building, Philadelphia. Owners, Old Saint David's Church, Radnor, Pa. Stone, 1½ stories, 61x40 feet, shingle roof, maple floors, steam heat, electric light, steel, bond, ornamental iron work, flag stone, paving, wrought iron pipe. Contract awarded C. C. Eddleman, 1627 Sansom street, Philadelphia.

**High School**, Larksville, Pa. Architect, J. A. Boyle, Bennett Building, Wilkes-Barre, Pa. Owners, Larksville School Board, Felix Bolo-wicz, Larksville, Pa. Frame, 2 stories, 150x100 feet, slag roof, pine floors (heating, plumbing, electric work reserved). Contract awarded to Mark Williams, Kingston, Pa.

**Store and Loft Building**, Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Joseph Coplan, Wilkes-Barre, Pa. Brick, 2 stories, 51x80 feet, slag roof, pine floors, electric light. Contract awarded to W. J. Behrens, 179 Blackman street, Wilkes-Barre.

**Residence**, 1600 block Quincy avenue, Scranton, Pa. Architect, Gaylord T. Price, Miller Building, Scranton, Pa. Owner, Abraham Rarich, 1613 Pine street, Scranton, Pa. Frame and stucco, 2½ stories, 26x34 feet, asphalt shingle roof, oak and pine floors (heating and plumbing reserved), electric and gas lighting, tile work, leaded glass. Contract awarded to Fred Klee, 1030 Paul avenue, Scranton, Pa.

**Church (alts. and add.)**, Miners Mills, Pa. Architect, G. T. Price, Miller Building, Scranton, Pa. Owners, Miners Mills Cong. Church, Rev. T. Davis, Miners Mills, Pa. Concrete and frame, 1 and 2 stories, 40x32 feet, 20x24 feet, slate roof, pine floors, steam heat, electric light. Contract awarded to S. B. Price Co., Wilkes-Barre, Pa.

**Bank (alts. and add.)**, Peekville, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton. Owners, Peekville National Bank, care of architects. Stone, frame, 1 story, bronze work, tile and marble, vault. Contract awarded to E. S. Williams, Scranton, Pa.

**Foot Bridge**, Croyden, Pa. Owners, Pennsylvania Railroad Office of Engineer of Bridges, Broad Street Station. Reinforced concrete, 88 feet long with reinforced concrete steps. Contract awarded to Brann & Stuart, 1612 Filbert street, Philadelphia.

**Road Work**, Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa.

Beaver County, A-1951, Greene Township, 12,316 feet. One course reinforced concrete. \$131,683.13. Contract awarded to Garvey-Weyenberg Const. Co., Appleton, Wis.

Somerset County, Route 51, Summit Township, 1,484 feet. One course reinforced concrete. \$17,939.25. Contract awarded to M. F. McCabe & Co., Fairmont, W. Va.

**Road Work**, Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa.

Cambria County, R-52, 53, Ebensburg Borough. One course reinforced concrete. \$71,

680.50. Contract awarded to Vipond, Strite & Moore, Hollidaysburg, Pa.

**Residence**, Broadview Road, Springfield, Montgomery County, Pa. Architect, J. J. Carroll, 1619 Chestnut street, Philadelphia. Owner, name withheld. Stone, brick, 2½ stories, 34x24 feet, shingle roof, oak and pine floors, painting and glazing, metal weather strips, metal lath, tile work, ornamental iron work, everlastic tile floors, alterations, slate roof. Contract awarded J. Baldy, 4225 West Girard avenue, Philadelphia. Note correct location of job.

## New Jersey Construction News

**Sewer Extension**, Borough of Audubon, N. J. Engineer, Borough Engineer, Court House, Camden, N. J. Owners, Borough of Audubon, H. K. Lawrence, Clerk, Commissioners' Chambers, Wyoming and Mansion avenues, Audubon, N. J. Owners taking new bids due September 9th at 8.30 P. M.

**Bungalow**, Pleasantville, N. J. Architect, W. S. Hewitt, Guarantee Trust Building, Atlantic City, N. J. Owner, Nicholas S. Hewitt, 108 North Chelsea avenue, Atlantic City, N. J. Concrete block and frame, 1½ stories, 26x40 feet, asphalt shingle roof, pine floors, electric light, hot water heat. Owner sub-lets.

**Apartment**, 1908 Pacific avenue, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. J. Owner, Benjamin Rosenblatt, 1904 Pacific avenue, Atlantic City. Brick, frame, steel, 3 stories, 30x85 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath, tile and marble work, terra cotta or stone work, ornamental iron work. Architect ready for bids due September 10th.

**Comfort Station**, Pleasantville, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City, N. J. Owners, City of Pleasantville, care of City Council, Pleasantville. Brick, stucco, 1 story, 27x50 feet, Spanish tile roof, tile floors, hot water heat, electric light, tile and marble work (heating, electric and plumbing reserved). Architect taking bids due about September 15th.

**Apartment and Store (alts. and add.)**, 6516-18 Ventnor avenue, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, D. Ravinovit, care of architect. Brick, 3 stories, slag or slate roof, hardwood floors, heating extension, electric light, tile work, general interior alts. Architect taking bids due September 2nd.

**Residence and Garage**, Margate City, N. J. Architect, C. Adams, Chelsea Bank Building, Atlantic City, N. J. Owner, R. Denny, Santa Rita Apartments, Atlantic City, N. J. Frame, 2½ stories, 24x50 feet, slate roof, hot water heat, electric light, hardwood floors, tile work. Architect taking bids due September 8th.

**Residence**, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owner, H. Glassman, 2530 Pacific avenue, Atlantic City, N. J. Hollow tile, 2½ stories, 26x47 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Architect taking bids due September 5th.

**Group of Buildings**, near Trenton, N. J. Architect, Arnold H. Moses, Temple Building, Camden, N. J. Owners, State of New Jersey, School for Deaf, care of architect. Consists of school and administration building, dining room and kitchen, gymnasium and auditorium, industrial shop, brick, reinforced concrete, stone trim, fireproof, 2 and 1 stories, 22 rooms in school, various locations, built-up roof, hardwood and composition floors, hollow

tile, roof ventilators, waterproofing, damp-proofing, central heat, electric light, metal lath, tile and marble work, steel sash, ornamental iron work. Plans in progress.

## New Jersey Contracts Awarded

**Exposition Building**, Georgia avenue and Boardwalk, Atlantic City, N. J. Architect, James Gamble Rogers, 367 Lexington avenue, New York. Associate architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owners, Crane Co., Pennsylvania avenue and Boardwalk, Atlantic City, N. J. Brick, cast stone, 3 stories and basement, 225x50 feet, asbestos built-up roof, rubber tile and oak floors, hollow tile, elevators, roof ventilators, plumbing, steam heat, electric light, metal lath, tile and marble and terrazzo work, metal sash, copper skylights, bond, iron stairs, ornamental iron work, bronze work, steel pipe, limestone. Contract awarded to Hegerman & Harris, 185 Madison avenue, New York City.

**School**, North Rosedale, N. J., \$198,689. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden County School Board, Mr. Mackey, secretary, Camden, N. J. Fireproof, 3 stories, 160x82 feet, Barrett Specification roof, composition floors, hollow tile, roof ventilators, waterproofing and damp-proofing (heating, electric work and plumbing reserved), metal lath, tile work, rolled steel sash and doors, bond, iron stairs, iron work. Contract awarded to George Bachman, 19 North Thirtieth street, Camden, N. J. Heating awarded to H. Knecht, Collingswood, N. J., \$19,000. Plumbing awarded to L. C. Simpson, 916 Division street, Camden, N. J., \$8,227. Electric awarded to Enterprise Electric Co., 239 South Tenth street, Philadelphia, \$5,355.

**School**, Westmont, Haddon Township, N. J., \$61,860. Architect, Charles R. Peddle, 136 South Fourth street, Philadelphia. Owners, Board of Education, J. R. Given, Westmont, N. J. Contract awarded Bennett McLaughlin, 3260 Ludlow street, Philadelphia. Plumbing and heating, H. Knecht, Collingswood, N. J., \$9,564. Electric, C. S. Wright, Camden, N. J., \$605.89.

## Miscellaneous Construction News

C. Architect, Charles Barton Keen, 338 South Smedley street, Philadelphia. Owner, Theron Chatham, Winston Salem, N. C. Hollow tile and stucco, 2½ stories, 45x70 feet, 2 stories, 22x28 feet, tile roof, hardwood and cement floors, vapor heat, electric light, tile and marble work. Architect will be ready for bids in two weeks.

**Kitchen Building**, Maggie, West Virginia. Architects, Davis, 3rd, Dunlap and Barney, 1805 Walnut street, Philadelphia. Owners, West Virginia Home for Insane Colored Women, West Virginia. Architects will be ready for bids in three weeks.

## Miscellaneous Contracts Awarded

**George Gray School**, Wilmington, Del. Architects, Guilbert & Betelle, 526 Broad street, Newark, N. J. Owners, School Board of Wilmington, care of A. J. Taylor, Delaware School Auxiliary Association, Dupont Building, Wilmington, Del. Brick, reinforced concrete, cut stone, limestone, steel, 3 stories and basement, 283x70 feet, slag roof, cement, mastic and maple floors, hollow tile, roof ventilators, metal weather strips, waterproofing and



dampproofing, ornamental iron work, iron stairs, bond, tile and marble work, metal lath, electric light, steam heat, plumbing, cast iron pipe, wrought iron pipe, brass pipe, bluestone. Contract awarded to Northeastern Const. Co., Lexington Building, Baltimore, Md., \$301,530. Plumbing awarded to T. Weldon & Son, Wilmington, Del., \$14,533. Heating and ventilating awarded to B. F. Shaw, Wilmington, Del., \$54,998. Electric awarded to Electric Contracting Co., Wilmington, Del., \$13,852.

## Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., August 29, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., September 22, 1924, for new mezzanine floor, changes in basement and lookouts and incidental changes in the mechanical equipment of the U. S. Post Office at Allentown, Pa. Drawings and specifications may be obtained from the Custodian of the building, or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from page 564)

not compete, even though we may have better machinery, more intelligence, better nourished employees. It is evident that in order to meet competition, it is necessary for labor to cut its cost, in their part of our product, or it is necessary for the other countries to raise its costs and put their employees on the scale and standard of the American workmen. It is difficult indeed to sit on Arbitration Boards and bargain with other men for others lifetime, and tell them what comforts, pleasures and existence they may have for the 8 hours that are delivered to you. Who is the employer that he shall have the right to dictate what another human being is entitled to; yet the contractor in performing his duty, which is for himself and the public, must have in mind that he cannot afford to raise the cost of his product to his neighbor, state and town, so that his neighbor cannot buy our product, or that the lessor, who is another wage earner, the clerk in the store or the other fellow employees, cannot live in the house that the builder and his labor have produced. It is indeed a difficult task to put any contractor on an Arbitration Board, for he is bargaining on one side for the lifetime of one man and on the other side for the shelter of another human being. It is strange that the labor unions have so little compassion for other men and will not concern themselves about other workmen's conditions, forgetting that their dollars are somebody else's cost of living.

### *Interchange of Ideas Among Builders*

The builder should co-operate with his colleagues in his profession by exchanging freely ideas and business methods found helpful by experience. All builders should meet one another not only in

the course of business, but socially also, with the thought of creating the best of relationship and good-will among them. Instructive campaigns teaching and discussing the most approved method on accounting, cost finding, cost keeping, overhead construction methods and even the use of machinery to speed up and reduce the cost of construction, should be constituted. Through this each builder will render a distinct and valuable service to himself and his colleagues, and the general public will be the gainer by cost reduction.

### *The Builder's Creed*

The Builder's business standards should have in them a note of sympathy for our common humanity.

The Builder's business dealings, ambitions and relations should always cause him to take consideration as his highest duties as a member of society. In every position in business life in every responsibility that comes before him, his chief thought should be to fill that responsibility and discharge that duty so that when he had ended each of them, he shall have lifted his level of the ideals and achievements of his industry a little higher than he found them.

## WHAT IS MODERN ARCHITECTURE?

BY FISKE KIMBALL

Speaking of her buildings, Henry James compared New York to "an ample childless mother, who consoles herself for her own sterility by an unbridled course of adoption." It is the current view that American architecture, under the lead of designers such as McKim, Stanford White, Charles Platt, and John Russell Pope, has turned its back on modernity and reconciled itself to a barren reproduction of the classic. It is not the true or vital view. If we consider more intently the work of this contemporary classic school, we will find it is not only creative, but that it has an underlying affinity, real though not obvious, with the progressive work in modern painting and the other arts.

In the thought of the nineties, by contrast, the insistent search for a "modern style," for an "American style," was bound up with the effort to find a new expression for modern materials and structure. Its doctrine, derived from the writings of Ruskin and Violet-le-duc in the sixties, crystallized in the mottoes: "Form follows function" and "You may decorate your construction, never construct your decoration." It was in reaction against the historical eclecticism of the mid-century, the indifferent copying of historic forms, Greek, Roman, Gothic, and Renaissance. Taking to heart the environment theory of Taine, it emphasized the novel elements in modern life,

rather than those of continuity with the past. Thus its attention was devoted primarily to the new products of modern materialism, steel and concrete, the skyscraper and the factory.

In 1895 Louis Sullivan of Chicago for the first time solved the problem of indicating the steel frame of the office building. He abandoned any wall surface in favor of a visible protective casing of the steel itself. This he accomplished in the Wainwright Building in St. Louis, and repeated and developed, the following year, in the Guaranty or Prudential Building at Buffalo. The essence of the building, its height, and the relatively greater strength of the vertical bars of the frame, he emphasized by doubling and accenting the vertical lines. The achievement in the expression of structure was widely recognized and acclaimed. Few, if any, tall buildings from 1897 to 1912 failed to show its influence, which extended far beyond the circle of consistent "modernists" who sought to abandon all historical forms. It was taken up by the eclectics, and hybridized especially with Gothic, which itself involved the tendency to structural expression and an emphasis on the vertical. The skilful use of Gothic forms in so conspicuous an instance as the Woolworth Building, in the years 1911 to 1913, gave them increased currency. Even the most determined classicists did not remain untouched. Thus in McKim, Mead and White's Municipal Building, designed in 1908, the structural lines of the steel columns were accentuated by shallow vertical strips.

A parallel achievement in the expression of concrete factory construction was made by Ernest Wilby, associated with Albert Kahn of Detroit. In designing the first Ford plant at Highland Park, the idea came of exhibiting the concrete frame itself, and filling the entire space from pier to pier with glass. Only below the sills did a low parapet wall of brick remain. The new treatment which had great practical and economic advantages, spread over the country like wildfire, and has given the American industrial building its characteristic physiognomy.

These realistic treatments of the subject matter of modern life have their obvious relation with the realistic movements in painting and sculpture, in literature and music. Painting from Courbet through the impressionists and neo-impressionists, sculpture in the hands of Carpeaux, Meunier, and Rodin, the music-drama of Wagner, the novels and plays of Tolstoi, Flaubert, Zola, and Ibsen, all seek characteristic beauty through truth to nature rather than abstract beauty through relations of form. And while, nevertheless, the men of fundamental greatness in the other arts, as in architecture preserved a sense of form,



the lesser men and the imitators fell into the formlessness which we see for instance, in Monet's successors.

Against this formlessness of the impressionists this scientific observation of nature, this equation of beauty with truth, there began a reaction, even before 1890. Cezanne wrote "One must compose by the cylinder, the sphere, and the cone," and he let anatomy and photographic foreshortening give way. Bourdelle, Maillol, and Mestrovic became "archaic" and geometrical. The symbol replaced the statement of objective fact. Representation itself has been discarded by painting and sculpture in some instances, and the possibility of a purely abstract art of form and color asserted. In literature there has been a renaissance of verse, with a multitude of novel experiments in form. Music has tended to abandon its programmatic and representative efforts to express extraneous ideas, and to revert to its own language, enriched by new scales and tonalities.

In the architecture of the past the pre-eminent manifestations of pure or abstract form, as against a structural or sculptural emphasis, have doubtless been in the classic styles. Periods of renewed interest in unity and purity of form, such as those of the fifteenth and eighteenth centuries, have coincided with reversions to the classic elements, which have come to constitute a universal language, of elementary geometrical simplicity. It is in this sense that we must interpret the new revival of the classic which has decidedly gained the upper hand in American architecture during the last generation.

It is important to note that this movement in its origins owed little to contemporary Europe and that it has remained American in leadership. Although the leaders have been men of European training, it has not been the style of their French masters which has determined theirs. McKim and White came back from France with their portfolios full of picturesque high-roofed chateaux, such as Hunt, their predecessor at the Ecole des Beaux-Arts, had already been transplanting here. Their initial works, whether showing the influence of Richardson or of the Queen Anne period, were themselves romantic in composition. The earliest work in a new manner, one which in the sequel assumes importance of the first magnitude, was the group of Villard houses in New York, built in 1885 on Madison Avenue between Fiftieth and Fifty-first Streets. The four houses were not individually differentiated, but were welded into a single great palace, simple and uniform, its details suggested by the Italian Renaissance. When I once asked Mr. Mead how this sudden departure came to pass in the work of the firm he spoke of the gifted and unfortunate Joseph Morrill Wells, one of the design-

ers and showed me Wells's two sober drawings of the Farnese Palace and Les-cot's wing of the Louvre, still on the walls of the office, representing his classic ideals, which became the ideals of his great associates.

A series of influential works quickly followed, the most notable being the Boston Public Library, for which McKim's uniform and majestic competitive design was adopted in 1888. Then came the marvelous phantasm of 1893 at Chicago, in which the unsubstantial realities of wood and plaster were bodied forth in an ideal splendor and harmony of form. Here McKim himself was rivaled and outdone by Charles Attwood in his two superb designs of the Persistyle and the Fine Arts Building, the latter a masterpiece which well deserves the promised resurrection from its sad decay. The effect on current practice was electrical. Almost overnight the whole public architecture of the country was turned into a monumental and classical channel. When, in 1901, McKim and Burnham made the great plan for the architectural development of Washington, the movement found a nationalistic sanction in the buildings of the early republic, unparalleled abroad in their literal adherence to the classic ideal.

Although, to many later works of the school, the Ecole des Beaux-Arts has contributed its analytical science of planning, it is a mistake to suppose the movement itself to be, as Jacques Greber has asserted, "preuve de la force d'expansion de la genie francese." The scores of *eleves* who have returned from the unrivaled discipline and emulation of the Paris school have had here to lay aside their French language of form, based on characteristic emphasis and on lavish, dynamic energy, to learn anew a language of almost mathematical simplicity and of Dorian harmony. Not one has permanently escaped the overwhelming domination of the American classic.

Even the citadel of functionalism, the skyscraper, has finally been captured. In 1912 there rose in upper Fifth Avenue the building of the Century Holding Company, the first of the "millionaire apartments," at the corner of Eighty-first Street. Here McKim, Mead and White no longer compromised, but were true to their own implicit theory of form that "instead of constructing first, without preoccupation with the final appearance, promising oneself to utilize the ingeniousness of the construction as the decoration, one should relegate the ingenuities of structure to a position among the secondary means, unworthy of appearing in the completed work." The steel frame disappeared again behind sheer, unbroken walls, the merits of which lay in uniformity and proportion. Almost simultaneously came Charles Platt's Leader-News Building in Cleve-

land with its vast plane surfaces of grooved stone. Now the multitude of high apartment buildings east of Central Park follows the new precedent with one accord, and the Federal Reserve Bank raises its sheer cliffs of unbroken masonry in the narrow lanes downtown. For better or worse, the struggle to express the steel frame, so burning in the nineties, has become a dead issue.

Meanwhile foreign conquests have begun. The French, who made fun of the plaster colonnades at Chicago in 1883, reproduced them at the Paris exposition of 1900, so unlike all its European predecessors. The English, abandoning their long tradition of ridicule, are frank in admiration. The leaders of the new generation, such as Adshead, Richardson, and Atkinson, know America well. They have modeled their schools on ours, and are striving to bring about a revival of their own fine classic architecture of 1800. The young pensioners of the Royal Institute have already come to America to study, more than once; and now with the founding of the Bossom scholarship they will do so as a regular practice. They are not interested merely in the commercial and material aspects of American architecture, but equally in the largeness and simplicity of style. With the building of Bush House in the Strand, the first conspicuous monument of this style on English soil, the buzz of admiring tongues tells us that in architecture American hegemony is won.

In the never-ending flux of artistic creation, what is the "modern" of one generation is no longer the modern of the next. We may admire the apt epigram of the nineties, but if we persist in repeating it, it becomes a platitude of today.

In art, unlike science, there is no single "right" way. Only to stand still is wrong, since it belies the imaginative and creative nature of art itself. Which way is forward at the moment is determined only by the march of events. If the procession turns south, those who still continue westward are condemned henceforth to insignificance. Such a great change of front has taken place in our day. Wells and McKim, White and Attwood, we now see, did not lead merely the rear-guard of a belated historic revivalism, but a new van. In their apparent classicism, the architects are really marching side by side with the modernists in sculpture and painting—alike votaries of a new worship of abstract beauty of form.

—The Nation.

The man with an order to place doesn't hunt you up in the city directory these days. He hasn't the time. If he can't find you in your trade magazine he can and does find somebody else, and that somebody else books the order.



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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 37  
September 10, 1924

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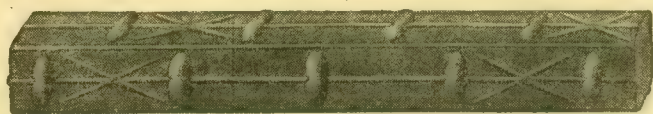
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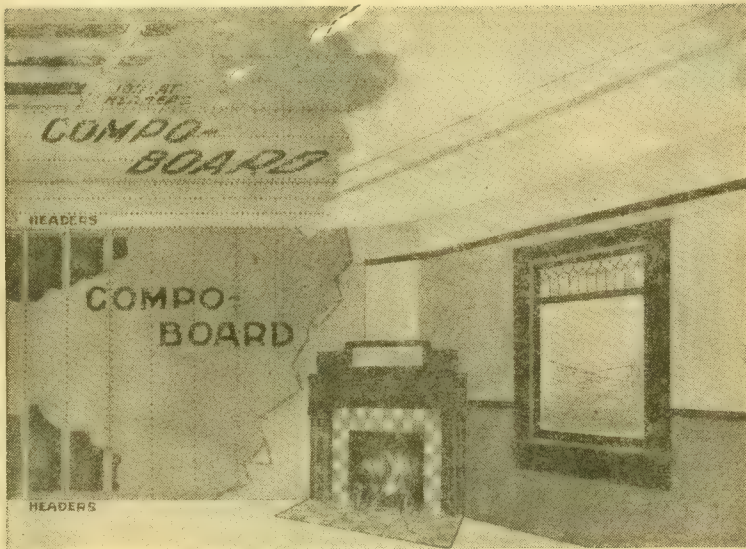
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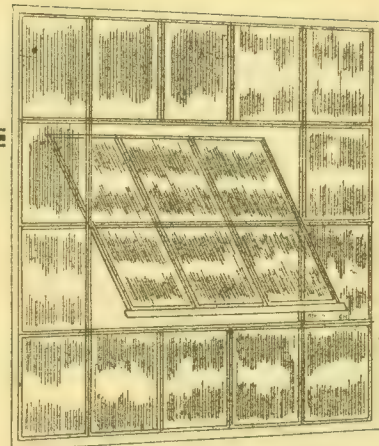
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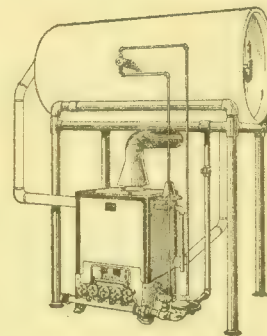
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
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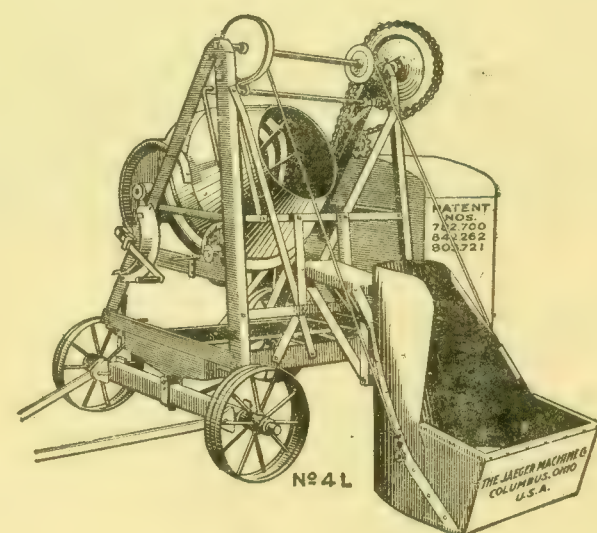
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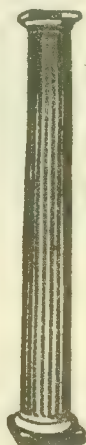
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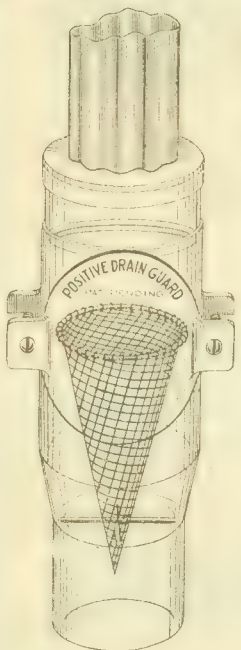
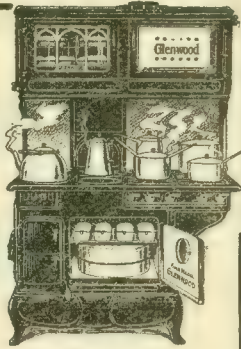


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Devoted to the Advancement of American Architecture, Structural  
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VOLUME XXXIX  
Number 37

PHILADELPHIA  
September 10, 1924

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## As The Editor Sees It



### THE BUILDING SITUATION

In view of statements current in some portions of the press that a depressed condition exists in the construction industry, the Department of Commerce issued a statement September 2nd calling attention to the immediate situation as compared with conditions a year ago. The value of contracts let in thirty-six states in July, 1924, shows an increase of 10 per cent. over that of a year ago, and the total contracts let from January 1 to the end of July, 1924, also gained 10 per cent. over the same period of 1923. Practically all classes of construction contributed to the increase, although in varying degree, just as there has been relatively greater activity in some cities and districts than in others.

Residential contracts for July this year show an increase of 3 per cent. over those of last July; industrial and commercial building combined show 3 per cent. increase; public works and utility construction 10 per cent. increase; educational buildings, 26 per cent. increase; and miscellaneous, including hospitals and institutions, religious and memorial buildings, and public buildings, 42 per cent. increase.

Cement shipments from the mills in July increased 21 per cent. over the same month last year, and for the seven months ended July were 4 per cent. higher.

Although there was some decrease in lumber production during the first seven

months of the year, orders for lumber reported by eight leading associations during six weeks ending the middle of August show an increase of 29 per cent. over the same period of last year.

There has been some recession in the cost of construction. The Department of Commerce index number for frame house materials shows a decrease in 12 months from 214 to 199, compared with 1913 as 100, and for brick house materials, from 217 to 201. Other index numbers show a decrease in general construction costs from 222 to 214.

The annual meeting of the American Construction Council for 1924 will be held on October 2nd and 3rd in New York City.

Aside from the regular business sessions of the Council and the meetings of the Board of Governors and its Executive Committee, the following subjects are among those on the program for the general sessions:

1. BETTER BUILDING:—Discussion of ways and means to insure better quality of construction and the promotion of greater responsibility among all elements having to do with construction. Report of the Council's committee on better building.

2. ENGINEERING CONSTRUCTION:—Discussion of fundamental relationships between the elements of the industry pertaining to engineering con-

struction, including field projects, highway construction, public carriers, etc.

3. APPRENTICESHIP:—A survey of the apprenticeship movement for the building trades throughout the country. Report of the Council's committee on apprenticeship and its affiliated groups.

4. THE BUILDING CONGRESS MOVEMENT:—Group meeting of the various local Building Congresses throughout the country. Discussion of principles and procedure underlying the organization and administration of Building Congresses for given localities.

### MANY STATES BENEFIT BY ZONING LEGISLATION

Approximately 24,000,000 people, living in 261 municipalities throughout the United States, are enjoying the benefits of zoning, according to statistics compiled by the Division of Building and Housing of the Department of Commerce. The greatest zoning center in the territory in New York State and northern New Jersey, having New York City for its hub; other centers are in California, Ohio, Massachusetts, Illinois and Wisconsin.

Secretary Hoover, in a recent statement, characterized properly drawn zoning ordinances as "reasonable, neighborly agreements as to the use of land." They divide a city into districts in which are limited the use to which land and

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structures may be put; the height and number of stories of the buildings; and the areas of the lots to be occupied by the buildings. Their professed object is to regulate the use of private real estate for the purpose of promoting health, safety, morals and the general welfare of the entire community.

That the idea has made a strong appeal to the American people is shown by the rapid spread of zoning. On January 1, 1923, there were only 129 zoned cities, towns and villages. The first comprehensive effort to zone was the passage of a zoning ordinance by New York City in 1916; although Los Angeles, Calif., passed a "Use" ordinance in 1909, and Boston, Mass., regulated the height of buildings in 1904.

Cities towns and boroughs throughout the country generally are showing more than a passing interest in zoning. Where authority is granted, various municipalities are actively engaged in the solution of their zoning problems with enthusiastic zoning commissions and auxiliary committees at work. Even where state legislation does not authorize zoning, various public-spirited and progressive organizations are studying the local situation so that when zoning can be effected legally, much of the preliminary work will be finished.

New Jersey leads in the number of zoned municipalities, having 66; New York has 41; California has 33; Illinois, 25; Massachusetts, 24; Ohio, 16; Wisconsin, 13; Indiana, 5; Michigan and Missouri, 4 each; Iowa and Rhode Island, 3 each; Florida, Michigan, Oklahoma, Pennsylvania, Virginia and Washington, 2 each; and Arkansas, Colorado, Connecticut, Georgia, Maryland, Nebraska, North Dakota, South Carolina, Tennessee, Utah and the District of Columbia, see, North Carolina, Utah and the District of Columbia, one each.

\* \* \*

With 41 new municipalities reported since January 1, 1924, the number of zoning ordinances now in effect throughout the United States totals 261. In ad-

dition the City of Boston adopted a comprehensive ordinance while Omaha, Nebraska, revised its comprehensive ordinance.

The municipalities, with details as to the date and character of the ordinances, are given below.

"Comp." means a comprehensive zoning ordinance regulating "use," "height" and "area" of buildings. The figures give the date of adoption:

ARKANSAS: Little Rock, (Interim), 1924.

CALIFORNIA: Bakersfield, Use, 1923; Burbank, Use and Height, 1923; Burlingame, Use, 1923; Glendale, Use, 1922; Inglewood, Use, 1924; Redwood City, Use, 1921; San Mateo, Use 1922; Terrance, Use and Height, 1923; Ventura, Comp., 1924.

CONNECTICUT: West Hartford, Comp., 1924.

DELAWARE: Wilmington, Comp., 1924.

FLORIDA: Orlando, Use, 1924.

MASSACHUSETTS: Arlington, Comp. 1924; Boston, Comp., 1924; Dedham, Use, 1924; Haverhill, (Interim); Lexington, Comp., 1924; Malden, Use, 1923; Medford, (Interim); Melrose, Comp., 1924; Swampscott, Use, 1924; Winchester, Use and Height, 1924.

MINNESOTA: Minneapolis, Comp., 1924.

NEBRASKA: Omaha, Comp., (Revised), 1924.

NEW JERSEY: Englewood, Comp., 1923; Fanwood, Use, 1924; Linden, Use, and Height, 1921; Pompton Lakes, Use, 1923.

NEW YORK: Albany, Comp., 1924; Dobbs' Ferry, Comp., 1924; Elmsford, Comp., 1924; Greenburgh, Comp., 1924; Hastings, Comp., 1923; Lawrence, L. I., Use, 1923; Lynbrook, Comp., 1924; Rockville Centre, Comp., 1924.

NORTH DAKOTA: Bismarck, Comp., 1924.

OHIO: Cincinnati, Comp., 1924.

OKLAHOMA, Tulsa, Comp., 1923.

(Continued on page 590)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Public Comfort Station**, Norris Square, Philadelphia. Owners, Department of Public Works, Bureau of City Property, 216 City Hall, Philadelphia. 1. General construction, Public Comfort Station. 2. Plumbing work, Comfort Station, Norris Square, Philadelphia. 3. Heating work, Comfort Station, Norris Square, Philadelphia. 4. Electric lighting work, Comfort Station, Norris Square, Philadelphia. 5. Improvements to South Second Street Market, add. electric service in loft. (Plans and specifications for Items 1 to 5 may be obtained at the office of city architect, Bankers' Trust Building, Philadelphia.) 6. Repairing, refinishing and rehanging picture frames for oil portraits at Independence Hall. 7. Erection of flag pole in Vernon Park. (Specifications for Items 6 and 7 may be obtained at Room 117, City Hall.) All proposals must be accompanied by a certified check of 5 per cent. of the amount of bid. Owners taking bids due September 17th, 11 A. M. (Standard Time).

**Preparatory School (add.) and New Gymnasium**, Coulter and Germantown avenue. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Germantown Friends' Preparatory School, on premises. Brick, 3 stories, 60x100 feet. Architects taking bids due September 15th at noon.

**Shop (add.)**, West side Forty-third street, South of Woodland avenue, \$5,000. Architects, William F. Koelle Co., 2601 Oxford street, Philadelphia. Owners, Breyer Ice Cream Co., on premises. Iron, 1 story add., 27x85 feet, cement work, electric lighting. Architects will build.

**Residences and Stores (6), Garage (1)**, Germantown and Rex avenues, \$64,000. Owner, Jacob Gorehov, 4116 Girard avenue, Philadelphia. Brick, 2 stories, 16x52 feet and 17x60 feet, garage, 1 story, irregular shape, hot water heat, electric light, hardwood and pine floors, tile work. Owner will build.

**Elevator Shaft Enclosure**, Fuller Building, 10 South Eighteenth street, Philadelphia. Architects, Norman Hulme and John H. Dull, 1524 Chestnut street, Philadelphia. Owner, J. Cutler Fuller, 10 South Eighteenth street, Philadelphia. Brick, 5 stories, 14x14 feet, tile and terrazzo work, painting and glazing, electric work, plumbing, alterations, new skylights, elevator doors. Revised plans about completed. Will take new bids in a few days.

**Stores and Apartment (4)**, Cresheim road and Mt. Pleasant avenue, Philadelphia. Architect, Samuel Abramson, 2313 Walnut street, Philadelphia. Owners, Koplin & Bernstein, care of architect. Brick, 2 stories, 20x60 feet, hot water heat, electric light, slag roof, hardwood floors, tile work, metal bays. Architect taking sub-bids due as soon as possible.

**Stores (5), Residences (20)**, Franklin street, Oak Lane. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, Herman Ostroff, 605 Spruce street, Philadelphia. Brick, 2 stories, 16x60 feet, slag roof, hard-

wood floors, hot water heat, electric light, tile work, garages in basement, metal bulks, metal cornices. Owner ready for sub-bids.

**Garage, Stores (7), Residences (15)**, Torresdale, South of Pratt street. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, Joseph Lupowitz, 374 Northeast Boulevard, Philadelphia. Brick, stone, fire-proof, 1 story, 68x210 feet, brick and stucco, 2 stories, 16x52 feet, hot water and steam heat, electric light, tile work, hollow metal sash, slag roof, hardwood, pine and cement floors. Owner taking sub-bids.

**Hospital for Crippled Children**, Roosevelt Boulevard, Philadelphia. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Shriners' Hospital, W. F. Kendrick, 1337 Spring Garden street, Philadelphia. Brick, cut stone, reinforced steel, steam heat, electric light, slag, slate roof, cement and maple floors, elevators, plumbing, cast iron pipe, shoring, waterproofing and dampproofing, architectural terra cotta, ornamental iron work, travertine work, bluestone, steel partitions, wrought iron and steel pipe, iron stairs, bond, rolling steel skylights and sash, tile, marble and terrazzo work, metal lath. Administration building, 2½ stories, 148x108 feet. South ward, 2 wings, 98x38 feet, wing 47x38 feet, 90x32 feet. North ward wing 80x38 feet, wing 35x32 feet, 56x38 feet. Architect taking bids due September 15th.

**Residence (alts. and add.)**, Southeast Corner Seventieth and City Line, Oak Lane, Philadelphia. Architect, Carl P. Berger, 1512 Walnut street, Philadelphia. Owner, Dr. David Reisman, on premises. Stone, limestone, 3 stories, 26 feet 7 inches x 34 feet 10 inches, slate roof, cement and canvas, hardwood floors, hot water heat, electric light, tile work, metal weather strips, metal casements, rolling steel skylights, ornamental iron work. Architect taking bids due September 11th at noon.

**Miscellaneous Work**, Belmont Pumping Station, Philadelphia. Owners, Department of Public Works, Bureau of Water, 216 City Hall, Philadelphia. Roof for Belmont, pre-filter, miscellaneous piping materials, improving of administration building, Belmont Filters, electric wiring and fixtures in administration building. Owners taking bids due

September 16th, 11 A. M. (Standard Time). Inquire Room 796.

**Residence**, South side Griffith street, West of Bustleton avenue, \$8,000. Architect, private plans. Owner, John Hartman, 4515 North Third street, Philadelphia. Frame, 2 stories, 26x42 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Morrell street, West of Outlook street, \$3,500. Architect, private plans. Owner, Albert Carney, 5746 Frankford avenue, Philadelphia. Frame, 1 story, 37x22 feet, shingle roof, hot air heat, electric light. Owner will build.

**Residences (38)**, Sharpnack, Chew and Boyer streets, \$213,000. Architect, private plans. Owner, James N. Mitchell, 4 South Farragut Terrace, Philadelphia. Brick, 2 stories, (4) 16x35 feet, (34) 18x31 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (18)**, Fifty-second and Susquehanna avenue, Philadelphia, \$172,000. Architect, private plans. Owner, W. Earl Yonkers, 722 South Fifty-first street, Philadelphia. Brick, (8) 2 stories, 16x56 feet, (10) 2 and 3 stories, 16x24 feet, 16x30 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, North side Longshore street, West of Erdnick street, \$5,000 each. Architect, private plans. Owner, J. E. Lowmy, 6800 Frankford avenue, Philadelphia. Stone, 1 story, 30 feet 9 inches x 47 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, East side Academy road, North of Morrell street, \$4,000. Architect, private plans. Owner, Robert Powell, Andalusia, Pa. Frame, 1 story, 30x40 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Residences (4)**, East side Craig street, South of Solly street, \$4,000. Architect, private plans. Owners, Holmesburg Granite Co., Holmesburg, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light. Owners will build.

**Riding Academy**, Rittenhouse street and Wissahickon avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, Manheim Riding Academy, J.

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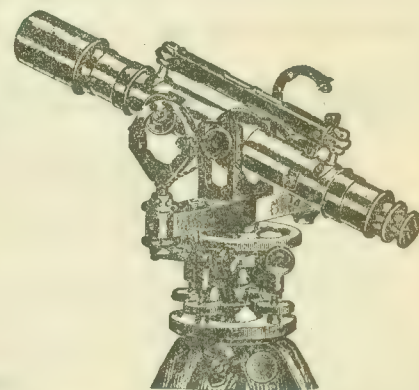
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E. Foley, 5434 Germantown avenue. Brick, steel, concrete, limestone, area covered 800x1400 feet, slag roof, will contain power plant, living quarters, etc. Preliminary plans in progress.

**Residences (37)**, Morris Park, West of Sixty-sixth street, \$300,000. Owners, McWilliams & Maloney, 539 South Fifty-second street, Philadelphia. Stone and brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Store and Garage**, Friendship and Edmund streets, Philadelphia, \$3,800. Architect, private plans. Owner, R. Gattis, 7138 Edmund street, Philadelphia. Brick, 1 story, 16 feet 4 inches x 56 feet, garage, 1 story, 34x18 feet, slag roof, pine and cement floors, electric light. Owner will build.

**Garage**, 6007 Concord street (rear), Philadelphia, \$5,500. Architect, private plans. Owner, Thomas E. Wannop, 17 Harvey street, Philadelphia. Brick, 2 stories, 39 feet 6 inches x 23 feet 3 inches, hot water heat, electric light, slag roof, cement floors. Owner will build.

**Residence**, East side Academy road, North of Grant avenue, \$2,500. Architect, private plans. Owner, James N. Richards, Byberry, Pa. Frame, 1 story, 21x30 feet, 11x13 feet, shingle roof, hot air heating, electric lighting. Owner will build.

**Residences (29)**, Stores and Residences (2), Fifty-ninth and Belmar Terrace, \$159,500. Architect, private plans. Owners, Davidson & Rader, Fifty-fifth and Baltimore avenue, Philadelphia. Brick, 2 stories, (29) 16 feet 10 inches x 32 feet, (1) 19 feet 2 inches x 34 feet, (1) 17 feet 8 inches x 43 feet, hot water heat, electric light. Owners will build.

**Residences (12)**, 201-23 Champlost avenue, Philadelphia, \$59,500. Architect, private plans. Owners, James T. Nolen & Sons, 64 Church Lane, Philadelphia. Brick, 2 stories, various sizes, slag roof, hot water heat, electric light. Owners will build.

**Residences (4)**, 554-560 Locust avenue, Philadelphia, \$6,000 each. Architect, private plans. Owner, John Uber, Ambler, Pa. Brick, 2 stories, 16 feet 6 inches x 18 feet, 18 feet 6 inches x 24 feet 6 inches, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (8)**, West side Dittman street, North of Princeton avenue, \$5,000 each. Architect, private plans. Owner, Daniel Gereke, 3114 Disston street, Philadelphia. Brick, 2 stories, 16x42 feet, hot water heat, electric light, slag roof, hardwood and pine floors. Owner will build.

**Residences (2) (add.)**, 1901-03 Orthodox street, Philadelphia, \$4,900. Architect, pri-

vate plans. Owners, Workmen's Realty Co., on premises. Brick, 3 stories, 17x16 feet, electric light. Owners will build.

**Residences (4)**, South side Unruh street, West Gillespie street, \$4,000 each. Architect, private plans. Owner, Roy H. Lippincott, 3117 Disston street, Philadelphia. Brick, 2 stories, 15x37 feet, slag roof, hot water heat, electric light. Owner will build.

**Grading and Paving**, Philadelphia. Owners, Department of Public Works, Bureau of Highways, 216 City Hall. Schedule A, grading. Low bidders: Fanshaw street and four others, Duffin Brothers, 3401 East Roosevelt Boulevard, Philadelphia, \$4,905.60; Middleton-Cedar Park, S. C. Rocell, care of owner, \$1,825.20; Roy B. Wenner, 3016 Midvale avenue, Philadelphia, \$1,825.20. Trinity street and Sixty-seventh street, Philadelphia, Sixteenth street, Frank Mark Cont. Co., 2820 North Twenty-first street, Philadelphia, \$2,099.40. Trinity street and Sixty-seventh street, E. A. Mullen, Inc., 5512 Vine street, Philadelphia, \$14,593.20. Schedule B, asphalt paving, low bidders: Cresswell street, Barber Asphalt Co., 239 North Thirtieth street, \$2,000.92. Penn street, Mack Paving Const. Co., Nicetown and C street, \$9,047.33. Pierce street, Barber Asphalt Co., 239 North Thirtieth street, \$5,430.30. Pratt street, Mack Paving Co., Nicetown Lane and C street, \$9,746.41. Rutland street, Barber Asphalt Co., 239 North Thirtieth street, \$2,433.63. Spencer street, Barber Asphalt Co., 239 North Thirtieth street, \$2,915.30. Schedule C, asphalt repaving, low bidders: Pechin street, Barber Asphalt Co., 239 North Thirtieth street, \$14,549.95. Schedule E, low bidder: Fish Rutherford, Real Estate Trust Building, Philadelphia, \$28,550.65.

**Schools (2)**, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Low bidders: Lawndale School: William Langhorne Co., 10 South Eighteenth street, Philadelphia, \$134,667; plumbing, J. Borden & Bro., 637 North Nineteenth street, Philadelphia, \$11,209; heating, N. Connolly, 1404 North Eighth street, Philadelphia, \$26,246; electric, Walker Kepler Co., 531 Chestnut street, Philadelphia, \$5,268; ventilating, Mellon Co., 4419 Ludlow street, Philadelphia, \$570. Twelfth and Federal streets. Low bidders: McCloskey Co., 1620 Thompson street, Philadelphia, \$399,449; H. Melody & Son, 1322 Race street, Philadelphia, \$406,500; heating, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$46,998; plumbing, John Borden & Bro., 637 North Nineteenth street, Philadelphia, \$20,879; ventilating, W. Howlett Co., Fourth and Columbia avenue, Philadelphia, \$2,380. Electric, Walker & Kepler, 531 Chestnut street, Philadelphia, \$15,873.

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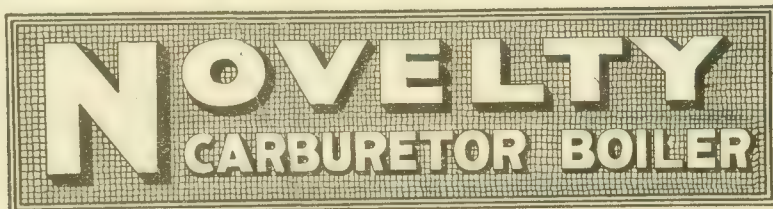
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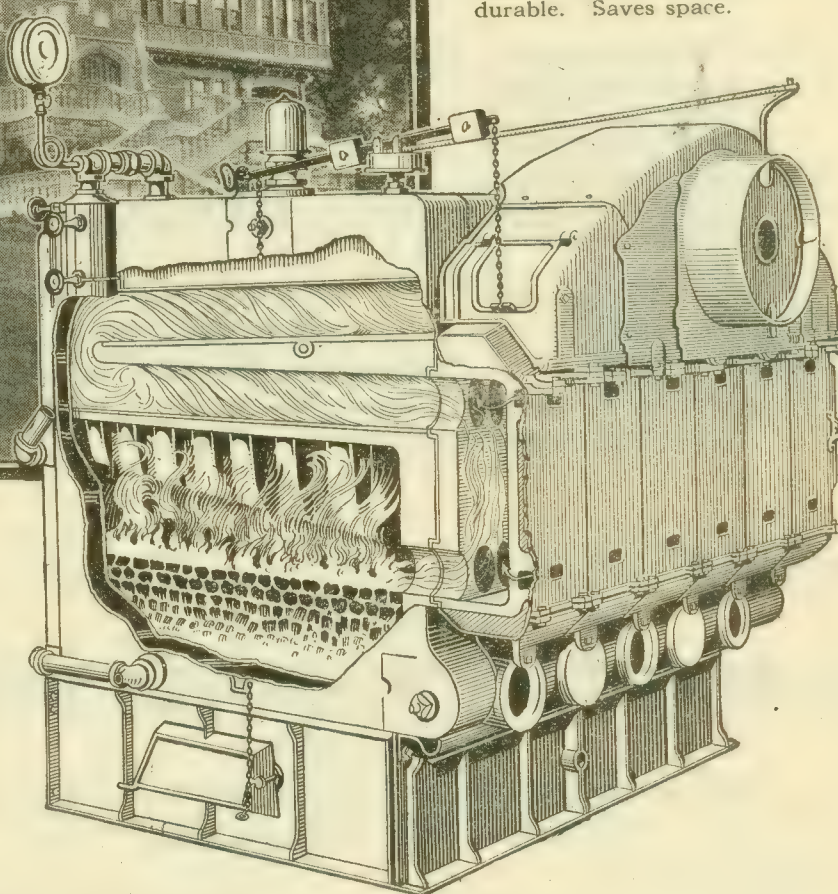
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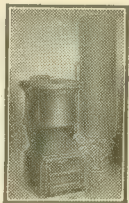
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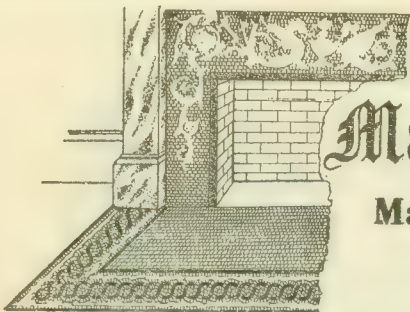
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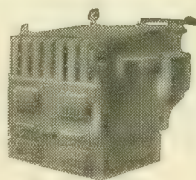
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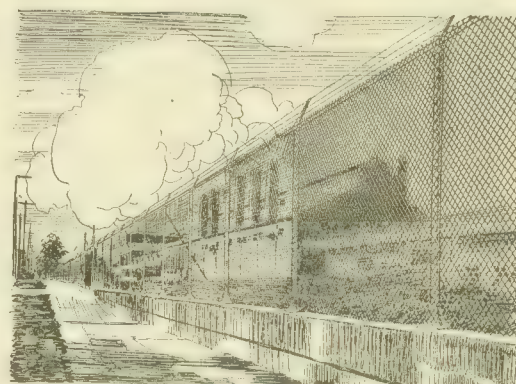
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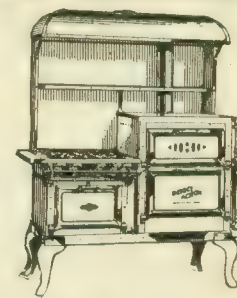
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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Second Street Bridge, Philadelphia.** Owners, City of Philadelphia, Bureau of Surveys, 216 City Hall. Contract awarded Brown King Const. Co., Commercial Trust Building, Philadelphia, \$99,820.

**Sewage Treatment Project, Philadelphia.** Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Schedule D, underground structure, Wheatshaf Lane. Contract awarded George Dobbins, 1020 South Forty-seventh street, Philadelphia, \$23,800.

**Alterations, 5424 Germantown avenue, Philadelphia.** Architect, J. L. Connaroe, 225 South Sydenham street, Philadelphia. Owners, Jacob Brothers Motor Co., on premises. Carpentry and mill work, brick, 2 stories, 10x30 feet, slag roof, plastering, plumbing, plate glass, electric light, metal bulks, iron work, galvanized metal cornice. Contract awarded Perry T. McCluskey, 419 Luray street, Philadelphia.

**Store (add.), Southwest Corner Frankford avenue and Sellers street, \$25,000.** Architect, private plans. Owner, Charles H. Button, on premises. Brick, 2 stories add., 41x25 feet, slag roof. Contract awarded to Buzby & Propert, 1658 Unity street, Philadelphia.

**Residence and Store, Northeast Corner Bridge and Jackson streets, \$9,500.** Architect, private plans. Owner, A. Bachman, on premises. Brick, 2 stories, 16x50 feet 6 inches,

hot water heat, electric light. Contract awarded to Tony Olivieri, 1578 Adams avenue, Philadelphia.

**Residence, North side Shelmire street, West of Lawndale street, \$4,500.** Architect, private plans. Owner, J. A. Sieb, 5660 Heiskell street, Philadelphia. Frame, 1 story, 24x32 feet, 9x7 feet, hot water heat, electric light, shingle roof. Contract awarded to Elmer Ehinger, 553 Duncannon avenue, Philadelphia.

**Apartment (alts.), 1428-34 Pine street, Philadelphia.** Architects, Richard Erskine and William Sandord, 1716 Cherry street, Philadelphia. Owner, Louis B. Moffett, 1420 Pine street, Philadelphia. Brick, steel, repairs to roof, plastering, painting and glazing, carpentry and mill work, metal lath, tile work, bond, ornamental iron work (plumbing, heating, electric, kitchen equipment, Murphy beds and hardware reserved). Contract awarded to Bushnell Bros., 2146 E. Norris St., Phila.

**Apartment House, Nineteenth and Rittenhouse streets, Philadelphia.** Architects, Sugarman, Hess & Berger, Bankers' Trust Building, Philadelphia. Owner, F. E. D. Thayer, Penfield Building, Philadelphia. Brick, granite, limestone, steel, 18 stories and basement, 95x63 feet, Barrett's Specification roof, oak and cement floors, terra cotta, elevators,

metal weather strips, shoring, waterproofing and dampproofing, architectural terra cotta, ornamental iron work, iron stairs, floor hardener, kalamein doors, copper skylights, hollow metal sash, tile and marble and terrazzo work, metal lath, electric light, steam heat, caulking, asbestos, plastering, mail chutes. Contract awarded to Longacre Const. Co., 345 Madison avenue, N. Y.

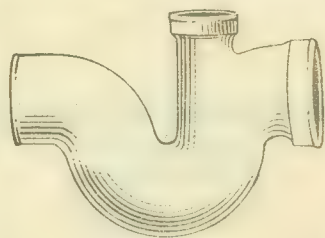
**Garage, Oak Road, Germantown, Philadelphia.** Architects, Harris & Richards, Drexel Building, Philadelphia. Reynolds D. Brown, 505 Chestnut street, Philadelphia. Stone, 1 story, 25x18 feet, slate roof, cement floors, painting and glazing, hardware, gas heater, electric light, plumbing, wrought iron pipe. Contract awarded Fred Elvidge & Son, 5522 Germantown avenue, Philadelphia.

**Building, Fifty-sixth and Arch streets, Philadelphia.** Architect, W. H. Timms, Perry Building, Philadelphia. Owners, Abbott's Alderney Dairies, on premises. Brick and steel, 2 stories and basement, 56x60 feet, slag roof, cement floors, marble work, ornamental iron work. Contract awarded W. O. Springer, 2994 Naudain street, Philadelphia.

**Swimming Pool, Wakeling and Large streets, Philadelphia.** City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Bureau of Recreation, City of Philadelphia, 595 City Hall. Contracts awarded to McCormick Lenhan, 2403 South Broad street, Philadelphia, \$37,574. Plumbing, J. Brugger, 2124 East Cumberland avenue, Philadelphia, \$4,183. Electric, Merritt Electric Co., 638 Race street, Philadelphia, \$1,990.

**Alterations and Additions (Lavatory Section of School), Forty-ninth and Wyalusing.** Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, St. John's Orphan Asylum, on premises. Brick and steel, 1 story and basement, 45x28 feet, brick work, tile work, waterproofing, reinforced concrete, steel and iron work, metal sash, tin roof, carpentry and mill work, painting and glazing, electric, safety treads, cement floors. Contract awarded James Johnston Co., 1606 Swain street, Philadelphia.

**Residence, 3113 Penn street, Philadelphia, \$12,000.** Architect, private plans. Owner, Joseph K. Coxe, 111 West Coulter street, Philadelphia. Brick, 3 stories, 30x35 feet, 1 story, 12x18 feet, hot water heat, electric light, tile



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work, hardwood and pine floors. Contract awarded to Joseph A. Coxe, 468 Drexel Building, Philadelphia.

**Office**, East side Ninth street, South of Lindley avenue, Philadelphia, \$13,000. Architect, private plans. Owners, Hemberger Brothers, 4419 North Eighteenth street, Philadelphia. Reinforced concrete, 1 story, 36 feet 4 inches x 30 feet, electric lighting. Contract awarded to Spencer Const. Co., 910 Garrett Building, Baltimore, Md.

**Manufacturing Building**, 706-08 South Third street, Philadelphia, \$10,000. Architect, private plans. Owner, A. Spear, 715 South Third street, Philadelphia. Brick, 3 stories, 50x85 feet, 30x45 feet, hot water heating, electric lighting, slag roof, steel sash. Contract awarded to Bragen Brothers, 4253 Ogden street, Philadelphia.

**Garages (2)**, 1320-24 North Mascher street, Philadelphia, total \$4,850. Architect, private plans. Owner, Jacob Guthrie, 1321 North Hancock street, Philadelphia. Brick, 1 story, 25x17 feet, 17x63 feet each, slag roof, cement floors. Contract awarded to N. G. Kempf, 2022 North Broad street, Philadelphia.

**Residence and Office (alts. and add.)**, 1701-03 Hunting Park avenue, Philadelphia, \$3,150. Owner, J. Lange, on premises. Brick, 2 stories add., 12x14 feet, general alterations. Contract awarded to Charles I. Stoutenburgh, 6033 North Tenth street, Philadelphia.

**Manufacturing Building**, Northwest Corner Mole and Ranstead streets, \$50,000. Architect, private plans. Owner, A. S. Tourison, 7014 Boyer street, Philadelphia. Brick, steel, 3 stories, 50x63 feet, slag roof, yellow pine floors, steel sash, plumbing, steam heat, electric work. Contract awarded to Robert E. Lamb Co., 843 North Nineteenth street, Philadelphia.

**Residence (add.)**, 8405 Germantown ave-

nue, Philadelphia, \$3,000. Architect, private plans. Owner, Joseph Condello, on premises. Brick, 3 stories add., 17x4 feet, 2 stories add., 16x13 feet. Contract awarded to W. De Petrie, 1625 South Twenty-first street, Philadelphia.

**Garage**, Northeast Corner Twenty-fifth and Berks streets (rear), Philadelphia, \$2,800. Architect, private plans. Owner, M. F. O'Connell, on premises. Brick, 1 story, irregular size, slag roof, cement floors. Contract awarded to Thomas J. Morris, 1831 North Croskey street, Philadelphia.

**Manufacturing Building (alts. and add.)**, West side Nixon street, North of Fountain street, Philadelphia, \$20,000. Architect, private plans. Owners, Philadelphia Paper Mfg. Co., on premises. Steel, 1 story add., 62x173 feet, 16x91 feet, slag roof, cement floors, steel sash, electric light. Contract awarded to Hughes-Foulkrod Co., 1408 Commonwealth Building.

**Residences (8)**, South side Rhawn street, West of Jackson, \$5,000 each. Architect, private plans. Owner, H. Walter Geuther, 2513 North Front street, Philadelphia. Brick, 2 stories, 16 feet 4 inches x 38 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Residence and Store (add.)**, 703 East Cheltenham avenue, \$4,000. Architect, private plans. Owner, A. Bommentro, on premises. Brick, 1 story, 29x16 feet, 12x10 feet, general alterations. Contract awarded to John Roman, 414 East Brighthurst street, Philadelphia.

**Residence (alts.)**, Northwest Corner Arrott and Leiper streets, \$4,000. Architect, private plans. Owner, James Bromiley, on

premises. General alterations. Contract awarded to George H. Thirsk, 4305 Horrocks street, Philadelphia.

**Residence (add.)**, 606 Spruce street, Philadelphia, \$4,000. Architect, private plans. Owner, Nathan Walek, on premises. Brick, 3 stories add., 12x38 feet, slag roof. Contract awarded to Copeland Const. Co., 1218 North Seventh street.

**Store and Residence (alts. and add.)**, 250 East Haines street, \$3,000. Architect, private plans. Owner, Louis Lupinacci, 444 High street, Philadelphia. Brick, 1 story, 12x25 feet, second and third stories, 12x14 feet, alterations. Contract awarded to Raymond Const. Co., 5609 Germantown avenue.

**Garage**, 5425 Wyalusing avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Margaret Brassill, on premises. Brick, 1 story, 40x18 feet, 18x24 feet, slag roof, cement floors. Contract awarded to Thomas Brassill, 5425 Wyalusing avenue.

**Store and Residence (add.)**, 1629 North Fifty-second street, Philadelphia, \$2,840. Architect, private plans. Owner, David Levinson, on premises. Brick, 1 story add., 16x12 feet, electric light. Contract awarded to Lester M. Shestack, 826 Arch street, Philadelphia.

**Apartment House (alts.)**, 4726-28 Chestnut street, \$2,500. Architect, private plans. Owner, Charles Solon, 4700 Chestnut street, Philadelphia. General alterations. Contract awarded to W. A. Evitts, 5001 Chestnut street, Philadelphia.

**Garage**, 5505 North Fairhill street (rear), \$2,450. Architect, private plans. Owner, B. D. Hardford, on premises. Brick, 1 story, 52 feet 4 inches x 18 feet, slag roof, cement



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floors. Contract awarded to Fred Piccarr, 07 North Fairhill street.

**Residence and Store (add.),** 2511 West Lehigh avenue, \$2,000. Owner, Mrs. Carmella Di Giocomo, 2122 West Toronto street, Philadelphia. Brick, 1 story add., 16x22 feet, slag roof, electric light. Contract awarded to G.

Salvato, 2211 West Toronto street, Philadelphia.

**Business Building (alts.),** Northeast Corner Twenty-sixth and Poplar streets, \$2,000. Owner, A. L. Wyland, 2531 Poplar street, Philadelphia. General alterations. Contract awarded to Frank Stites, 2500 Poplar street, Philadelphia.

## PENNSYLVANIA Construction News

**Office Building (alts. and add.),** Sixth and Welsh, Chester, Pa. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owners, Philadelphia & Suburban Gas & Electric Company, Chester, Pa. Architects taking bids due September 16th. (Note extension of time.)

**Residences (2),** Lawndale, Pa. Architect, private plans. Owner, Perry T. McCluskey, 419 Luray street, Philadelphia. Concrete block, stone foundations, 2 stories, hot water heat, electric light, tile work, slag roof, parquet floors, plaster and stucco, plumbing. Owner will build and is taking sub-bids.

**Office Building,** Windber, Somerset County, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owners, Windber Electric Co., Windber, Somerset County, Pa. Preliminary plans in progress.

**Church,** Steelton, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, care of Rev. Warner Brown, Steelton, Pa. Plans in progress.

**Residence (alts. and add.),** Reading, Pa. Architect, Earl Hickman, 148 South Fifth street, Reading, Pa. Owner, J. Strout, care of architect. Brick, 2½ stories, 18x24 feet, slate roof, pine floors, hot water heat, electric light, tile work. Plans in progress.

**Orphanage,** Millmont, Pa. Architect, G. C. Freeman, Reading, Pa. Owners, Bernardine Sisters of St. Francis, Mother M. Hedwig, Superior, Millmont, Pa. Brick, granite, steel, 3 stories and basement, 240x69 feet, wing 83x58 feet, clay tile roof, oak and pine and maple floors, safety treads, roof ventilators, waterproofing, architectural terra cotta, ornamental iron work, steel shutters, floor hardener, bond, hollow metal doors, rolling steel skylights and sash, metal lath. Architect taking bids due September 30th.

**Lancaster County Memorial,** Elizabethtown, Pa. Architect, Edgar A. Wightman, Bankers' Trust Building, Philadelphia. Owners, R. W. Grand Lodge, F. and A. M., S. M. Goodyear, Elizabethtown, Pa. Stone, cut stone, limestone, brick, steel, 2 stories and basement, 108x43 feet (plumbing, heating, electric, granite for face stone work reserved), slate roof, cement, maple, composition floors, metal weather strip, ornamental iron work, floor hardener, bond, tile work, metal lath. Owners taking bids due September 15th at noon (Daylight Saving Time).

**Terminal Warehouse,** Bethlehem, Pa. Architects, Morris & Dunford, 110 East Forty-second street, New York City. Owners, Lehigh and New England Terminal Warehousing Co., Bethlehem, Pa. Brick, structural concrete, steel, 7 stories and basement, 200x150 feet, slag roof, cement floors, eleva-

tors, plumbing, metal window guards, shoring, waterproofing and dampproofing, ornamental iron work, floor hardener, fire and kalamein doors, rolling steel skylights and sash, tile, marble and terrazzo work, metal lath, steam heat, electric light, ornamental plastering, precast concrete, wrought iron pipe. Architect taking bids due September 22nd.

**Telephone Building,** West Chester, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 3 stories, 48x50 feet, slag roof, cement floors, steam heat, electric light, metal lath, tile work, rolling steel sash, ornamental iron work, waterproofing. Architect taking bids due September 12th.

**Store and Office,** Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, C. Breneiser & Son, Seventh and Penn streets, Reading, Pa. Fireproof, steel, 3 stories, 45x60 feet, composition roof, maple floors, steam heat, electric light, metal lath, plate glass, bronze work, ornamental iron work. Architect taking bids due September 17th.

**Hotel, Store and Restaurant and Dance Hall,** Ashland, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Anton and Peter H. Loeper, Ashland, Pa. Brick, steel, 4 stories, 50x125 feet, slag roof, wood and cement floors, elevators, tile and marble work, steam heat, electric. Architect taking new bids due September 11th at noon.

**Residence,** Lancaster, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, H. Hershe, Lancaster, Pa. Frame, 2½ stories, 30x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Architect taking bids due September 20th.

**Apartment and Store (alts. and add.),** 225 North Second street, Harrisburg. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, A. Blake, on premises. Brick, 1 story, 35x75 feet, slag roof, maple floors, city heat, electric light, tile and marble work, interior alterations. Architects taking bids due September 15th.

**Stores and Apartment (alts. and add.),** Marietta, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, Barr Spangler, Marietta, Pa. Brick, steel, 3 stories, 60x100 feet, slag roof, hardwood floors, tile work, electric light, copper work, bronze work. Architect taking bids due September 20th.

**Residence,** River Road, Berks County, Pa. Architect, Earl Hickman, 148 South Fifth

street, Reading, Pa. Owner, E. E. Hafer, 408 North Ninth street, Reading, Pa. Cinder block, stucco, 2 stories, 30x34 feet, asbestos and slate roof, yellow pine floors, vapor heat, electric light, tile work. Architect taking bids.

**Hospital Building,** Clearfield, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owners, Stewart Clinic, Inc., Clearfield, Pa. Brick, steel, fireproof, 3 stories and basement, 30x67 feet, Johns Manville roof, cement floors, hollow tile, metal lath, tile work, plumbing, vapor heat, electric light, kalamein doors, ornamental iron work, interior telephones, plumbing, mill work (kitchen equipment and refrigeration separate bids). Architect taking sub-bids.

**Rectory,** Baltimore avenue, Lansdowne, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, St. Philomena's Roman Catholic Church, Rev. F. J. Markee, on premises. Stone, 3 stories, slate roof, hardwood floors, electric, tile and marble work. Ready for bids in a few days.

**Residence and Garage,** 230-34 North Eleventh street, Reading, Pa. Architect, Earl Hickman, 148 South Fifth street, Reading, Pa. Owners, J. and D. Maurer, Jr., on premises. Brick, stone trim, 2 stories, 40x70 feet, concrete roof, hardwood and concrete floors, hot water heat, electric light. Owners will build.

**Hotel (alts. and add.),** Ephrata, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, H. Von Neida, Ephrata, Pa. New plaster, shingle roof, hardwood floors, tile work, general interior alterations. Owner will build.

**Bank Building (alts. and add.), Store and Apartment,** Darby, Pa. Architect, T. A. Stoutenberg, 446 North American street, Philadelphia. Owner, Robert J. Wagner, 916 Main street, Darby, Pa. General alterations and additions. Plans in progress. Architect will be ready for bids in a week.

**Road Work,** Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa. Owners taking bids due September 23rd at 10 A. M.

Eric County, R-88,304, A-2910, Amity Township, 17,562 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$3,000.

Indiana County, R-68,223, Burrell Township, 1,733 feet. One course reinforced concrete. Certified check, \$1,000.

Lackawanna County, R-5, Lackawanna Township, Moosic Borough, 18,997 feet. One course reinforced concrete. Certified check, \$3,500.

Lebanon County, R-149, Jackson Township, Myerstown Borough, 1,400 feet. One course reinforced concrete. Certified check, \$1,000.

Northumberland County, R-336, Jackson, Jordan and Lower Mahoney Townships, 15,765 feet. One course reinforced concrete. Certified check, \$2,500.

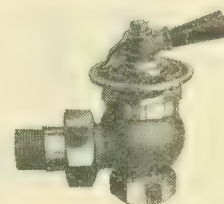
Venango County, R-65, Sec. 1B, Cranberry Township, 10,464 feet. One course reinforced concrete. Certified check, \$2,000.

Washington County, R-242, Hopewell and Independence Townships, 9,658 feet. One course reinforced concrete. Certified check, \$1,500.

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## Pennsylvania

### Contracts Awarded

**Bridge**, 75-34, North of Hamberg, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad, Twelfth and Market streets, Philadelphia. Reinforced concrete steel. Contract awarded on grading and masonry to H. Denberger, Bethlehem, Pa. On waterproofing, Johns Manville Co., 210 North Broad street, Philadelphia.

**Road Work**, Pennsylvania. Owners, Department of Highways, Harrisburg, Pa.

Venango County, A-2276, Oil Creek Township, 24,871 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded William W. Wilt, Franklin, Pa. \$67,563.85.

Venango County, A-2004, Sugar Creek Township, 5,002 feet. One course reinforced concrete. \$196,163.05. Contract awarded to Colonial Const. Co., Pittsburgh, Pa.

York County, R-333, Newberry, Conewago and Manchester Townships. One course reinforced concrete. \$432,106.75. Contract awarded to Ambler-Davis Co., Harrison Building, Philadelphia.

Erie County, R-258, A-2883, 2908, McKean Township, Middleboro Borough, 19,950 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$169,991.18. Contract awarded to Jamieson & Narlee Co., Fredonia, Pa.

Lycoming County, A-1381, Clinton Township, 13,406 feet. One course reinforced concrete. \$124,969.11. Contract awarded to Thomas B. Evans, Danville, Pa.

**Dormitories, Boiler House and Moving of Observatory**, Lancaster. Architects, Day & Klauder, 1416 Chestnut street, Philadelphia. Owners, Franklin and Marshall College, Lancaster, Pa. Brick, cut stone, steel, reinforced concrete, Franklin Hall and Byron Hall, 3 stories, 118x34 feet, Duty Hall and Dantie Hall, 3 stories, 118x34 feet, slate roof, cement floors, plumbing, waterproofing, ornamental iron work, bond, kalamein doors, marble and terrazzo work, metal lath, electric light, vacuum heat (Reading wrought iron pipe, Reading or Byers galvanized iron pipe, fireproofing. Contract awarded to Herman Wohlsen, Lancaster, Pa.

**Gymnasium**, Lancaster, Pa. Architect, William C. Prichett, 225 South Sixth street, Philadelphia. Owners, Franklin and Marshall College, Lancaster, Pa. Brick, stone, steel, 1½ stories, 129x57 feet 10 inches (plumbing, heating, electric reserved), slate roof, cement and pine floors, hollow tile, waterproofing, ornamental iron work, bond, rolling steel sash, marble work, Reading or Byers iron pipe. Contract awarded Herman Wohlsen, Lancaster, Pa.

**Rectory**, Tuscarora, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Raphael's Roman Catholic Church, Rev. E. J. Boyle, Tuscarora, Pa. Brick, 2 stories, 32x38 feet, shingle roof, hardwood floors (heating reserved), electric light, tile work. Contract awarded to D. Hopples, Tamagua, Pa.

**Rectory**, Minersville, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Stanislaus' Polish Church, Rev. A. K. Bizonoski, Minersville, Pa. Brick, 2½ stories, 32x47 feet, slate roof, hardwood floors, hot water heat, electric light, tile work.

Contract awarded to Mr. Flail, Pottsville, Pa.

**Office Building (alts. and add.)**, Harrisburg, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Pennsylvania State Chamber of Commerce, Harrisburg, Pa. Brick, limestone, 3 stories, 30x30 feet, tin roof, cork, hardwood and tile floors, central heat, electric light, tile work, metal stairs. Contract awarded to Central Const. Co., Seventh and Emerald streets, Harrisburg, Pa.

**Residences (17)**, Lancaster, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Heidelbaugh Coal Co., Lancaster, Pa. Brick, 2 stories, 20x30 feet, hot air heat, electric light, pine floors. Contract awarded to Walter Zook, Lancaster, Pa.

**Chester Central Office Building (alts.)**, 20 East Fifth street, Chester, Pa. Engineer, Engineer of Buildings, 261 North Broad street, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, masonry, carpentry and mill work, cement work, electric wiring, heating alterations, metal work, painting and glazing, plastering, plumbing alterations, tile work. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

**Road Work**, Pennsylvania. Owners, Pennsylvania Department of Highways, Harrisburg, Pa.

Fayette County, A-1216, Nicholson Township, 9,024 feet. One course reinforced concrete. \$83,441. Contract awarded to Georges Const. Co., Uniontown, Pa.

Northumberland County, R-18, Turbot and Delaware Townships and Watsonstown Borough, 11,041 feet. One course reinforced concrete. Contract awarded to Walter A. Godcharles, Milton, Pa. \$89,858.69.

Franklin County, A-585, Quiney Township and Mont Alto Borough, 11,862 feet. One course reinforced concrete. \$96,900.12. Contract awarded to Frey Const. Co., Inc., York, Pa.

Owners taking bids due as soon as possible.

**Police Station (alts.)**, South Broad street, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, City of Trenton, care of Commissioner La Barre, City Hall, Trenton, N. J. Steel lockers, gymnasium equipment, screening. Owners taking bids due September 19th.

**Bridges (2)**, Atlantic County, N. J. County engineer, A. H. Nelson, Atlantic City, N. J. Owners, Board of Chosen Freeholders of Atlantic County, Atlantic City, N. J. Bridge No. 23, Weymouth Dam, Hamilton Township. Bridge No. 45, South River, Hamilton Township. Owners taking bids due September 11th.

**Detention House**, Pensauken, Camden County, N. J. Architects, Lackey & Hettle, 5 Hudson street, Camden, N. J. Owners, Board of Chosen Freeholders Camden County, F. G. Riggins, Camden. Low bidders: J. M. Yardley, 1730 Sansom street, Philadelphia, \$194,791; H. John Homan Co., Eighteenth and Cherry streets, Philadelphia, \$198,990.

## New Jersey

### Contracts Awarded

**Jail**, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, City of Atlantic City, Atlantic City, N. J. Contract awarded to Lam Building Co., 1001 Wood street, Philadelphia.

**Residence and Garage**, Merchantville, N. J. Architect, Dale Truscott, 225 South Jessup street, Philadelphia. Owner, David Lynn Truscott, Merchantville, N. J. Brick, steel, cut stone, 2½ stories and 1½ stories, 72x38 feet, garage 24x18 feet, slate roof, linoleum, oak, pine and cement floors, painting and glazing, waterproofing, ornamental iron work, bond, tile work, metal lath, flagstone. Contract awarded Carl E. Widell, Woodiynne, N. J.

## New Jersey

### Construction News

**School**, Alloway, Salem County, N. J. Architect, Walter Custer, Bridgeton, N. J. Owners, Board of Education, Alloway, N. J. Architect selected. Preliminary plans in progress.

**Rectory (add.)**, Perth Amboy, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, Holy Trinity Roman Catholic Church, Perth Amboy, N. J. Brick, 2½ stories, 18x46 feet, slate roof, hardwood floors, electric light, tile work. Plans in progress.

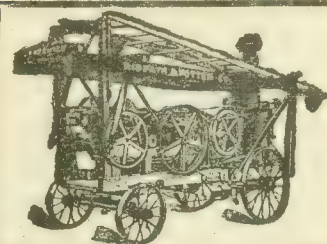
**Pump House and Car Repair Shop**, River avenue and Federal, Camden, N. J. Architect, private plans (General Engr. Dept.). Owners, Standard Oil Co., Elizabeth, N. J. Reinforced concrete, hollow tile, 1 story, 12x27 feet, 12x16 feet, concrete roof, concrete floors, hollow tile, roof ventilators, rolling steel sash, fire doors, electric lighting.



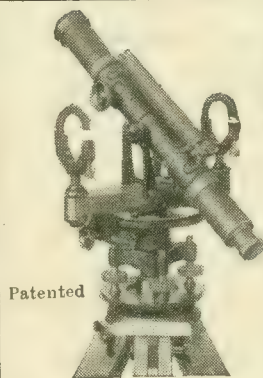
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## Miscellaneous Construction News

**High School**, Seneca Falls, N. Y. Architects, Tooker & Marsh, 101 Park avenue, New York. Owners, Board of Education of Seneca Falls, Union Free School District, Seneca Falls, N. Y. Brick, reinforced concrete, steel, stone, 3 stories, 160x136 feet, built-up asbestos roof (plumbing, heating, electric work reserved), metal tile floors, maple, cement and linoleum floors, metal lath, slate, tile, marble and terrazzo work, metal partitions, copper skylights, kalamein doors, bond, ornamental iron work, iron stairs, architectural terra cotta, waterproofing, metal weather strips, roof ventilators. Contract

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awarded to Braas Brothers Co., Inc., Niagara Falls, N. Y.

**Administration Building**, Bucksport, Maine. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owners, East Maine Conference Seminary, Bucksport, Maine. Brick, 3 stories and basement, 60x90 feet, slag roof, wood floors, electric light. Owners taking general bids.

**Chapel, Auditorium, College Building (east wing add.)**, Woodstock, Md. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, Woodstock College, Woodstock, Md. Granite, 2 stories, 50x104 feet, east wing, 4 stories and basement, 47x109 feet, slate roof, concrete floors, steam heat, electric light, tile and marble work. Plans in progress. Architect will be ready for bids around October 1st.

**Road Work**, Delaware. Owners, State Highway Department, Dover, Delaware. Low bids on work received September 3rd, 1924:

Contract 25-C, concrete approach at Smyrna, Del., 0.01 miles. Smyrna Cement Products Co., Smyrna, Del. \$1,935.55.

Contract CS-34, Dagsboro, towards Vines Creek, 1.53 miles. Field, Barker & Underwood, Commercial Trust Building, Philadelphia. Slag concrete, \$49,651.25; stone concrete, \$46,870.25.

Contract CN-21, Mermaid to Valley Road, 2.22 miles. Stewart & Donohue, Wilmington, Del. \$107,080.70.

(Continued from Page 580)

PENNSYLVANIA: Oil City, (Interim), 1924.

SOUTH CAROLINA: Columbia, Comp., 1924.

WISCONSIN, Beloit, Comp., 1924; Kenosha, Comp., 1924.

\* \* \*

### "INCREASED INTEREST AT ZONING LAWS"

The people of the United States are showing an increased interest in zoning to control the use, height and area of buildings in various districts of their communities, and in consequence zoning laws have been enacted or are being considered by nearly every state in the Union. The first step is to adopt a state zoning enabling act after which the authorities of the cities, towns, boroughs, villages or other municipalities may adopt zoning ordinances to fit local conditions.

Thirteen of the states that have enacted zoning legislation since January 1, 1923, have used all or a substantial portion of "A Standard State Zoning Enabling Act," which was prepared by the Advisory Committee on Zoning of the Department of Commerce to serve as a model for those desiring to introduce zoning legislation in their States. The great care used in

the preparation of the Standard Act had much to do with its favorable reception.

During 1925 the legislatures of 34 states will meet, most of them early in January, and it is expected that zoning legislation will occupy a prominent place on the legislative calendars. In nine of these states which have not as yet passed zoning legislation, various groups plan to have zoning enabling acts considered early in the sessions. In some of the other 25 states, which now have zoning laws, plans are being made to extend the application of their acts since they grant the privilege of zoning only to single cities or specific groups.

The thirteen states which have used the Standard Act in whole or in part since its tentative publication in 1923, are as follows:

COLORADO: Acts of 1923, Chapter 182.

DELAWARE: Laws of 1923, H. B. No. 29.

ILLINOIS: Laws of 1923, H. B. No. 478.

IOWA: Laws of 1923, Chapter 134.

NEVADA: Laws of 1923, Chapter 125.

NEW JERSEY: Laws of 1924, Chapter 146.

NORTH CAROLINA: Laws of 1923, Chapter 250.

NORTH DAKOTA: Laws of 1923, H. B. No. 8.

OKLAHOMA: Laws of 1923, H. B. No. 204.

PENNSYLVANIA: Laws of 1923, Act 93.

RHODE ISLAND: Acts of 1923, Chapter 2315.

SOUTH CAROLINA: Laws of 1924.

WYOMING: Acts of 1923, Chapter 78.

### TOO MANY ODD SIZE DOORS. MILLWORK COMPANIES CLAIM; SEEK SIMPLIFICATION !

Likelihood of early surveys leading to a reduction in the types and sizes of doors manufactured by the millwork industry throughout the country has been indicated by the Division of Simplified Practice, Department of Commerce. Suggestions for such action have come to the Division from two important sources. One of these the Southern Sash Door and Millwork Manufacturers' Association in a convention held recently in Asheville, N. C., adopted formal resolutions endorsing the lumber standardization program adopted a few months ago and which became effective on July 1. The other was from a big manufacturing company in Tacoma, Washington.

"We are wondering," wrote this firm, "if some action could not be taken in the stock door industry to eliminate many needless types and sizes of doors which



the manufacturers are called upon to make. \* \* \* There are certain standard types and sizes of doors which constitute the bulk of the doors manufactured in stock factories. There are, however, many customers who order a stock pattern, but who insist on some slight deviation, usually for no better reason than the fact that they have always received them in this way before. \* \*

"We are confident that the stock door factories in this section would welcome some effort to simplify the business. \* \* We also believe that the distributors and dealers in sash and doors would be in favor of such a movement."

Indications have shown that Southern dealers in this commodity are heartily in favor of a simplification of sash, doors and millwork generally; and the subject is being investigated in other sections of the country to ascertain the reactions of the distributors and dealers, the Division reported.

The Radiator Cabinet Company has recently been organized as a subsidiary of the Sheffler-Gross Company, Inc., to market the Ja-Nar Radiator Cabinet, manufactured by the Fulton Company, Knoxville, Tenn. - This Cabinet is designed to cover radiators and do away with the soiling of walls and draperies which is such a common sight with bare radiators. At the same time, the radiators are converted into beautiful pieces of furniture and can be made to harmonize with the interior. These Cabinets are made of a high grade of furniture steel with a wood finish or solid color finish, baked enameled on the surface. The interior of the Cabinet is insulated with a very high grade of heat fibre which has the same insulating properties as 8 inches of brick, thereby, allowing the outside of the cover to be at the same temperature as the room air. On this account, flowers can be placed on the top of this Cabinet as well as vases or other artistic objects. At the same time recessed radiators can be concealed so that the front of the cabinet can be made flush with the wall. These Cabinets are made in three styles as follows:

*First:* With a Thermostatic Control to open and close a series of shutters behind the openings in the Cabinet, thereby assuring a uniform temperature in the room.

*Secondly:* With a hand control, whereby, these shutters can be opened and closed by a little lever handle placed on the outside of the Cabinet.

*Thirdly:* Just as the ordinary Cabinet without any kind of control.

As there is sufficient clearance around the radiator and correct insulation with an opening at the bottom, the covering of the radiators does not decrease at all the heating efficiency.

The Radiator Cabinet Company is equipped to furnish radiator shields, grilles and other materials covering the entire field of radiator concealment.

The Annual Meeting of the Philadelphia Builders' Exchange and Employers' Association will be held Tuesday, September 16th, 2.00 P. M., at the Exchange's offices, 1716 Arch Street, when the result of the election of Officers and Directors for the ensuing year will be announced, and when such other business will be transacted as may properly come before the organization at that time.

### STANDARD CONSTRUCTION CONTRACTS READY

*Documents for Building and Railroad Work Prepared*

**T**HE Joint Conference on Standard Construction Contracts after some two and a half years of effort devoted to the formulation of contract principles based upon sound economics, has embodied the results of its work into two forms of contract, one for the construction of buildings and one for the construction of engineering projects.

The first tentative draft of these documents was printed and distributed for criticism in April, 1922, the second draft in November, 1922, and the third draft, which completed the work of the conference on these two forms, in March, 1924. The third draft is issued by the Joint Conference in the belief that it represents the best expression of principles that the architectural, engineering and contracting world is prepared at this time to accept.

In the present documents, the right of arbitration is limited to matters of time and financial consideration, thus reserving to the architect or engineer final decision in technical and other matters. This type of arbitration, the form most widely approved in the associations represented, is believed to have overcome the principal objections to the use of arbitration in construction.

The following resolution passed by the Conference at the meeting in Washington, March 20, 1924, outlines its attitude with respect to the forms issued.

#### *Resolution*

"WHEREAS, The Joint Conference on Standard Construction Contracts has spent over two years in investigating, discussing and formulating contract provisions for use in construction work, and

has twice during that time printed and distributed for discussion and criticism the tentative provisions developed; and

"WHEREAS, During this procedure the various groups of thought presented have been analyzed and co-ordinated into contract provisions, based upon sound economics, and designed to establish more uniform contracting practices; and

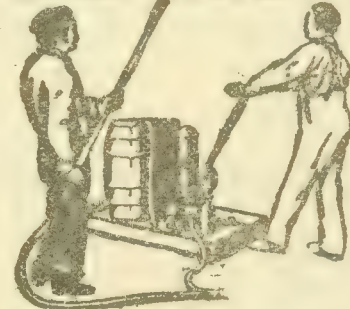
"WHEREAS, The Conference recognizes that certain National Associations are reluctant to accept a universal contract form with modification of some of its provisions for their particular needs, but believe that in time a practical uniformity of contract practice can be established if leading National Associations interested in construction will endorse and recommend use of the principles approved by the Conference; and

"WHEREAS, The Conference has adopted a contract form for building construction, and a form for general engineering construction, which in its judgment presents the best practice that the architectural, engineering and contracting world is now prepared to accept.

"THEREFORE BE IT RESOLVED: That these two contract forms be submitted to each of the constituent bodies of the Conference with the urgent request that each confirm the conclusions of the Conference, and that these contracts be used wherever possible to the exclusion of other contract forms and with as little change or modification as possible."

In order to avoid any danger of destroying the copy-rights on existing standard documents, parts of which the Joint

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Conference has incorporated into its own forms, the copyrights of the Conference Documents have been placed with the American Institute of Architects.

*Index to the Articles of the General Conditions*

1. Definitions.
2. Execution, Correlation and Intent of Documents.
3. Detail Drawings and Instructions.
4. Copies Furnished.
5. Shop Drawings.
6. Drawings and Specifications on the Work.
7. Ownership of Drawings and Models.
8. Samples.
9. Materials, Appliances, Employees.
10. Royalties and Patents.
11. Surveys, Permits and Regulations.
12. Protection of Work and Property.
13. Inspection of Work.
14. Superintendence: Supervision.
15. Changes in the Work.
16. Claims for Extra Cost.
17. Deductions for Uncorrected Work.
18. Delays and Extension of Time.
19. Owner's Right to do Work.
20. Owner's Right to Terminate Contract.
21. Contractor's right to stop work or terminate contract.
22. Correction of Work Before Final Payment.
23. Correction of Work after Final Payment.
24. Applications for Payments.
25. Certificates of Payments.
26. Payments Withheld.
27. Contractor's Liability Insurance.
28. Owner's Liability Insurance.
29. Fire Insurance.
30. Guaranty Bonds.
31. Damages.
32. Liens.
33. Assignment.
34. Mutual Responsibility of Contractors.
35. Separate Contracts.
36. Subcontracts.
37. Relations of Contractor and Subcontractor.
38. Cash Allowances.
39. Architect's Status.
40. Architect's Decisions.
41. Arbitration.
42. Use of Premises.
43. Cutting, Patching and Digging.
44. Cleaning Up.

**STANDARD AGREEMENT FOR CONSTRUCTION OF BUILDINGS**

*Issued by the Joint Conference on Standard Construction Contracts*

THIS AGREEMENT made the ..... day of ..... in the year Nineteen Hundred and ..... by and between ..... hereinafter called the Contractor, and .....

...hereinafter called the Owner, WITNESSETH, that the Contractor and the Owner for the considerations hereinafter named agree as follows:

*Article 1. Scope of the Work*—The Contractor shall furnish all of the materials and perform all of the work shown on the Drawings and described in the Specifications entitled

(Here insert the caption descriptive of the work as used on the Drawings and in the Other Contract Documents) prepared by ..... acting as, and in these Contract Documents entitled the Architect; and shall do everything required by this Agreement, the General Conditions of the Contract, the Specifications and the Drawings.

*Article 2. Time of Completion*—The work to be performed under this Contract shall be commenced ..... and shall be substantially completed .....

(Here insert stipulation as to liquidated damages if any.)

*Article 3. The Contract Sum*—The Owner shall pay the Contractor for the performance of the Contract, subject to additions and deductions provided therein in current funds as follows: ..... State here the lump sum amount, unit prices, or both, as desired in individual cases.)

Where the quantities originally contemplated are so changed that application of the agreed unit price to the quantity of work performed is shown to create a hardship to the Owner or the Contractor, there should be an equitable adjustment of the Contract to prevent such hardship.

*Article 4.—Progress Payments*—The Owner shall make payments on account of the Contract as provided therein, as follows:

On or about the ..... day of each month ..... per cent of the value based on the Contract prices, of labor and materials incorporated in the work and of materials suitably stored at the site thereof up to the first day of that month, as estimated by the Architect, less the aggregate of previous payments; and upon substantial completion of the entire work, a sum sufficient to increase the total payments to ..... percent of the contract price.

(Insert here any provision made for limiting or reducing the amount retained after the work reaches a certain stage of completion.

*Article 5. Acceptance and Final Payment*—Final payment shall be due ..... days after substantial completion of the work provided the work be then fully completed and the Contract fully performed.

Upon receipt of written notice that the work is ready for final inspection and acceptance, the Architect shall promptly make such inspection, and when he finds the work acceptable under the Contract

and the Contract fully performed he shall promptly issue a final certificate, over his own signature, stating that the work provided for in this Contract has been completed and is accepted by him under the terms and conditions thereof and that the entire balance found to be due the Contractor, and noted in said final certificate, is due and payable.

Before issuance of final certificate the Contractor shall submit evidence satisfactory to the Architect that all payrolls, material bills and other indebtedness connected with the work have been paid.

If after the work has been substantially completed full completion thereof is materially delayed through no fault of the Contractor and the Architect so certifies, the Owner shall, upon certificate of the Architect, and without terminating the Contract, make payment of the balance due for that portion of the work fully completed and accepted. Such payment shall be made under the terms and conditions governing final payment, except that it shall not constitute a waiver of claims.

*Article 6. The Contract Documents*—The General Conditions of the Contract, the Specifications and the Drawings, together with this Agreement form the Contract, and they are as fully a part of the Contract as if hereto attached or herein repeated. The following is an enumeration of the Specifications and Drawings: (enumeration is inserted here.)

IN WITNESS WHEREOF the parties hereto have executed this Agreement, the day and year first above written.

(Index appearing above is carried here in document.)

*Art. 1. Definitions.*

(a) The Contract Documents consist of the Agreement, the General Conditions of the Contract, the Drawings and Specifications, including all modifications thereof incorporated in the documents before their execution. These form the Contract.

(b) The Owner, the Contractor and the Architect are those mentioned as such in the Agreement. They are treated throughout the Contract Documents as if each were of the singular number and masculine gender.

(c) The term subcontractor, as employed herein, includes only those having a direct contract with the Contractor and it includes one who furnishes material worked to a special design according to the plans or specifications of this work, but does not include one who merely furnishes material not so worked.

(Continued Next Issue)



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**ELEVATOR DOOR HANGERS.**  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

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McDevitt, John F.....1403 N. 20th St., Phila.

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**FENCES.**  
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Potts, Horace T., & Co. ...Erie Ave. and "D" St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

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Cox, Abram, Stove Co.,  
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Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

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**GAS RANGES.**  
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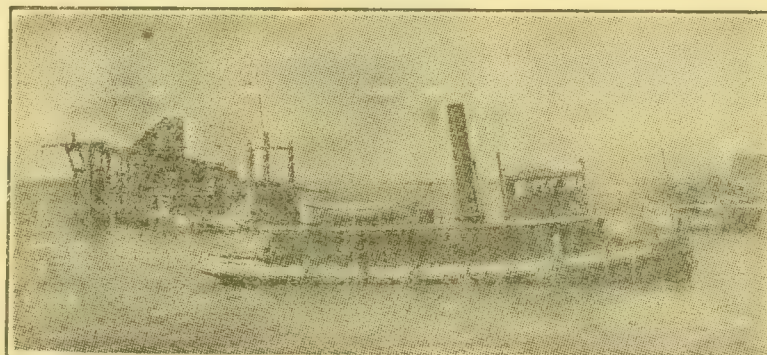
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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 38  
September 17, 1924

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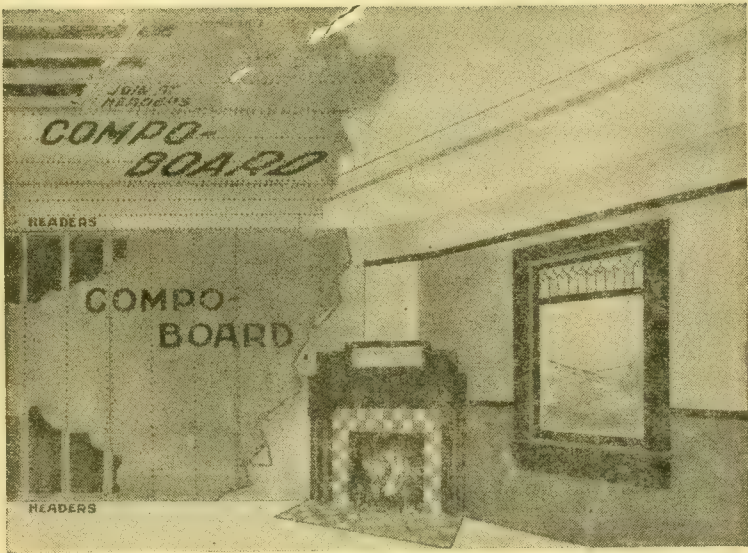
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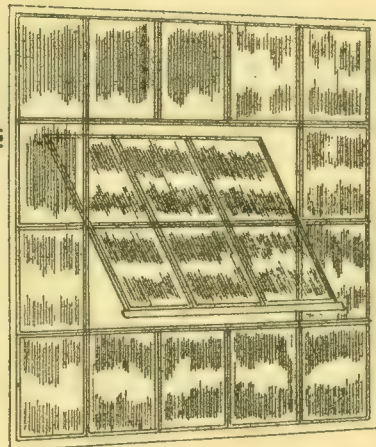
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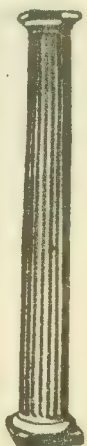


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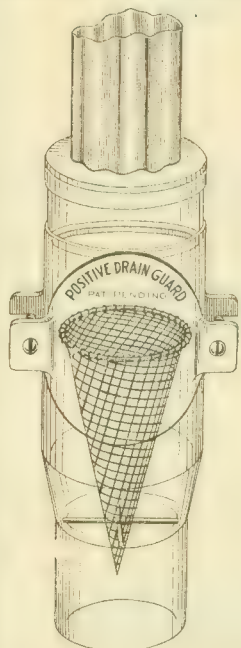
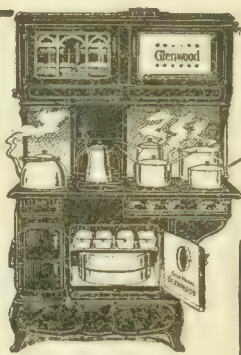


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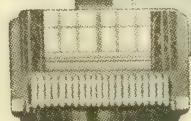
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 38

PHILADELPHIA  
September 17, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## As The Editor Sees It



### STANDARD AGREEMENT FOR CONSTRUCTION OF BUILD- INGS

Issued by the Joint Conference on Stand-  
ard Construction Contracts

(Continued from last issue)

- (d) Written notice shall be deemed to have been duly served if delivered in person to the individual or to a member of the firm or to an officer of the corporation for whom it is intended, or if delivered at or sent by registered mail to the last business address known to him who gives the notice.
- (e) The term "work" of the Contractor or Subcontractor includes labor or materials or both.
- (f) All time limits stated in the Contract Documents are of the essence of the contract.
- (g) The law of the place of building shall govern the construction of this Contract.

*Art. 2. Execution, Correlation and Intent of Documents.*—In case the Owner and Contractor fail to sign the General Conditions, Drawings or Specifications, the Architect shall identify them.

The Contract Documents are complementary, and what is called for by any one shall be as binding as if called for by all. The intention of the documents

is to include all labor and materials, equipment and transportation necessary for the proper execution of the work. It is not intended, however, that materials or work not covered by or properly inferable from any heading, branch, class or trade of the specifications shall be supplied unless distinctly so noted on the drawings. Materials or work described in words which so applied have a well known technical or trade meaning shall be held to refer to such recognized standards.

*Art. 3.—Detail Drawings and Instructions.*—The Architect shall furnish with reasonable promptness, additional instructions, by means of drawings or otherwise, necessary for the proper execution of the work. All such drawings and instructions shall be consistent with the Contract Documents, true developments thereof, and reasonably inferable therefrom. The work shall be executed in conformity therewith and the Contractor shall do no work without proper drawings and instructions.

The Contractor and the Architect, if either so requests, shall jointly prepare a schedule, subject to change from time to time in accordance with the progress of the work, fixing the dates at which the various detail drawings will be required, and the Architect shall furnish them in accordance with that schedule. Under like conditions, a schedule shall be prepared, fixing the dates for the submis-

sion of shop drawings, for the beginning of manufacture and installation of materials and for the completion of the various parts of the work.

*Art. 4. Copies Furnished.*—Unless otherwise provided in the Contracts Documents the Architect will furnish to the Contractor free of charge, all copies of drawings and specifications reasonably necessary for the execution of the work.

*Art. 5. Shop Drawings.*—The Contractor shall submit with such promptness as to cause no delay in his own work or in that of any other Contractor, two copies of all shop or setting drawings and schedules required for the work of the various trades, and the Architect shall pass upon them with reasonable promptness. The Contractor shall make any corrections required by the Architect, file with him two corrected copies and furnish such other copies as may be needed. The Architect's approval of such drawings or schedules shall not relieve the Contractor from responsibility for deviations from drawings or specifications, unless he has in writing called the Architect's attention to such deviations at the time of submission, nor shall it relieve him from responsibility for errors of any sort in shop drawings or schedules.

*Art. 6.—Drawings and Specifications on the Work.*—The Contractor shall keep one copy of all drawings and specifications on the work, in good order.

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available to the Architect and to his representatives.

*Art. 7. Ownership of Drawings and Models.*—All drawings, specifications and copies thereof furnished by the Architect are his property. They are not to be used on other work and, with the exception of the signed Contract set, are to be returned to him on request, at the completion of the work. All models are the property of the Owner.

*Art. 8. Samples.*—The Contractor shall furnish for approval all samples as directed. The work shall be in accordance with approved samples.

*Art. 9. Materials, Appliances, Employees.*—Unless otherwise stipulated, the Contractor shall provide and pay for all materials, labor, water, tools, equipment, light, power, transportation and other facilities necessary for the execution and completion of the work.

Unless otherwise specified, all materials shall be new, and both workmanship and materials shall be of good quality. The Contractor shall, if required, furnish satisfactory evidence as to the kind and quality of materials.

The Contractor shall at all times enforce strict discipline and good order among his employees, and shall not employ on the work any unfit person or any one not skilled in the work assigned to him.

*Art. 10. Royalties and Patents.*—The Contractor shall pay all royalties and license fees. He shall defend all suits or claims for infringement of any patent rights and shall save the Owner harmless from loss on account thereof, except that the Owner shall be responsible for all such loss when a particular process or the product of a particular manufacturer or manufacturers is specified, but if the Contractor has information that the process or article specified is an infringement of a patent he shall be responsible for such loss unless he promptly gives such information to the Architect or Owner.

*Art. 11. Surveys, Permits and Regulations.*—The owner shall make all surveys unless otherwise provided. Permits and licenses of a temporary nature necessary for the prosecution of the work shall be secured and paid for by the Contractor. Permits, licenses and easements for permanent structures or permanent changes in existing facilities shall be secured and paid for by the Owner.

The Contractor shall give all notices and comply with all laws, ordinances, rules and regulations bearing on the conduct of the work as drawn and specified. If the Contractor observes that the drawings and specifications are at variance therewith, he shall promptly notify the Architect in writing, and any neces-

sary changes shall be adjusted as provided in the Contract for changes in the work. If the Contractor performs any work knowing it to be contrary to such laws, ordinances, rules and regulations, and without such notice to the Architect, he shall bear all costs arising therefrom.

*Art. 12. Protection of Work and Property.*—The Contractor shall continuously maintain adequate protection of all his work from damage and shall protect the Owner's property from injury arising in connection with this Contract. He shall make good any such damage or injury, except such as may be directly due to errors in the Contract Documents or caused by agents or employees of the Owner. He shall adequately protect adjacent property as provided by law and the Contract Documents. He shall provide and maintain all passage ways, guard fences, lights and other facilities for protection required by public authority or local conditions.

In an emergency affecting the safety of life or of the work or of adjoining property, the Contractor, without special instruction or authorization from the Architect or Owner, is hereby permitted to act, at his discretion, to prevent such threatened loss or injury and he shall so act, without appeal, if so instructed or authorized. Any compensation claimed by the Contractor on account of emergency work, shall be determined by agreement or Arbitration.

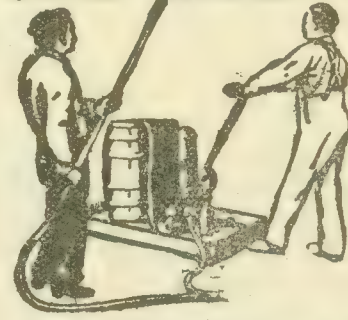
*Art. 13. Inspection of Work.*—The Architect and his representatives shall at all times have access to the work wherever it is in preparation or progress and the Contractor shall provide proper facilities for such access and for inspection.

If the specifications, the Architect's instruction, laws, ordinances or any public authority require any work to be specially tested or approved, the Contractor shall give the Architect timely notice of its readiness for inspection, and if the inspection is by another authority than the Architect, of the date fixed for such inspection. Inspections by the Architect shall be promptly made, and where practicable at the source of supply. If any work should be covered up without approval or consent of the Architect, it must, if required by the Architect, be uncovered for examination at the Contractor's expense.

Re-examination of questioned work may be ordered by the Architect and if so ordered the work must be uncovered by the Contractor. If such work be found in accordance with the contract, the Owner shall pay the cost of re-examination and replacement. If such work be found not in accordance with the contract, the Contractor shall pay such cost, unless he shall show that the defect in the

(Continued on page 608)

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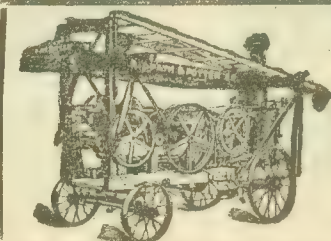
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# Advance Construction News

CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Store and Loft Building (alts. and add.),** 308 North Fourth street, Philadelphia. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owners, Monroe Lederer & Taussig, on premises. Brick, 3 stories. Plans in progress.

**Residence (alts. and add.),** 254 West Walnut Lane, Philadelphia. Architect, A. H. Savery, 1309 Locust street, Philadelphia. Owner, Thomas C. Potts, on premises. Miscellaneous alterations and additions. Plans in progress. Too early for details.

**Apartment House,** Fifty-third and Wynnefield avenue, Philadelphia. Architects, G. Harold Murphy & C. M. Talley, Drexel Building, Philadelphia. Owner, Dr. Louis Baron, care of architect. Stone, brick, concrete, cut stone, steel, 4 stories and basement, 52x190 feet (plumbing, heating, electric, elevators reserved), slag roof, oak and pine floors, metal lath, tile and marble work, elevator doors, metal weather strip, ornamental iron work, blue stone, granite. Owners will take new sub-bids.

**Ice Storage,** 45 East School House Lane, Philadelphia. Architect, John E. Bullock, 34 South Seventeenth street, Philadelphia. Owners, Chelton Ice Co., care of Standard Ice Co., Mr. Dunning, Twenty-seventh and South street. Brick, 1 story, 66x70 feet, asphalt and cork roof, concrete, cork and wood block floors. Owners taking bids.

**Residences (2),** Fifty-first and Wynnefield avenue, Philadelphia. Architect, private plans. Owner, Alex. Frankel, 1015 Chestnut street, Philadelphia. Stone, stucco, 2½ stories. Plans in progress.

**Apartments, Store and Garage (alts.),** 3100 North Broad street, Philadelphia. Architect, W. K. Henkels, 106 West Highland avenue, Chestnut Hill, Pa. Owner, name withheld. Brick, Indiana limestone, hot water heat, electric light, tile work, rolling steel sash, interior alterations, plate glass, composition work, copper work, slate roof, garage, 1 story, 16x36 feet. Architect taking sub-bids due September 21st.

**Mechanical Equipment for Abattoir,** Front and Venango streets, Philadelphia. Architect, Morris Fruchtbaum, 6100 Spruce street, Philadelphia. Owners, Duffy Brothers, Inc., on premises. High pressure boiler, pumps, generator, motors, elevated water tank. Architect taking bids.

**Office Building (alts. and add.),** Maplewood avenue, Germantown, Philadelphia. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, E. C. Emhardt and A. B. Schulte, 5600 Germantown avenue, Philadelphia. Limestone, 2 stories, 30x50 feet, steam heat, electric light, slag roof, pine floors. Owners ready for sub-bids.

**Residences (10),** Northumberland street and Cottman street, Philadelphia. Architect, private plans. Owner, August Salevsky, 1413 Bleigh street, Fox Chase, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, oak and pine floors, hot water heat, electric light. Owner taking sub-bids.

**Residences and Garages (10),** South side Lotus Road, West of Sixty-sixth street, \$5,000 each. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, McWilliams & Meloney, 539 South Fifty-second street, Philadelphia. Stone and brick, 2 stories, 18x31 feet, slate and slag roof, hardwood and pine floors, steam heat, electric light. Owners taking sub-bids.

**Store and Apartment,** Torresdale avenue and Unruh street, Frankford. Architects, G. H. Murphy & C. M. Talley, Drexel Building, Philadelphia. Owner, W. R. Cousart, on premises. Brick, hot water heat, electric light, tile work, ventilating skylights, metal bulks, slag roof, composition and pine floors, plumbing, metal frames, leaded glass, plate glass. Architects taking bids due as soon as possible.

**Restaurant (alts.),** 3616 Germantown avenue, Philadelphia. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Erie Cafe, Emil J. Fried, on premises. Steel work, mill wor, sheet metal work, marble and terrazzo work, metal bulks, architectural terra cotta. Owners taking bids.

**Building (alts. and add.) to Apartment and Store,** Southeast Corner Fifteenth and Master streets, Philadelphia. Architect, Silas S. Brower, 2002 North Eighteenth street, Philadelphia. Owners, H. Elmer & Co., Southeast Corner Fifteenth and Master, Philadelphia. Brick, steel, 3 stories and basement, 95x60 feet, hot water heat, electric light, metal lath, marble work, shoring, ornamental iron work, slag roof, cement and pine floors, plumbing. Owners taking bids due September 20th.

**Chapel and Deanery, Faculty Houses 16 and 17,** Northwest Corner Thirty-second and Spruce. Architects, Zantzinger, Borie & Medary, Otis Building, Philadelphia. Owners, Protestant Episcopal Divinity School, Dr. George C. Bartlett, 316 South Tenth street, Philadelphia. Reinforced concrete, stone, artificial cut stone, steel, bluestone, flagstone, alternate limestone, leaded glass, wrought iron pipe, 1 and 3 stories and 2½ stories, chapel, 130x50 feet, deanery, 64x42 feet, faculty houses, 76x39 feet, slate roof, pine and cement floors, hollow tile, painting, glazing, plumbing, steam heat, electric light, metal

lath, tile, marble and terrazzo work, hollow metal sash, bond, ornamental iron work. Architects taking revised bids due as soon as possible.

**Convent Building,** East Berks and Gaul streets, Philadelphia. Architect, Peter F. Getz, 1634 North Sixth street, Philadelphia. Owners, Holy Name of Jesus Roman Catholic Church, Rev. G. Scholz, on premises. Brick, stone, 3 stories, 32x100 feet, slate and slag roof, steam heat, electric light. Plans in progress.

**Office and Apartments,** 503 Pine street, Philadelphia. Architect, William L. Charr, 145 South Fourth street, Philadelphia. Owner, care of architect. Brick, stone, steel, 3 stories, 18x78 feet, slag roof, tile and hardwood floors, metal ceilings, ornamental iron work, metal bulks, bond, hollow metal skylights, tile and marble work, metal lath, electric light, hot water heat. Plans in progress.

**Residences (3),** Northumberland, South of Cottman street, Philadelphia, \$6,500 each. Architect, not yet selected. Owner, Christian Bruntrager, 3619 North Broad street, Philadelphia. Work contemplated in the spring.

**Fire House,** East side Fifty-fourth street, Haverford and Parrish street, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Safety, Director's Office, 215 City Hall. Brick, steel, cut stone, reinforced concrete, 2 stories and basement, 43x91 feet (plumbing, heating and electric separate bids), slag roof, cement and linoleum floors, metal lath, tile, marble and terrazzo work, bond, ornamental iron work, shoring, waterproofing, steel lockers, bluestone, artificial stone. Low bidders: Robbins Cont. Co., 1137 North Front street, Philadelphia, \$84,880; Monaghan & Losse, 3016 Chestnut street, Philadelphia, \$86,200. Plumbing, S. Faith & Co., 2427 Pennsylvania avenue, Philadelphia, \$4,943. Heating, C. J. McCarthy, 1723 Sansom street, Philadelphia, \$3,888, \$5,363. Electric, Merritt Elec. Co., 630 Race street, Philadelphia, \$2,050, \$21.

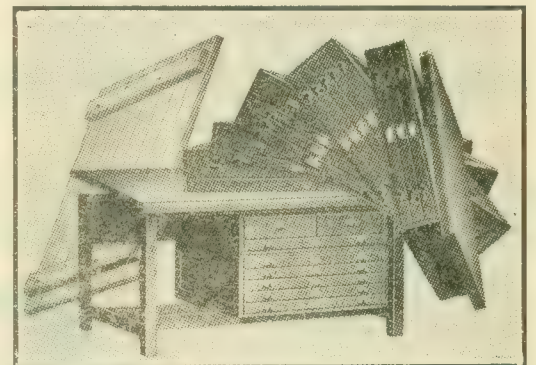
**Bridge,** Girard avenue, over Pennsylvania avenue and Philadelphia & Reading Railroad, Philadelphia. Owners, Bureau of Surveys, 216 City Hall, Philadelphia. Reinforced concrete and steel. Low bidders: Golder Const.

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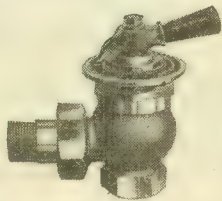
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Co., 263 South Fifteenth street, Philadelphia, \$93,340; George Dobbins, 1020 South Forty-seventh street, Philadelphia, \$94,426.50.

**Residences (35)**, Pratt street and Castor avenue, Philadelphia, \$177,000. Architect, private plans. Owner, George Edel, Hillerest and Stenton avenues, Philadelphia. Brick, 2 stories, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (24)**, Fifty-ninth and Oxford streets, Philadelphia, \$146,000. Architect, private plans. Owners, Lifter & Hammond, 813 Jefferson Building, Philadelphia. Brick, 2 stories, (2) 15x41 feet, (22) 15x30 feet, 11x11 feet, hot water heat, electric light, slag roof. Owners will build.

**Garage**, 2416 West Harold street, Philadelphia, \$7,000. Architect, private plans. Owner, Thomas J. Regan, 2421 West Oakdale street, Philadelphia. Brick, 2 stories, 36x60 feet, slag roof, cement and pine floors, electric lighting. Owner will build.

**Garage (add.)**, 3722 Irving street, Philadelphia, \$5,000. Architect, private plans. Owner, Edward T. Hollock, 3722 Irving street, Philadelphia. Stone, 1 story add., 57x35 feet, cement floors, electric light. Owner will build.

**Residences (2)**, South side Hartel street, West of Walker, \$4,200 each. Architect, private plans. Owners, Lewis & Ryan, 3316 Magee street, Philadelphia. Brick, 2 stories, 16x43 feet, slate and slag roof, hot water heat, electric light. Owners will build.

**Foundry (add.)**, Southwest Corner Duncannon and Mascher streets, \$25,000. Architect, private plans. Owners, Olney Foundry Co., on premises. Steel, brick, 1 story add., 38x60 feet, 73x120 feet, slag roof, cement floors, electric work, steel sash. Owners will build.

**Residences (6)**, 6514-24 North Sixth street, Philadelphia, \$12,000 each. Architect, private plans. Owner, Ralph Robbins, 4733 North Camac street, Philadelphia. Stone and brick, 3 stories, 16 feet 8 inches x 36 feet, 2 stories, 16 feet 8 inches x 32 feet, hot water heat, electric light, hardwood and pine floors, tile work. Owner will build.

**Stores and Residences (5)**, Ogontz avenue and Edna street. **Residences and Garages (18)**, Seventeenth and Edna streets, Philadelphia, \$139,500. Architect, private plans. Owner, Isadore Finestone, 436 East Rockland street, Philadelphia. Brick, 2 stories, (1) 16x60 feet, (4) 16x28 feet, 11x20 feet, (18) 16x30 feet, 11x16 feet, hot water heat, electric light. Owner will build.

**Garages (2)**, Third and Lindley avenue, and (1) Belgrade and Ann streets, 57,000. Architect, private plans. Owner, B. W. Glover, 5300 Chestnut street, Philadelphia. Brick, 1 story, 86x122 feet, 87x117 feet and irregu-

lar shape, slag roofs, cement floors, electric light. Owner will build.

**Residences (3)**, 6609-11-13 Ditman street, Philadelphia, \$12,200 total. Architect, private plans. Owner, F. Deitrich, Jr., 1828 East Schiller street, Philadelphia. Brick, 2 stories, 15x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, 4228 Girard avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, George W. Hansell, 4327 Girard avenue, Philadelphia. Brick, 1 story, 92x30 feet, 12x31 feet and 194x17 feet 6 inches, slag roof, cement floors, steam heat, electric light. Owner taking sub-bids.

**Residence, Store and Garage**, Southeast Corner Princeton avenue and Algard street, \$11,000. Architect, John H. Rackie, 4448 Frankford avenue, Philadelphia. Owners, Sonavalle Brothers, Van Dyke and Vincent streets, Philadelphia. Brick, 2 stories, 21x63 feet, garage, 1 story, 18x20 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric light, tile work. Architect will build.

**Store and Offices**, 3949 North Broad street, Philadelphia, \$12,000. Architect, private plans. Owner, A. Liebovitz, 4045 Baltimore avenue, Philadelphia. Brick, 2 stories, 20x90 feet, slag roof, electric light, oak and pine floors. Owner will build.

**Garage (add.)**, Clearfield street, West of Broad, \$8,000. Owner, A. Liebovitz, 4045 Baltimore avenue, Philadelphia. Brick, 1 story add., 45x80 feet, slag roof, cement floors, electric light. Owner will build.

**Residences (56)**, Durand, Weatham, Creshheim, Sedgwick and Idell streets, Philadelphia, \$546,000. Owner, Eugene Tourison, Jr., 1517 Bankers' Trust Building, Philadelphia. Brick, 2 and 3 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, 314-16 Fitzwater street, Philadelphia, \$15,000. Architect, Herman H. Kline, 717 Bulletin Building, Philadelphia. Owner, Simon Mogul, 2116 North Seventh street, Philadelphia. Brick, 2 stories, 38x136 feet, slag roof, pine and cement floors, steam heat, electric light. Owner will build.

**Residence and Garage**, Southwest Corner Seventeenth and Edna streets, Philadelphia, \$8,000. Architect, private plans. Owner, Isadore Finestone, 436 East Rockland street, Philadelphia. Brick, 3 stories, 16x50 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (20)**, East side Frontenac street, North of Bridge street, \$102,000. Architect and owner, Karl F. Otto, 1828 Arch street, Philadelphia. Brick, 2 stories, 15 feet 6 inches x 38 feet, slag roof, hardwood and pine floors,

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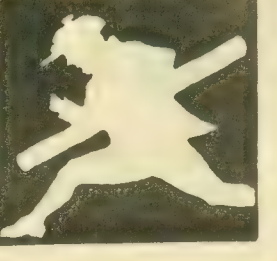


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**Apartment House, Residences and Stores** (2), **Stores and Residences** (3), and **Store and Apartment** (alts. and add.), Fifty-second and Heston streets, Phila. Owner, Nathan Litman, 1597 North Fifty-second street, Philadelphia. Brick, 3 stories, various sizes, hardwood and pine floors, hot water heat, electric light, tile work, general alterations to store and apartment. Owner will build.

**Residences** (30), West side Twenty-first street, North of Nedro avenue, \$152,000. Architect, private plans. Owner, Emil P. Stahl, 5209 North Third street, Philadelphia. Brick, 2 stories, 16x30 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage** (add.), 2923 West Clearfield street, Philadelphia, \$9,000. Architect, private plans. Owner, John De Eugenio, 3103 North Twenty-ninth street, Philadelphia. Brick, 2 stories, 35x80 feet, 1 story, 35x20 feet, cement floors, slag roof, hot water heat, electric light. Owner will build.

**Garage**, 3957 Baltimore avenue, Philadelphia, \$6,000. Architect, private plans. Owner, A. Liebovitz, 4045 Baltimore avenue, Philadelphia. Brick, 2 stories, 27x82 feet, slag roof, cement floors, hot water heat, electric light. Owner will build.

**Residences** (2), West side Montague street, South of Benner, \$4,000 each. Architect, private plans. Owner, Fred W. Deitrich, Frankford avenue and Devereaux street. Brick, 2 stories, 16x38 feet, slag roof, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Storage Building** (add.), 1409 Germantown avenue, \$5,000. Architect, private plans. Owner, L. Greenberg, 1412 North Fourth street, Philadelphia. Brick, 2 stories, 20x138 feet, slag roof, electric work. Owner will build.

**Residences** (2), North side Benson street, East of F street, \$4,800 each. Architect, private plans. Owner, William Hoehn, Verree Road, Fox Chase, Philadelphia. Brick, 2 sto-

ries, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, Southwest Corner Frotenae and St. Vincent streets, \$4,500. Architect, private plans. Owner, Thomas Bellis, care of Wark Co., 1600 Walnut street, Philadelphia. Brick, 1 story, 27x38 feet, shingle roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Residence and Store** (alts. and add.), 6050 Vine street, \$3,000. Architect, private plans. Owner, D. Hajopian, 100 North Sixtieth street, Philadelphia. Brick, 1 story add., 16x15 feet, general alterations. Permit issued.

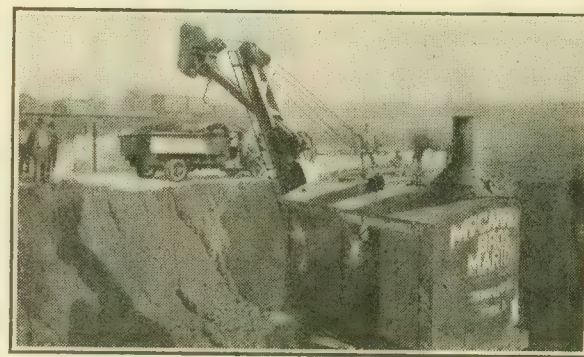
**Residence** (alts. and add.), 403 South Forty-second street, Philadelphia, \$2,500. Architect, private plans. Owner, Thomas Harwood, on premises. Brick, 1 story, 19x10 feet, 6x16 feet, general alterations. Owner will build.

**Residences** (4), McCallum, between Mt. Airy and Mt. Pleasant avenues, Philadelphia. Owners, Carson Brothers, 5601 Germantown avenue, Philadelphia. Stone, 2½ stories, 40x60 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Owners taking sub-bids.

**Residence and Store** (add.), 716 North Thirty-sixth street, Philadelphia, \$2,700. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, Louis Fine, 4220 Girard avenue, Philadelphia. Brick, 1 story, 20x16 feet, 1 story, 3x42 feet. Architect will build.

**Garage** (add.), 236 South Alder street, Philadelphia, \$2,000. Architect, private plans. Owners, Warnock Garage, on premises. Brick, 2 stories add., 40x15 feet, slag roof, pine and cement floors. Owners will build.

**Residence** (add.), 223 Ashmead street, Philadelphia, \$2,000. Architect, private plans. Owner, S. Bird, on premises. Brick, 1 story add., 16x15 feet, electric light, pine floors. Owner will build.



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## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Club House**, 221 South Eighteenth street, Philadelphia. Architects, Zantzinger, Borie & Medary, Otis Building, Philadelphia. Owners, Penn A. C., care of E. B. Morris, Jr., Chairman of Building Site Committee, Morris Building, Philadelphia. Reinforced concrete, cut stone, granite, steel, 9 stories and basement, 2 mezzanines, 195x175 feet, steam heat, electric light, metal lath, tile, marble, terrazzo work, hollow metal sash, tin clad and kalamein doors, bond, ornamental iron work, iron stairs, slag roof, cement, oak and composition, cement, cork tile, rubber tile floors, elevators, plumbing, shoring, waterproofing and dampproofing, Indiana limestone, artificial stone, ornamental plaster, imitation caen stone. Contract awarded Thompson Starrett Co., 49 Wall street, New York City.

**School** (Lawndale), Hellerman and Bingham streets, Philadelphia. Architect, I. T.

Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, limestone, cut stone, steel, 2 stories and basement, new wings, 73x34 feet, 113x24 feet (plumbing, heating, electric sepa-

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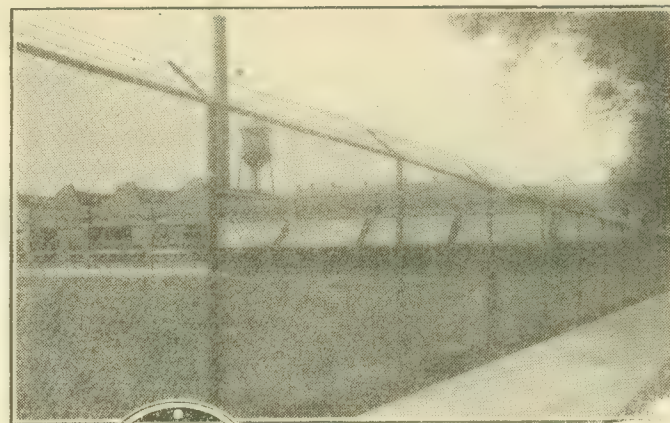
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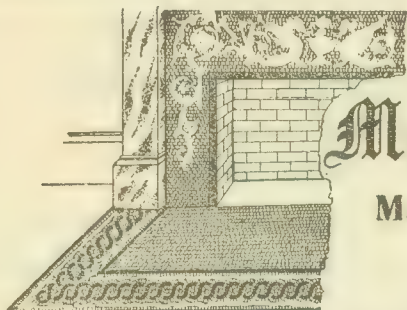
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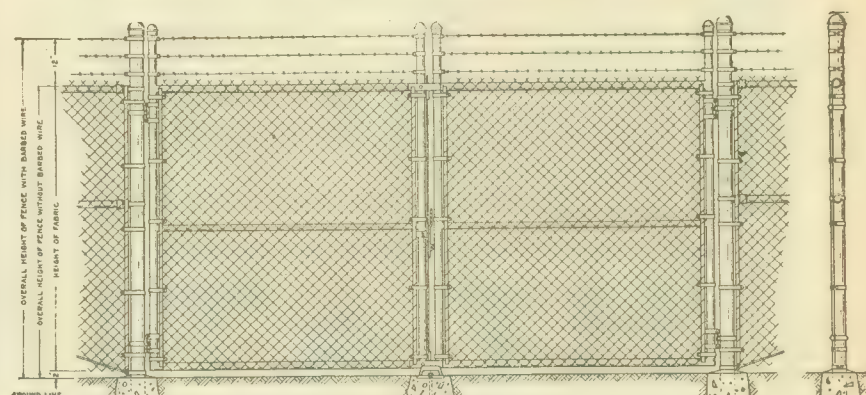
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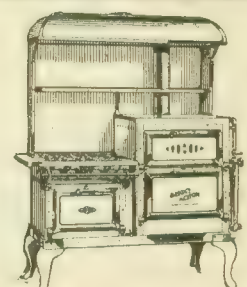
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**Public School**, Twelfth and Federal streets, Philadelphia, \$399,449. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, limestone, cut stone, steel, 3 stories and basement, 211x85 feet (plumbing, heating and electric separate bids), composition, tile and asbestos shingle roof, cement, mastic and maple floors, hollow tile, safety treads, metal weather strips, waterproofing and dampproofing, ornamental iron work, bond, rolling steel skylights, marble and terrazzo work, metal lath, cold water paint. Contract awarded McCloskey Co., 1620 Thompson street, Philadelphia. Heating, N. Connolly, 1404 North Eighteenth street, Philadelphia, \$46,998. Plumbing, John Borden & Bro., 637 North Nineteenth street, Philadelphia, \$20,879. Ventilating, W. Howlett Co., Fourth and Columbia avenue, Philadelphia, \$2,380. Electric, Walker & Kepler, 531 Chestnut street, Philadelphia, \$15,873.

**School**, Ninth and Pierce streets, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Nicholas of Tolentino, Rev. A. Baldassarre, on premises. Stone, brick, concrete, cut stone, steel, 3 stories and basement, 111x32 feet (plumbing, heating, electric reserved), slag roof, cement and maple floors, hollow tile, waterproofing, architectural terra cotta, bond, kalamein and hollow metal doors, rolling steel sash, terrazzo work, metal lath, bluestone, flortyle. Contract awarded Anastasi Bros., 818 Morris street, Philadelphia.

**Store and Office Building** (alts. and add.),

Tenth and Lombard streets, Philadelphia. Architects, Ballinger Co., Southeast Corner Twelfth and Chestnut streets, Philadelphia. Owners, Charles E. Johnson & Co., Tenth and Lombard streets, Philadelphia. Brick, concrete, 2 stories and basement, 78x57 feet, slag roof, cement floors, electric light, rolling steel sash, architectural terra cotta. Contract awarded F. L. Hoover & Son, 1023 Cherry street, Philadelphia.

**Store and Residence** (alts. and add.), Southeast Corner Fifty-fourth and Florence avenue, Philadelphia, \$4,250. Architect, private plans. Owner, Mr. Tiourish, 472 North Second street, Philadelphia. Brick, 2 stories add., 9x15 feet, general alterations. Contract awarded to M. Cherry, 137 North Tenth street, Philadelphia.

**Building** (alts.), 5541 Germantown avenue, Philadelphia, \$2,500. Architect, private plans. Owners, Robert Cherry & Sons, on premises. General alterations, mill work. Contract awarded to Basch & Co., Ruan and Tackawanna streets, Philadelphia.

**Residences** (26), West side Sylvester street, North of Pratt street, \$104,500. Architect, private plans. Owners, P. J. & T. P. McFarland, 2409 East Allegheny avenue. Brick, 2 stories, (2) 17x38 feet, (24) 15x28 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences** (5), Tyson and Bingham streets, Philadelphia, \$4,000 each. Architect, private plans. Owner, George Krewson, 330 Franklin street, Cheltenham, Pa. Frame, 1 story, 24x32 feet, hot air heat, electric light, shingle roof, hardwood and pine floors. Owner will build.

**Garage** (add.), West side Twentieth street, North of Atlantic street, \$6,500. Architect, private plans. Owner, William McConnery, Second and Luzerne streets, Philadelphia. Brick, second story add., 170x19 feet, slag roof, electric work. Contract awarded to Edward P. Barnes, Second and Luzerne streets, Philadelphia.

**Residences** (2), South side Gilham street, East of Oakley street, \$5,300 each. Architect, private plans. Owner, H. Schweinger, 2957 A street, Philadelphia. Frame, 3 stories, 15x46 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Fred A. Foy, 6411 Rising Sun avenue, Philadelphia.

**Residences** (4), South side Princeton avenue, East of Glenloch, \$5,000 each. Architect, private plans. Owner, O. H. Thompson, 6608 Marsden street, Philadelphia. Brick, 2 stories, 16x15 feet, 18x27 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residences** (2), North side Cottman, East of Loretta street, \$5,000 each. Architect, private plans. Owner, Gus Brickley, 3445 Richmond street, Philadelphia. Brick, 2 stories, 16x52 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences** (2), East side Dalton street, South of Burholme, \$4,600 each. Architect, private plans. Owner, Reuben P. Douglass, 8037 Oxford avenue, Philadelphia. Brick and frame, 2 stories, 20x39 feet, hot water heat, electric light. Owner will build.

**Sewage Treatment Project**, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Schedule C, transformer building, Northeast Sewage Disposal, Philadelphia, brick, steel, limestone, 1 story and basement, 32x40 feet, gypsum roof, cement floors, steel casement sash, tubular steel doors, ornamental iron work. Contracts awarded: Conneen Const. Co., 2313 Walnut street, Philadelphia, \$20,613. Electric, W. V. Pangborne, 1927 West Montgomery avenue, \$46,774. Plumbing, Bullman Brothers, Fifth and Cumberland streets, \$1,444. Heating, Charles McCarthy, 1723 Sansom street, Philadelphia, \$1,868.

**Store and Apartment**, 5013 Baltimore avenue, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, J. Mittleman, 5013 Baltimore avenue, Philadelphia. Brick, steel, 3 stories, 18x70 feet, slag roof, pine and hardwood floors, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, store fixtures, bond, metal bulks, ornamental iron work. Contract awarded J. Satler, 1408 North Marshall street, Philadelphia.

**Residence**, Montgomery avenue, North of Birch Lane, Chestnut Hill, Pa. Architects, Frank Watson, George E. Edins, W. H. Thompson, 1211 Walnut street. Owner, Frank R. Watson, 1211 Walnut street, Philadelphia. Stone, cement block, steel, 2½ stories, 29x37 feet, wing 32x24 feet (tile, marble, linoleum, precast stone, plumbing, heating reserved),

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electric light, shingle roof, oak floors, hollow tile, shoring, ornamental iron work, bond, rolling steel sash, flagstone, brick work. Contract awarded S. Harting & Son, 20 East Johnson street, Philadelphia.

**Apartment (alts.),** 1428-34 Pine street, Philadelphia. Architects, R. Erskine and William Sandord, 1716 Cherry street, Philadelphia. Owner, Louis B. Moffett, 1420 Pine street, Philadelphia. Brick, steel, repairs to slag roof, plastering, painting and glazing, carpentry and mill work, metal lath, tile work, bond, ornamental iron work (plumbing, heating, electric kitchen fixtures, Murphy beds, hardware reserved). Contract awarded W. L. Bushnell, 2146 East Norris street, Philadelphia.

**Power House,** Price street, Germantown, Philadelphia, \$51,000. Architect, Arthur H. Brockie, 254 South Fifteenth street, Philadelphia. Owners, Germantown Dispensary and Hospital, Price street, Germantown. Brick, cut stone, steel, 1 story, 97x61 feet (plumbing, heating, electric, boiler house equipment, machine room equipment reserved), slag and slate roof, cement floors, rolling steel sash, steel doors, waterproofing. Contract awarded Ketcham & McQuade, 1029 Brown street, Philadelphia.

**Store (alts. and add.),** 621 North Fifty-second street, Philadelphia. Architect, I. T. Catherine, 5419 Locust street, Philadelphia. Owner, Lewis A. D. Alessandro, on premises. Terra cotta front, front and rear additions, brick, 2 stories, slag roof, pine floors, hot water heat, electric light, tile work, plumbing, metal ceilings, metal bulks. Contract awarded McCloskey Co., 1620 Thompson street, Philadelphia.

**Convent Building,** Wanamaker street, between Lansdowne and Meter street, Philadelphia. Architect, Frank V. Nickels, 15 South Twenty-first street, Philadelphia. Owners, St. Rose of Lima Roman Catholic Church, care of Rev. M. H. Bourne, 1535 North Fifty-ninth street. Concrete, stone, limestone, 3 stories and basement, 45x78 feet, slag roof,

oak floors, electric light, tile and marble work (heating, plumbing, electric separate bids). Contract awarded M. Melody & Son, 1322 Race street, Philadelphia.

**Alterations and Additions (Stores),** Northeast Corner Broad and Sixty-eighth avenue, \$10,000. Architect, private plans. Owner, William Bosch, care of builder. Hot water heat, stone work, plastering, slag roof, mill work, plumbing, carpentry and mill work, painting and glazing (plate glass reserved). Contract awarded Albert Dunlap, 7223 Oak avenue, Oak Lane.

**Building (add.),** Seventh and Dauphin streets, Philadelphia, \$7,000. Architect, private plans. Owner, P. Oliver Derr, on premises. Brick, stone, steel, 16x35 feet, heating, slag roof, yellow pine floors, electric light, metal lath. Contract awarded Albert Dunlap, 7223 Oak avenue, Oak Lane.

**Plant (add.),** 406 Memphis street, Philadelphia. Architect, private plans. Owners, Brown, Hill, Kramer Co., 406 Memphis street, Philadelphia. Brick, reinforced concrete, 5 stories and basement, 76x47 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash, waterproofing. Contract awarded William Steele & Son, 219 North Broad street, Philadelphia.

**Store (alts.),** 680 North Broad street, Philadelphia. Architect, private plans. Owners, J. T. Jackson Co., Thirteenth and Chestnut streets, Philadelphia. Metal bulks, metal ceilings, cement work, plastering, plate glass, painting and glazing. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

**Manufacturing Building (add.),** South side Estaugh street, East of I street, \$150,000. Architect, private plans. Owners, Model Mills Co., on premises. Reinforced concrete, 4 stories, 163x63 feet 6 inches, slag roof, cement floors, steam heat, electric light, steel sash. Contract awarded to William Steele & Sons, 219 North Broad street, Philadelphia.

**Residence and Store (1), Residences (2),** 2559-63 East Somerset street, \$18,400. Architect, private plans. Owner, M. Dicosinio, 2652 East Somerset street, Philadelphia. Brick, 2 stories, (1) 24x47 feet, 24x9 feet, (2) 18x32 feet, 15x13 feet, slag roof, hardwood and pine floors, hot water heat. Contract awarded to Joseph Circillo, 2002 South Twelfth street, Philadelphia.

**Residence,** Northwest Corner Borbeck and Burholme avenue, Philadelphia, \$8,250. Owner, Ella Baxter, Borbeck and Burholme avenue, Philadelphia. Frame, 2 stories, 23 feet 6 inches x 35 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Joseph Ashby, 7920 Oxford avenue, Philadelphia.

**Residence,** Northeast Corner Borbeck street and Barnes avenue, \$7,250. Architect, private plans. Owner, G. J. Brittain, 7915 Barnes avenue, Philadelphia. Frame, 2 stories, 20x32 feet, 1 story, 11x5 feet, shingle roof, hot water heat, electric light, hardwood and pine floors. Contract awarded to Joseph Ashby, 7920 Oxford avenue, Philadelphia.

**Residences (3),** North side Upsal street, East of Musgrave street, \$6,600 each. Architect, private plans. Owner, W. Byrd, 141 East Cheltenham avenue, Philadelphia. Brick, 2 stories, 20x26 feet, 16x38 feet and 16x44 feet,

hardwood and pine floors, hot water heat, electric light. Contract awarded to B. C. Lauer, New Britain, Pa.

**Store (alts.),** 1204-06 Market street, Philadelphia, \$55,000. Architects, A. J. Sauer Co., Denckla Building, Philadelphia. Owners, S. Dalsimer & Son, on premises. General alterations. Contract awarded to Frank G. Stewart, 1520 Locust street.

**Residence,** North side Byberry Road, East of Bustleton avenue, \$12,000. Architect, private plans. Owner, Charles H. Humphreys, Byberry, Philadelphia. Frame and stucco, 3 stories, 37x25 feet, 1 story, 10x13 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Fesmire Brothers, Huntingdon Valley, Pa.

**Residence,** Northwest Corner Wigard and Silverwood streets, Philadelphia, \$10,000. Architect, private plans. Owner, William M. Giest, Wigard and Silverwood streets, Philadelphia. Stone and frame, 3 stories, 26x35 feet, 1 story, 10x10 feet, 16x12 feet, hot water heat, electric light, hardwood and pine floors. Contract awarded to James S. Batty, 2339 Ridge avenue, Philadelphia.

**Residence,** 834 South Second street, Philadelphia, \$5,500. Architect, private plans. Owner, S. Segall, 836 South Second street, Philadelphia. Brick, 2 stories, 20x29 feet, 16x20 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to J. Miraldi, 726 Morris street, Philadelphia.

**Manufacturing Building (add.),** 3504 South street, \$6,500. Architect, private plans. Owner, William Zinger, on premises. Brick, 1 story, 20x40 feet, 60x20 feet. Contract awarded to Henry Hofmaier, 2247 North Fifth street, Philadelphia.

**Apartment House (add.),** 245 East Johnson street, Philadelphia, \$6,000. Architect, private plans. Owner, B. M. McIntire, M. D., on premises. Stone, 1 story, 59x13 feet 6 inches, and 1 story, 9x14 feet. Contract awarded to Samuel Harting & Son, 20 East Johnson street.

**Garage,** 2302-04 East Sergeant street, Philadelphia, \$5,000. Architect, private plans. Owner, Samuel Robinson, 2306 East Sergeant street, Philadelphia. Brick, 1 story, 36x80 feet, slag roof, cement floors, electric work. Contract awarded to Robert Beatty & Bro., 221 East Fletcher street.

**Residence and Store (alts. and add.),** 244 South Tenth street, \$7,875. Architect, private plans. Owner, Anthony George, on premises. Brick, 3 stories add., 13 feet 6 inches x 28 feet, general alterations. Contract awarded to C. C. Campbell, 6419 Bingham street, Philadelphia.

**Residence,** Southeast Corner Palmetto and Shelmire streets, Philadelphia, \$6,000. Architect, private plans. Owner, G. M. Franklin, care of builder. Frame, 2 stories, 28x38 feet, hot water heat, electric light. Contract awarded to O. C. Wehmyer, 313 East Eleanor street, Philadelphia.

**Residence,** North side Fuller street, West of Frontenac street, \$6,500. Architect, private plans. Owner, Joshua M. Holmes, Valley Road, Philadelphia. Frame, 2 stories, 27x38 feet, 25x10 feet, hot water heating, electric lighting, tile work, hardwood and pine floors. Contract awarded to Henry E. Durst, Castor road and Rhawn street.

**Residence and Office (add.),** 4011 Chestnut street, \$4,000. Architect, private plans. Owner, James N. Biettingham, on premises. Brick, 1 story add., 13x21 feet. Contract awarded to J. H. Hutt, 5919 Spruce street, Philadelphia.

**Store and Residence (alts. and add.),** Northeast Corner Rosehill and Wyoming avenue, Philadelphia, \$4,600. Architect, private plans. Owner, Carl Gabler, 3043 Bonshall street, Philadelphia. Brick, 1 story, 15x8 feet, and 1 story, 11x10 feet, general alterations.

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Contract awarded to Otto Malz & Son, 2002 North Ninth street, Philadelphia.

**Business Building (alts.)**, 816 Noble street, Philadelphia, \$3,000. Architect, private plans. Owners, John Morrell & Co., on premises. General alterations. Contract awarded to John N. Gill Const. Co., 121 North Broad street.

**Garage**, 2073 Sixty-fifth avenue (rear), Philadelphia, \$3,000. Architect, private plans. Owner, Elizabeth Westerman, on premises. Brick, 1 story, 27x29 feet, slag roof, cement floors, electric work. Contract awarded to J. H. Jones, 1240 West Lehigh avenue, Philadelphia.

**Garage**, 328 South Lawrence street, Philadelphia, \$2,500. Architect, private plans. Owner, J. Abramson, 329 South Fifth street, Philadelphia. Brick, 1 story, 20x62 feet, slag roof, cement floors. Contract awarded to Harry Clyman, 2407 South Marshall street, Philadelphia.

**Residences (5)**, South side Pennsgrove, West of Fifty-fourth street, \$4,000 each. Architect, private plans. Owners, Fisher & Miller, 6019 Market street, Philadelphia. Brick, 2 stories, 16 feet 4 inches x 31 feet, slag roof, hot water heat. Contract awarded to J. D. Fisher, 5426 Thompson street, Philadelphia.

**Residence**, North side Welsh road, East of Pine road, \$3,500. Architect, private plans. Owner, Charles J. Myers, Bustleton, Philadelphia. Frame, 1 story, 26x36 feet, shingle roof, hardwood and pine floors, electric lighting. Contract awarded to Robert Hutton, 3541 North Fifth street, Philadelphia.

**Storage**, 2306-08 East Sergeant street,

Philadelphia, \$4,000. Owner, Samuel Rolison, 2306 East Sergeant street, Philadelphia. Brick, 1 story, 14x19 feet, 1 story, 39x30 feet, 2 stories, 23x31 feet. Contract awarded to Robert Beatty & Bro., 2321 East Fletcher street.

**Residence (add.)**, 736 Westview street, Philadelphia, \$3,000. Architect, private plans. Owner, Joseph A. Steinmetz, on premises. Brick, 2 stories, 16x10 feet, slate roof, yellow pine floors. Contract awarded to William C. Wright & Son, 22 Harvey street, Philadelphia.

**Store and Residence (alts.)**, Northeast Corner Ninth and Federal streets, \$2,750. Architect, private plans. Owner, A. Finmara, 900 South Tenth street, Philadelphia. General alterations. Contract awarded to R. Parisi, 1332 South Tenth street, Philadelphia.

**Store and Residence (alts. and add.)**, 1933 Hunting Park avenue, \$2,550. Architect, private plans. Owner, W. Konieczko, on premises. Brick, 1 story add., 14 feet 6 inches x 7 feet, general alterations. Contract awarded to Jacob Sklar, 5931 Spruce street, Philadelphia.

**Residence (alts.)**, 5700 City avenue, Philadelphia, \$2,000. Owner, Richard J. Seltzer, 1423 Locust street, Philadelphia. General alterations. Contract awarded to William R. Graham, 3649 Filbert street, Philadelphia.

**Residence and Store (alts.)**, 4602 Frankford avenue, Philadelphia, \$2,000. Architect, private plans. Owner, J. E. McKinley, on premises. General alterations. Contract awarded to Miller & England, 1124 Washington avenue.

floors, hot water heat, electric light, tile work. Owner taking general bids.

**Factory**, Allentown, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owners, Oreurto & Lova, Allentown, Pa. Reinforced concrete, 5 stories, 141x66 feet, slag roof, concrete floors, electric light, metal lath, rolled steel sash, fire doors, hollow tile. Architect taking sub-bids.

**Residence**, Easton, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owner, W. R. Buckner, Allentown, Pa. Stucco, 2 stories, 42x30 feet, 18x16 feet, tile roof, hardwood floors, steam heat, electric light, tile and marble work. Architect will be ready for bids in a few days.

**Residences and Garages (3)**, Elkins Park, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building. Owner, H. E. Shandles, 617 Pine street, Philadelphia. Frame and stucco, 2½ stories, 30x40 feet, shingle roof, oak floors, hot water heat, electric light. Owner (builder) is taking sub-bids.

**Sheridan School**, Sixth Ward, Allentown, Pa. Architect, Henry Anderson, Allentown Bank Building, Allentown, Pa. Owners, School District, City of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. Brick, steel, fireproof, 3 stories and basement, slag roof, hardwood and concrete floors, hollow tile, safety treads (heating, electric and plumbing reserved), metal lath, tile and marble, steel sash, skylights, kalamein doors, bond, iron stairs, ornamental iron work. Owners taking new bids due September 23rd.

**School (Consolidated)**, near Fogelsville, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Upper Macungie Township School Board, Mr. Stauffer, secretary, Macungie, Pa. Brick, steel, concrete, 2 stories and basement, 62x88

## PENNSYLVANIA Construction News

**Theatre**, Milton, Pa. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Too early for details.

**Factory**, Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, Twentieth Century Silk Co., Fountain Hill, Bethlehem, Pa. Sketches in progress.

**School (add.)**, Eighth and Main streets, Coatesville, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Board of Education, Dr. H. Scott, Coatesville, Pa. Brick, 2 stories, 6-room addition. Plans in progress. Too early for details.

**Cow Barn**, West Chester, Pa. Architect, E. C. May, Dupont Building, Wilmington, Del. Owner, Leroy Harvey, West Chester, Pa. Stone, cement, 70x40 feet, slate roof, concrete and cork floors, electric light. Plans in progress.

**Residence and Garage**, Ambler, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. J. Rex Hobensack, 1709 Columbia avenue, Philadelphia. Stone, steel, 2½ stories, 60x42 feet, slate roof, oak, pine and cement floors, electric lighting, metal lath (heating reserved), bond. Revised plans in progress.

**Publishing Plant**, King and Hanover streets, Pottstown, Pa., \$120,000. Architect,

A. S. Kepner, 121 North Hanover street, Pottstown, Pa. Associate architects, Johnson & Schuyler, 10 South Eighteenth street, Philadelphia. Owners, The Pottstown News, W. S. Binder, president, Pottstown, Pa. Limestone, concrete steel, 2 stories, 71x90 feet, slag roof, cement floors, steam heat, electric light, tile and marble work. Plans completed. A. S. Kepner, 121 North Hanover street, Pottstown, Pa., will take bids about October 1st.

**Stores (5), Apartments (5)**, Bryn Mawr, Pa. Architect, Guy B. Johnson, 5413 Media street, Philadelphia. Owner, William J. O'Brien, Ardmore, Pa. Tapestry brick, steel, 2 stories, 94x80 feet, hot water heat, slag roof, maple floors, electric light, metal lath, tile and marble work, metal bulks, architectural terra cotta. Architect and owner taking sub-bids.

**Residence**, Valley View road, Ardmore, Pa. Architect, Guy B. Johnson, 5413 Media street, Philadelphia. Owner, George W. Wagoner, Rittenhouse street, Philadelphia. Stone, 2½ stories, 28x46 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner is builder and is taking sub-bids.

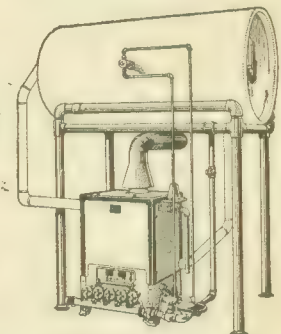
**Residence**, Swarthmore, Pa. Architect, Guy B. Johnson, 5413 Media street, Philadelphia. Owner, Dr. W. H. Knat, Strath-Haven Inn, Swarthmore, Pa. Stone, 2½ stories, 28x40 feet, asbestos shingle or slate roof, hardwood

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feet, built-up roof, composition or maple floors (heating, electric work, plumbing reserved), metal lath, cast stone, hollow tile, safety treads, roof ventilators, rolled steel and wood sash, fire doors, bond, iron stairs and work, terra cotta. Owners taking bids due October 4th.

**Central High School**, Johnstown, Pa. Associate architects, J. E. Adams, Johnstown; E. L. Tilton, 141 East Forty-fifth street, New York City. Owners, Board of Education, Johnstown, Pa. Reinforced concrete, steel, cut stone, brick, 4 stories and basement, 132x143 feet, wing 121x77 feet, wing 125x66 feet, cement and maple floors, asbestos built-up or Barber trinidad, linoleum, elevators, waterproofing, architectural terra cotta, ornamental iron wok, iron stairs, bond, tin clad and kalamein doors, tile and terrazzo work, metal lath, metal lumber, wood block floors. Architects taking bids due September 22nd.

**Staff Residence (alts. and add.)**, Newtown Square, Delaware County, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Charles E. Ellis College, Newtown Square, Delaware County, Pa. Brick, cement and concrete, structural steel, waterproofing. Architect taking bids due September 19th.

**Main Hospital Building (alts. and add.) and Power House**, Reading, Pa. Architect, Fred Muhlenberg, Fifth and Walnut streets, Reading, Pa. Owners, St. Joseph's Hospital, Sisters of the Order of Francis, Reading. Brick, granite, limestone, cut stone, steel, 14 stories and basement, 1 story, 81x43 feet, power house, 37x53 feet, slag roof, maple, cement, mastic, linoleum floors, metal weather stirps, waterproofing and dampproofing, architectural terra cotta, ornamental iron work, iron stairs, kalamein doors, rolling steel skylights, steel casements, tile, marble and terrazzo work, metal lath. Architect taking bids due September 29th.

**School**, Merion, Pa. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, School District of Merion, W. J. Byrnes, secretary, Merion, Pa. Brick, granite, steel, cut stone, 1 story and basement, 172x106 feet, slag roof, cement and maple floors, rolling steel skylights, roof ventilators, ornamental terra cotta, iron work. Architect taking bids due September 22nd.

**Bank**, Jermyn, Pa. Architect, D. H. Canfield, Middletown, N. Y. Owners, First National Bank, Jermyn, Pa. Brick, cut stone, limestone, steel, 1 story, mezzanine and basement, 63x36 feet, slag roof, concrete floors, metal lath, metal ceilings, waterproofing. Architect taking bids.

**Residence and Garage**, Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, Mrs. Hugh McFadden, Fourth and Polk streets, Bethlehem, Pa. Brick, 2½ stories, 70x30 feet, 28x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Architect taking bids.

**Sanitary Sewers and Appurtenances**, Elizabethtown, Pa. Owners, Borough of Elizabethtown, D. L. Landis, secretary, Elizabethtown. Engineers, Fuller & McClintock, 1001 Chestnut street, Philadelphia. Excavations, vitrified pipe, manholes. Deposit of \$25 required (refunded). Certified check, \$7,000. Owners taking bids due September 30th at 7.30 P. M., Standard Time.

**Sewer**, Borough of Folecroft, Delaware County, Pa. Engineer, Alonzo H. Yocum, 865 Main street, Darby, Pa. Owners, Township Council, Borough of Folecroft, T. J. Mains, Folecroft, Pa. Construction of system of sanitary pipe sewers. Low bidders: Facciolo Brothers, Clifton Heights, Pa., \$21,600.

**High School**, Lancaster, Pa. Architect, C. Emlen Urban, Woolworth Building, Lancaster, Pa. Owners, Lancaster City School District, Prince and Lemon streets, Lancaster,

Pa. Brick, granite, stone, steel, 4 stories, 65x195 feet, cement and maple floors, slag roof, hollow tile, metal lath, tile and marble work, galvanized iron skylights, bond (heating, electric work and plumbing reserved). Low bidders: C. W. Strayer, Thirteenth and Thompson streets, Harrisburg, Pa., \$216,000; D. S. Warfel, 39 East Grant street, Lancaster, Pa., \$236,000.

**Office Building**, Ardmore, Pa. Architects, Zantlinger, Borie & Medary, Otis Building, Philadelphia. Owners, Commissioners of Lower Merion Township, Montgomery County, Ardmore, Pa. Low bidders on the general contract: Murphy Quigley Co., 1524 Sansom street, Philadelphia, \$190,990, \$197,890, \$189,290, \$190,990; Fred Havens Co., 845 North Nineteenth street, Philadelphia, \$192,500, \$199,000, \$191,000, \$192,500.

**Post Office (alts. and add.)**, Wilkes-Barre, Pa. Architect, James A. Wetmore, Washington, D. C. Owners, Treasury Department, Office of Supervising Architect, Washington, D. C. Remodeling and enlarging post office. Lowest bidder: W. L. Morrison Const. Co., Washington, D. C., \$14,540.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Owners taking bids due September 30th at 10 A. M.

Allegheny County, R-247, Castle Shannon Borough, 8,612 feet. One course reinforced concrete. Certified check, \$1,500.

Armstrong County, R-214, A-2981, Brady's Bend Township, 6,661 feet. One course reinforced concrete. Certified check, \$1,500.

Bradford-Tioga Counties, R-212, Columbia and Sullivan Townships, 37,947 feet. One course reinforced concrete. Certified check, \$4,000.

Bedford County, R-46, Hopewell Township, 29,800 feet. One course reinforced concrete. Certified check, \$4,000.

Indiana County, A-985, Canoe Township, 7,904 feet. One course reinforced concrete. Certified check, \$1,500.

Washington County, R-268, A-2932, East Pike Run Township, California Borough, 2,126 feet. One course reinforced concrete. Certified check, \$1,000.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Low bidders on work opened September 9th, 1924.

Beaver County, R-204, Chippewa Township, 3,491 feet. One course reinforced concrete. Russell Brothers, Youngstown, Ohio. \$36,357.90.

Blair County, R-221, Logan Township, 12,751 feet. One course reinforced concrete. H. P. Streicher Co., Inc., Toledo, O. \$159,875.85.

Bradford County, R-17, Sec. 3, Monroe Township, Monroeton Borough, 25,864 feet. One course reinforced concrete. Horn & Devling, Athens, Pa. \$274,979.35.

Greene County, R-112, Franklin Township, 11,386 feet. One course reinforced concrete. E. E. Morros, Waynesburg, Pa. \$134,928.60.

Indiana County, R-62, Cherry Tree Borough, 3,638 feet. One course reinforced concrete. M. J. McMahon, Brookville, Pa. \$33,081.75.

Monroe County, A-2018, Polk Township, 6,705 feet. One course reinforced concrete. J. F. Chapman & Son, Hillside, N. J. \$61,180.05.

Montgomery County, R-178, Lower and Upper Gwynedd Townships and Montgomery Township, 13,614 feet. One course reinforced concrete. McNichol Paving & Const. Co., 1923 Cherry street, Philadelphia. \$102,099.10.

Montgomery County, R-151, Jenkintown Borough, 2,728 feet. One course reinforced concrete and reclipped stone block on concrete foundation between trolley tracks. Ambler-Davis Co., Harrison Building. \$66,268.10.

Sullivan County, R-19, Sec. 4, Davidson Township, 13,910 feet. One course reinforced concrete. Lane Const. Co., Meriden, Conn. \$118,613.20.

Bridge, Westmoreland County, R-119, Longbridge Station, Ligonier Township, 3,550 feet, width 24 feet. Pitt Const. Co., Pittsburgh, Pa. \$187,106.24.

## Pennsylvania Contracts Awarded

**Market Arcade and Public Comfort Station**, Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Bethlehem Business Men's Association, Bethlehem, Pa. Brick, 1 story and basement, steel, 90x120 feet, arrett roof, cement floors, oak and maple floors, safety treads, roof ventilators, metal ceilings, waterproofing, ornamental iron work, floor hardener, hollow metal skylights, rolled steel sash, cast stone, granite, cinder block, plumbing, copper work, incinerator, wrought iron pipe. Contract awarded to F. H. Clement & Co., Wilbur Trust Building, Bethlehem, Pa.

**Mercy Hurst Group of Buildings**, Erie, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, Sisters of Mercy, Erie, Pa. Stone, cut stone, granite, bluestone, brick, steel, school, 2 stories and basement, 50x150 feet, 40x100 feet, dormitory, 3 stories, 40x164 feet, 40x90 feet, power house, 1 story, 60x68 feet, slate and slag roof (heating, electric, plumbing, elevators, kitchen equipment reserved), cement and maple floors, hollow tile, painting and glazing, waterproofing, architectural terra cotta, ornamental iron work, iron stairs, flortyle, tin lined and kalamein doors, copper skylights, rolling steel sash, tile, marble and terrazzo work, metal lath. Contract awarded to H. J. Conrath, Ariel Building, Erie, Pa.

**Rectory**, Fifth street, South Side, Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Church of Our Lady of Pompeii, Rev. J. Matera, on premises. Brick, cast stone, 2½ stories, 21x48 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to F. B. Glassmire, Bethlehem Trust Building, Bethlehem.

**Rectory**, Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owners, Sts. Simon and Jude Church, Bethlehem, Pa. Brick, stucco, 3 stories, 36x62 feet, tile roof, hardwood floors, electric light, tile work. Contract awarded to Benjamin Schrader, 455 Carlton street, South Bethlehem.

**Residence and Garage**, Glenside, Pa. Architect, R. C. Martin, Otis Building, Philadelphia. Owner, J. Hommer Hancock, North Glenside, Pa. Hollow tile and stucco, 2½ stories, 28x40 feet, 1 story, 20x22 feet, shingle roof, hardwood and cement floors, hot air heat, electric light, tile. Contract awarded A. D. Griffith, Jenkintown, Pa.

**Residence**, Wayne, Pa. Architect, J. L. Canarroe, 225 South Sydenham street, Philadelphia. Owner, Bruce M. Watson, care of architect. Frame, 2½ stories, 31x38½ feet, shingle roof, hardwood floors, vapor vacuum heat, electric light, tile work. Contract awarded Millard N. Croll, Radnor, Pa.

**School (alts.)**, Rosemont, Pa. Architect, Stewart A. Jellett, 1200 Locust street, Philadelphia. Owners, Miss Kirk's School, Rosemont, Pa. Painting, carpentry and mill work, slate roof, plumbing. Contract awarded Fred A. Havens, 845 North Nineteenth street, Philadelphia.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa.



Luzerne and Wyoming Counties, R-232, Exeter Township 27 126 feet. One course reinforced concrete. \$279,740.93. Contract awarded to J. M. Boyd, Kingston, Pa.

York County, A-2003, North Codorus Township, 18,385 feet. One course reinforced concrete. \$158,549.28. Contract awarded to Paul R. Hostetter, Inc., York, Pa.

Bridge, Northumberland-Snyder, Union Counties, R-25, bridge over West branch of Susquehanna River. \$405,112.08. Contract awarded to George W. Rockwell, Sunbury, Pa.

Lycoming County, A-1036, R-335, A-2207, R-281, Muncy Township, Montoursville Borough, 12,398 feet. One course reinforced concrete. Contract awarded to George I. Thompson Co., Clearfield, Pa. \$119,129.15.

Berks County, R-197, Mt. Penn Borough and Lower Alsace Township, 12,390 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$123,163.48. Contract awarded to William B. Sheidy, Wyomissing, Pa.

Washington County, R-242, Independence Township, 4,922 feet. One course reinforced concrete. \$56,798.97. Contract awarded to Samuel Gamble Co., Carnegie, Pa.

York County, A-1998, Hopewell Township, 6,092 feet. One course reinforced concrete. \$47,654.28. Contract awarded to Fred E. Fish, Elkton, Md.

## New Jersey Construction News

**Detention House**, Pensauken, Camden County, N. J. Architects, Lackey & Hettle, 5 Hudson street, Camden, N. J. Owners, Board of Chosen Freeholders, Camden County, F. G. Riggins, secretary, Camden, N. J. Revised plans in progress.

**Inn**, Ocean Gate, N. J., \$15,000. Architect, Morris Fruchtbaum, 6100 Spruce street, Philadelphia. Owner, A. Jacobson, Ocean Gate, N. J. Frame, 2 stories, 40x60 feet, slag roof, hardwood floors, tile work, electric lighting. Plans in progress.

**Residence**, North Wildwood, N. J. Architects, Edwards & Green, Van Russ Building, Camden, N. J. Owner, E. J. Peterson, Wildwood, N. J. Frame and brick, 24x36 feet, 1½ stories, asbestos roof, pine floors, electric light. Plans in progress.

**Rectory**, New Brunswick, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Joseph's Roman Catholic Church, care of architect. Stone, 2½ stories, 18x60 feet, slate roof, hardwood floors, steam heat, electric light, tile work. Sketches in progress.

**Convent**, Bound Brook, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owner, name withheld. Stone, 1½ stories, 31x68 feet, slate roof, pine floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Residence (alts.)**, Edgewood and Overbrook streets, Trenton, N. J. Architect, Walter Hankin, 39 East State street, Trenton, N. J. Owner, F. D. Schroth, 23 Delawareviw street, Trenton, N. J. New partitions, hot water heat, electric light, slate roof, pine floors, plumbing. Architect taking sub-bids.

**Residences (2)**, Chambers street, Trenton, N. J., \$10,000. Architect, private plans. Owner, Josph Russo, 830 Roebling street, Trenton, N. J. Brick, 2½ stories, 28x44 feet, slate roof, pine floors, electric lighting. Owners will build.

**Theatre Building**, Kentucky avenue and Boardwalk, Atlantic City, N. J. Architects, Hoffman Henon, Inc., Finance Building, Philadelphia. Owners, Stanley Co. of America, 1916 Race street, Philadelphia. Brick, steel, terra cotta, 1 story and basement,

100x160 feet, concrete slag roof, cement floors, hollow tile, waterproofing and damp-proofing, architectural terra cotta, fire doors, tile and marble work, metal lath, electric light, steam heat. Architects taking sub-bids.

**Fire House**, Merchantville, N. J. Architect, J. C. Jefferis, 312 Market street, Camden, N. J. Owners, Borough Council of Merchantville, Merchantville, N. J. Brick, stucco, steel, 1 story and basement, 24x50 feet, steam heat, electric light, metal lath, composition roof, concrete and maple floors, waterproofing. Owners ready for revised bids due September 22nd.

**Elks' Home**, Phillipsburg, N. J. Architect, E. H. Wenzelberger, 3 Center Square, Easton, Pa. Owners, B. P. O. E., Phillipsburg, N. J. Brick, steel, terra cotta, 3 stories and basement, 75x130 feet, slag roof, various floors, hollow tile, elevators, metal lath, tile, marble and terrazzo work, ornamental iron and plaster (heating, plumbing, electric and elevators reserved). Architect taking bids due October 2nd.

**Hospital Group**, Morris Plains, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. J. Owners, New Jersey State Hospital for Insane, Morris Plains, N. J. Brick, fireproof, 1 and 2 stories, 3 stories, various sizes, slate roof, mastie, composition and cement floors, hollow tile, elevators, roof ventilators, waterproofing and dampproofing, steam and hot water heat, electric light, metal lath, tile, marble and terrazzo work, rolled steel sash, hollow metal sash, fire, kalamein and hollow meta doors. Low bidders: C. J. Smith Const. Co., 202 Academy street, Trenton, N. J., \$1,345,200. Heating, H. E. Crook Co., Baltimore, Md., \$157,200. Plumbing, Jaehnig & Peoples, Newark, N. J., \$109,500. Electric, Beaver Eng. Co., Newark, N. J., \$40,444.

**Residences (2)**, Melrose avenue, Trenton, N. J., \$8,000. Architect, private plans. Owner, G. Palumbo, 407 Elmer street, Trenton, N. J. Frame, 2½ stories, 14x40 feet, slate roof, pine floors. Owner will build.

**Residence**, Stuyvesant street, Trenton, N. J., \$12,000. Architect, private plans. Owner, Harry Siegel, 502 Riverside street, Trenton, N. J. Brick, 2½ stories, 27x47 feet, slate roof, pine floors, hot air heat, electric light. Owner will build.

**Residence**, Stuyvesant street, Trenton, N. J., \$8,000. Architect, private plans. Owner, H. Siegel, 502 Riverside street, Trenton, N. J. Brick, 2½ stories, 26x34 feet, slate roof, hardwood and pine floors, electric light. Owner will build.

**Road Work**, New Jersey. Owners, State Highway Commission, A. Lee Grover, secretary, Broad Street Bank Building, Trenton, N. J. Gloucester County, Route 20, Sec. 1, Glassboro to Clayton. Excavation, reinforced concrete pavement. Owners taking bids due September 23rd at 11 A. M., Standard Time. Deposit of \$10.00. Certified check required.

## New Jersey Contracts Awarded

**School**, Woodlynne, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owners, Woodlynne Board of Education, care of architect. Brick, concrete block, steel, 2 stories and basement, 38x64 feet, steam heat, electric light, metal lath, slag roof, pine floors, roof ventilators (heating, electric and plumbing reserved). Contract awarded to Fred Lange, Audubon, N. J., \$26,800. Heating awarded to Deckman Power, Heating and Refrigerating Co., Woodlynne, N. J., \$3,800. Plumbing awarded to Hebbard & Strack, Camden, N. J., \$380.00. Electric awarded to Fred

H. Boehm, West Collingswood, N. J., \$852.00.

**Central Office Building**, Riverside, N. J. Engineer, Engineer of Building Maintenance, 253 North Broad street, Philadelphia, Pa. Chas. Kahn, Morris Building, Philadelphia, owner. Lessee, Delaware & Atlantic Tel. & Tel. Co., care of Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, reinforced concrete, steel, 1 story and basement, 53x23 feet, slag roof, pine floors, plumbing, drainage, metal lath, steam heat, electric light, bond, ornamental iron work, Byers or Reading pipe, National galvanized pipe. Contract awarded J. D. Fawley, 1615 Spruce street, Philadelphia.

**Hotel (add.)**, Atlantic City, N. J., \$225,000. Architects, W. Macy Stanton & Stanley P. Stewart, 1524 Chestnut street, Philadelphia, Pa. Owners, Morton Hotel Co., on premises. Reinforced concrete, brick, stone, terra cotta, 7 stories, 75x150 feet, steam heat, electric light, tile work, slag roof, cement and hardwood floors, elevator extensions. Contract awarded C. P. Tilton, 4 S. Virginia avenue, Atlantic City, N. J.

**Church and School**, New Brunswick, N. J., \$100,000. Architect, R. A. Schumann, 202 W. State street, Trenton, N. J. Owners, St. Josephs R. C. Church, care of architect. Brick, steel, cut stone, 2 stories, 45x128 feet, slate roof, maple floors, stone or tile roofs, vapor heat, electric light, tile, marble and terrazzo work. Contract awarded Woodland Const. Co., 65th and Chester avenue, Philadelphia, who are taking sub-bids.

**New Boiler House**, Princeton, N. J. Architects, Day & Klauder, 1416 Chestnut street, Philadelphia, Pa. Owners, Princeton University, Princeton, N. J. Stone, brick, cut stone, steel, 1 story, 110x50 feet, slag roof, rolling steel sash, cement floors, plumbing, painting, ornamental iron work, steel partitions. Contract awarded to H. E. Baton, 1713 Sansom street, Philadelphia.

**Store and Apartment (alts. and add.)**, 347 North Warren street, Trenton, N. J. Architects, P. L. Fowler Co., Fitzcharles Building, Trenton, N. J. Owner, Joseph R. Schnorbus, 339 North Warren street, Trenton, N. J. Brick, stone, 2 stories, 75x30 feet, slag roof, hardwood floors, metal ceilings, hot water heat, electric light, tile work, plate glass, copper work, metal ceilings. Contract awarded to A. R. Walsh, 675 South Olden street, Philadelphia.

**Residences (3)**, 126-28-30 North Twenty-fifth street, Camden, N. J. Architect, private plans. Owner, Thomas E. Walters, 52 North Twenty-fifth street, Philadelphia, Pa. Stucco and block, 2 stories, one 14x40 feet, two 16x40 feet, slag roof, pine floors, electric lighting. Contract awarded to Davis Bros., 901 North Thirty-first street, Camden, N. J.

**Residence**, 35 North Twenty-sixth street, Camden, N. J. Architect, private plans. Owner, Elizabeth Roth, Camden, N. J. Brick, 2 stories, 20x34 feet, pine floors, asbestos shingle roof, electric lighting. Contract awarded to Robt. Scholl & Son, Camden, N. J.

**Residences (2)**, Pine street, Trenton, N. J., \$10,000. Architect, private plans. Owner, Henry Citkowski, care of builder. Contract awarded to F. Cahill, 1248 North Olden street, Trenton, N. J.

## Delaware Construction News

**Apartments (6)**, Wilmington, Del. Architect, E. C. May DuPont Building, Wilmington, Del. Owner's name withheld. Brick, 3 stories, 50x70 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.



**Road Work, Delaware.** Owners, State Highway Department, Dover, Del. Low bidders on work opened September 10th, 1924.

Contract CS-35, Clarks Crossroads-Maryland Line, 4.58 miles, Sherman & Rhodes, Felton, Del., \$134,439.40.

Contract CS-36, Omar-Clarksville, 3.71 miles. Field, Barker & Underwood, Commercial Trust Building, Philadelphia. Stone concrete, \$117,772.50; slag concrete, \$111,292.50. Sherman & Rhodes, Felton, Del., stone concrete, \$117,650.00; slag concrete, \$114,950.00.

## Delaware Contracts Awarded

**Residence (alts. and add.),** Kenneth Pike, Wilmington, Del. Architect, Edmund B. Gilchrist, 1618 Latimer street, Philadelphia. Owner, Hollyday S. Leeds, 2403 McDough street, Wilmington, Del. Brick, slapboard, 1½ stories, 43x50 feet, wing 52x50 feet, shingle roof, pine floors, plumbing, hot water heat, electric, bind, ornamental iron work, brass piping, cast iron pipe. Contract awarded W. D. Haddock & Son, 804 Orange street, Wilmington, Del.

**Church (alts.),** Kenton, Del. Architect, E. C. May, DuPont Building, Wilmington, Del. Owners, M. E. Church, care of architect. New foundations, new belfry, pine floors, leaded glass, general alterations. Contract awarded to R. W. Slaughter, Clayton, Del.

**Residences (9),** Twenty-sixth and Tatnall streets, Wilmington, Del., \$7,000 each. Architect, private plans. Owner, James J. English, DuPont Building, Wilmington, Del. Brick, 2 stories, 22x32 feet, slag roof, hardwood floors, hot water heat, electric light. Contract awarded to S. R. Jackson, 831 Orange street, Wilmington, Del.

## Miscellaneous Construction News

**Factory Building,** Willows avenue, between One Hundred and Thirty-third and One Hundred and Thirty-fourth streets, New York. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, A. Finkenberg's Sons, 2279 Third avenue, New York. Brick and reinforced concrete, 6 stories, 206x110 feet, 153x206 feet, slag roof, reinforced concrete floors, (3) elevators, steam heat, metal lath, electric light, rolling steel sash, fire doors. Architect taking bids due September 20th.

(Continued from page 596)

work was caused by another Contractor, and in that event the Owner shall pay such cost.

**Art. 14. Superintendence: Supervision.**—The Contractor shall keep on his work, during its progress, a competent superintendent and any necessary assistants, all satisfactory to the Architect. The superintendent shall not be changed except with the consent of the Architect, unless the superintendent proves to be unsatisfactory to the Contractor and ceases to be in his employ. The superintendent shall represent the Contractor in his absence and all directions given to him shall be as binding as if given to the Contractor. Important directions shall be confirmed in writing to the

Contractor. Other directions shall be so confirmed on written request in each case.

The Contractor shall give efficient supervision to the work, using his best skill and attention. He shall carefully study and compare all drawings, specifications and other instructions and shall at once report to the Architect any error, inconsistency or omission which he may discover.

**Art. 15. Changes in the Work.**—The Owner, without invalidating the Contract, may order extra work or make changes by altering, adding to or deducting from the work, the Contract Sum being adjusted accordingly. All such work shall be executed under the conditions of the original contract except that any claim for extension of time caused thereby shall be adjusted at the time of ordering such change.

In giving instructions, the Architect shall have authority to make minor changes in the work, not involving extra cost, and not inconsistent with the purposes of the building, but otherwise, except in an emergency endangering life or property, no extra work or change shall be made unless in pursuance of a written order from the owner, signed or countersigned by the Architect, or a written order from the Architect stating that the Owner has authorized the extra work or change, and no claim for an addition to the contract sum shall be valid unless so ordered.

The value of any such extra work or change shall be determined in one or more of the following ways:

- (a) By estimate and acceptance in a lump sum.
- (b) By unit prices named in the contract or subsequently agreed upon.
- (c) By cost and percentage or by cost and a fixed fee.

If none of the above methods are agreed upon, the Contractor, provided he receives an order as above, shall proceed with the work. In such case and also under case (c), he shall keep and present in such form as the Architect may direct, a correct account of the net cost of labor and materials, together with vouchers. In any case, the Architect shall certify to the amount due to the Contractor. Pending final determination of value, payments on account of changes shall be made on the Architect's certificate.

**Art. 16. Claims for Extra Cost.**—If the Contractor claims that any instructions by drawings or otherwise involve extra cost under this contract, he shall give the Architect written notice thereof within a reasonable time after the receipt of such instructions, and in any event before proceeding to execute the

work, except in emergency endangering life or property, and the procedure shall then be as provided for changes in the work. No such claim shall be valid unless so made.

**Art. 17. Deductions for Uncorrected Work.**—If the Architect and Owner deem it inexpedient to correct work injured or done not in accordance with the Contract, an equitable deduction from the contract price shall be made therefor.

**Art. 18. Delays and Extension of Time.**—If the Contractor be delayed in the completion of the work by any act or neglect of the Owner or the Architect, or of any employee of either, or by any other Contractor employed by the Owner, or by changes ordered in the work, or by strikes, lockouts, fire, unusual delay in transportation, unavoidable casualties or any causes beyond the Contractor's control, or by delay authorized by the Architect pending arbitration, or by any cause which the Architect shall decide to justify the delay, then the time of completion shall be extended for such reasonable time as the Architect may decide will compensate for such delay.

No such extension shall be made for delay occurring more than seven days before claim therefor is made in writing to the Architect. In the case of a continuing cause of delay, only one claim is necessary.

If no schedule or agreement stating the dates upon which drawings shall be furnished is made, then no claim for delay shall be allowed on account of failure to furnish drawings until two weeks after demand for such drawings and not then unless such claim be reasonable.

This article does not exclude the recovery of damages for delay by either party under other provisions in the contract documents.

**Art. 19. The Owner's Right to Do Work.**—If the Contractor should neglect to prosecute the work properly or fail to perform any provision of this contract, the Owner, after three days' written notice to the Contractor may, without prejudice to any other remedy he may have, make good such deficiencies and may deduct the cost thereof from the payment then or thereafter due the Contractor; provided, however, that the Architect shall approve both such action and the amount charged to the Contractor.

(Continued next week.)

The only road to advancement is to do your work so well that you are always ahead of the demands of your position. Our employers do not decide whether we shall stay where we are or go on and up; we decide that matter ourselves. Success or failure is not chosen for us: we choose them for ourselves.—H. W. Mabie.



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Erickson & Weiss, Fisher's Ave. and Mascher St.

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## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

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The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
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## DAMP-PROOFING.

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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 39  
September 24, 1924

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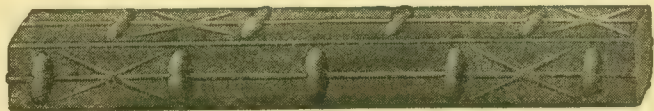
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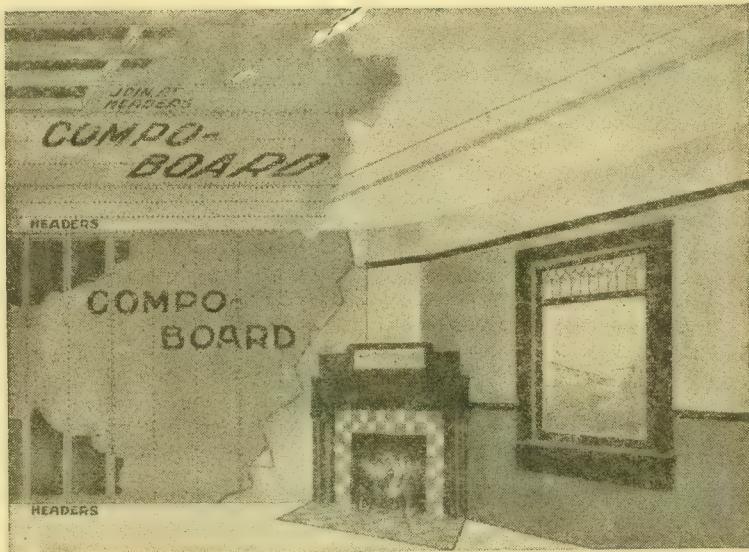
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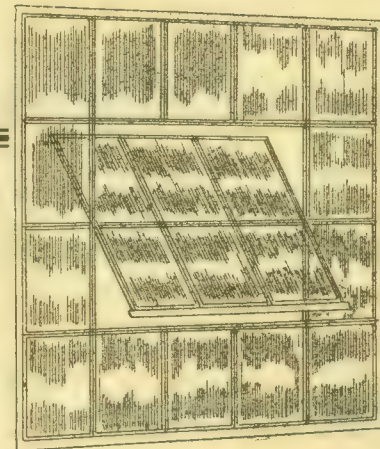
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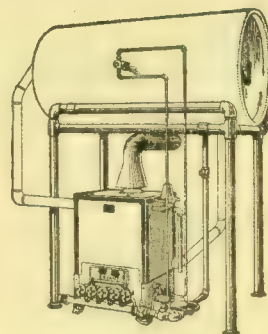
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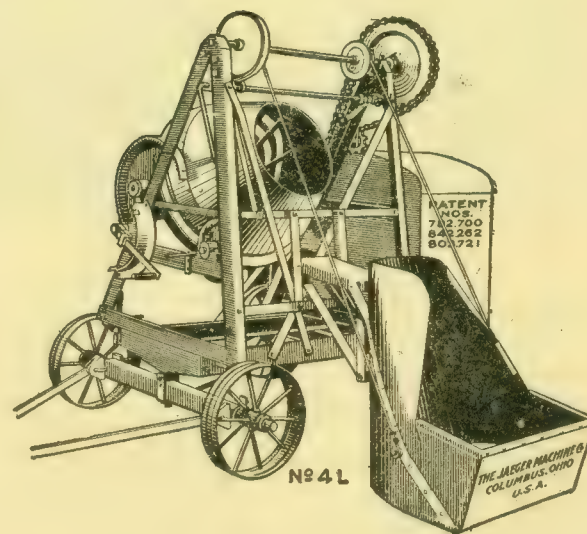
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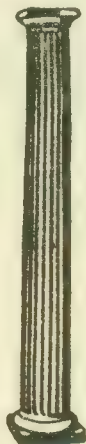


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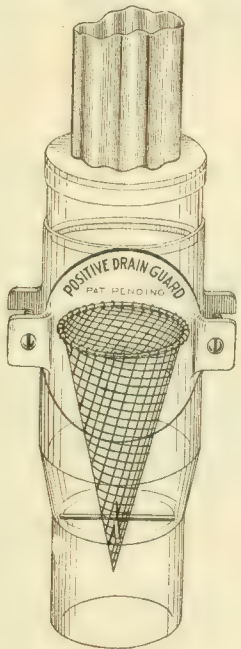
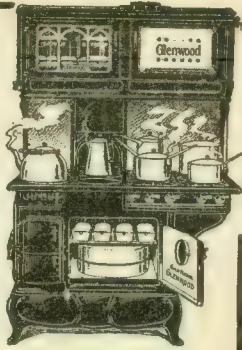


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Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 39

PHILADELPHIA  
September 24, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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## As The Editor Sees It



### STANDARD AGREEMENT FOR CONSTRUCTION OF BUILD- INGS

*Issued by the Joint Conference on Stand-  
ard Construction Contracts*

(Continued from last issue)

**Art. 20. Owner's Right to Terminate Contract.**—If the Contractor should be adjudged a bankrupt, or if he should make a general assignment for the benefit of his creditors, or if a receiver should be appointed on account of his insolvency, or if he should persistently or repeatedly refuse or should fail, except in cases for which extension of time is provided, to supply enough properly skilled workmen or proper materials, or if he should fail to make prompt payment to subcontractors or for material or labor, or persistently disregard laws, ordinances or the instructions of the Architect, or otherwise be guilty of a substantial violation of any provision of the contract, then the Owner, upon the certificate of the Architect that sufficient cause exists to justify such action, may without prejudice to any other right or remedy and after giving the Contractor seven days' written notice, terminate the employment of the Contractor and take possession of the premises and of all materials, tools and appliances thereon and finish the work by whatever method he may deem expedient. In such case the Contractor shall not be entitled to receive any fur-

ther payment until the work is finished. If the unpaid balance of the contract price shall exceed the expense of finishing the work, including compensation for additional managerial and administrative services, such excess shall be paid to the Contractor. If such expenses shall exceed such unpaid balance, the Contractor shall pay the difference to the Owner. The expense incurred by the Owner as herein provided, and the damage incurred through the Contractor's default, shall be certified by the Architect.

**Art. 21. Contractor's Right to Stop Work or Terminate Contract.**—If the work should be stopped under an order of any court, or other public authority, for a period of 3 months, through no act or fault of the Contractor or of any one employed by him, or if the Architect should fail to issue any certificate for payment within seven days after it is due, or if the Owner should fail to pay to the Contractor within seven days of its maturity and presentation, any sum certified by the Architect or awarded by arbitrators, then the Contractor may upon three days' written notice to the Owner and the Architect, stop work or terminate this contract and recover from the Owner payment for all work executed and any loss sustained upon any plant or materials and reasonable profit and damages.

**Art. 22. Correction of Work Before Final Payment.**—The Contractor shall

promptly remove from the premises all materials condemned by the Architect as failing to conform to the Contract, whether incorporated in the work or not, and the Contractor shall promptly replace and re-execute his own work in accordance with the Contract and without expense to the Owner and shall bear the expense of making good all work of other contractors destroyed or damaged by such removal or replacement.

If the Contractor does not remove such condemned work and materials within a reasonable time, fixed by written notice, the Owner may remove them and may store the material at the expense of the Contractor. If the Contractor does not pay the expense of such removal within a reasonable time thereafter, the Owner may, upon ten days' written notice, sell such materials at auction or at private sale and shall account for the net proceeds thereof, after deducting all the costs and expenses that should have been borne by the Contractor.

**Art. 23. Correction of Work After Final Payment.**—Neither the final certificates nor payment nor any provision in the Contract Documents shall relieve the Contractor of responsibility for faulty materials or workmanship and he shall remedy any defects due thereto and pay for any damage to other work resulting therefrom, which shall appear within a period of two years from the time of installation. The Owner shall

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give notice of observed defects with reasonable promptness. All questions arising under this article shall be decided by the Architect subject to arbitration.

*Art. 24. Applications for Payments.*—The Contractor shall submit to the Architect an application for each payment, and, if required, receipts or other vouchers, showing his payments for materials and labor, including payments to subcontractors as required by Art. 37.

If payments are made on valuation of work done, such application shall be submitted at least 10 days before each payment falls due, and, if required, the Contractor shall, before the first application, submit to the Architect a schedule of values of the various parts of the work, including quantities, aggregating the total sum of the contract, divided so as to facilitate payments to subcontractors in accordance with Article 37 (e), made out in such form as the Architect and the Contractor may agree upon, and, if required, supported by such evidence as to its correctness as the Architect may direct. This schedule, when approved by the Architect, shall be used as a basis for certificates of payment, unless it be found to be in error. In applying for payments the contractor shall submit a statement based upon this schedule, and, if required, itemized in such form and supported by such evidence as the Architect may direct, showing his right to the payment claimed.

*Art 25. Certificates of Payments.*—If the Contractor has made application as above, the Architect shall, not later than the date when each payment falls due, issue to the Contractor a certificate for such amount as he decides to be properly due.

No certificate issued nor payment made to the Contractor, nor partial or entire use or occupancy of the work by the Owner shall be an acceptance of any work or materials not in accordance with this contract. The making and acceptance of the final payment shall constitute a waiver of all claims

by the Owner, other than those arising from unsettled liens, from faulty work appearing after final payment or from requirement of the specifications, and of all claims by the Contractor, except those previously made and still unsettled.

*Art. 26. Payments Withheld.*—The Architect may without or, on account of subsequently discovered evidence, nullify the whole or a part of any certificate to such extent as may be necessary to protect the Owner from loss on account of:

- (a) Defective work not remedied.
- (b) Claims filed or reasonable evidence indicating probable filing of claims.
- (c) Failure of the Contractor to make payments properly to subcontractors or for material or labor.
- (d) A reasonable doubt that the contract can be completed for the balance then unpaid.
- (e) Damage to another Contractor.

When the above grounds are removed payment shall be made for amounts withheld because of them.

*Art. 27. Contractor's Liability Insurance.*—The Contractor shall maintain such insurance as will protect him from claims under workmen's compensation acts and from any other claims for damages for personal injury, including death, and damage to property, which may arise from operations under this Contract, whether such operations be by himself or by any sub-contractor, or anyone directly or indirectly employed by either of them. Certificates of such insurance shall be filed with the Owner, if he so require, and shall be subject to his approval for adequacy of protection.

*Art. 28. Owner's Liability Insurance.*—The Owner shall be responsible for and at his option may maintain such insurance as will protect him from his contingent liability for damages for personal injury, including death, which

(Continued on Page 624)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Apartment House**, Overbrook, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Stone, 3 stories, irregular size, central steam heat, electric light, tile and marble work, slate and slag roof, hardwood floors. Plans in progress.

**Residence and Garage**, Chestnut Hill, Pa., \$18,000. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Stone, 2 stories, hot water heat, electric light, slate roof, hardwood floors. Preliminary plans in progress.

**Operation of Residences** (number undetermined), Clapier street and Wissahickon avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, H. P. Anderson, 6236 Christian street, Philadelphia. Brick, 2 stories, 15x40 feet, slag and slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Community Building**, Sixty-third and Ludlow streets, Philadelphia. Architect, Andrew J. Sauer Co., Denckla Building, Philadelphia. Owners, West Philadelphia Jewish Community, Leon Draker, 6113 Carpenter street, vice-president and chairman of Building Committee. Plans in progress.

**Stores (10), Apartments (20)**, Germantown, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, J. Henry Parker, 4401 Germantown avenue, Philadelphia. Brick, 2 stories, 16x60 feet, slag and slate roof, hardwood floors, hot water heat, electric light, tile and marble work, hollow metal skylights, metal bulks, plate glass. Plans in progress.

**Apartment House**, 516 Pine street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, stucco, 4 stories, 18x141 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, fire doors, bond, ornamental iron work, terra cotta. Plans in progress.

**Store and Apartment**, 519 South Twelfth street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, 3 stories, 16x60 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, store fixtures, bond, metal bulks, ornamental iron work. Plans completed.

**Residences (6)**, Crittenden street and Gorgas Lane, Stenton, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Brick, stucco, 3 stories, 16x53 feet, garage, brick, 1 story, 10x20 feet, hot water heat, electric light, tile and marble work, slate, slag and tin roof, hardwood and cement floors. Plans in progress.

**Office and Residence**, Fiftieth and Master streets, Philadelphia. Architects, H. Rex Staekhouse & Donohue, 1120 Locust street,

Philadelphia. Owner, Dr. Max Strumia, care of architect. Stone, 2½ stories, 30x70 feet, hot water heat, electric light, slag roof, hardwood floors. Plans in progress.

**Storage House, Garage, Stable, Men's Quarters, Boiler Room**, Washington avenue and Philadelphia and Reading R. R., Philadelphia. Architect, Addison H. Savery, 1309 Locust street, Philadelphia. Owner, Edward F. Bennis, on premises. Stone, steel and concrete, 1 story, 50x35 feet, 45x65 feet, 2 stories, 36x29 feet, 1 story, 14x29 feet, slag roof, concrete and pine floors, plumbing, vapor heat, electric lighting. Plans in progress.

**Ice Plants (alts.)**, Walnut Lane and High street and Thirtieth and Columbia avenue. Architect, C. Leslie Weir, New York City. Owners, American Ice Co., Mr. Fredericks, Broad and Cherry, Philadelphia. Plans about completed.

**Wagon Shed**, Fifty-first and Warrington avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, Crean Brothers, on premises. Steel, concrete, 30x128 feet, corrugated metal siding, slag roof. Owners taking sub-bids.

**Residences (4), Garage**, Germantown, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, J. Henry Parker, 4401 Germantown avenue, Philadelphia. Stone and brick, 2 stories, 16x43 feet, garage, brick, 1 story, 10x20 feet, hot water heat, electric light, tile and marble work, hardwood and cement floors, slate, slag and tin roof. Owners taking sub-bids.

**Residences and Garages (50)**, South side Lotus Road, West of Sixty-sixth street, \$5,000 each. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, McWilliams & Maloney, 539 South Sixty-second street, Philadelphia. Stone and brick, 2 stories, 18x31 feet, slate and tin roof, hardwood and pine floors, steam heat, electric light, tile and marble work, garages in basement. Owners taking sub-bids. Work to start on ten at once.

**Store and Apartment (2) (alts. and add.)**, 5741-43 Woodland avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, D. McNichol, 7006 Paschall avenue, Philadelphia. Brick, rear addition, 1 story, 13x19 feet, slag roof, hard-

wood floors, hot water heat, electric light, tile work, metal bulks. Owner taking bids from Julius Nelson, Post Office Building, Darby, who is taking sub-bids.

**Stores and Apartments**, Southeast Corner Seventh and Spruce streets, Philadelphia, \$35,000. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owner, Louis E. Wiser, 235 South Fifth street, Philadelphia. Stone, brick, 4 stories, 20x100 feet, slag roof, oak and pine floors, steam heat, electric light, ornamental iron work. Owner will build.

**Store (alts.)**, 1837 Chestnut street, Philadelphia, \$7,000. Architect, Richard C. Loos, 2218 Chestnut street, Philadelphia. Owner, Henry J. Scott, Fox Building, Philadelphia. Bulk windows, plate glass, plastering, steam heat, electric light, painting and glazing. Architect taking sub-bids.

**Medical Building**, Southeast Corner Eighteenth and Chestnut streets, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, William H. Webster, care of architect. Reinforced concrete, steel, cut stone, brick, limestone granite, 12 stories and basement, 121x45 feet, slag roof, oak and cement floors, steam heat, electric light, metal lath, tile and marble work, rolled steel and hollow metal sash and skylights, tin lined and kalamein doors, bond, floor hardener, iron stairs, ornamental iron work, elevators, roof ventilators, shoring, waterproofing, ornamental terra cotta, ornamental bronze travertine, plaster, wrought iron pipe, Byers or Reading. Architect taking bids due September 25th.

**Garage**, 1234-38 Bainbridge street, Philadelphia. Architect, Arnold H. Mueller, 901 Walnut street, Philadelphia. Owner, Albert Steinberg, on premises. Brick and steel, 1 story, 66x100 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash, galvanized iron skylights, ornamental iron work, architectural terra cotta, plumbing, cast iron pipe. Architect taking bids due September 29th.

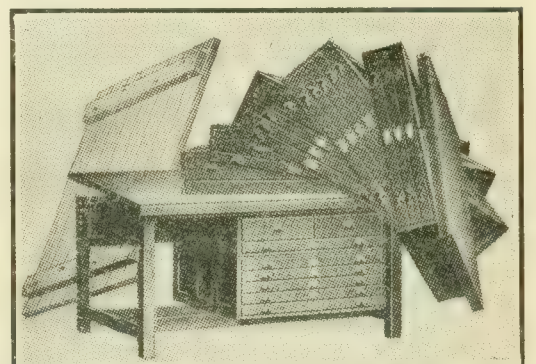
**Elevator Shaft Enclosure**, 10 South Eighteenth street, Philadelphia. Architects, Norman Hulme and John H. Dull, 1524 Chestnut street, Philadelphia. Owner, J. Cutler Fuller, 10 South Eighteenth street, Philadel-

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phia. Brick, 5 stories, 14x14 feet, tile and terrazzo work, painting and glazing, electric, plumbing, new steel skylights, elevator doors. Architect taking revised bids due September 26th at noon.

**Residence to 5 Apartments (alts.),** 325 North Fortieth street, Philadelphia. Architect, C. F. Schaef, 11 South Sixteenth street, Philadelphia. Owners, Misses O. Lockard and J. Sartwell, on premises. New partitions, plastering, hot water heat, electric light, papering, plumbing, painting, carpentry. Owners and architects taking bids due as soon as possible.

**Office and Factory Building,** Woodland avenue near Sixtieth street, Philadelphia. Architect, private plans. Owners, United States Pencil Co., J. S. Furst, Sixtieth and Baltimore, Philadelphia. Brick, slow burning, 2 stories, 218x60 feet, slag roof, cement and pine floors, electric light, rolling steel sash. Owners taking bids.

**Fire House,** East side Fifty-fourth street, Haverford, and Parrish street, Philadelphia. City architect, J. Molitor, Bankers Trust Building, Philadelphia. Owners, Department of Public Safety, Director's Office, 215 City Hall. Owners taking revised bids due October 1st at noon.

**Add. Stores to Apartment Houses,** 247-49 South Juniper street, Philadelphia. Architect, W. Gravell & A. Hall, Otis Building, Philadelphia. Owner, name withheld. Brick, steel, cut stone, 6th to 10th floor add., 67x36 feet, slag roof, oak and cement floors, terra cotta, hollow tile, elevators, plumbing, roof ventilators, painting and glazing, ornamental iron work, bond, rolling steel skylights, tile, marble and terrazzo work, metal lath, electric light, vacuum heat, incinerator, Byers iron pipe. Architects taking bids due September 25th, 2 P. M.

**Subway Construction,** Philadelphia. Owners, Department of City Transit, 1211 Chestnut street, Philadelphia. Owners taking bids due October 21st, 12 noon (Standard Time), for construction of 8,591 lineal feet of 4 track subway in Broad street, from the South side Clearfield to about 45 feet North of Courtland street. Deposit, \$50. Refund, \$50. Certified check 5 per cent. of amount of bid must accompany each bid. Proposals will be received upon the entire work, designated as Contract No. 106, and separately upon approximately equal sections of work designated as Contracts No. 106-A and No. 106-B, respectively.

**Miscellaneous Work,** Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Owners taking bids due September 25th at noon at 216 City Hall. Schedule A, main sewers, Government avenue,

Ithan street. Schedule B, Sewage Disposal Plant, Penneypack intercepting sewers, Section No. 1. Outfall Pier, Contract No. 3, electric equipment. Outfall Pier, Contract No. 5, heating equipment. Certified check 5 per cent. of amount of bid must accompany each bid. Inquire Room 416.

**Scale,** Second and Luzerne streets, Philadelphia. Architect, P. H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Health, Bureau of Hospitals, 584 City Hall. Purchase and installation of scale. Owners taking bids due September 30th at noon. Subject to future appropriation.

**Test Borings,** Contract No. 8, Philadelphia. Architect, private plans. Owners, Department of City Transit, H. Ehlers, 1211 Chestnut street, Philadelphia. 15 test borings in North Broad street, between Courtland street and Grange street, and in Grange street, and in the proposed terminal yard at Grange street. Certified check of 5 per cent. of amount of bid must accompany each bid. Owners taking bids due September 30th at noon.

**Supplies,** Philadelphia. Purchasing agent, E. J. Lafferty, 312 City Hall. Owners taking bids due September 26th at 11 A. M. (Standard Time) on fuel oil, paving gravel.

**Miscellaneous Work,** Belmont Pumping Station, Pa. Owners, Department of Public Works, Bureau of Water, 216 City Hall, Philadelphia. Low bidders: Contract No. 719, roof of Belmont Pre-Filter, Martin & Breen, 1613 Sansom street, Philadelphia, \$8,355. Contract No. 720, miscellaneous piping, C. J. Reaner & Co., care of owners, \$3,450. Contract No. 721, Belmont Filters, Mitchell Brothers, 2125 Race street, Philadelphia, \$11,380. Contract No. 722, Plant Administration Building (plumbing), James J. White Co., 716 Walnut street, Philadelphia, \$3,000. Contract No. 723, electric, Keystone Electric Co., 907 Walnut street, \$487.

**Residences and Stores (5),** Fifty-fourth and Morse streets, Philadelphia, \$51,000. Also **Garages (5),** \$1,000 each. Architect, private plans. Owner, Herman Dinnerman, 5421 Morse street, Philadelphia. Brick, 2 stories, (1) 17x60 feet, (4) 15x50 feet, 12x9 feet, hot water heat, electric light. Owner will build.

**Residences (18),** 5801-35 North Woodstock street, Philadelphia, \$91,000. Architect, private plans. Owner, Thomas J. K. Parker, 4401 Germantown avenue, Philadelphia. Brick, 2 stories, 15x35 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage,** Northwest Corner Second and Fishers avenue, Philadelphia, \$20,000. Architect, private plans. Owner, Henry Franz, on premises. Brick, 1 story, 50x100 feet, slag roof,

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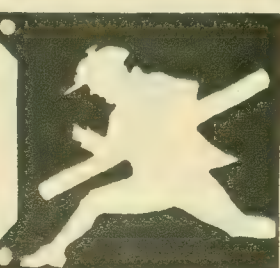
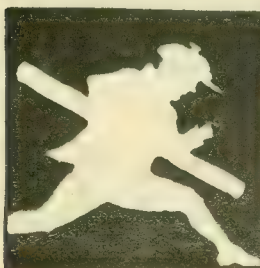
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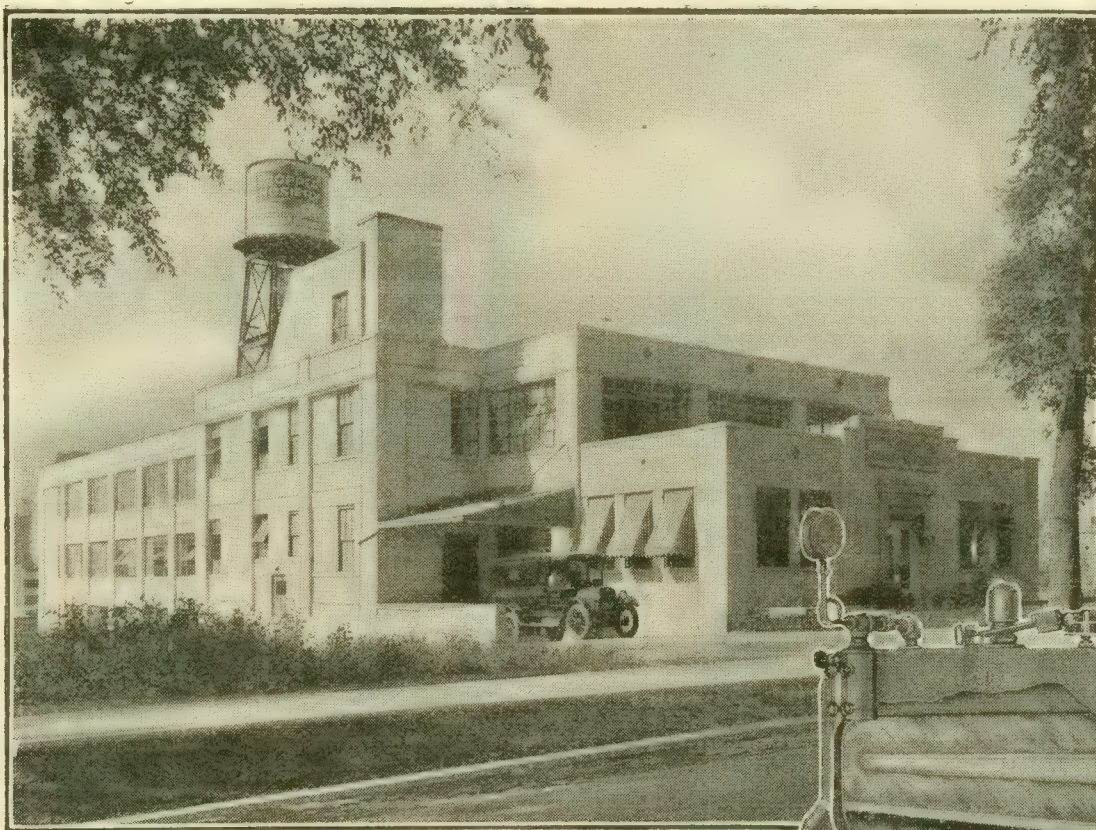
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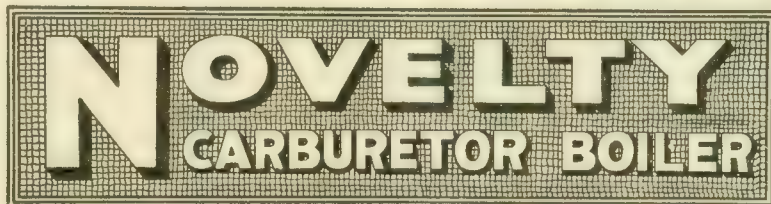


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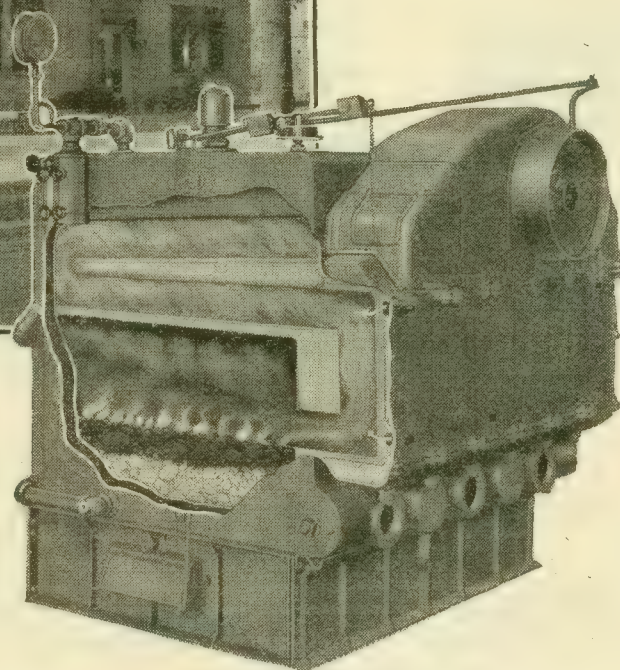
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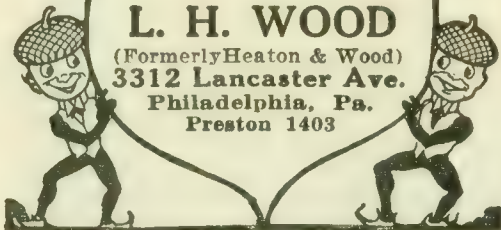
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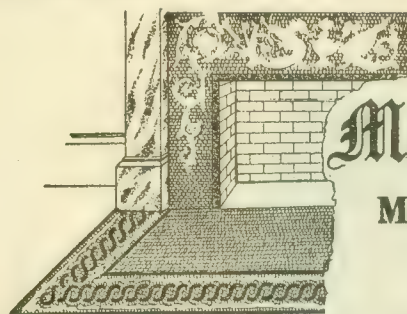
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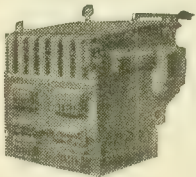
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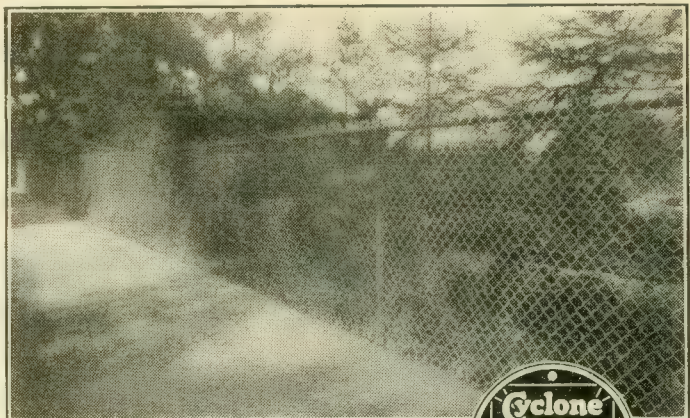


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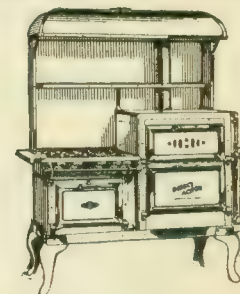
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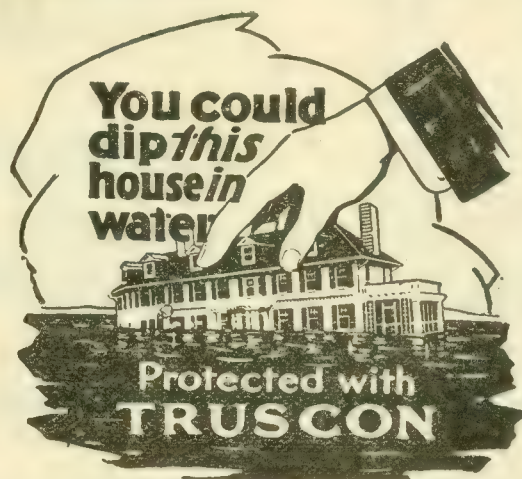
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cement floors, electric lighting. Owner will build.

**Residence**, 5337 Pulaski avenue, Philadelphia, \$10,000. Architect, private plans. Owner, Morris Banks, 343 West Penn street, Philadelphia. Brick, 2 stories, 18x32 feet, 15x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Warehouse (alts.)**, 755-69 South Eleventh street, Philadelphia, \$15,000. Architect, private plans. Owners, Marcus Packman, 429 South Fifty-seventh street, Philadelphia. General alterations. Owner will build.

**Residences (43)**, Seventieth and Gray's avenue, Philadelphia, \$5,000 each. Architect, private plans. Owners, Shapiro & Reed, 1520 South Fifty-seventh street, Philadelphia. Brick, 2 stories, 16x31 feet, slag roof, pine and hardwood floors, hot water heat, electric light. Owners will build.

**Residences (12)**, 1625-47 Nedro avenue, Philadelphia, \$83,350. Architect, private plans. Owner, William J. Baltz, Sixty-sixth and Lawnton avenue, Philadelphia. Brick, 2 stories, 16x45 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, 6415-17 Hasbrook street, Philadelphia, \$7,000 each. Architect, private plans. Owner, G. H. Simskat, 6413 Hasbrook street, Philadelphia. Brick, 2 stories, 16x55 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (6)**, 2031-41 West Bellevue street, Philadelphia, \$5,000 each. Architect, private plans. Owner, Edward P. Biggans, 2500 West Sterner street, Philadelphia. Brick, 2 stories, 14x26 feet, 12x11 feet, slag roof,

hardwood and pine floors, hot water heat, electric light. Owner will build.

**Apartment (alts. and add.)**, 743 East Penn street, Philadelphia, \$5,000. Architect, private plans. Owner, Charles P. Trois, 735 East Penn street, Philadelphia. Brick, 2 stories, 8x15 feet, 2 stories, 27x38 feet, general alterations. Owner will build.

**Garage**, South side Luzerne street, East of E street, Philadelphia, \$4,000. Architect, private plans. Owner, J. C. Walker, Luzerne and F streets, Philadelphia. Brick, 1 story, irregular shape, cement floors, slag roof. Owner will build.

**Residences (2)**, North side Buist avenue, East of Eightieth street, \$11,000 total. Architect, private plans. Owner, J. Markreca, on premises. Brick, 2 stories, 16x54 feet and 17x54 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residences (2)**, 4829-31 North Mascher street, Philadelphia, \$5,000 each. Architect, private plans. Owner, James Daly, 4831 Mascher street, Philadelphia. Brick, 2 stories, 15x30 feet, 13x15 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Dyehouse (add.)**, 1926 John street, Frankford, Philadelphia, \$9,000. Architect, private plans. Owner, George Smith, 1626 Margaret street, Philadelphia. Brick, 1 story add., 40x70 feet. Owner will build.

**Residences (6)**, East side Berbro street, South of Theodore, \$5,000 each. Architect, private plans. Owner, Philip Yoskin, 6550 Paschall avenue, Philadelphia. Brick, 2 stories, 16x30 feet, 13x10 feet, hot water heat, electric light, slag roof, hardwood and pine floors. Owner will build.

**Filling Station**, Southeast Corner Ridge avenue and Walnut Lane, Philadelphia. Architect, private plans. Owners, Gulf Refining Co., 516 Widener Building, Philadelphia. Brick, size of lot 70x150 feet, cement floors. Plans in progress. Owner will build.

**Garage**, North side Buckius street, West of Frankford avenue, \$4,500. Architect, private plans. Owner, John Siegle, Jr., 4850 Roosevelt Boulevard, Philadelphia. Brick, 1 story, 52x17 feet, 34x100 feet, slag roof, cement floors. Owner will build.

**Residences (28)**, East side Oakmont street, North of Edmund street, \$3,500 each. Architect, private plans. Owner, Thomas J. McGarvey, Penfield Building, Philadelphia. Brick, 2 stories, 15x24 feet, 12x11 feet, slag roof, electric light, hot water heat. Owner will build.

**Store and Residence (alts. and add.)**, Southwest Corner Fiftieth and Willows avenue. Architect, private plans. Owner, William Shore, on premises. Brick, 2 stories add., 4x16 feet, general alterations. Owner will build.

**Garage**, North side Yocum street, West of Fifty-fifth street, \$2,000. Architect, private plans. Owner, Robert G. Simpson, 5520 Yocum street, Philadelphia. Brick, 1 story, 50x20 feet, cement floors, slag roof. Owner will build.

**Recreation Center (Penrose)**, Twelfth and Susquehanna avenue, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Bureau of Recreation, 595 City Hall, Philadelphia. General construction. Owners taking bids due October 2nd at noon.

**Workshop**, South side Penrose Ferry avenue, East of Schuylkill River. Architect, private plans. Owners, Gulf Refining Co., on premises. Iron, 1 story, 59x175 feet. Owners will build.

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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Nurses' Home,** Tenth and Sansom streets, Philadelphia. Architect, J. Fletcher Street, 1120 Locust street, Philadelphia. Supervising engineers, Stone & Webster, Real Estate Trust Building, Philadelphia. Owners, Jefferson Medical College, Tenth and Sansom streets, Philadelphia. Brick, concrete, 6 stories and basement, 99x31 feet (steel, metal stairs, elevators, elevator doors, plumbing, heating, electric, ash hoist reserved), slag roof, maple and cement floors, shoring, ornamental iron work, bond, hollow metal doors, hollow metal sash, tile, marble and terrazzo work, metal lath. Contract awarded Wark Co., 1600 Walnut street, Philadelphia.

**Buildings (alts.),** Nos. 5-7-9 Corinthian and Girard avenues, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Girard College, Corinthian and Girard avenues, Philadelphia. Brick, cut stone, steel, steam heat, electric light alts., repairs to roof, hollow tile, plastering (plumbing reserved), painting and glazing, waterproofing, ornamental iron work. Contracts awarded: Building No. 9, Franklin M. Harris Co., 1520 Parrish street, Philadelphia. Building No. 5, E. H. Keefer & Son, 1321 Rodman street, Philadelphia. Building No. 7, not awarded.

**Store and Residence,** 3255 North Front street, Philadelphia. Architect, Morris Fruchtbaum, 6100 Spruce street, Philadelphia. Owners, Duffy Brothers, Inc., on premises. Brick,

2 stories, 25½x100 feet, slag roof, hardwood and composition floors, hot water heat, electric light, tile work, hollow metal skylights, plate glass, sheet metal cornice, cement work. Contract awarded Clayton & Davison, 2030 East Westmoreland street, Philadelphia.

**Store and Office Building,** Southwest Corner Fifteenth and Ionic streets, Philadelphia. Architect, Gabriel B. Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Brick, cut stone, steel, granite, 4 stories and basement, 18x98 feet, slag Spanish tile roof, oak, composition and maple floors, elevators, steam heat, electric light, metal lath, tile work, copper skylights, bond, ornamental iron work, rubber floors, plumbing, painting and glazing, wrought iron pipe. Contract awarded David Lutz Co., Twenty-third and Chestnut streets, Philadelphia.

**Alterations and Additions,** 306 Stock Exchange Building, \$5,000. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Estate of Stephen Girard, Lafayette Building, Philadelphia. Brick, 2 stories add., 15x40 feet, iron and steel, electric work, bluestone, marble and tile work, painting, glazing, cement and concrete, plastering, hardware, heating and plumbing, copper ventilators. Contract awarded to Harry R. Rust, 19 South Eighth street, Philadelphia.

**Residence and Garage,** Chestnut Hill, Pa. Architect, R. R. McGoodwin, 1600 Walnut street, Philadelphia. Owner, Frank M. Hen-

son, Chestnut Hill, Pa. Stone, 2½ stories, 28x70 feet, garage, 10x20 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work, flagstone. Contract awarded J. E. Walt, Willow Grove, Philadelphia.

**Interior Alterations,** 113 South Thirty-fourth street, Philadelphia. Architect, private plans. Owners, Anthracite Economies Co., Atlantic Building, Philadelphia. Cement work, interior partitions, carpentry and mill work. Contract awarded Bennett McLaughlin, 3260 Ludlow street, Philadelphia.

**Bridge,** Girard avenue over Pennsylvania avenue and Philadelphia and Reading R. R., Philadelphia. Owners, Bureau of Surveys, 216 City Hall, Philadelphia. Reinforced concrete and steel. Contract awarded Golder Const. Co., 263 South Fifteenth street, Philadelphia, \$93,340.

**Residences (3), Store and Residence (1),** Loudon and Camac streets, \$18,700. Architect, private plans. Owner, I. Matuck, 738 South Fourth street, Philadelphia. Brick, 2 stories, various sizes, hot water heat, electric light, slag roof, hardwood and pine floors. Contract awarded to J. Iagnato, 1101 North Forty-second street, Philadelphia.

**Residences (3),** West side Ridge avenue, South of Rex avenue, \$5,200 each. Architect, private plans. Owner, Louis Missimer, 478 Markle street, Philadelphia. Stone, 3 stories, 24x28 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to H. C. Missimer, 478 Markle street, Philadelphia.

**Garage,** 528-34 Preston street, Philadelphia, \$25,000. Architect, private plans. Owner, T. Noffe, 5042 North Eighth street, Philadelphia. Brick, 1 story, 50x180 feet, slag roof, cement floors. Contract awarded to M. Yack-

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nitz, 4544 North Warnock street, Philadelphia.

**Residence**, Southeast Corner Dorset street and Stenton avenue, Philadelphia, \$15,000. Architect, private plans. Owner, Irwin H. English, 1831 Brandywine street, Philadelphia. Stone, 3 stories, 26x35 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to John R. Erbe, 2551 North Sixth street, Philadelphia.

**Store and Office**, 3617-23 Lancaster avenue, Philadelphia, \$15,000. Architect, private plans. Owner, D. Henwood, 717 South Sixty-third street, Philadelphia. Brick, 1 story, 50x59 feet, slag roof, electric lighting. Contract awarded to W. N. Manuel, 5849 Ellsworth street, Philadelphia.

**Garage**, 5215 Germantown avenue, Philadelphia, \$10,000. Architect, private plans. Owner, William Bechtel, on premises. Brick, steel, 1 story, 35x185 feet, slag roof, cement floors, rolling steel sash, ornamental iron work. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Garage**, 2966-70 Richmond street (and alts.) to Shop, \$18,000. Architect, private plans. Owner, A. Azenewicz, 3205 Salmon street, Philadelphia. Brick, 1 story, 60x120 feet, slag roof, general alterations to shop, cement floors, electric light. Contract awarded to K. Zoltowski, 3027 Emerald street, Philadelphia.

**Garage**, South side Wolf street, West of Swanson street, Philadelphia, \$12,000. Architect, private plans. Owners, Morganthaler Brothers, on premises. Brick, 1 story, 60x90 feet, slag roof, cement floors. Contract awarded to William F. Koelle & Co., 2601 Oxford street, Philadelphia.

**Concrete Beater Chest**, Nixon and Fountain streets, Philadelphia. Architect, private plans. Owners, Philadelphia Paper Co., on premises. Concrete. Contract awarded Hughes Foulkrod Co., Commonwealth Building, Philadelphia.

**Garage**, West side Broad street, South of Clearfield street, \$18,000. Architect, private plans. Owner, N. Slonimsky, 1113 Franklin Trust Building, Philadelphia. Brick, 1 story, 36x16 feet, 144x80 feet, slag roof, cement floors. Contract awarded to Marcus & Packman, 429 South Fifty-seventh street, Philadelphia.

**Apartment (alts. and add.)**, Southwest Corner Queen and Archer streets, \$8,000. Architect, private plans. Owner, Samuel Miller, 1847 North Thirty-third street, Philadelphia. Brick, 1 story, 6x68 feet, 1 story, 23x13 feet, 1 story, 11x21 feet, second, third and fourth stories, 21x12 feet, general alterations. Contract awarded to A. Nemerovsky, 1906 South Fourth street, Philadelphia.

**Bank (alts.)**, Northeast Corner Broad and Passyunk avenue, Philadelphia, \$6,000. Architect, private plans. Owners, American Bank & Trust Co., on premises. General alterations.

Contract awarded to Jones & Lyman, 2860 South Fifteenth street, Philadelphia.

**Residence**, 6433 North Twelfth street, Philadelphia, \$10,000. Architect private plans. Owner, Charles Woelfel, 614 Cambria street, Philadelphia. Brick, 2 stories, 32x36 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Harold P. Mueller, 204 Oak Lane Trust Building.

**Residence**, East side Castor Road, South of Solly street, \$7,500. Architect, private plans. Owner, William Werner, 2198 East Huntingdon street, Philadelphia. Stone and frame, 2 stories, 26x34 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to George B. Sternhauer, Glenside, Pa.

**Garage**, 908-10 South Tenth street, Philadelphia, \$8,500. Architect, private plans. Owner, A. Sinaro, 912 South Ninth street, Philadelphia. Brick, 2 stories, 30x70 feet, slag roof, pine and cement floors. Contract awarded to N. Altarello, 902 South Eighth street, Philadelphia.

**Residence**, Southeast Corner Wellington and Frontenac streets, \$6,500. Architect, private plans. Owner, William Kimpf, 406 Grange street, Philadelphia. Frame, 2 stories, 30x25 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to E. R. Gus Roesler, 2026 North Park avenue, Philadelphia.

**Store and Residence (alts. and add.)**, 2308-10 North Twenty-ninth street, \$6,000. Architect, private plans. Owner, Becky Figburg, on premises. Brick, 1 story add., 11 feet 6 inches x 8 feet, general alterations. Contract awarded to P. Spivak, 2729 West Montgomery avenue, Philadelphia.

**Residence and Store (alts. and add.)**, 2543-45 Kensington avenue, \$6,000. Architect, private plans. Owner, I. Noffe, 5042 North Eighth street, Philadelphia. Brick, 2 stories add., 12x12 feet, general alterations. Contract awarded to M. Yacknitz, 4544 North Warnock street, Philadelphia.

**Workshop**, West side Marvine street, South of Montgomery avenue, \$5,000. Architect, private plans. Owner, Stanley Cornell, 1414 Mt. Vernon street, Philadelphia. Brick, 1 story, 47x100 feet, slag roof, pine floors, electric work. Contract awarded to H. Seasholtz, Elkins Park, Pa.

**Store and Residence (alts. and add.)**, 2081 East Cheltenham avenue, \$4,880. Architect, private plans. Owner, W. Baldwin, on premises. Brick, 2 stories add., 19x19 feet, general alterations. Contract awarded to Penn Building Co., 2029 Stenton avenue.

**Residence and Store (alts. and add.)**, 6801 North Broad street, \$3,500. Architect, private plans. Owner, Theo. H. Boesch, Sixty-eighth avenue and York Road, Philadelphia. Brick, 1 story, 28x25 feet, 1 story, 10x25 feet, general alterations. Contract awarded to Albert Dunlap, 7223 Oak avenue, Oak Lane.

**Boiler House (add.)**, Sixtieth and Woodbine avenue, Philadelphia, \$3,200. Owners, Overbrook Steam Heat Co., on premises. Stone, 1 story add., 54x16 feet, cement work, electric work. Contract awarded to Milton W. Young, 2037 North Sixty-third street, Philadelphia.

**Residence (add.)**, 1431 Point Breeze avenue, Philadelphia, \$3,000. Architect, private plans. Owner, S. Dash, on premises. Brick, 2 stories add., 13x23 feet. Contract awarded to Dillon & Jeffries, 1242 South Twentieth street.

**Garage**, 6432 Drexel Road, Philadelphia, \$2,850. Architect, private plans. Owner, William R. Paul, on premises. Stone, 1 story, 21x24 feet, cement floors, electric light. Contract awarded to M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Garage (alts.)**, 311-21 North Fifteenth street, Philadelphia, \$2,500. Architect, private plans. Owners, City Center Motor Service Co., on premises. General alterations. Contract awarded to A. Tapper, 4924 North Seventeenth street, Philadelphia.

**Garage**, 245 East Johnson street, Philadelphia, \$2,000. Architect, private plans. Owner, Dr. B. M. McIntire, on premises. Stone, 1 story, 28x20 feet, cement floors, electric work. Contract awarded to Samuel Harting & Son, 20 East Johnson street.

**Garage**, 221 Allens Lane, Philadelphia, \$2,000. Owner, Mrs. T. Dunn, on premises. Hollow tile, 1 story, 17 feet 6 inches x 20 feet, cement floors. Contract awarded to Bowman & Ralston, 8127 Germantown avenue.

**Store and Residence (alts. and add.)**, 4013 Lancaster avenue, \$2,000. Architect, private plans. Owner, Edward M. Flood, on premises. Brick, 1 story add., 16x12 feet, general alterations. Contract awarded to Hood & Gross, 1613 Chestnut street, Philadelphia.

**Store and Residence (add.)**, 817 South Thirteenth street, Philadelphia, \$4,000. Architect, M. Capobianco, 721 Walnut street, Philadelphia. Owner, Joseph Guarracino, on premises. Brick, 3 stories add., 18x36 feet, slag roof, composition floors, electric light, tile work, plumbing, metal ceilings. Contract awarded to F. Vianale, 818 South Thirteenth street.

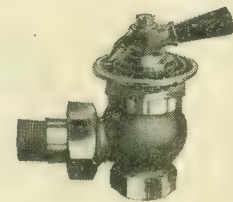
**Delaware River Bridge**, Contract No. 19, Philadelphia. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Construction of Philadelphia approach between Fourth and Fifth streets, and change incidentals thereto for bridge, including concrete footings on gravel foundations, concrete masonry, granite facing, construction of structural metal, grading of site and certain nearby streets, construction of sewers and inlets, paving and repaving of roadway, sidewalks and other work on streets adjacent. Contract awarded Mazzalo & Marano, 748 South Seventh street, Philadelphia, \$401,238.

**Comfort Station**, Norris Square, Philadelphia. Owners, Department of Public Welfare, Bureau of City Property, 216 City Hall, Philadelphia.

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delphia. Brick, steel, 1 story, 42x22 feet, slag roof, cement floors, painting, hardware, rolling steel sash, ornamental iron work, blue-stone. Contracts awarded: Kaufman Const. Co., North American Building, Philadelphia, \$10,785. Plumbing, Bullman Brothers, Fifth and Cumberland streets, Philadelphia, \$2,696. Heating, Bullman Brothers, Fifth and Cumberland streets, Philadelphia, \$296. Electric, Acme Mach. Co., 316 North Seventeenth street, Philadelphia, \$645.

**Building**, 229 South Broad street, Philadelphia. Architect, Leroy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Heyman & Brothers, 225 South Broad street, Philadelphia. Brick, cut stone, granite, 2 sto-

ries and basement, 130x20 feet, slate roof, cement and maple floors, plumbing, painting and glazing, shoring, ornamental iron work, wrought iron pipe, bond, tile work, steam heat, electric work. Contract awarded Golder Const. Co., 215 South Fifteenth street, Philadelphia.

**Residence (interior alterations)**, 1639 North Franklin street, Philadelphia. Architect, Charles Schaef, 11 South Sixteenth street, Philadelphia. Owner, D. A. K. Orstein, 1639 North Franklin street, Philadelphia. Brick, 3 stories, 30x70 feet, hot water heat, electric light, tile and marble work, oak floors. Contract awarded to C. Johnson & Son, 450 Church Lane, Philadelphia.

and Washington street, Royersford. Brick, cement block, 1 story, 54x28 feet, composition roof, yellow pine floors, septic tank, hot air heat, electric light, Morgan doors. Plans in progress. Owner will take sub-bids.

**Residence and Garage (3)**, Elkins Park, Pa. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owners, M. L. Traub, care of M. Getz & Co., 6701 North Broad street, Philadelphia. Stone, frame, stucco, 2½ stories, 30x40 feet, asbestos shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner is taking sub-bids.

**Residence (alts. and add.)**, Lantern Lane, Penlynn, Pa. Architect, J. B. Young, 54 Mildred avenue, Roslyn, Pa. Owner, Colgate Gilbert, on premises. Stone work, brick work, composition, plaster, road flagstone, copper flashings, hot water heat, electric light, painting. Owner is sub-letting.

**Residences (3)**, Lansdowne, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, J. D. Fisher & Miller, 5414 Thompson street, Philadelphia. Frame, 2½ stories, 24x42 feet, hot water heat, electric light, tile and marble work, shingle roof, hardwood floors. Plans in progress. Owners will take sub-bids.

**Bank Building**, Altoona, Pa. Architect, J. A. Dempwolf, Cassatt Building, York, Pa. Owners, First National Bank, J. Lloyd, Altoona, Pa. Fireproof, 3 or 9 stories, 60x120 feet, slate roof, hollow tile, elevators, metal lath, tile and marble work, bronze work, iron stairs, ornamental iron work. Architect taking sub-bids.

**Hospital**, Third avenue and Fourth street, Harrisburg, Pa. Architects, Kast & Kelker, 222 Market street, Harrisburg, Pa. Owners, Polyclinic Hospital, Dr. H. Gross, Harrisburg, Pa. Fireproof, reinforced concrete, brick, 3 and 4 stories, 194x110 feet, concrete roof, reinforced concrete floors, hollow tile, elevators, safety treads (heating, plumbing, electric re-

**High School**, Hummelstown, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Hummelstown School District, M. M. Sharp, secretary, Hummelstown, Pa. Architects selected.

**Odd Fellows' Club**, Steelton, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, I. O. O. F. of Steelton, care of architect. Sketches in progress.

**Office, Hotel, Dance Hall, Theatre and Stores**, Gettysburg, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Gettysburg Hotel, Gettysburg, Pa. Concrete, steel, hollow tile and brick, 2 stories, 100x150 feet, slag roof, cement and hardwood floors, plumbing, steam heat, electric light. Plans in progress.

**Bank Building**, Narberth, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owners, Merion Title & Trust Co., care of R. J. Hamilton, 1528 Walnut street, Philadelphia. Plans in progress.

**Residence and Garage**, Lansdowne and Dudley avenues, Lansdowne, Pa., \$40,000. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Stone, 2½ stories, slate roof. Preliminary plans in progress.

**Administration Building**, Penn Square, York, Pa. Architect, J. H. McClymont, Bacon Building, York, Pa. Owners, City of York, Park Commission, Mr. Rudy, York, Pa. Indiana limestone, 1 story, 18x20 feet, slate roof, yellow pine floors, electric light. Sketches in progress.

**Hospital (remodeling and add.)**, Columbia, Pa. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Columbia Hospital, Columbia, Pa. General remodeling of present building, new addition, brick, concrete and steel, 3 stories and basement, 41x60 feet. Plans in progress.

**Masonic Temple**, Bethlehem, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Masonic Homes, Bethlehem, Pa. Brick, steel, hollow tile, 2½ stories, 50x140 feet, slag or slate roof, steam heat, electric light, concrete and wood floors, will contain banquet hall, (2) lodge rooms, with a gallery connecting with present residence. Plans in progress.

**Residence (alts. and add.)**, Lewisburg Road, Skippack, Pa. Architect, E. Allen Wilson,

1208 Chestnut street, Philadelphia. Owner, Mr. George Berner, on premises. Stone, 2 story add., 16x16 feet, new porches, tin roof, hardwood floors, hot water heat, tile and marble work, water system, electric plant. Plans in progress.

**Chapel**, Fountain Springs, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Helen's Mission, Rev. J. B. Brogan, Gordon, Pa. Frame, 1 story, 25x70 feet, shingle roof, pine floors, hot air heat, electric light. Revised plans in progress.

**School**, Wallingford, Delaware County, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, School Board of Wallingford Township, Delaware County, Pa. Revised plans in progress.

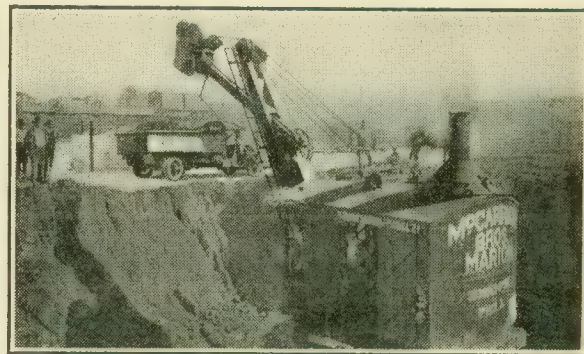
**Parochial School**, Waynesboro, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, Rev. W. J. O'Callahan, Waynesboro, Pa. Brick, steel, tile, 2 stories and basement, 71x125 feet, composition roof, pine floors, roof ventilators (heating, plumbing and electric work reserved), school equipment. Plans in progress. Architects will be ready for bids in two weeks.

**Residence**, Whitewood Park, Elkins Park, Pa. Architect, E. A. Stopper, 10 South Eighteenth street, Philadelphia. Owner, Charles Kahn, Morris Building, Philadelphia. Stone, hollow tile, stucco, 2½ stories, 63x23 feet, (2) wings, 15x20 feet, oil burning equipment, tile roof, hardwood floors, electric light, tile and marble work, refrigeration, landscape gardening, ornamental iron work. Plans in progress. Will be ready for bids in a month.

**Residence (alts. and add.)**, Cynwyd, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owner, C. P. Colwell, Cynwyd, Pa. Stone, 1 story addition, 10x20 feet, enclosed porch, 13x13 feet, general alterations. Plans completed. Architects will be ready for bids in a few days.

**Bungalow**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, H. L. Evans, Ninth avenue

## PENNSYLVANIA Construction News

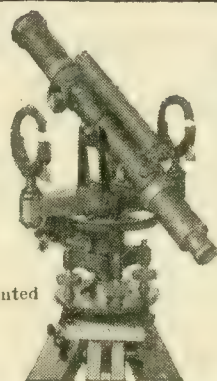


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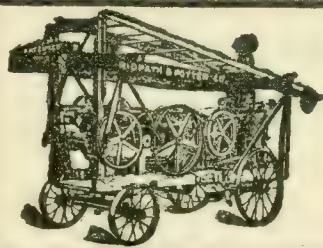
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served), metal lath, tile and marble work, rolled steel sash, steel doors, iron stairs, ornamental iron work. Architects taking bids due in about 2 weeks.

**Residence**, Academy Manor, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Harrisburg Academy, Dr. Brown, Academy Manor, Pa. Brick, stone trim, 2½ stories, 30x50 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Architects taking bids due October 1st.

**Rectory**, Lansdowne, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, St. Philomena's Roman Catholic Church, Rev. F. J. Markee, on premises. Stone, brick, cast stone, steel, 3 stories an dbasement, 37x66 feet (plumbing, heating, electric reserved), slate roof, cement and oak floors, painting and glazing, tile,

maible and terrazzo work, metal window guards, ornamental iron work, woodoleum floors. Architect taking bids due September 29th at noon.

**Residences (4)**, Duell Tract, Meadowbrook, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Wayne Herkness, Land Title Building, Philadelphia. Stone, brick, stone whitewashed, 2½ stories. Architect taking bids due October 1st.

**Residence and Garage**, Ardmore avenue and Tunbridge road, Haverford Township, Pa. Architects, Willing, Sims & Talbutt, Bankers' Trust Building, Philadelphia. Owner, Walter H. Hallahan, care of architect. Stone, cut stone, 2½ and 1½ stories, 89x60 feet, 24x22 feet, slate roof, oak, pine and cement floors, metal lath, tile and marble work, hollow metal sash, bond, ornamental iron work, limestone, flagstone, soapstone. Architects taking bids due September 30th.

**Fire House**, Hatfield, Pa. Architects, Conner & Winter, Lansdale, Pa. Owners, Hatfield Borough of Volunteer Fire Department, Hatfield, Pa. Brick, 1 story, 80x40 feet, steam heat, electric light, slag roof, cement floors, electric light. Low bidders: Building proper, Stoneback & Nace, Quakertown, Pa., \$15,823; stone foundations, Stoneback & Nace, Quakertown, Pa., \$3,854. Building proper, H. C. Shallcross, Gratersford, Pa., \$13,800; stone foundations, H. C. Shallcross, Gratersford, Pa., \$6,900.

**Hotel Building**, Norristown, Pa. Architect, H. L. Stevens, 522 Fifth avenue, New York City. Owners, Norristown Hotel Corporation, care of Clayton Alderfer, care of Penn Trust Co., Norristown, Pa. Brick, stone, concrete, steel, 5 stories and basement, 84x120 feet, will contain 100 rooms, assembly, 3 stores, basement shops, slag roof, cement, hardwood floors, elevators, tile and marble work, steam heat, electric light. Plans about completed. Architect will take sub-bids.

**Residence and Garage**, Merion, Pa. Architect, private plans. Owner, Herbert A. Barton, Pennsylvania Building, Philadelphia. Brick, frame and stucco, 2½ stories and 1½ stories, 37x22 feet, garage 19x19 feet, shingle roof, oak, pine and cement floors, plumbing, hot water heat, electric light, tile work. Owner taking bids due September 25th, from H. F. Baton, 1713 Sansom street, Philadelphia, who is taking sub-bids.

**Bank and Office Building**, Main and Swede streets, Norristown, Pa. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Norristown Penn Trust Co., Penn Trust Co., on premises. Lime stone, granite, brick, steel, concrete, 5 stories and basement, 131x65 feet, slag roof, oak, cement, cork floors, hollow brick, metal lath, steam heat, electric light, marble and terrazzo work, hollow metal sash and doors, ornamental iron work, ornamental terra cotta, water and dampproofing, mail chutes, ornamental plaster, acoustical treatment. Architect ready for bids.

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## Pennsylvania

### Contracts Awarded

**Office Building**, Ardmore, Pa. Architects, Zantzing, Borie & Medary, Otis Building, Philadelphia. Owners, Commissioners of Lower Merion Township, Montgomery County, Ardmore, Pa. Reinforced concrete, cut stone, limestone, steel, brick, 3 stories and basement, 100x60 feet, slag roof, cement and pine floors, steam heat, electric light, metal lath, tile, marble and terrazzo work, vault and kalamein doors, bond, iron stairs, ornamental iron work, shoring, dampproofing, granite, ornamental plastering, plumbing, wrought iron pipe. Contract awarded to Fred A. Havens Co., 845 North Nineteenth street, on condition that work will be completed in 200 working days.

**High School**, Lancaster, Pa. Architect, C. Emlen Urban, Woolworth Building, Lancaster, Pa. Owners, Lancaster City School District, Lancaster, Pa. Brick, granite, stone, steel, 4 stories, 65x195 feet, cement and maple floors, slag roof, hollow tile, metal lath, tile and marble work. Contract awarded to C. W. Strayer, Harrisburg, Pa., \$216,000. Heating and ventilating to Everts & Overdeer, Lancaster, \$42,000.

**Church (alts. and add.), Parsonage and Sunday School**, York, Pa. Architects, Edward Leber & J. H. Hatton, Hay Building, York, Pa. Owners, First Methodist Episcopal Church, Rev. B. Harle, care of architects. Stone, brick, steel, 1 and 2 stories, 50x100 feet, 35x70 feet and 80x100 feet, slate roof, hardwood and pine floors, hollow tile, water-proofing, cast stone or architectural terra cotta, tile work, metal lath, electric light (heating and plumbing reserved). Contract awarded to Hess Brothers, York, Pa.

**Residence and Garage**, Norristown, Pa. Architect, Edward Thompson Boggs, 119 South Fourth street, Philadelphia. Owner, Kenneth Howie, Norristown, Pa. Brick, cut stone, 2½ stories, 1½ stories, 49x34 feet, garage 24x16 feet (eating separate), slate roof, cement, oak and pine floors, painting and glazing, plumbing, electric light, tile work, ornamental iron work, vacuum cleaning system, galvanized iron pipe. Contract awarded F. Schuler, Norristown, Pa.

**Residence and Garage**, Merion, Pa. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owner, Mrs. Edward Boyd, care of architect. Brick, cut stone, stucco, 2½ stories, 1½ stories, 96x45 feet, wing 26x20 feet, slate roof, cement, oak and pine floors, painting and glazing, ornamental iron work, flagstone (heating, plumbing, weather strip reserved), tile work, bond. Contract awarded A. Zellfelder, 1324 Walnut street, Philadelphia.

**Club House**, Reading, Pa. Architect, Calvin J. Young, 226 North Sixth street, Reading, Pa. Owners, Harmony Association, care of architect. Brick, steel, 1 story and basement, 80x35 feet, built-up roof, maple floors, vapor heating, electric lighting, metal lath. Contract awarded to Adams & Saylor, 637 Gordon street.

**Bungalow**, Gay street, Royersford, Pa. Architect, J. V. Poley, 162 Second avenue, Royersford, Pa. Owner, John P. Taylor, Washington street, Royersford, Pa. Frame and cement block, 1 story, 24x28 feet, composition roof, yellow pine and concrete floors (heating, plumbing, electric work reserved). Morgan doors, septic tank. Contract awarded to M. L. Evans, Royersford, Pa.

**Sunday School**, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, Fourth Street Church of God, care of architect. Brick, stone, 2 stories, 40x85 feet, slag roof, maple floors, hollow tile, city heat, electric light, metal lath, parti-

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tions, ornamental iron work. Contract awarded to Charles Lady, Harrisburg, Pa.

**Residence**, Harrisburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, Dr. G. B. Stull, 217 Woodbine avenue, Harrisburg, Pa. Brick, 2½ stories, 54x46 feet, slate roof, cement and oak floors, cut stone, electric light, tile work. Contract awarded to Jacob Foose, Front street, North of Seneca, Harrisburg.

**Cold Storage Building**, Sixth and Forrest streets, Harrisburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, J. H. Kreamer, Sixth and Forrest streets, Harrisburg, Pa. Cinder block, 2 stories, 35x47 feet, Barrett roof, cement floors, freight elevators, insulation, refrigeration, waterproofing, electric lighting. Contract awarded to Charles Lady, Fourth and Seneca streets, Harrisburg.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa.

Potter County, A-2595, R-101, Coudersport Borough, 1,806 feet. One course reinforced concrete. \$22,713.36. Contract awarded to George Metzger, Jr., Emporium, Pa.

Fayette County, A-1468, Luzerne Township, 6,571 feet. One course reinforced concrete. \$86,303.55. Contract awarded to F. S. Wilson, Kittanning, Pa.

Perry County, R-30, Carroll, Centre and Wheatfield Townships, 16,948 feet. One course reinforced concrete. \$172,690.57. Contract awarded to Union Paving Co., Thirtieth and Locust streets, Philadelphia.

Potter County, A-2738, Lewisville Borough, 1,800 feet. One course reinforced concrete. \$28,467.25. Contract awarded to M. J. McMahon, Brookville, Pa.

Montgomery County, R-151, Jenkintown Borough. \$66,268.10. Contract awarded to Ambler-Davis Co., Harrison Building, Philadelphia.

**Residence and Garage**, Ardmore, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, G. J. Chetwood, Ardmore, Pa. Stone and clapboard, 2½ stories, 24x60 feet (electric reserved), hot water heat, tile work, hardwood floors, plumbing. Contract awarded to Gray Brothers, Rosemont, Pa.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Bucks County, bridge, Route 150, Bristol Township, Pa. Contract awarded to Craven Co., 605 Market street, Philadelphia, \$7,508.30.

## New Jersey Construction News

**Boiler Room and Garage (add.)**, Hammon-  
ton, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City. Owner, S. B. Clark, Hammon-  
ton, N. J. Concrete block and stucco, 1½ stories, 45x24 feet, shingle roof, concrete floors, electric light. Plans in progress.

**Store (add.)**, Trenton, N. J. Architects, Klemann & Kaplan, First National Bank Building, Trenton. Owners, Goldberg, Inc., Broad and Front streets, Trenton, N. J. Brick, steel, 5 stories and basement, 51x90 feet, slag roof, hardwood floors, hollow tile, elevators, metal lath, tile and marble work, rolled steel skylights, fire doors, iron stairs, ornamental iron work. Architects will be ready for bids in one week.

**Residence**, Princeton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Ogden Nevin, 5 Beechwood street, Trenton, N. J. Frame, 2½ stories, 28x70 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Architects taking bids.

**Residence**, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Theatre Building, Trenton. Owner, Walter Slack, care of architects. Stone, 2½ stories, 40x26 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Architects taking bids.

**Hospital**, Atlantic City, N. J. Architects, H. A. Stout, N. V. Martin and J. H. Vaughn, Guarantee Trust Building, Atlantic City, N. J. Owners, Atlantic City Hospital, care of Mr. J. Moore, Atlantic City, N. J. Fireproof, 5 stories, 120x165 feet, slag roof, hollow tile, roof ventilators, elevators, steam heat, electric light, metal lath, tile and marble work, rolled steel sash. Architects will be ready for bids in a few weeks.

**Church**, Ventnor, N. J. Architect, Robert J. Reilly, 50 East Forty-first street, New York City. Owner, Rev. Peter J. Petri, Church of St. James by the Sea, Vineland. Brick, cut stone, steel, stone, 1 story and basement, balcony, 115x63 feet, slate roof and slag roof, cement and maple floors, steam heat, electric light, metal lath, tile and marble work, plumbing, waterproofing, ornamental iron work, ornamental plaster, bluestone, cast iron pipe. Owner taking bids due as soon as possible.

**Residence (add.)**, 124 Ocean avenue, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphreys Building, Atlantic City. Owner, J. Casey, Atlantic City, N. J. Frame, brick, third story add., 50x25 feet, slag roof, pine floors, electric light, tile work. Owner will build.

**Residences (4)**, Greenwood avenue, Trenton, N. J., \$16,000. Architect, private plans. Owner, Mathew Reedhead, 217 Parkway, Trenton, N. J. Brick, hollow tile, cement block, 2 stories, 14x40 feet, slate roof, pine floors, electric light. Owner will build.

**School (add.)**, Willingsboro, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton, N. J. Owners, Willingsboro Township School Board, Dr. J. Stuart, Beverly, N. J. Frame, 1 story and basement, 35x65 feet, shingle roof, pine floors, unit heat, electric light. Low bidders: Weiler Brothers, Egg Harbor City, N. J., \$14,242. Heating, Harry Knecht, West Collingswood, N. J., \$5,178. Plumbing, Edward Gandy, Burlington, N. J., \$1,612. Electric, Fred Boehm, West Collingswood, N. J., \$1,135.

## New Jersey Contracts Awarded

**Residence**, 6 South Morris street, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owner, Anna M. McDonough, Hampton Court Apartments, Atlantic City. Brick, 3½ stories, 62 feet 6 inches x 50 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Contract awarded to J. Conover, Venice Park, Atlantic City.

**Residence and Garage**, Margate City, N. J. Architect, C. H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owner, R. Denny, care of architect. Frame, 2½ stories, 24x50 feet, slate roof, hardwood floors. Contract awarded to S. Lippincott, Atlantic City, N. J.

**Residence and Garage**, Ocean City, N. J. Architect, Lawrence Vissher Boyd, Harrison Building, Philadelphia. Owner, Charles F. Wall, Ocean City, N. J. Frame, 2½ stories,

electric light, slate roof, pine floors. Contract awarded W. H. Smith, Ocean City, N. J.

**Residences (2)**, South Broad street, Trenton, N. J., \$8,000. Architect, private plans. Owner, Edward Parsons, American Mech. Bank Building, Trenton, N. J. Frame, 2½ stories, 24x30 feet, slate and tin roof, pine floors. Contract awarded to Fred Reeger, 1918 South Clinton street, Trenton.

**Garage (add.)**, North Clinton street, Trenton, N. J., \$5,000. Architect, private plans. Owner, Michael Palmer, Trenton, N. J. Concrete block, 1 story, 50x100 feet, slag roof. Contract awarded to C. Lacy, North Clinton and Dewey streets, Trenton.

**Church**, Wayne avenue, Trenton, N. J., \$8,000. Architect, private plans. Owners, Pillar of Fire Church, Trenton, N. J. Brick, 1 story, 36x68 feet, slate roof, pine floors, electric work. Contract awarded to C. L. Wilson, 101 Wayne avenue, Trenton, N. J.

## Miscellaneous Construction News

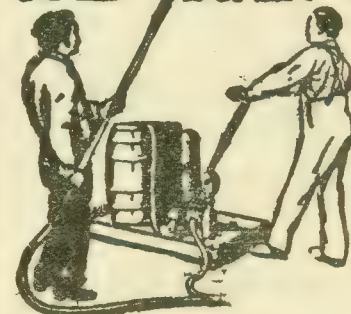
**Infirmiry**, Frederick, Md. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, Hood College, on premises. Brick, 2½ stories, 44x60 feet, slate roof, composition floors, electric light, tile work. Plans in progress.

**Residence**, Havre de Grace, Md. Architects, H. Rex Stackhouse and W. W. Donohue, 1120 Locust street, Philadelphia. Owner, Miss Jennie Riegel, Baltimore, Md. Stone and frame, 2½ stories, 48x30 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Architects will take bids in two weeks.

**Residence**, Clarksburg, W. Va. Architect, H. Rex Stackhouse, 1120 Locust street, Philadelphia. Owner, James J. Lipper, Clarksburg, W. Va. Frame, 2½ stories, 32x34 feet, shingle roof, hardwood floors, hot water heat, electric light, tile and marble work. Owner taking general bids from local contractors.

**Road Work**, Delaware. Owners, State Highway Department, Dover, Del. Owners taking bids due October 15th at 2 P. M. Certified check required. Deposit of \$10 (refunded).

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Contract 31, Blackbird-Ginn's Corner, 1.72 miles. Excavation, borrow, broken stone base course, cement concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, corrugated iron pipe, 15-inch, 16-inch, 18-inch, 24-inch, 30-inch, 36-inch R. C. pipe, relaid pipe 18 inches and under, wood shoulder curb.

Contract No. 49, DuPont Boulevard, Ellendale, 0.837 miles. Excavation, borrow, broken stone base course, cement concrete pavement, slag concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, R. C. pipe.

Contract No. 50, West Corner-Lowes Cross Roads, 1.10 miles. Excavation, borrow, broken stone base course, cement concrete pavement, slag concrete pavement, Class A concrete, reinforcement, 15-inch, 18-inch, 24-inch, 30-inch, 36-inch R. C. pipe, wood shoulder curb, timber piling.

Contract No. 51, Georgetown-Bridgeville Road, 0.96 miles. Excavation, borrow, broken stone base course, cement concrete pavement, slag concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, 15-inch and 18-inch R. C. pipe.

Contract CN-23, Biddle Corner-Port Penn, 3.94 miles. Excavation, borrow, broken stone base course, cement concrete pavement, longitudinal metal joint, Class A concrete, reinforcement, 16-inch, 15-inch, 18-inch, 24-inch, 30-inch, 36-inch R. C. pipe, relaid pipe 18-inch and under, Class A concrete gutter, wood shoulder curb.

## Miscellaneous Contracts Awarded

**Church Spire**, Wilmington, Del., \$20,000. Architects, Day & Klauder, 1416 Chestnut street, Philadelphia. Owners, Trinity Episcopal Church, Wilmington, Del. Cut stone. Contract awarded W. D. Haddock Co., Wilmington, Del.

## Proposal

TREASURY DEPARTMENT, Supervising Architect's Office, Washington, D. C., Sept. 19, 1924—Sealed Proposals will be opened in this office at 3 P. M., Oct. 16, 1924, for New Water Pumps, etc., U. S. Quarantine Station, Reedy Island, Del. Drawing and specifications may be obtained from this office or at the office of the Custodian, U. S. Quarantine Station, Reedy Island, Del., in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from Page 612)

may arise from operations under this contract.

**Art. 29. Fire Insurance.**—The Owner shall effect and maintain fire insurance upon the entire structure on which the work of this contract is to be done and upon all materials in or adjacent thereto and intended for use thereon, to at least eighty per cent. of the insurable value thereof. The loss, if any, is to be made adjustable with and payable to the Owner as Trustee for whom it may concern.

All policies shall be open to inspection by the Contractor. If the Owner

fails to show them on request, or if he fails to effect or maintain insurance as above, the Contractor may insure his own interest and charge the cost thereof to the Owner. If the Contractor is damaged by failure of the Owner to maintain such insurance, he may recover as stipulated in the contract for recovery of damages.

If required in writing by any party in interest, the Owner as Trustee shall, upon the occurrence of loss, give bond for the proper performance of his duties. He shall deposit any money received from insurance in an account separate from all his other funds and he shall distribute it in accordance with such agreement as the parties in interest may reach, or under an award of arbitrators appointed, one by the Owner, another by joint action of the other parties in interest, all other procedure being as provided elsewhere in the contract for Arbitration. If after loss no special agreement is made, replacement of injured work shall be ordered and executed as provided for changes in the work.

The Trustee shall have power to adjust and settle any loss with the insurers unless one of the Contractors interested shall object in writing within three working days of the occurrence of loss, and thereupon arbitrators shall be chosen as above. The Trustees shall in that case make settlement with the insurers in accordance with the directions of such arbitrators, who shall also, if distribution by arbitration is required, direct such distribution.

**Art. 30. Guaranty Bonds.**—The Owner shall have the right to require the Contractor to furnish bond covering the faithful performance of the contract and the payment of all obligations arising thereunder, in such form as the Owner may prescribe and with such sureties as he may approve. If such bond is required by instructions given previous to the receipt of bids, the premium shall be paid by the Contractor; if subsequent thereto, it shall be paid by the Owner.

**Art. 31. Damages.**—Any claim for damage arising under this contract shall be made in writing to the party liable within a reasonable time of the first observance of such damage and not later than the time of final payment, except as expressly stipulated otherwise in the case of faulty work or materials, and shall be adjusted by agreement or arbitration.

**Art. 32. Liens.**—Neither the final payment nor any part of the retained percentage shall become due until the Contractor, if required, shall deliver to the owner a complete release of all liens arising out of this Contract, or receipts

in full in lieu thereof and, if required in either case, an affidavit that so far as he has knowledge or information the releases and receipts include all the labor and material for which a lien could be filed; but the Contractor may, if any subcontractor refuses to furnish a release or receipt in full, furnish a bond satisfactory to the Owner, to indemnify him against any lien. If any lien remain unsatisfied after all payments are made, the Contractor shall refund to the Owner all moneys that the latter may be compelled to pay in discharging such a lien, including all costs and a reasonable attorney's fee.

**Art. 33. Assignment.**—Neither party to the Contract shall assign the Contract or sublet it as a whole without written consent of the other, nor shall the Contractor assign any moneys due or to become due to him hereunder, without the previous written consent of the owner.

**Art. 34. Mutual Responsibility of Contractors.**—Should the Contractor cause damage to any other contractor on the work, the Contractor agrees upon due notice, to settle with such contractor by agreement or arbitration if he will so settle. If such other contractor sues the Owner on account of any damage alleged to have been so sustained, the Owner shall notify the Contractor, who shall defend such proceedings at the Owner's expense and, if any judgment against the Owner arise therefrom, the Contractor shall pay or satisfy it and pay all costs incurred by the Owner.

**Art. 35. Separate Contracts.**—The Owner reserves the right to let other contracts in connection with this work. The Contractor shall afford other contractors reasonable opportunity for the introduction and storage of their materials and the execution of their work and shall properly connect and co-ordinate his work with theirs.

If any part of the Contractor's work depends for proper execution or results upon the work of any other contractor, the Contractor shall inspect and promptly report to the Architect any defects in such work that render it unsuitable for such proper execution and results. His failure so to inspect and report shall constitute an acceptance of the other contractor's work as fit and proper for the reception of his work, except as to defects which may develop in the other contractor's work after the execution of his work.

To insure the proper execution of his subsequent work the Contractor shall measure work already in place and shall at once report to the Architect any discrepancy between the executed work and the drawings.

(Continued next week.)



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Erickson & Weiss, Fisher's Ave. and Mascher St.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

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Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Holloway Corporation. ....105-107 S. Third St., Phila.  
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Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News. ....Perry Bldg., Phila.

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The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

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West Jersey Sand & Supply Co.,  
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## CEMENT WORK.

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## CONCRETE WORK.

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Patton, Edward W. ....400 Lincoln Bldg., Phila.

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## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
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## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Anti-Hydro Waterproofing Co.,  
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Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories. ....1505 Race St., Phila.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

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## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

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McCool, John. Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

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## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ....Erie Ave. and "D" St., Phila.

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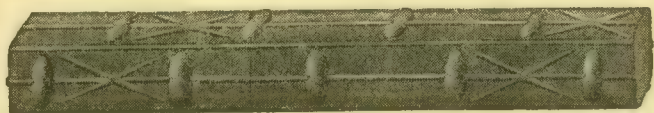
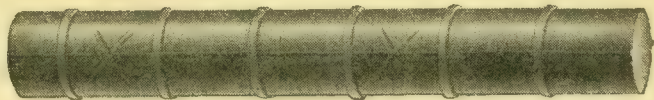
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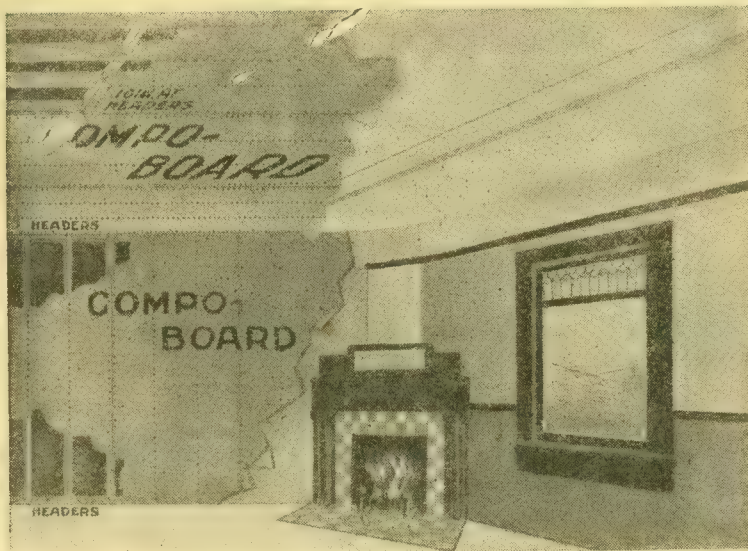
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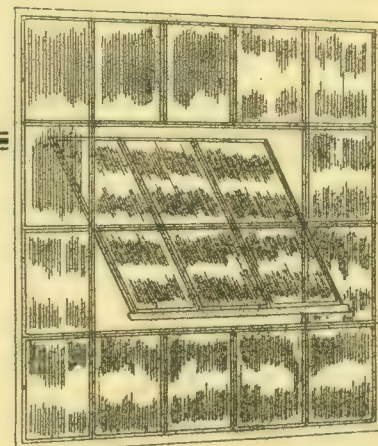
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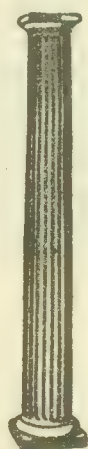


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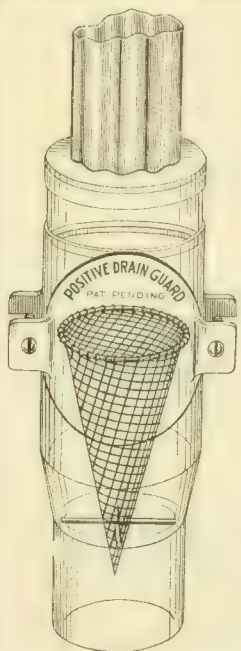
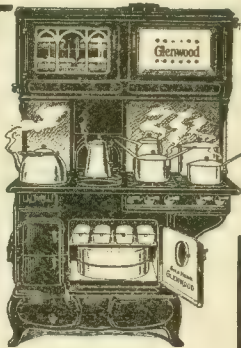


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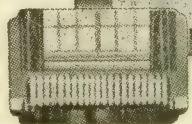
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Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 40

PHILADELPHIA  
October 1, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### STANDARD AGREEMENT FOR CONSTRUCTION OF BUILD- INGS

*Issued by the Joint Conference on Stand-  
ard Construction Contracts*

(Continued from last issue)

**Art. 36.—Subcontracts.**—The Contractor shall, as soon as practicable after the signature of the contract, notify the Architect in writing of the names of subcontractors proposed for the principal parts of the work and for such others as the Architect may direct and shall not employ any that the Architect may within a reasonable time object to as incompetent or unfit.

If the Contractor has submitted before signing the contract a list of sub-contractors and the change of any name on such list is required or permitted after signature of agreement, the contract price shall be increased or diminished by the difference in cost occasioned by such change.

The Architect shall, on request, furnish to any subcontractor, wherever practicable, evidence of the amounts certified on his account.

The Contractor agrees that he is, as fully responsible to the Owner for the acts and omissions of his subcontractors and of persons either directly or indirectly employed by them, as he is for the acts and omissions of persons directly employed by him.

Nothing contained in the contract doc-

uments shall create any contractual relation between any subcontractor and the Owner.

**Art. 37. Relations of Contractor and Subcontractor.**—The Contractor agrees to bind every Subcontractor and every Subcontractor agrees to be bound by the terms of the Agreement, the General Conditions, the Drawings and Specifications as far as applicable to his work, including the following provisions of this article, unless specifically noted to the contrary in a subcontract approved in writing as adequate by the Owner or Architect.

This does not apply to minor subcontracts.

The Contractor shall provide also in each contract, except as noted above, that the Subcontractor agrees—

(a) To be bound to the Contractor by the terms of the Agreement, General Conditions, Drawings and Specifications, and to assume toward him all the obligations and responsibilities that he, by those documents, assumes toward the Owner.

(b) To submit to the Contractor applications for payment in such reasonable time as to enable the Contractor to apply for payment under Article 24 of the General Conditions.

(c) To make all claims for extras, for extensions of time and for damages for delays or otherwise, to the Contractor in the manner provided in the Agreement for like claims by the Contractor upon

the Owner, except that the time for making claims for extra cost is one week.

The Contractor agrees—

(d) To be bound to the Subcontractor by all the obligations that the Owner assumes to the Contractor under the Agreement, General Conditions, Drawings and Specifications, and by all the provisions thereof affording remedies and redress to the Contractor from the Owner.

(e) To pay the Subcontractor, upon the issuance of certificates, if issued under the schedule of values described in Article 24 of the General Conditions, the amount allowed to the Contractor on account of the Subcontractor's work to the extent of the Subcontractor's interest therein.

(f) To pay the Subcontractor, upon the issuance of certificates, if issued otherwise than as in (e), so that at all times his total payments shall be as large in proportion to the value of the work done by him as the total amount certified to the Contractor is to the value of the work done by him.

(g) To pay the Subcontractor to such extent as may be provided by the Contract Documents or the subcontract, if either of these provides for earlier or larger payments than the above.

(h) To pay the Subcontractor on demand for his work or materials as far as executed and fixed in place, less the retained percentage, at the time the certificate should issue, even though the

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Architect fails to issue it for any cause not the fault of the Subcontractor.

(j) To pay the Subcontractor a just share of any fire insurance money received by him, the Contractor, under Article 29 of the General Conditions.

(k) To make no demand for liquidated damages or penalty for delay in any sum in excess of such amount as may be specifically named in the subcontract.

(l) That no claim for services rendered or materials furnished by the Contractor to the Subcontractor shall be valid unless written notice thereof is given by the Contractor to the Subcontractor during the first ten days of the calendar month following that in which the claims originated.

(m) To give the Subcontractor an opportunity to be present and to submit evidence in any arbitration involving his rights.

(n) To name as arbitrator under arbitration proceedings as provided in the Agreement, the person nominated by the Subcontractor, if the sole cause of dispute is the work, materials, rights or responsibilities of the Subcontractor; or, if the Subcontractor and any other subcontractor jointly, to name as such arbitrator the person upon whom they agree.

The Contractor and the Subcontractor agree that—

(o) In the matter of arbitration, their rights and obligations and all procedure shall be analogous to those set forth in this contract.

Nothing in this article shall create any obligation on the part of the Owner to pay to or to see to the payment of any sums to any Subcontractor.

**Art. 38. Cash Allowances.**—The Contractor shall include in the contract sum all allowances named in the Contract Documents and shall cause the work so covered to be done by such Contractor and for such sums as the Architect may direct, the contract sum being adjusted in conformity therewith. The Contractor declares that the contract sum includes such sums for expenses and profit on account of cash allowances as he deems proper. No demand for expenses or profit other than those included in the contract sum shall be allowed. The contractor shall not be required to employ for any such work persons against whom he has a reasonable objection.

**Art. 39. Architect's Status.**—The Architect shall have general supervision and direction of the work. He is the agent of the Owner only to the extent provided in the Contract Documents and when in special instances he is authorized by the Owner so to act, and in such instances he shall, upon request, show the Contractor written authority. He has authority to stop the work whenever such stoppage may be neces-

sary to insure the proper execution of the Contract.

As the Architect is, in the first instance, the interpreter of the conditions of the Contract and the judge of its performance, he shall side neither with the Owner nor with the Contractor, but shall use his powers under the contract to enforce its faithful performance by both.

In case of the termination of the employment of the Architect, the Owner shall appoint a capable and reputable Architect, whose status under the contract shall be that of the former Architect.

**Art. 40. Architect's Decisions.**—The Architect shall, within a reasonable time, make decisions on all claims of the Owner or Contractor and on all other matters relating to the execution and progress of the work or the interpretation of the Contract Documents.

All such decisions of the Architect shall be final except as to the element of time and the financial considerations involved, which, if no agreement in regard thereto is reached, shall be subject to arbitration.

**Art. 41. Arbitration.**—All questions subject to arbitration under this contract shall be submitted to arbitration at the choice of either party to the dispute.

The Contractor shall not cause a delay of the work during any arbitration proceedings, except by agreement with the Owner.

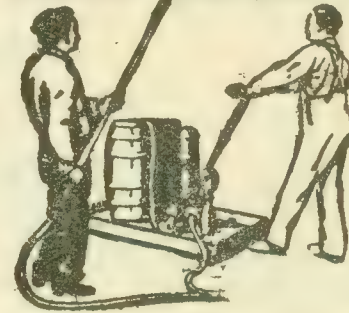
The demand for arbitration shall be filed in writing with the Architect, in the case of an appeal from his decision, within ten days of its receipt and in any other case within a reasonable time after cause thereof and in no case later than the time of final payment, except as otherwise expressly stipulated in the Contract. If the Architect fails to make a decision within a reasonable time, an appeal to arbitration may be taken as if his decision had been rendered against the party appealing.

No one shall be nominated or act as an arbitrator who is in any way financially interested in this Contract or in the business affairs of either the Owner, Contractor or Architect.

The general procedure shall conform to the laws of the State in which the work is to be erected. Unless otherwise provided by such laws, the parties may agree upon one arbitrator, otherwise there shall be three, one named in writing, by each party to this Contract, to the other party and to the Architect and the third chosen by these two arbitrators, or if they fail to select a third within the ten days, then he shall be chosen by the presiding officer of the Bar Association nearest to the location of the work. Should the party demanding arbitration fail to

(Continued on Page 639)

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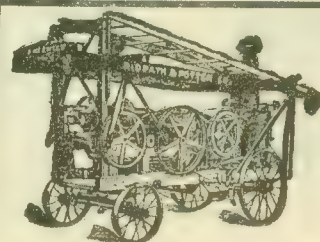
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CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Paving, Philadelphia.** Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Owners taking bids due October 7th at 216 City Hall. Asphalt paving, repaving, redress granite block repaving, country road improvement, electric hoists.

**Supplies, Philadelphia.** Owners, Board of Education, Mr. M. L. Savage, Nineteenth above Chestnut street. Gymnasium and lunch room equipment in Junior High Schools. General alterations, electric lighting, window screens, in various schools. Machinery, auditorium window curtains, etc. Owners taking bids due October 9th at noon.

**Residences (56), Lambert, Cambria, Woodstock and Twenty-first streets, \$179,600.** Architect, private plans. Owner, Nathan Kushin, 314 South Broad street, Philadelphia. Brick, 2 stories, 15 feet 7 inches x 32 feet, slag roof, hardwood floors, hot water heat, electric light. Owner will build.

**Residences (27), Tenth and Olney avenue, (1) Tenth and Chew streets, \$233,000.** Architect, private plans. Owner, Harry Bobb, 6232 Cedar avenue, Philadelphia. Brick, 2 and 3 stories, various sizes, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Store and Apartments (alts.), Southwest Corner Sixteenth and Mt. Vernon streets, Philadelphia.** Architect, Joseph Margolis, 1505 Race street, Philadelphia. Owner, A. Schneyer, 1201 Chestnut street, Philadelphia. General alterations to three-story building, 60x67 feet, slag roof, hardwood floors, plate glass, steam heat, electric light, metal lath, tile and marble work. Plans in progress.

**Residence (alts. and add.), Latches Lane and Old Lancaster avenue, Philadelphia.** Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Mrs. J. Minnich, on premises. Plans in progress.

**Residences and Garages (5), Front and Wentz streets, Philadelphia.** Architect, Joseph Margolis, 1505 Race street, Philadelphia. Owner, name withheld. Stone and brick, 2 stories, 16x38 feet, hot water heat, electric light, slate and tin roof, hardwood and pine floors, garages in basement. Plans and specifications may be seen at 2721 North Fifth street, where sub-bids are being taken.

**Residence, Commercial Museum, Philadelphia.** Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, House Beautiful Exposition, care of architect. Hollow tile, 1½ stories, tile roof, hardwood floors, electric light, tile work, plumbing, furnishings complete. Plans in progress. Architect is taking sub-bids.

**Residences (2), Shelbourne avenue, North of Levick avenue, Lawndale, Pa.** Architect and owner, W. H. Wooters, 816 West Allegheny avenue, Philadelphia. Brick, or concrete tile stuccoed, 2 stories, 16x39 feet 6 inches, slate and slag or tile and slag, pine and hardwood floors, hot water heat, electric light, tile work. Architect ready for sub-bids.

**Apartment House, 3924-26 Locust street, Philadelphia.** Architect, L. J. Tunis, 1423 Locust street, Philadelphia. Owner, name withheld. Brick, general alterations, 3 stories, plastering, hardwood floors, lighting, tile work, painting, mill work and carpentry, kitchen equipment, plumbing, porch enclosures, cement work. Plans about completed. Will be ready for bids in a few days.

**Office and Apartment, 503 Pine street, Philadelphia.** Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, I. L. Stein, care of architect. Brick, 3 stories, 18x78 feet, hot water heat, electric light, marble work, store fixtures, flush bulks, shoring, ornamental iron work. Owner will build. Work to start soon.

**Residences and Garages (2) (ind.), Highland avenue and Shawnee, Chestnut Hill.** Architect, W. K. Henkels, Chestnut Hill, Pa. Owner, J. T. Phister, Reg., 100 Highland avenue, Chestnut Hill, Pa. Stone and brick, 2½ stories, 20x40 feet, 1 story, 11x21 feet, slate and slag roof, hardwood floors, hot water heat, electric light, tile work, copper flashings and screens, cement work. Owner will build.

**Residences (92), Roosevelt Boulevard, F and Whitaker avenue, Philadelphia.** Architects, Stetler & Deysher, 1015 Chestnut street, Philadelphia. Owners, Solomon Brothers, Ninth and Walnut streets, Philadelphia. Brick, 2 stories, 15x42 feet, slag roof, hardwood and pine floors, hot water heat, electric, metal lath, tile work, cement work, garages in basement. Owners taking sub-bids.

**Residences and Garages (8), Wynnefield, Pa.** Architects, Stetler & Deysher, 1015 Chestnut street, Philadelphia. Owners, Solomon Brothers, Ninth and Walnut streets, Philadelphia. Brick and stucco, 2½ stories, 20x54 feet, brick, 1 story, 18x20 feet, tile roof, hardwood and cement floors, electric light, hot water heat, tile work. Two baths in each house. Plans about completed. Owners will take sub-bids in a few days.

**Residences (24), South side Oxford, between Fifty-seventh and Fifty-ninth streets, Philadelphia.** Architects, Stetler & Deysher, 1015 Chestnut street, Philadelphia. Owners, Lister & Hammond, 803 Jefferson Building, Philadelphia. Brick, 2 stories, 15 feet 6 inches

x 41 feet, slag roof, hardwood floors, cement work, garages in basement, metal lath, tile work, hot water heat, electric light. Owners will build.

**Supplies, Philadelphia.** Owners, Department of City Transit, 1211 Chestnut street, Philadelphia. Owners taking bids due October 1st, 11 A. M. Engineer equipment, drawing room equipment, hardware, electric goods, rubber goods, canvas bags.

**Distributing Station, Granite and Darrah streets, Frankford, Philadelphia.** Architect, private plans. Owners, Freihofer Baking Co., Twentieth and Indiana avenue, Philadelphia. Will consist of stable, wagon shed, store and office building. Brick, slow burning, 1 and 2 stories, 98x200 feet, slag roof, brick, pine, oak and cement floors, steam heat, electric light, rolling steel sash, plumbing, plastering, painting and glazing. Philip Haibach Cont. Co., 1261 North Twenty-sixth street, Philadelphia, taking sub-bids.

**Convent, 1420-22 East Susquehanna avenue, Philadelphia.** Architect, Peter F. Getz, Victory Building, Philadelphia. Owners, Holy Name of Jesus Parish, Rev. G. R. Scholz, on premises. Brick, cut stone, granite, limestone, concrete, 3 stories and basement, 63x36 feet (plumbing, heating, electric separate), asbestos shingle built up asphalt roof, composition and pine floors, metal lath, tile, marble and terrazzo work, sheet metal sash, copper skylights, metal ceilings, waterproofing, leaded glass. Architect taking bids due October 7th, 5 P. M.

**Penrose Memorial Playground (imp.), Shelter House, Eleventh and Twelfth, Colina and Susquehanna avenue, Philadelphia.** City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, City of Philadelphia, Bureau of Recreation, 595 City Hall. Brick, steel, asbestos sheets, 1 story, 41x29 feet (plumbing, drainage, electric separate bids), asbestos shingle roof, cement floor, hardware, bond, ornamental iron work, excavation, filling, grading, reinforced steel, iron fences, gates. Owners taking bids due October 2nd at noon.

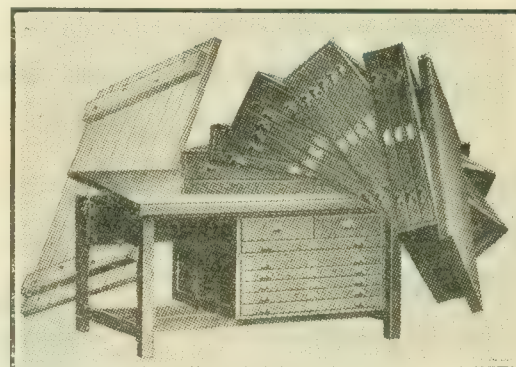
**Stores and Apartments (alts. and add.), Fifty-second and Whitby avenue, Philadelphia.** Architect, Clarence Wunder, 1520 Locust street, Philadelphia. Owner, Frank F.

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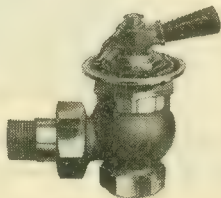
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**Church**, Greene near Coulter street, Philadelphia. Architects, Day & Klauder, 1416 Chestnut street, Philadelphia. Owners, Second Church of Christ Scientist, on premises. Stone, cut stone, reinforced concrete, brick, steel, 1 story and basement and balcony, 103x138 feet, slag roof, linoleum floors, hollow tile, plumbing, wrought iron pipe, steam heat, electric light, metal lath, marble and terrazzo work, bond, precast stone, bluestone, limestone. Architects taking bids due October 15th.

**Superstructure**, F street and Westmoreland avenue, Philadelphia. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owners, Church of the Ascension of Our Lord, Rev. D. J. Broughal, on premises. Reinforced concrete, stone, cut stone, brick, steel, limestone, 1 story and basement, 165x120 feet (plumbing, heating, electric, church windows, altars, bronze gates reserved), tile roof, maple floors, metal lath, bond, ornamental iron work, iron stairs, architectural terra cotta. Architects taking bids due October 8th at noon.

**Dispensary (add.)**, Tabor Road and Old York Road, Philadelphia. Architect, Horace W. Castor, Stephen Girard Building, Philadelphia. Owners, Jewish Hospital, A. Fleisher, Twenty-fifth and Reed streets, Philadelphia. Stone, cut stone, concrete, brick, steel, 1 story and basement, 42x25 feet, tin roof, cement floors, hollow tile, plumbing, roof ventilators, ornamental iron work, galvanized iron skylights, tile and marble work, metal lath, steam heat, electric light. Architect taking bids due October 5th, 3 P. M.

**Building (alts.)**, 2721 Girard avenue, Philadelphia. Owner, Samuel Nagelberg, 2723 Girard avenue, Philadelphia. Maple floors, plastering, plate glass, copper work, tile and marble work, brick, painting, plumbing (alts.), hot water heat, slag roof, hardwood, galvanized iron skylights. Owner taking bids due as soon as possible.

**Boiler House**, Twenty-first and Oregon avenue, Philadelphia. Architect, private plans. Owners, Philadelphia Quartermaster, Intermediate Depot, Const. Q. M., Philadelphia. Brick, steel, 1 story and basement, 53x42 feet, slag or asphalt built-up roof, plumbing, cement floors, roof ventilators, electric light, rolling steel sash, ornamental iron work, boilers, pumps, piping, cast cement, cast iron pipe, wrought iron or steel pipe. Owners taking bids due October 13th.

**Tank Room (alts.)**, Walnut Lane and Bel-

field avenue, Germantown, Pa. Architect, C. Leslie Weir, 41 East Forty-second street, New York City. Owners, American Ice Co., Mr. Fredericks, 121 North Broad street, Philadelphia. Painting, carpentry and mill work, cork board, waterproofing, structural steel, concrete work, cement floors. Owners taking bids due October 6th.

**Residences (42)**, Marsden street and Robbins avenue, Philadelphia, \$161,000. Architect, private plans. Owners, Terminal Const. Co., 6019 Market street, Philadelphia. Brick, 2 stories, (14) 14x37 feet, (40) 14x26 feet, 12x11 feet, hot water heat, electric light. Owners will build.

**Residences (9)**, Keystone and Howell streets, Philadelphia, \$38,000. Architect, private plans. Owner, S. S. Wilmer, 3211 Comly street, Philadelphia. Brick, 2 stories, (1) 16x54 feet, (8) 14x30 feet, 10x10 feet, hot water heat, electric light. Owner will build.

**Residences (22)**, South side Nedro avenue, West of Second street, \$111,500. Architect, private plans. Owners, Mulholland, Gotwals & Co., Third and Nedro avenue, Philadelphia. Brick, 2 stories, (21) 15x29 feet, 11x11 feet, (1) 17x40 feet, slag roof, hot water heat, electric light. Owners will build.

**Residences (15)**, West side Leithgow street, North of Nedro avenue, \$75,500. Architect, private plans. Owner, John F. Charlton, 1006 West Olney avenue, Philadelphia. Brick, 2 stories, (1) 16x43 feet, (14) 16x36 feet, 12x9 feet, slag roof, hot water heat, electric light. Owner will build.

**Store and Office (alts.)**, Southwest Corner Eighth and Sansom streets, Philadelphia, \$18,000. Architect, Fred N. Greisler, 1035 Walnut street, Philadelphia. Owner, Benj. Greenberg, 402 Fox Building, Philadelphia. General alterations. Owner will build.

**Residences (2)**, 100-02 West Highland avenue, Philadelphia, \$10,000 each. Architect, private plans. Owner, Joseph T. Phister, Fox Building, Philadelphia. Brick, 3 stories, 20x24 feet, 2 stories, 20x16 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residence**, 1109 East Passyunk avenue, Philadelphia, \$7,000. Architect, H. H. Kline, 717 Bulletin Building, Philadelphia. Owner, Joseph Buccafine, 1109 Passyunk avenue, Philadelphia. Brick, 3 stories, 16x28 feet, 13x27 feet, slag roof, electric lighting. Owner will build.

**Apartments (alts.)**, 3911-19 Pine street, Philadelphia, \$5,000. Architect, private plans. Owners, Silverman & Greenblatt, 226 South Fourth street, Philadelphia. General alterations. Owners will build.

**Residences and Garages (23)**, Fifty-fourth, Montgomery avenue and Morse street, \$118,200. Architect, private plans. Owners, Steinman & Losse, Fifty-fourth and Morse streets,

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**Residences, Stores and Garages (2),** Sixteenth and Belfield and Sixteenth and Loudden streets, Philadelphia, \$6,500 each. Owner, A. Goldstein, 1999 North Fifty-second street, Philadelphia. Brick, 3 stories, 42x18 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Group of Buildings,** Roberts avenue, East of Pennsylvania Railroad, \$11,300. Architect, private plans. Owners, Sinclair Refining Co., Widener Building, Philadelphia. Concrete pit for tank storage, (8) galvanized tanks, office, pump house, storage building and garage. Iron, 1 story, various sizes. Owners will build.

**Residence,** North side Mornen avenue, West of Eighty-sixth street, \$4,200. Architect, private plans. Owner, J. A. Talbert, 2002 Kimball street, Philadelphia. Brick, 2 stories, 23x36 feet, hot air heat, electric light. Owner will build.

**Residence and Store,** Northwest Corner Cottman and Montour streets, \$5,600. Architect, private plans. Owner, Harry Glaser, 1235 Cottman street, Philadelphia. Brick, 2 stories, 18x58 feet, slag roof, hardwood and pine floors. Owner will build.

**Residences (4),** 7201-03-05-07 Ditman street, Philadelphia, \$4,500. Architect, private plans. Owner, H. Gerke, 3532 Princeton street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hot water heat, electric light. Owner will build.

**Residences (2),** East side Seventy-second street, North of Elmwood avenue, \$4,000 each. Architect, private plans. Owner, G. Einwechter, 8011 Avenue F, Philadelphia. Brick, 2 stories, 16x41 feet, tin roof, pine floors, hot water heat, electric light. Owner will build.

**Residences (6),** North side Charles street, West of Dyre street, \$4,800. Architect, private plans. Owners, Charles Clause and Dominick Nicoletti, 1363 Unity street. Brick, 2 stories, 15x28 feet, 11x12 feet, slag roof, hot water heat, electric light. Owner will build.

**Shop,** 3350-52 North Palethorpe street, Philadelphia, \$2,500. Architect, private plans. Owner, Eugene O. Toomes, 3351 North Second street, Philadelphia. Brick, 2 stories, 35 feet 6 inches x 30 feet, slag roof, pine floors. Owner will build.

**Garage (add.),** 240 North Vodges street, Philadelphia, \$3,100. Architect, private plans. Owner, E. E. Wiker, 224 Vodges street, Philadelphia. Brick, 1 story, 11x30 feet, second story, 18x44 feet, 2 stories, 18x30 feet, slag roof, cement floors. Owner will build.

**Residence,** North side Gibson avenue, West of Eighty-sixth street, \$2,000. Architect, private plans. Owner, Henry Williams, Eighty-

seventh and Harley streets, Philadelphia. Brick, 1 story, 16x30 feet. Owner will build.

**Workshop,** 4572 Ditman street, Philadelphia, \$2,000. Architect, private plans. Owner, Peter Solocumski, 4570 Ditman street, Philadelphia. Brick, 1 story, 19 feet 3 inches x 28 feet. Owner will build.

**Residence and Store (alts.),** Northeast Corner Sixty-seventh and Haddington streets, \$2,000. Architect, private plans. Owner, L. Friedman, 925 South Second street, Philadelphia. General alterations. Owner will build.

**Grading, etc.,** Philadelphia. Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Low bidders: Schedule A—Grading: Dewees Brothers, 1974 Spencer street, Philadelphia, \$8,771; Grange street and Fifteenth, Dewees Brothers, 1974 Spencer street, \$4,755; Hunting Park avenue, Dewees Brothers, 1974 Spencer street, \$527; N street and 3 others, T. Flanagan, 531 East Girard avenue, Philadelphia, \$2,395; Eighteenth street, Dewees Brothers, 1974 Spencer street, Philadelphia, \$3,212. Schedule B—Asphalt Paving: Day street, Union Paving Co., Thirtieth and Locust streets, \$6,920; Luzerne street and L, M, C streets, Union Paving Co., Thirtieth and Locust streets, \$44,392; Janney, Scheller, Sepviva, Tulip, Wiekell streets, Western Paving Co., Colonial Trust Building, \$32,937; Jasper street, Union Paving Co., Thirtieth and Locust streets, \$1,585; Larchwood avenue, Barber Asphalt Co., Thirtieth and Race streets, \$7,307; Limekiln Pike, Union Paving Co., Thirtieth and Locust streets, \$7,367; Ritner street, Barber Asphalt Co., Thirtieth and Race streets, \$4,496; Trinity and Windsor streets, Barber Asphalt Co., Thirtieth and Race streets, \$5,000; Wagner avenue, Mack Paving Co., Nicetown Lane and C street, \$10,621; Westmoreland street, Barber Asphalt Co., Thirtieth and Race streets, \$2,403; Forty-seventh street, Union Paving Co., Thirtieth and Locust streets, Philadelphia, \$6528; Sixtieth street, Barber Asphalt Co., Thirtieth and Race streets, Philadelphia, \$13,286. Schedule C—Vitrified Block Paving: Smick street, Union Paving Co., Thirtieth and Locust streets, \$6,779. Schedule C—Country Road Improvements: Park avenue, A. J. Henderson, care of owner, \$2,912; Neeley Brothers & Russell, Wakeling and Oxford Pike, \$2,912; Green Tree Road, M. J. McCrudden, Real Estate Trust Building, \$3,585. Schedule E—Asphalt Repaving: Emely street, Eastern Paving Co., Colonial Trust Building, \$2,935; Gordon street, Mack Paving & Const. Co., Nicetown Lane and C street, \$10,706; Fernon and Montrose streets, Eastern Paving Co., Colonial Trust Building, \$6,985; Wister street, Barber Asphalt Co., Thirtieth and Race streets, \$13,182. Schedule G—Completion, Concrete Floor, League Island Bathing Beach: Municipal Paving Co., 632 Kater street, Philadelphia, \$41,860.



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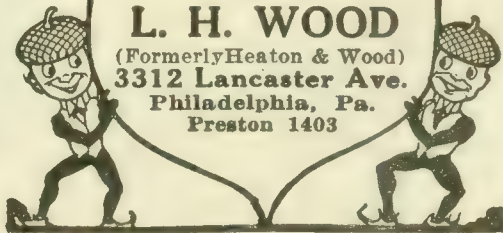
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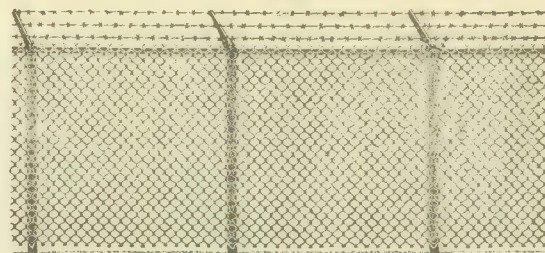
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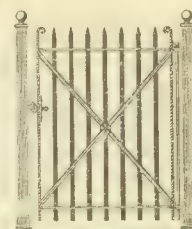
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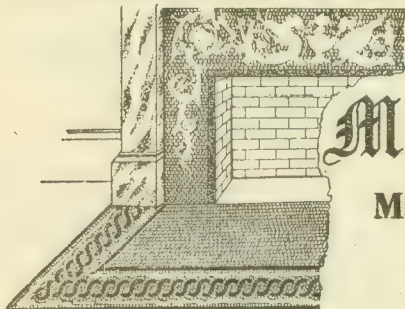


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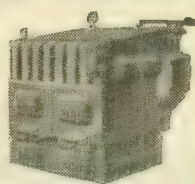
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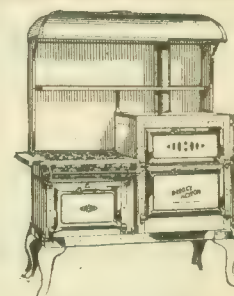
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## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Restaurant (alts.),** 3616 Germantown avenue, Philadelphia. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Erie Cafe, J. Fried, on premises. Steel work, mill work, sheet metal work, marble, terrazzo work, metal bulks, architectural terra cotta. Contract awarded H. P. Schneider, 3713 Old York road, Philadelphia.

**Garage,** 4917-19 Aspen street, Philadelphia, \$12,000. Architect, private plans. Owner, C. M. Frankel, 421 North Forty-first street, Philadelphia. Brick, 1 story, 55x52 feet, 75x88 feet, slag roof, cement floors. Contract awarded to S. Goldstein, 802 North Marshall street, Philadelphia.

**Residence,** Southeast Corner St. Vincent and Frontenac streets, \$7,000. Architect, private plans. Owner, Aug. Graewe, 2316 Fairmount avenue, Philadelphia. Brick, 2 stories, 33x46 feet 6 inches, 18 feet 6 inches x 8 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Gus Lonagel, 1537 Cottman street, Philadelphia.

**Store and Residence (alts.),** 926 North Thirteenth street, \$2,100. Architect, private plans. Owner, Herman Henssler, 924 North Thirteenth street, Philadelphia. General alterations. Contract awarded to N. Brandolini, 1412 South Fifteenth street, Philadelphia.

**Store and Residence (alts.),** 5018 Germantown avenue, \$2,000. Architect, private plans. Owner, Samuel Badder, 5823 Germantown avenue, Philadelphia. General interior alterations. Contract awarded to H. P. Schneider, 3713 Old York road.

**Residence (alts. and add.),** Southeast Corner Seventieth and City Line, Oak Lane, Philadelphia. Architect, Carl P. Berger, 1512 Walnut street, Philadelphia. Owner, Dr. David Reisman, on premises. Stone, limestone, 3 stories, 26 feet 7 inches x 34 feet 10 inches, slate roof, cement and canvas hardwood floors, hot water heat, electric light, tile work, metal weather strip, metal casements, rolling steel skylights, ornamental iron work. Contract awarded F. & S. Const. Co., 554 North Sixteenth street, Philadelphia.

**Arcade Building,** 1812-14 Chestnut street, Philadelphia. Architects, William N. Gravel and Arthur W. Hall, Otis Building, Philadelphia. Owner, name withheld. Brick, concrete, cut stone, steel, limestone, 2 stories and basement, 230x50 feet, slag roof, cement, plumbing, roof ventilators, bond, waterproofing, floor hardener, ornamental iron work, copper skylights, tile and marble work, metal lath, steam heat, electric light, sprinkler. Contract awarded Kober Const. Co., 34 South Seventeenth street, Philadelphia.

**Bank Building (alts.),** Southeast Corner

Broad and Tasker, Philadelphia, \$15,000. Owners, Security Title & Trust of South Philadelphia, on premises. Carpentry and mill work, composition floors, plastering, plumbing, bank screens, heat, electric lighting, general alterations. Contract awarded E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Fire Repairs,** Thirty-first and Thompson streets, Philadelphia, \$4,000. Owners, Pennsylvania Grain & Feed Co., on premises. General restoration, slag roof, pine floors, carpentry and mill work. Contract awarded E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Alterations,** 1739 West Girard avenue, Philadelphia. Architect, Conrad Neff, 1200 Locust street, Philadelphia. Owner, Fred Robinson, 1730 West Girard avenue, Philadelphia. Carpentry and mill work, oak floors, plastering, painting and glazing, tile work, hardwood floors, linoleum floors, electric light, plumbing, wrought iron pipe, hot water heat, raising slag roof. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

**Residence (alts.),** 914 Pine street, Philadelphia, \$5,700. Architect, S. Abramson, 2313 Walnut street, Philadelphia. Owner, Morris A. Shapiro, care of architect. General alterations to 6 apartments, hot water heat, electric light, tile work, hardwood floors, new partitions, plastering, painting and glazing, paper-hanging, plumbing. Contract awarded Samuel Lazarus, 4914 Parkside avenue, Philadelphia.

**Orphans' Home,** Southeast Corner Ninth and Shunk streets, Philadelphia. Architects, J. E. Fieldstein & A. C. Bieher, Otis Building, Philadelphia. Owner, name withheld. Brick, steel, cut stone, 2 stories and basement, 100x42 feet, slag roof (heating, plumbing and electric, kitchen equipment separate bids), maple and composition floors, painting and glazing, rolling steel skylights, tile and marble work, metal lath. Contract awarded Simon Reece, 2424 North Park avenue, Philadelphia.

**Workshop,** South side Penrose avenue, East of Schuylkill River, \$70,000. Architect, private plans. Owners, Gulf Refining Co., Girard Point, Philadelphia. Brick, 2 stories, 100x60 feet, 1 story, 100x160 feet, slag roof, steel sash, electric lighting, cement floors. Contract awarded to Austin Co., 1220 Jefferson Building, Philadelphia.

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Mulberry streets, Philadelphia, \$30,000. Architects, R. R. Neely and E. W. Martin, 2301 Spruce street, Philadelphia. Owners, Second Baptist Church of Frankford, Frankford, Philadelphia. Stone, 1 story, 50x56 feet, slate roof, maple floors, steam heat, electric light, mill work. Contract awarded to Jones & Williams, Seventy-second and Woodland avenue.

**Residence into Apartment House (alts. and add.),** Chestnut Hill, Pa. Architects, Willing, Sims & Talbutt, Bankers' Trust Building, Philadelphia. Owner, Henry M. Baul, Chestnut Hill, Pa. Stone work, carpentry and mill work, plastering, iron work, slate roof, painting and glazing, cut stone (plumbing, heating and electric reserved). Contract awarded W. J. Ryder, 1725 Sansom street, Philadelphia.

**Shelter Building,** Phillips, Reed, Earp and American streets, Philadelphia. Architect, John Molitor, City Architect, Bankers' Trust Building, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, City Hall, Philadelphia. Brick and concrete, 1 story, 20x40 feet. Contract awarded to McCormick-Lenham Co., 2401 South Broad street, Philadelphia.

**Miscellaneous Work,** Belmont Pumping Station, Pa. Owners, Department of Public Works, Bureau of Water, 216 City Hall, Philadelphia. Contracts awarded: Contract No. 719, roof of Belmont Pre-Filter, Martin & Breen, 1613 Sansom street, Philadelphia, \$8,355. Contract No. 720, miscellaneous piping, C. J. Reaner & Co., care of owner, \$3,450. Contract No. 721, Belmont Filters, Mitchell Brothers, 2125 Race street, \$11,380. Contract No. 722, plumbing, James J. White Co., 716 Walnut street, \$3,000. Contract No. 723, electric, Keystone Elec. Co., 907 Walnut street, \$487.

**Store and Storage Building,** 32 South Third street, Philadelphia, \$14,000. Architect, private plans. Owners, Morris Stein and J. Bile, on premises. Brick, 3 stories, 20x125 feet, slag roof, pine floors, electric work. Contract awarded to A. Bast, 713 Walnut street, Philadelphia.

**Meeting Room,** Southwest Corner Second and Master streets, Philadelphia, \$8,000. Architect, private plans. Owners, Bonate Abeith Verein, on premises. Brick, second and third stories, 24x44 feet. Contract awarded to J. Maurer & Co., 1304 North Second street, Philadelphia.

**Store and Two-Family Residence,** Southwest Corner Lincoln Drive and Mt. Pleasant avenue, Philadelphia, \$18,000. Owner, Morris Schuster, Northwest Corner Thirty-first and Diamond streets, Philadelphia. Brick, 2 stories, 20x85 feet, hot water heat, electric light. Contract awarded to Nicholas Brandolini, 1412 South Fifteenth street, Philadelphia.

**Residence,** Northwest Corner Cresheim Road and Mt. Pleasant avenue, \$15,000. Architect, private plans. Owner, Meyer Bernstein, Real Estate Trust Building, Philadelphia. Brick, 2 stories, irregular shape, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Michael Benjamin, 5913 Chancellor street, Philadelphia.

**Garages (2),** Mulberry and Wakeling streets, Philadelphia, \$6,700. Architect, private plans. Owner, Allen Locke, 4949 Mulberry street, Philadelphia. Brick, 1 story, 76x18 feet and 27x42 feet, slag roof, cement floors. Contract awarded to George C. Good, Adams avenue, Olney, Philadelphia.

**Garage,** 998-1000 North Lawrence street, Philadelphia, \$12,000. Architect, private plans. Owner, Margaret A. Doyle, 3148 North Broad street, Philadelphia. Brick, 1 story, 15x80 feet, 20x130 feet, slag roof, cement floors. Contract awarded to Girard Realty & Cont. Co., 631 South Sixty-third street.

**Residence,** Northwest Corner Ardleigh and Benezet streets, Philadelphia, \$9,000. Architect, Melvin Greene, Chestnut Hill, Philadelphia. Owners, Harry and Mary Wambord, 7920 Ardleigh street, Philadelphia. Brick, 2 stories, 25x55 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to James McCrea, 1325 Arch street, Philadelphia.

**Garage,** 5136 Irving street, Philadelphia, \$6,800. Architect, John Swartley, 5609 Pine street, Philadelphia. Owner, L. Charles Dusenbergh, 450 South Fiftieth street, Philadelphia. Brick, 1 story, 20x85 feet, slag roof, cement floors. Contract awarded to F. W. Allison, 265 South Twentieth street, Philadelphia.

**Residence and Store,** 1237 Cottman street, Philadelphia, \$5,200. Architect, private plans. Owner, John Pottisher, care of builder. Brick, 2 stories, 16x58 feet, slag roof, electric work. Contract awarded to Harry Glaser, 1235 Cottman street, Philadelphia.

**Residence,** 609 West Moyamensing avenue, Philadelphia, \$5,000. Architect, private plans. Owner, S. Hoffman, 536 Moyamensing avenue, Philadelphia. Brick, 2 stories, 16x32 feet, 14x30 feet, slag roof, electric lighting. Contract awarded to Sol. Snyder, 615 West Moyamensing avenue.

**Bridges (2),** Twenty-first and Hamilton streets, Philadelphia. Owners, Gimbel Brothers, Eighth and Market streets, Philadelphia. Steel and timber, 7 feet wide x 18 feet long, 7 feet wide x 28 feet long. Contract awarded Curtis Grindrod, 10 South Eighteenth street, Philadelphia.

**Residence,** North side Verree Road, East of Oxford avenue, \$6,000. Architect, private plans. Owner, Louis Gableman, Avalon, N. J. Frame, 2 stories, 26x34 feet, shingle roof, hardwood and pine floors, electric lighting. Contract awarded to E. F. Ehinger, 553 West Duncannon street, Philadelphia.

**Residence,** 519 South Twelfth street, Philadelphia, \$5,000. Architect, private plans. Owner, M. Samson, 4212 Parkside avenue, Philadelphia. Brick, 3 stories, 16x45 feet, slag roof, electric light. Contract awarded

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**Residence and Office (alts.),** 1315 North Fifteenth street, \$4,650. Owner, Dr. Harry Barnes, on premises. General alterations. Contract awarded to J. F. Trent, Nineteenth and Addison streets, Philadelphia.

**Residence,** 713 West Manatawna avenue, Philadelphia, \$4,500. Architect, private plans. Owner, Walter Bailiff, 838 East Manatawna avenue, Philadelphia. Frame, 1 story, 26x40 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Rodman Furier, 202 Greenway avenue, Darby, Pa.

**Garage,** 2310 West Huntingdon street, Philadelphia, \$4,000. Architect, private plans. Owner, Charles Conrad, on premises. Brick, 1 story, 34x34 feet, slag roof, cement floors, electric work. Contract awarded to John Roman, 414 East Brighthurst street, Philadelphia.

**Garage,** 241 North Sixty-first street, Philadelphia, \$4,000. Architect, private plans. Owner, Sol. Treadwell, 208 North Sixtieth street, Philadelphia. Brick, 1 story, 16x112 feet, slag roof, cement floors. Contract awarded to John H. Sockriter, 129 North Edgewood street.

**Building (alts. and add.),** Northwest Corner Ninth and Erie avenue, \$5,000. Architect, private plans. Owner, Charles T. Mulligan, 4200 North Eighth street, Philadelphia. Brick, 1 story add., 8x16 feet, general alterations. Garage, 1 story, brick, cement floor. Contract awarded to John R. Schaeffer, 3731 North Seventh street, Philadelphia.

**Residence (add.),** 1916 Bainbridge street, Philadelphia, \$2,000. Architect, private plans. Owner, Mr. De Large, on premises. Brick, 2 stories add., 10x12 feet. Contract awarded to S. D. Brown, 1006 Land Title Building, Philadelphia.

**Store and Residence (alts.),** Northwest Corner Twelfth and Lombard streets, \$3,000. Architect, private plans. Owner, William Stu-

mat, 127 North Tenth street, Philadelphia. General alterations. Contract awarded to Kergides & Pappa, 926 Locust street, Philadelphia.

**Rooming House (alts. and add.),** 4615 Chestnut street, \$3,000. Architect, private plans. Owner, Joseph Mayer, on premises. Brick, 1 story add., 16x11 feet, 9x12 feet, general alterations. Contract awarded to E. M. Canny, Sixty-first and Sansom streets, Philadelphia.

**Garage (alts.),** 2001-07 Carpenter street, Philadelphia, \$2,500. Architect, private plans. Owner, Francis Hack, 912 South Twentieth street, Philadelphia. General alterations. Contract awarded to Schoppe Brothers, Fox Chase, Philadelphia.

**Stores (2),** 997-999 North Fifth street, Philadelphia, \$2,000 each. Architect, private plans. Owner, Margaret A. Doyle, 3148 North Broad street, Philadelphia. Brick, 1 story, 14x20 feet, slag roof, pine floors. Contract awarded to Girard Realty Cont. Co., 631 North Sixty-third street, Philadelphia.

**Store and Residence (add.),** 5814 Lawn-dale avenue, Philadelphia, \$4,500. Architect, private plans. Owner, Joseph P. Styerwald, on premises. Brick, 2 stories, 20x28 feet add. Contract awarded to Joseph W. Bradley, 4516 Paul street, Philadelphia.

**Shed,** Thirtieth and Race streets, Philadelphia. Owner, F. G. Voight, on premises. Galvanized iron. Contract awarded E. E. Hol-

lenback, 1804 Brandywine street, Philadelphia.

**Residence (add.),** 312 Queen street, Philadelphia, \$3,000. Architect, private plans. Owners, Edward and L. Ewell, Claymont, Del. Brick, 2 stories add., 12x14 feet. Contract awarded to John N. Carberry, 5729 McMahon avenue, Philadelphia.

**Store and Hotel (alts.),** 1337-39 Arch street, Philadelphia, \$3,000. Architect, private plans. Owner, George C. Bowker, 801 Liberty Building, Philadelphia. General alterations. Contract awarded to A. N. Tatro, 6305 Saybrook avenue, Philadelphia.

**Residence (add.),** 3015 Almond street, Philadelphia, \$3,000. Architect, private plans. Owner, Paul Lubizowski, 3013 Almond street, Philadelphia. Brick, 2 stories add., 13x14 feet. Contract awarded to M. Baranowsky, 1614 Juniata street, Philadelphia.

**Garage,** 3122 West Coulter street, Philadelphia, \$2,200. Architect, private plans. Owner, Albert Knecht, 2219 West Somerset street, Philadelphia. Stone, 1 story, 20 feet 6 inches x 22 feet, cement floors. Contract awarded to Frank Schuler, Norristown, Pa.

**Store and Residence (alts. and add.),** 920 North Forty-third street, \$2,000. Architect, private plans. Owner, D. Rudmick, 1651 Pratt street, Philadelphia. Brick, 1 story add., 10x15 feet, general alterations. Contract awarded to Bragin Brothers, 4253 Ogden street, Philadelphia.

## PENNSYLVANIA

# Construction News

**Residence,** Ardmore, Pa. Architect, E. William Martin, 2301 Spruce street, Philadelphia. Owner, Carleton Linsley, care of architect. Hollow tile and stucco, 2½ stories, 30x38 feet, enclosed porches, hot water heat, electric light, shingle roof, hardwood floors, tile work. Architect will be ready for bids in a week.

**Convent Building,** Richmond, Pa. Architect, Peter F. Getz, 714 Victory Building, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. M. A. Hand, Lehigh and Memphis. Working plans in progress. Too early for details.

**Hotel Building,** Green and Northampton streets, Easton, Pa. Associate architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia; A. D. Chidsey, Easton, Pa. Owners, Easton Hotel Co., care of architects. Brick, reinforced concrete, 10 stories. Working plans about completed. Architects will be ready for bids in about 3 weeks.

**Residence,** Swarthmore, Pa. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owner, Samuel H. Day, care of architect. Architect taking bids due October 6th at noon.

**Apartment,** Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Brick, 3 stories, 30x40 feet, slag roof, pine floors,

steam heat, electric light, tile work. Plans in progress.

**Residence,** Sunbury, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, care of architect. Frame and stucco, 1½ stories, 32x60 feet, asphalt shingle roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Residence,** Tunkhannock, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, J. S. Turn, Tunkhannock, Pa. Frame, 2½ stories, 40x40 feet, shingle roof, hardwood floors, steam heat, electric light, tile work. Plans in progress.

**Residence,** Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, Fred Helfrick, 15 Sullivan street, Wilkes-Barre, Pa. Cinder block and stucco, 2½ stories, 26x40 feet, asphalt roof, hardwood floors, steam heat, electric light, tile work. Revised plans in progress.

**Residence,** Shavertown, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, P. P. Dohl, Shavertown, Pa. Frame and stucco, 2½ stories, 40x50 feet, asbestos roof, hardwood floors, vapor heat, electric light, tile work. Architects ready for bids.

**Apartment House,** Sixty-ninth and Market, Upper Darby, Pa. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owner, M. P. Levy, Upper Darby, Pa. Stone and brick, 4 stories, 100x200 feet. Working plans in progress. Architect will soon take bids.

**Residence,** Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Samuel Spitko, 323 North Law street, Allentown, Pa. Brick, stucco, 2 stories, 32x35 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Residence,** Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Wilbur Diefenderfer,

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1130 Wyoming avenue, Allentown. Brick, 2 stories, 26x40 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**High School (alts. and add.),** Montrose, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Montrose School Board, A. J. Wheaton, secretary, Montrose, Pa. Brick, reinforced concrete, steel, limestone, 2 stories and basement, 115x37 feet, slag roof, composition floors (heating, plumbing and electric work reserved), metal lath, tile and marble work, partitions, metal doors, iron stairs, ornamental iron work, cut stone. Revised plans in progress.

**Store Building,** Wilkes-Barre, Pa. Architects, Knapp & Bosworth, 15 South Franklin street, Wilkes-Barre. Owners, Wilkes-Barre Dry Goods Co., 11 South Main street, Wilkes-Barre. Brick and stone, fireproof. Plans in progress.

**Residence (alts. and add.),** Montgomery avenue, Bryn Mawr, Pa. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, T. J. Minnich, on premises. Plans in progress.

**Stores (10) and Apartment Houses,** West Chester Road and Gulf Road, Upper Darby, Pa. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owners, Levin Brothers, 710 Commonwealth Building, Philadelphia. Brick, 2 stories, 18x90 feet, slag roof, pine and hardwood floors, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, store fixtures, bond, metal bulks, ornamental iron work. New plans in progress.

**Stores (7), Apartment Building,** Ardmore, Pa. Architect, J. Bedford Wooley, 210 South Quince street, Philadelphia. Owner, J. H. Mecky, Jr., opposite Trolley Station, Upper Darby, Pa. Brick, 2 stories, 46x60 feet. Plans in progress.

**Store,** Hazleton, Pa. Architects, Knapp & Bosworth, 15 South Franklin street, Wilkes-Barre. Owner, E. B. Davidow, Hazleton, Pa. Steel, frame, brick, 2 stories and basement, 60x120 feet, slag roof, pine floors, hollow tile, roof ventilators, metal ceilings, architectural terra cotta, vapor heat, electric light, metal lath, tile and marble work, rolled steel sash, kalamein doors, iron stairs. Plans in progress. Owner will take bids in two weeks.

**Bank Building,** Southampton, Pa. Architect, H. Parker, 1120 Locust street, Philadelphia. Owners, Southampton State Bank, care of architect. Brick, 1 story, 40x60 feet. Plans in progress. Architect will take bids in 3 weeks.

**Grade School,** East Honesdale, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Honesdale School Board, Honesdale, Pa. Brick, fireproof, 2 stories, 8 rooms, slag roof, pine floors, safety treads, roof ventilators, waterproofing, electric light, metal lath, rolled steel sash and skylights, iron stairs, ornamental iron work. Owners will take bids for excavation and foundations in early part of October.

**Grade School,** West Honesdale, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Honesdale School Board, Honesdale, Pa. Brick, 2 stories, 8 rooms, slag roof, pine floors, safety treads, roof ventilators, metal lath.

rolled steel sash and skylights, waterproofing, iron stairs, ornamental iron work. Owners will take bids for excavation and foundations early in October.

**School (alts.),** Carbondale, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Carbondale School Board, Carbondale, Pa. Partitions, slag roof, pine floors, electric work, general alterations. Plans completed. Owners about ready for bids.

**Club House,** North Washington street, Scranton, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Scranton Board of Trade, Colonel L. A. Watres, president, Scranton, Pa. Brick, stone, steel, fireproof, 3 stories, 90x160 feet, hardwood floors, hollow tile, electric light, tile and marble work. Owners ready for bids.

**Bryn Mawr Central Office Building (alts. and add.),** 1101 Lancaster avenue, Bryn Mawr, Pa. Architect, J. T. Windrim, Commonwealth Building, Philadelphia. Owners, Bell Telephone Co., Seventeenth and Parkway, Philadelphia. Brick, cut stone, steel, 2 stories, 29x36 feet, slag roof, cement floors, steam heat, electric light, metal lath, tile and marble work, tin clad doors, plumbing, wrought iron pipe, metal weather strip. Architect taking bids due October 3rd.

**Grade School,** Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Allentown, Pa. Fireproof, 2 stories, 172x124 feet, composition roof, composition and hardwood floors, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing, terra cotta or cast stone (heating, electric work and plumbing separate bids), metal lath, tile, marble and terrazzo work, rolled steel sash, fire doors, bond, iron stairs, ornamental iron work. Owners will advertise for bids October 14th.

**Residence (alts. and add.),** Elkins Park, Pa. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, Richard Loeb, on premises. Stone work, tile work, electric work, plumbing, slate roof, carpentry and mill work, plastering, hot water heating. Architects taking bids due as soon as possible.

**Shop Building,** White's Ferry, Pa. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, St. Michael's Industrial School, White's Ferry, Pa. Brick, slow burning, 2 stories, 98x50 feet. Architect taking bids due October 7th.

**Nurses' Residence,** Danville, Pa. Architects, Stevens & Lee, 9 Park street, Boston, Mass. Owners, George F. Geisinger Memorial Hospital, Danville, Pa. Reinforced concrete, brick, cast stone, limestone, steel, 3 stories, 152x33 feet, 2 stories, corridor 45x11 feet, composition roof, cement and linoleum floors, hollow tile, painting, plumbing, waterproofing, ornamental iron work, tile and marble work, metal lath, electric light, steam heat, flex or crete paving, wrought iron pipe, brass pipe. Architects taking bids due October 8th.

**Bank and Office Building,** Norristown, Pa. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Norristown Penn Trust Co., care of Penn Trust Co., on premises. Brick, steel, cut stone, granite, 5 stories and basement and mezzanine, 65x131

feet (heating and ventilating reserved), slag roof, cement, cork and oak floors, hollow tile, elevator, plumbing, wrought iron pipe, shoring, waterproofing, architectural terra cotta, ornamental iron work, kalamein and hollow metal doors, steel casement sash, terrazzo work, electric light, metal furniture, blue-

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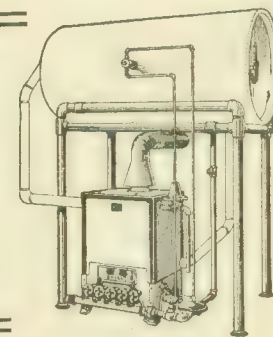
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stone, acoustical treatment limestone, ornamental bronze work. Architects taking bids due October 7th.

**Residence**, Devon, Pa. Architect, Arthur Brockie, 254 South Fifteenth street, Philadelphia. Owner, Mrs. Louis Audenreed, care of architect. Hollow tile, stucco, limestone, 2½ stories, 126x41 feet, irregular, slate or closed tile roof, oak and pine floors, hot water heat, electric light, metal lath, tile work. Architect taking bids due October 9th.

**Loading Platform Test House Pattern Shop**, Troy, Pa. Architect, W. E. S. Dyer, Land Title Building, Philadelphia. Owners, Troy Engine & Machine Co., Troy, Pa. Brick, steel, 1 story, 29x20 feet, 73x26 feet, slag roof, cement and maple floors, rolling steel sash, bond, ornamental iron work. Architect taking bids due October 3rd.

**Wharf Repairs**, Marcus Hook, Pa. Architect, James A. Wetmore, Treasury Department, Washington, D. C. Owners, United States Quarantine Station, Marcus Hook, Pa., care of Treasury Department, Washington, D. C. Owners taking bids due October 13th at 3 P. M. Specifications may be obtained from Custodian of Site or at Treasury Department, Washington, D. C.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Owners taking bids due October 14th at 10 A. M.

Allegheny County, R-70, Tarentum Borough, 3,938 feet. One course reinforced concrete. Certified check, \$1,500.

Beaver County, R-204, Chippewa Township, 3,491 feet. One course reinforced concrete. Certified check, \$1,000.

Clarion County, A-1928, 1930, Edenburg Borough, 2,235 feet. One course reinforced concrete. Certified check, \$1,000.

Clarion County, R-92, Elk and Washington Townships, 32,164 feet. One course reinforced concrete. Certified check, \$4,000.

Lancaster County, R-136, East Drumore, Little Brittain and Fulton Townships, 47,424 feet. One course reinforced concrete. Certified check, \$4,000.

Mercer County, R-204, A-3203, Jamestown Borough, 1,342 feet. One course reinforced concrete. Certified check, \$1,000.

Monroe County, R-169, A-2503, Pocono and Paradise Townships, 6,783 feet. One course reinforced concrete. Certified check, \$1,500.

Somerset County, R-50, A-3137, Lower Turkeyfoot and Addison Townships, 14,028 feet. One course reinforced concrete. Certified check, \$2,500.

York County, A-550, Fawn Grove Borough, 6,143 feet. One course reinforced concrete. Certified check, \$1,500.

**Road Work**, Pennsylvania. Owners, State Highway Department, Harrisburg, Pa. Low bidders on work opened September 23, 1924:

Erie County, R-88, 304, A-2910, Amity Township, 17,549 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Mayer Brothers Const. Co., Erie, Pa. \$198,028.00.

Indiana County, R-68, 223, Burrell Township, 1,733 feet. One course reinforced concrete. Rood Const. Co., Butler, Pa. \$19,979.40.

Lackawanna County, R-5, Lackawanna

Township, Moosic Borough, 18,997 feet. One course reinforced concrete. Public Service Prod. Co., Newark, N. J. \$237,611.50.

Lebanon County, R-149, Jackson Township, Myerstown Borough, 1,399 feet. One course reinforced concrete. Continental Const. Co., Baltimore, Md. \$22,815.

Northumberland County, R-336, A-2921, Jackson, Jordan and Lower Mahanoy Townships, 15,764 feet. One course reinforced concrete. Lincoln Const. Co., Strafford, Pa. \$132,910.75.

Venango County, R-65, Sec. 1-B, Cranberry Township, 10,464 feet. One course reinforced concrete. Milliron Const. Co., DuBois, Pa. \$148,140.88.

Washington County, R-242, Sec. 1, Hopewell and Independence Townships, West Middletown Borough, 9,658 feet. One course reinforced concrete. Samuel Gamble, Carnegie, Pa. \$111,392.10.

## Pennsylvania Contracts Awarded

**Residence**, Fairview road, Springfield, Pa., \$15,000. Architect, John J. Carroll, 1619 Chestnut street, Philadelphia. Owner, name withheld. Stone, brick, 2½ stories, 34x24 feet, shingle roof, oak and pine floors, painting and glazing, metal weather strips, metal lath, tile work, ornamental iron work, everlasting tile floors. Contract awarded Hood & Gross, 1613 Chestnut street, Philadelphia. Note change of general contractor.

**Hotel**, York, Pa. Architect, W. L. Stoddart, 50 East Forty-first street, New York. Owners, Community Hotel Co., Dr. C. P. Rice, president, York, Pa. Steel frame, reinforced concrete, brick, 10 stories, 145 feet 9 inches x 96 feet 7 inches, concrete and slag roof, tile and composition floors, hollow tile, elevators, safety treads, metal window guards, waterproofing and dampproofing, terra cotta (heating and electric work reserved), metal lath, marble and terrazzo work, vault doors, rolled steel skylights, kalamein doors, bond, iron stairs, ornamental plaster. Contract awarded to Consolidated Eng. Co., Baltimore, Md.

**Terminal Warehouse**, Bethlehem, Pa. Architects, Moores & Dunford, 110 East Forty-second street, New York City. Owners, Lehigh & New England Terminal Warehouse Co., Bethlehem, Pa. Brick, structural concrete, steel, 7 stories and basement, 200x150 feet, slag roof, cement floors, elevators, plumbing, metal window guards, shoring, waterproofing and dampproofing, ornamental iron work, floor hardener, fire and kalamein doors, rolling steel skylights and sash, tile and marble work, terrazzo work, metal lath, steam heat, electric light, ornamental plastering, precast concrete, wrought iron pipe. Contract awarded Cramp Co., Denckla Building, Philadelphia.

**Church**, Olyphant, Pa. Architect, Lewis Hancock, Mears Building, Scranton, Pa. Owners, Olyphant Lutheran Church, Rev. Paul Rafaj, Olyphant, Pa. Frame, 1 story and basement, 36x75 feet, slate roof, hardwood

and pine floors, steam heat, electric light, kitchen equipment. Contract awarded to Holod Lumber Co., Olyphant, Pa.

**Residence**, Olyphant, Pa. Architect, Lewis Hancock, Mears Building, Scranton, Pa. Owners, Olyphant Lutheran Church, Rev. Paul Rafaj, Olyphant, Pa. Frame, 2 stories, 58x28 feet, shingle roof, hardwood floors, steam heat, electric light, tile work. Contract awarded to Holod Lumber Co., Olyphant, Pa.

**Bank (alts.)**, Carbondale, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Pioneer City Bank, Mr. Bocksigge, cashier, Carbondale, Pa. Interior alterations, tile and marble work. Contract awarded to J. Plumbs, Carbondale, Pa.

**Residence**, Melrose Park, Pa. Architect, Wesley L. Blythe, 608 Chestnut street, Philadelphia. Owner, Dorris A. Miller, on premises. Brick, stucco, frame, 2½ stories, 64x30 feet, wing 10x21 feet, shingle roof, oak and pine floors, electric lighting, tile work, ornamental iron work. Contract awarded to Hesswin Co., 2047 Arch street, Philadelphia.

**Residence and Garage**, Curren Terrace, Norristown, Pa. Architect, H. G. McMurtrie, 1012 Walnut street, Philadelphia. Owner, Joseph A. Curren, on premises. Brick, 2½ stories, 45x50 feet, slate roof, tile work (heating, electric light, hardwood and linoleum floors, plumbing reserved). Contract awarded F. Schuler, Norristown, Pa.

**Reconstruction of Bridges**, Valley Falls, Pa. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Reinforced concrete, stone, steel. Contracts awarded: Steel, Bethlehem Steel Co., Widener Building, Philadelphia. Waterproofing, Martin & Breen, 1613 Sansom street, Philadelphia. Exc. masonry, A. H. Conyne, Philadelphia.

**Factory (add.)**, Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, A. V. Kozak, 592 North Main street, Wilkes-Barre, Pa. Fireproof, brick, steel, 2 stories, 40x75 feet. Barrett Specification roof, concrete floors, steam heat, electric light, rolled steel sash, fire doors. Contract awarded O. J. Behrens, 179 Blackman street, Wilkes-Barre.

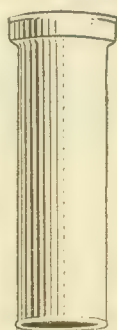
**Factory**, Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, A. V. Kozak, 592 North Main street, Wilkes-Barre, Pa. Brick, fireproof, 1 story, 180x61 feet, Barrett Specification roof, concrete floors, steam heat, electric light, rolled steel sash, fire doors. Contract awarded to O. J. Behrens, 179 Blackman street, Wilkes-Barre, Pa.

**Sheridan School**, Sixth Ward, Allentown, Pa., \$132,737. Architect, Henry Anderson, Allentown Bank Building, Allentown, Pa. Owners, School District, City of Allentown, Allentown, Pa. Brick, steel, fireproof, 3 stories and basement, slag roof, hardwood floors, concrete floors, hollow tile, safety treads (heating, electric, plumbing reserved), metal lath, tile, marble, steel sash. Contract awarded to Butz & Clader, Ainey Building, Allentown, Pa.

**Residence**, Kingston, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, M. B. Mulligan, Kingston, Pa. Brick, tile and steel, 2½ stories, 40x32 feet, 29x20 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light, tile and marble work. Contract awarded to Curtis & Co., 1 Hickory street, Wilkes-Barre.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa.

Montgomery County, R-178, Lower and Upper Gwynedd Townships and Montgomery Township, 13,614 feet. One course reinforced concrete. \$102,099.10. Contract awarded to McNichol Paving & Const. Co., 1923 Cherry street, Philadelphia.



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Westmoreland County, bridge, R-119, Long-bridge Station, Ligonier Township, 3,550 feet, width 24 feet. \$187,106.24. Contract awarded to Pitt Const. Co., Pittsburgh, Pa.

Retaining Wall. Carbon County, Route 162, Mauch Chunk Township. Contract awarded to N. Joseph Hale, Norwood, Pa. \$86,246.16.

Clarion County, A-2577, Sec. 2, Beaver Township, 10,572 feet. One course reinforced concrete. \$95,152.65. Contract awarded to Standard Paving & Cont. Co., Chicago, Ill.

Lycoming and Sullivan Counties, R-19, Davidson Township, 13,910 feet. One course reinforced concrete. \$118,613.20. Contract awarded to Lane Const. Corp., Meriden, Conn.

Monroe County, A-2018, Polk Township. One course reinforced concrete. Contract awarded to J. F. Chapman & Son, Hillside, N. J., \$61,180.

Bradford County, R-17, Sec. 3, Monroe Township, Monroeton Borough, 25,864 feet. One course reinforced concrete. \$274,979.35. Contract awarded to Horn & Devling, Athens, Pa.

## New Jersey Construction News

**Hotel (add.)**, Atlantic City, N. J., \$325,000. Architects, William Macy Stanton & Stanley P. Stewart, 1524 Chestnut street. Owners, Hotel Iroquois, Atlantic City, N. J. Brick, steel, concrete, cut stone, 7 stories, 90x40 feet, 40 rooms, tile roof, hardwood floors, hollow tile, tile and marble work (steam heat, electric light, plumbing, elevators reserved). Architects taking bids due October 7th at noon.

**Stores (5), Apartments (21)**, Boardwalk and Seaside avenue, Atlantic City. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Brick, 3 stories and basement, 65x80 feet, slag roof, hardwood floors, vapor heat, electric light, tile work. Architect taking bids due as soon as possible.

**Interior Completion of 4 Class Rooms, School**, North Wildwood, N. J. Architects, H. Rex Stackhouse & W. W. Donohue, 1120 Locust street, Philadelphia. Owners, School Board, care of T. B. Akerman, North Wildwood, N. J. Tile work, composition floors, partitions, plastering, painting and glazing, carpentry and mill work. Owners taking bids.

**Residence**, Moorestown, N. J. Architect, H. S. Stees, Beverly, N. J. Owner, Collins B. Rogers, 426 Drexel Building, Philadelphia. Brick, stucco, 2½ stories, 40x20 feet, tile roof, hardwood floors, hot water heat, electric light, tile work. Owners taking sub-bids due as soon as possible.

**Residence**, Haddonfield, N. J. Architect, private plans. Owner, Collins B. Rogers, Drexel Building, Philadelphia. Brick and stucco, 2½ stories, 40x30 feet, tile roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids due as soon as possible.

**Residence**, Greenway avenue, Trenton, N. J., \$7,000. Architect, private plans. Owner, J. P. Barlow, 1502 Greenwood avenue, Trenton, N. J. Brick, 2 stories, 33x35 feet, slate roof, pine floors, electric lighting. Owner will build.

**Residences (2)**, 445-447 Rutherford street, Trenton, \$7,000. Owner, G. A. Smith, 473 Bellevue street, Trenton, N. J. Brick and frame, 2 stories, 28x30 feet, electric work. Owner will build.

**Factory (alts. and add.)**, 50 Hamilton avenue, Trenton, N. J., \$12,500. Architect, private plans. Owners, American Steel & Wire Co., on premises. Brick, 42x72 feet, slag roof, general alterations. Owners will build.

## New Jersey Contracts Awarded

**Lodge Building**, Pennsgrove, N. J. Architect, Charles R. Peddle, 136 South Fourth street, Philadelphia. Owners, F. and A. M., No. 162, F. H. Elliott, Pennsgrove, N. J. Contract awarded A. S. Reed & Bros., 702 Orange street, Wilmington, Del.

**Stores (2)**, Hamilton avenue, Trenton, N. J., \$6,250. Architect, W. A. Klemann, First National Bank Building, Trenton. Owner, Samuel Levy, care of architect. Brick, cement block, 1 story, 27x60 feet, slag roof, pine floors, pipeless heater, electric light, plate glass, cement work. Contract awarded to Nathan Milgaten, 53 Spring street, Trenton.

**Store and Residence**, Broad and Dayton streets, Trenton, N. J., \$12,500. Architect, private plans. Owner, John Heidi, 303 North Warren street, Trenton, N. J. Brick and frame, 20x46 feet, slate and tin roof, hardwood and pine floors, electric light. Contract awarded to Frank Friedel, 321 Genessee street, Trenton.

**Store and Residence**, Liberty street, Trenton, N. J., \$10,000. Owner, F. Ovillich, care of builder. Brick, 2½ stories, 20x33 feet, slag roof, hardwood and pine floors. Contract awarded to John Sabot, 571 Center street, Trenton, N. J.

## Delaware Construction News

**Store and Residence (alts. and add.)**, 1907 West Sixth street, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington, Del. Owner, Silvio De Bartolomeis, on premises. Brick, general alterations, hot water heat, slag roof, electric light. Owner will build.

**United States Quarantine Station (alts.)**, Reedy Island, Del. Architect, James A. Wetmore, Treasury Department, Washington, D. C. Owners, United States Treasury Department, Washington, D. C. New water pumps, etc. Owners taking bids due October 16th at 3 P. M. Plans may be obtained at United States Quarantine Station, Reedy Island, Del., or at office of architect, Washington, D. C.

**Residences (2)**, West Third street, Wilmington, Del., \$8,000. Architect, private plans. Owners, Ventrisia & Circico, 1909 North Sixth street, Wilmington, Del. Brick, 2 stories, 22x30 feet, slag roof, pine floors, hot water heat, electric light. Owners will build.

## Delaware Contracts Awarded

**School (alts. and add.)**, Wilmington, Del., \$44,689. Architect, L. H. Geile, 1123 Broadway, New York. Owners, St. Hedwig's Parish School, Rev. J. Guilez, Wilmington, Del. Brick, steel, 57x100 feet, comp. roof, steam heat, metal lath, cast stone, iron stairs (heating, plumbing and electric reserved). Contract awarded to C. J. Dougherty, 2515 West Eighteenth street, Wilmington, Del.

**Residence**, Woodlawn, Wilmington, Del., \$6,700. Architect, private plans. Owner, Mrs. L. Snowberger, Greenhill, Del. Concrete block, two stories, 20x34 feet, asphalt shingle roof, hot water heat, electric light. Contract awarded to W. E. Hendrix, 803 Shipley street, Wilmington, Del.

**Residence**, Pennsylvania avenue and Rodney street, Wilmington, Del., \$13,000. Architect, private plans. Owner, Mrs. Elvina Schimpf, 1324 Market street, Wilmington,

Del. Stone, 2½ stories, 54x77 feet, slate roof, hot water heat, electric light. Contract awarded to D. Dangel's Sons, 508 North Van Buren street, Wilmington, Del.

**Store (alts.)**, Fourth and Market streets, Wilmington, Del. Architect, C. R. Hope, DuPont Building, Wilmington, Del. Owner, Dr. A. Goberman, on premises. General alterations. Contract awarded to C. J. Dougherty, 2515 West Eighteenth street, Wilmington, Del.

## Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., September 22, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., October 13th, 1924, for repairs to wharf at the United States Quarantine Station, Marcus Hook, Pa. Specifications may be obtained from the Custodian or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

(Continued from Page 628)

name an arbitrator within 15 days of his demand, his right to arbitration shall lapse. Should the other party fail to choose an arbitrator within said 15 days, then such presiding officer shall appoint such arbitrator. Should either party refuse or neglect to supply the arbitrators with any papers or information demanded in writing, the arbitrators are empowered by both parties to proceed exparte.

If there be one arbitrator his decision shall be binding; if three the decision of any two shall be binding. Such decisions shall be a condition precedent to any right of legal action, and whenever permitted by law it may be filed in Court to carry it into effect.

The arbitrators, if they deem that the case demands it, are authorized to award to the party whose contention is sustained, such sums as they shall deem proper for the time, expense and trouble incident to the appeal and, if the appeal was taken without reasonable cause, damages for delay. The arbitrators shall fix their own compensation, unless otherwise provided by agreement, and shall assess the costs and charges of the arbitration upon either or both parties.

The award of the arbitrators must be in writing and, it shall not be open to objection on account of the form of the proceeding or the award, unless otherwise provided by the laws of the State in which the work is to be done.

In the event of such laws providing on any matter covered by this article otherwise than as hereinbefore specified, the method of procedure throughout and the legal effect of the award shall be wholly in accordance with the said State laws, it being intended hereby to lay down a principle of action to be followed, leaving its local application to be adapted to the legal requirements of the place in which the work is done.



*Art. 42. Use of Premises.*—The Contractor shall confine his apparatus, the storage of materials and the operations of his workmen to limits indicated by law, ordinances, permits or directions of the Architect, and shall not unreasonably encumber the premises with his materials.

The Contractor shall not load or permit any part of the structure to be loaded with a weight that will endanger its safety.

The Contractor shall enforce the Architect's instructions regarding signs, advertisements, fires and smoking.

*Art. 43. Cutting, Patching and Digging.*—The Contractor shall do all cutting, fitting or patching of his work that may be required to make its several parts come together properly and fit it to receive or be received by work of other contractors shown upon, or reasonably implied by, the Drawings and Specifications for the completed structure, and he shall make good after them as the Architect may direct.

Any cost caused by defective or ill-timed work shall be borne by the party responsible therefor.

The Contractor shall not endanger any work by cutting, digging or otherwise, and shall not cut or alter the work of any other contractor save with the consent of the Architect.

*Art. 44. Cleaning Up.*—The Contractor shall at all times keep the premises free from accumulations of waste material or rubbish caused by his employes or work, and at the completion of the work he shall remove all his rubbish from and about the building and all his tools, scaffolding and surplus materials and shall leave his work "broom clean" or its equivalent, unless more exactly specified. In case of dispute the Owner may remove the rubbish and charge the cost to the several contractors as the Architect shall determine to be just.

## BUDGETING FOR THE CONTRACTING AND CONSTRUCTION COMPANY

*Prepared by Policyholders' Service Bureau, Group Insurance Division, Metropolitan Life Insurance Company, 1 Madison Ave., New York*

### Construction Can Be Budgeted

**A**DMITTING the difficulties of forecasting conditions in the construction business, it is a fact that a number of representative construction companies are now operating on a budget basis. The following is a short description of the practice and experience of one large construction company:

"At the first of the year, we make up a carefully studied budget for the entire year. Of course, the budget must vary with the volume of business transacted, which cannot be known at that time and we, therefore, correct or budget by a quarterly revision.

"We are satisfied that the results have been beneficial—first, we have before us a close estimate of the probable cost of operation for the year to guide us in our business management; and second, the monthly review of this budget in comparison with the actual expenses serves to keep our cost of doing business at the lowest practical amount."

#### *Requisites of a Budget System for a Construction Company*

Budgeting for construction revolves about three elements:

1. Anticipation of Cash Requirements.
2. Forecasting of overhead expenses.
3. Use of the estimate.

#### *Anticipation of Cash Requirements.*

The anticipation of cash requirements is not very difficult for the contractor. He knows at the beginning of each month, on the basis of work performed, what he can expect in the way of payments upon contracts. He knows his cash balances. His voucher register gives him the story of bills to be paid. He knows with a fair degree of accuracy what his outlays for office and executive salaries and wages will be. He knows the extent of his fixed expenses. He has a fair idea of the jobs under way and the

extent of the labor force necessary to carry on operations. A comparison of necessary expenditures and estimated cash resources will give him a line on his bank loan requirements.

On the general subject of anticipating cash requirements contractors have this to say:

- (a) "We do anticipate our financial requirements at the beginning of the year and arrive at an interest charge which is part of our fixed overhead cost."
- (b) "We arrange for a line of credit with our bank which is subject to increases according to the amount of building contracts which we secure."
- (c) "We do anticipate our financial requirements. We, however, do most all of our work on a cost plus fixed fee basis and our financing is largely done by the owners who advance money in order to take advantage of discounts; while when we use our own money we keep the discounts as our commission for the use of funds. In this way we have not been obliged to make bank loans for a good many years."

Commenting on the foregoing, there is considerable doubt in the minds of some of the Construction and Contracting Companies whether interest should be included in the overhead cost.

For those companies not so fortunately situated the following form for anticipating cash requirements will be of interest.

### Semi-Monthly Financial Forecast

Estimated Receipts				
Cash				
On Hand				
In Banks				
Due from Customers				
Miscellaneous				
Total Cash Resources				
Estimated Expenditures				
Bills to be paid during month				
Payroll and Expenses				
Loans from Banks				
Miscellaneous				
Total Estimated Disbursements				
Total Estimated Deficit to be Met by Bank Loans, Etc.				

(Continued next week.)



# Reference Directory for Architects, Builders and Owners

**ARCHITECTURAL CEMENT CASTINGS**  
Erickson & Weiss, Fisher's Ave. and Mascher St.

**ARTESIAN WELLS.**  
Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

**ARTISTS AND ARCHITECTS' SUPPLIES.**  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

**ASPHALT CONSTRUCTION.**  
Rulon, Ralph V. ....239 N. 30th St., Phila.

**BLUE PRINTS.**  
Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

**BLUE PRINT PAPER.**  
Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

**BOILER AND PIPE COVERINGS.**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**BRICK (Face, Common, Paving).**  
Holloway Corporation....105-107 S. Third St., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

**BUILDERS.**  
Mitchell Bros. ....2125 Race St., Phila.

**BUILDING NEWS.**  
Daily Building News.....Perry Bldg., Phila.

**BUILDERS' SUPPLIES.**  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

**CEMENT.**  
The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

**CEMENT WORK.**  
D'Lauro, John .....55 E. Mermaid Lane, Phila.

Erickson & Weiss, Fisher's Ave. and Mascher St.

Massiah, Frederick, Juniper and Cypress Sts., Phila.

**COLD STORAGE (Insulation and Covering)**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**COLUMNS (Metal).**  
Pearce Fireproof Co. ....1345 Arch St., Phila.

**COMPOSITION FLOORING.**  
Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

**CONCRETE TILE.**  
Gramm, Price, Turner, Inc. ....Ashland, N. J.

**CONCRETE WORK.**  
Massiah, Frederick, Juniper and Cypress Sts., Phila.

**CONTRACT BONDS.**  
Patton, Edward W. ....400 Lincoln Bldg., Phila.

**CONTRACTOR'S EQUIPMENT**  
Lee T. Ward Co. ....617 Filbert St., Phila.

**CORK FLOORING**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**CURTIS WOODWORK.**  
Gillingham Co. ...Norris and Richmond Sts., Phila.

**CUT STONE.**  
Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

**DAILY BUILDING NEWS.**  
Building News Pub. Co. ....Perry Bldg., Phila.

**DAMP-PROOFING.**  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

**DRAWING MATERIALS.**  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

**ELEVATOR DOOR CONTROLLERS.**  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

**ELEVATOR DOOR HANGERS.**  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

**EXCAVATING.**  
McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F.....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

**FENCES.**  
Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

**FIREPROOFING.**  
Pearce Fireproof Co. ....1345 Arch St., Phila.

**FLOOR HARDENER.**  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

**FLOOR PLATES.**  
Wood, Alan, Iron & Steel Co. ....Widener Bldg., Phila.

**FLUE LINING.**  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

**FURNACES AND RANGES.**  
Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

**GARAGE DOOR HANGERS.**  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

**GARAGE HEATERS.**  
Fleck Bros. ....44 N. 5th St., Phila.

**GAS RANGES.**  
Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

**HARDWOOD FLOORS.**  
Wood, L. H. ....3312 Lancaster Ave., Phila.

**HAULING CONTRACTORS.**  
Dooley, John J. ....39 S. 19th St., Phila.

McCarrick Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford.....719 Cherry St., Phila.

**HEATING CONTRACTORS.**  
Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson.....Columbia 5591

**HEATING BOILERS.**  
Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

**HOLLOW METAL WINDOWS.**  
McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

**HOLLOW TILE.**  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

**HOT WATER GENERATORS.**  
Edwin Elliot & Co. ....1011 Chestnut St., Phila.

**HOT WATER STORAGE SYSTEMS**  
Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

**HOUSE MOVING.**  
Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

**INSURANCE.**  
Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

**IRON AND STEEL BARS AND PLATES.**  
Lukens, Lewis N. ....19th and Washington Ave., Phila.

Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

Wood, Alan, Iron & Steel Co. ....Widener Bldg., Phila.

**KITCHEN CABINETS.**  
Housel, J. W., Co.,  
S. E. Cor. 21st and Market Sts., Phila.

**LEVELS.**  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

**LIGHT IRON CONSTRUCTION.**  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

**LINOTILE.**  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

**LUMBER.**  
Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ...Norris and Richmond Sts., Phila.

Ketcham, Howard.....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

**MARBLE AND MOSAIC.**  
Belf Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Penna. Tile & Mosaic Co. ....1637 Wood St., Phila.

Roman Mosaic & Tile Co. ....435 Green St., Phila.

**MASON BUILDER.**  
D'Lauro, John .....55 E. Mermaid Lane, Phila.

**MASTIC FLOORING.**  
Rulon, Ralph V. ....239 N. 30th St., Phila.

**METAL LATH.**  
Pearce Fireproof Co. ....1345 Arch St., Phila.

**METERS.**  
Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

**MILLWORK.**  
Gillingham Co. ...Norris and Richmond Sts., Phila.

Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

**ORNAMENTAL IRON.**  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

**PAINTS AND VARNISHES.**  
Barnett Bingswanger.....829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

**PAVING BRICKS.**  
Ketcham, O. W. ....121 N. 18th St., Phila.

**PHOTOSTATS.**  
Weber, F., Co. ....125 S. 12th St., Phila.

**PLUMBING FIXTURES.**  
Fleck Bros. Co. ....44 N. 5th St., Phila.

**RADIATOR CABINETS.**  
Radiator Cabinet Co. ....Drexel Bldg., Phila.

**RANGES.**  
Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

The Beckwith Co. ....2401 Chestnut St., Phila.

**REFRIGERATORS.**  
Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

**REINFORCING BARS.**  
Lukens, Lewis N. ....19th and Washington Ave., Phila.

H. T. Potts & Co. ....Erie Ave. and "D" St., Phila.

**ROAD MACHINERY.**  
Lee T. Ward Co. ....617 Filbert St., Phila.

**ROOFING SLATE.**  
Chapman Slate Co. ....Bethlehem, Pa.

**ROOFING TILE.**  
Ketcham, O. W. ....121 N. 18th St., Phila.

**SAFETY GUARDS.**  
Cyclone Fence Co. ....20 S. 15th St., Phila.

Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

**SAND AND GRAVEL.**  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Seiver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

**SCAFFOLDING.**  
Patent Scaffolding Co. ....2835 Bridge St., Phila.

**SEWER PIPE.**  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

**SHEET METAL AND ROOFING.**  
McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

**SHEETROCK (Wall Board).**  
Pearce Fireproof Co. ....1345 Arch St., Phila.

Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

**SHORING.**  
Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

**SOUNDINGS.**  
Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

**STEAM SHOVEL CONTRACTORS.**  
McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John...Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

**STEAM SPECIALTIES.**  
Edwin Elliot & Co. ....1011 Chestnut St., Phila.

**STEEL DOORS**  
Bur-Vett Mfg. Co. ....929 Chestnut St., Phila.

**STEEL SASH.**  
McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

**STONE.**  
St. Martin's Building Stone,  
55 E. Mermaid Lane, Phila.

**TERRA COTTA (Architectural).**  
Conkling-Armstrong Terra Cotta Co.,  
Denckla Bldg., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

**TERRA COTTA SEWER PIPE.**  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

**TILE AND TERRAZZO WORK.**  
Belf Bros. Co. ....1923 Market St., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Carroll, Thos. A. ....2315 Walnut St., Phila.

Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.

Roman Mosaic & Tile Co. ....435 Green St., Phila.

**TRANSITS.**  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

**UNDERPINNING.**  
Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

**WALL BOARD, COMPO BOARD**  
Ketcham, Howard .....3rd and Girard Ave., Phila.

**WALL BOARD (Sheetrock).**  
Pearce Fireproof Co. ....1345 Arch St., Phila.

Tague, Jas. E., Co. ...10th and Columbia Ave., Phila.

**WALL COPING.**  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

**WATER HEATERS.**  
Borden Stove Co. ....1026 Arch St., Phila.

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

**WATER PAINT.**  
Southern, Wm. B. ....1522 Bainbridge St., Phila.

**WATERPROOFING.**  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Rulon, Ralph V. ....239 N. 30th St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

**WHITENESS.**  
Southern, Wm. B.,  
N. W. Cor. 12th and Spruce Sts., Phila.

**WINDOW GUARDS (Wire).**  
Cyclone Fence Co. ....20 S. 15th St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

**WIRE PARTITIONS.**  
Cyclone Fence Co. ....20 S. 15th St., Phila.

**WIRE WORK.**  
Potts, Horace T., & Co. ...Erie Ave. and D St., Phila.

Cyclone Fence Co. ....20 S. 15th St., Phila.



## Changing an Attitude of Mind

It has been the tendency of the public to look upon insurance as something on which it must first be "sold" by convincing arguments of the insurance man.

That this attitude is undergoing a change is evidenced in the number of people who no longer wait for the agent to solicit their business but who seek out the agent and ask for insurance advice.

By its national advertising the Insurance Company of North America is helping materially to bring about that hoped for time when people will "consult their insurance agent as they consult their doctor or lawyer."

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Schuylkill River at 30th & Chestnut Sts.

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# Builders' Guide

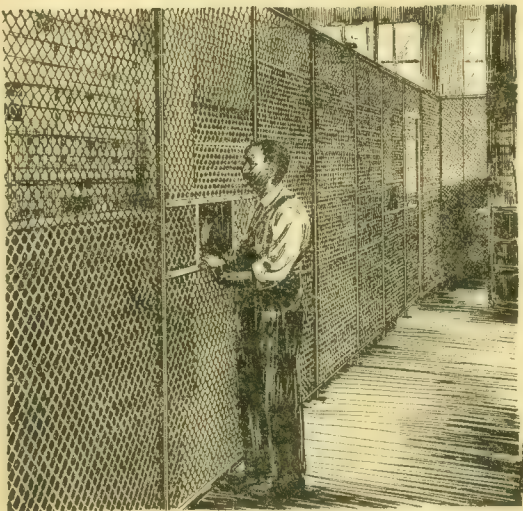
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Vol. XXXIX, No. 41  
October 8, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
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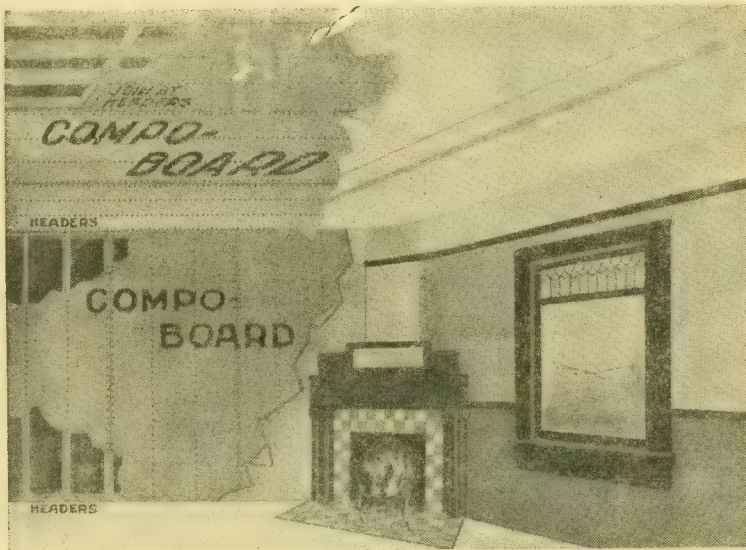
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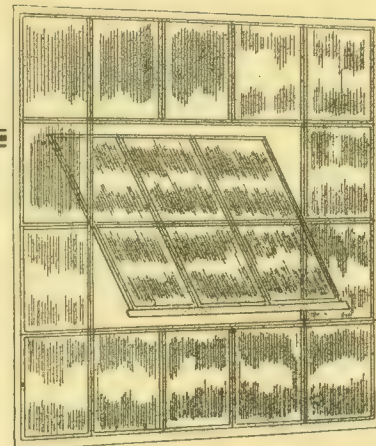
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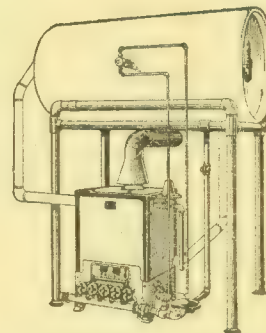
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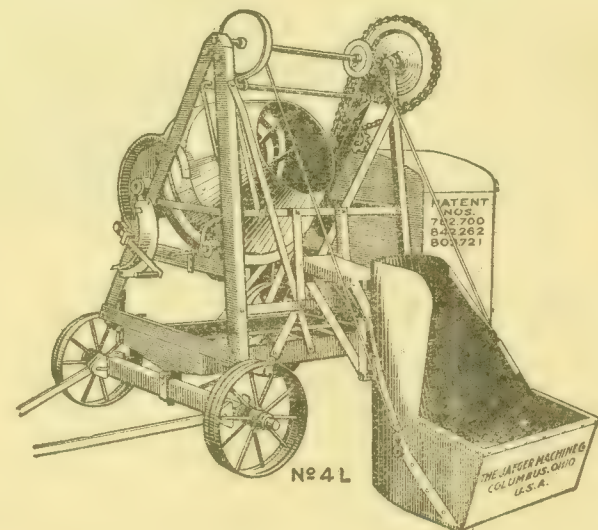
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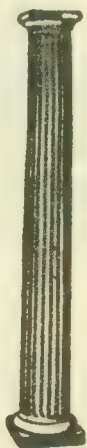


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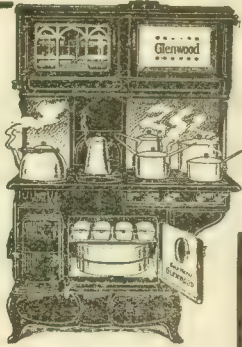


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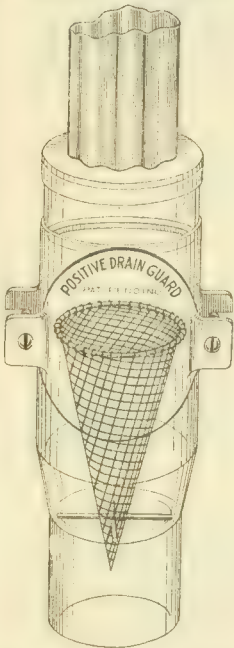
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 41

PHILADELPHIA  
October 8, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## Advance Construction News

CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Stores (4), Apartment (alts. and add.),** 5305-07 Germantown avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Glyndon Priestman, 5450 Germantown avenue, Philadelphia. Architect taking bids due October 11th.

**Residences and Garages (52),** Price and Musgrave streets, Germantown. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, stone, 2 stories, 15x46 feet, slag and slate roof, hardwood floors, hot water heat, electric light, metal lath, tile and marble work, hollow metal skylights, bond. Plans in progress. Owner will build.

**Residences (18),** Southeast Corner Tampa and Wyoming avenue, Philadelphia, \$83,500. Architect, private plans. Owners, Smith, McGowan & Donnelly, 813 East Allegheny avenue. Brick, 2 stories, 16x48 feet and 15x27 feet, 11x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (3),** 1104-06-08 Leveck street, Phila., \$4,000 each. Architect, private plans. Owner, Morris J. Levin, 723 East Cheltenham avenue, Philadelphia. Brick, 2 stories, 17 feet 6 inches x 28 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Consistory Building,** Southwest Corner Broad and Race streets, Philadelphia. Architect, Horace W. Castor, Stephen Girard Building, Philadelphia. Owners, Philadelphia Scottish Rite Masons, care of Daniel Houseman, care of Real Estate Title & Ins. Co. of Philadelphia, 523 Chestnut street. Preliminary plans in progress.

**Factory Building (mill construction),** 720-28 South Eleventh street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect.

Steel, mill construction, 3 stories, 90x90 feet, slag roof, steam heat, electric light, pine floors, metal lath, hollow metal skylights, fire doors, bond, floor hardener, iron stairs, wire work, elevators, safety treads, wire work. Plans in progress.

**School and Chapel,** Eighteenth and Pollock streets, Philadelphia. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Richard's Roman Catholic Church, Rev. R. F. L. Hanaghan, on premises. Site selected.

**Garage,** Germantown, Philadelphia. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Brick and galvanized iron, 1 story, 20x80 feet, slag roof, cement floors. Plans in progress.

**Sunday School Building,** Tacony, Philadelphia. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Stone, 2 stories and gallery, 60x80 feet, slate roof, maple floors, plumbing, steam heat, electric light. Plans in progress.

**Residence,** Chestnut Hill, Pa. Architect, Robert Rhodes McGoodwin, 1600 Walnut street, Philadelphia. Owner, Dr. George Woodward, Chestnut Hill, Pa. Stone, 2½ stories, slate roof, pine and oak floors, hot water heat, electric light, tile work. Plans in progress.

**Store and Apartment House,** Cheltenham and Heiskill street, Philadelphia. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Brick, 2 stories, 32x50 feet. Plans in progress.

**Residence (alts.),** Holmesburg, Pa. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. New shingle roof, hardwood floors, new partitions, plumbing, carpentry and mill work, stair work, tile work. Plans in progress.

**Convent Building,** Tucker and Memphis streets, Philadelphia. Architect, Peter F. Getz, Victory Building, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. M. A. Hand, Lehigh and Memphis streets, Philadelphia. Stone, 2 stories and basement, will contain club rooms and class rooms, auditorium, slag roof. Working plans in progress. Ready for bids in two weeks.

**Garage,** Wingohocking and Marshall streets, Philadelphia. Architect, I. W. Levin, Victory Building, Philadelphia. Owner, David Sokolow, 3130 Clifford street, Philadelphia. Brick, 1 story, 60x210 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash, hollow metal skylights and doors, plate glass. Owner taking sub-bids.

**Store and Apartment,** 5816 Wayne avenue, Philadelphia. Architect, I. W. Levin, Victory Building, Philadelphia. Owner, I. Deinstman, 404 West Rittenhouse street, Philadelphia. Brick, 2 stories, 24x36 feet, hot water heat, electric light, slag roof, hardwood floors, tile and marble work, metal ceiling, plate glass, metal bulks. Owner ready for general bids.

**Store and Two-Family Residence (alts. and add.),** 5927 Lansdowne avenue. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoa Heights, Pa. Owner, William J. Shields, on premises. Brick, 3 stories, 15x60 feet, hot water heat, electric light, pine floors, general interior alterations. Owner will build.

**Stores and Offices (alts. and add.),** 256-58 South Thirty-seventh street, Philadelphia. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoa Heights, Pa. Owner, D. H. Kabakian, Lansdowne, Delaware County, Pa. Brick, 2 stories, 20 feet 6 inches x 60 feet 6 inches, slag roof, pine and cement floors, hot water heat, electric light, metal lath, metal

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ceilings, shoring, metal frame bulks, plate glass. Owner will build.

**Residence (alts. and add.) to Apartment,** 422 South Fiftieth street, Philadelphia. Architects, Stuckert & Co., Crozer Building, Philadelphia. Owner, Dr. Charles E. Schaeffer, on premises. Brick, 2 stories, 8x10 feet, slag roof, hardwood floors, metal lath, electric light, tile work, plumbing, plastering, papering, carpentry. Architects ready for sub-bids.

**Residences (40),** Thorp Lane and Twenty-first street, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Philip Robbin, Tenth and Sixty-sixth avenue, Oak Lane, Philadelphia. Brick, 2 stories, 16x35 feet, slag and tin roof, hardwood floors, cement work, hot water heat, electric light, metal lath, garages in basement. Owner taking sub-bids.

**Twin Residences (1 pair),** Overbrook, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, McWilliams & Maloney, 539 South Fifty-second street, Philadelphia. Stone, brick, 2½ stories, 16 feet 6 inches x 45 feet, slate and slag roof, hardwood floors, cement work, central steam heat, electric light, metal lath, tile and marble work, garages in basement. Owners taking sub-bids.

**Community Garages (21),** Second and Ontario streets, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, G. Henry Parker, 4401 Germantown avenue, Philadelphia. Brick, 1 story, 8x19 feet, slag roof, concrete floors, electric light, steel columns, corrugated iron, wood doors. Owner taking sub-bids.

**Workshop,** 1912-14 Brandywine street, Philadelphia, \$10,000. Architect, private plans. Owners, Smith-Hardican Co., 1809 Callowhill street, Philadelphia. Brick, 2 stories, 32x70 feet, slag roof, pine floors, hot water heat, electric light. Owners will build.

**Residences (3),** East side Ardleigh street, North of Mermaid, \$8,000 each. Architect, Paul Boyd, 7916 Limekiln Pike, Philadelphia. Owner, A. K. Schock, 45 West Graver's Lane, Philadelphia. Brick, 2 stories, 18x47 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence,** East Walnut Lane, Roxborough, Philadelphia. Architect, G. Edwin Brumbaugh, Real Estate Trust Building, Philadelphia. Owner, William Miller, care of architect. Cement block, 1½ stories, 66x40 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Architect taking bids due October 10th.

**Building (alts.),** Thirty-third and Columbia avenue, Philadelphia. Architect, C. Leslie Weir, 41 East Forty-second street, New York City. Owners, American Ice Co., Mr. Fredericks, Broad and Cherry streets, Philadelphia. Owners taking bids due October 10th.

Structural steel work, cork insulation, water-proofing, carpentry and mill work, concrete and cement work.

**Apartment House,** 3924-26 Locust street, Philadelphia. Architect, L. J. Tunis, 1423 Locust street, Philadelphia. Owner, F. Shapiro, 911 City Center Building, Philadelphia. Brick, general alterations, 3 stories, plastering, hardwood floors, lighting, tile work, painting, mill work and carpentry, kitchen equipment, plumbing, porch enclosures, cement work. Owner taking bids.

**Store and Office Building (alts. and add.),** Tenth and Lombard streets, Philadelphia. Architects, Ballinger Co., Southeast Corner Twelfth and Chestnut streets, Philadelphia. Owners, Charles E. Johnson & Co., Tenth and Lombard streets, Philadelphia. Architects taking bids on heating due October 9th.

**New Street Warehouse (alts.),** 120 New street, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Structural steel, plastering, iron work, metal lath, steel sash, painting and glazing. Owners taking bids due October 9th.

**Miscellaneous Work,** Philadelphia. Owners, Department of Wharves, Docks and Ferries, Municipal Pier No. 4, South Wharves. Schedule A, paving with incidental work, Porter street, Pier No. 84, South Wharves. Schedule B, repairs to side walls of Vine Street Pier No. 19, North Wharves. Schedule C, replacement of wood fenders at Municipal Pier No. 16, South Wharves. Deposit, \$10. Refund, \$10, on Schedule A only. Certified check 5 per cent. of amount of contract must accompany each bid. Owners taking bids due October 15th at Room 211, Municipal Pier, No. 4, South Wharves.

**Residences (6),** High and Baynton streets, Philadelphia, \$7,000 each. **Residences (11),** Haines and Anderson streets, Philadelphia, \$7,000 each. Owners, Oler & Shapiro, 6433 North Broad street, Philadelphia. Brick, 2 stories, 20x37 feet 6 inches, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Residences (2),** South side Griffith street, West of Loretta, \$9,300 total. Architect, private plans. Owner, Jacob Gaertner, 8315 Pine Road, Philadelphia. Frame, 2 stories, 28x45 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Warehouse,** 617 North Forty-first street, Philadelphia, \$7,000. Architect, private plans. Owner, James Kershaw, 533 North Forty-first street, Philadelphia. Brick, 2 stories, 25x89 feet 6 inches, slag roof, hot water heat, pine floors, electric light. Owner will build.

**Residences (8),** North side Rector street, East of Henny avenue, \$5,400 each. Architect, private plans. Owners, C. M. Swartley

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**Residences (10)**, East side Akron street, South of Dyre, \$7,000 each. Architect, private plans. Owners, George R. Osborne & Son, 5014 Saul street, Philadelphia. Brick, 2 stories, 16x17 feet, 18x23 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Store and Garage**, Northwest Corner Thirteenth and Reed streets, Philadelphia, \$42,000. Architect, John E. Sindoni, 1628 West Passunk avenue, Philadelphia. Owner, John Bravinkas, 712 Bulletin Building, Philadelphia. Brick, 2 stories, store, 34x60 feet, garage, 46x57 feet, 75x57 feet, slag roof, steam heat, electric light. Architect taking sub-bids.

**Garage**, Northeast Corner Fifty-third and Whitby avenue, Philadelphia, \$22,000. Owner, I. W. Massey, 5311 Thomas avenue, Philadelphia. Brick, 2 stories, 50x98 feet, slag roof, cement floors, steam heat, electric light. Owner will build.

**Storage (add.)**, 16 and 18 North Fifty-second street, Philadelphia, \$5,000. Architect, private plans. Owner, M. Goodstein, on premises. Brick, 3 stories add., 16x32 feet, slag roof, electric light. Owner will build.

**Residences (5)**, 6401-03-05-07-09 Rising Sun avenue, \$5,500 each. Architect, private plans. Owner, S. Mankus, 903 Levick street, Philadelphia. Brick, 2 stories, 18x41 feet, 14x12 feet, hot air heat, electric light, hardwood and pine floors. Owner will build.

**Residences (4)**, West side Charles street, South of Wakeling, \$4,500 each. Architect, private plans. Owners, W. M. France & Son, 1529 Foulkrod street, Philadelphia. Brick, 2 stories, 17 feet 9 inches x 29 feet, slag roof, hot air heat, electric light, hardwood and pine floors. Owners will build.

**Residences (2)**, South side Hartel street, West of Walker street, \$4,200 each. Architect, private plans. Owners, Lewis & Ryan, 3316 Magee street, Philadelphia. Brick, 2 stories, 16x43 feet, hot water heat, electric light. Owners will build.

**Garage and Shop**, East side Fifth street, North of Nedro avenue, \$3,500. Architect, private plans. Owner, Joseph Friedman, 4831 North Twelfth street, Philadelphia. Brick, 1 story, 66x30 feet, slag roof, cement floors. Owner will build.

**Residences (4)**, West side Seventh street, South of Cayuga street, \$4,500 each. Architect, private plans. Owners, C. F. & L. M. Conway, 4150 North Broad street, Philadelphia. Brick, 2 stories, 14 feet 9 inches x 27 feet, 11 feet 9 inches x 8 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (1)**, 4343-49 North Fourth street, Philadelphia, 4,000 each. Architect, private plans. Owner, John J. Gaffney, 5532 North Third street, Philadelphia. Brick, 2 stories, 17 feet 6 inches x 30 feet, slag roof, hot water heating, electric lighting. Owner will build.

**Residences (4)**, North side Magee street, East of Glenloch, \$4,000 each. Architect, private plans. Owner, Louis Laib, 6638 Torresdale avenue, Philadelphia. Brick, 2 stories, 16x38 feet, hot water heating, electric lighting. Owner will build.

**Residences (2)**, East side Elgrade street, South of Orthodox, \$3,800. Architect, private

plans. Owner, Stanley Bialar, 2606 Orthodox street, Philadelphia. Brick, 2 stories, 14 feet 6 inches x 41 feet, pine floors, hot water heat, electric light. Owner will build.

**Garage**, 5557 Ridge avenue, Philadelphia, \$5,675. Architect, private plans. Owner, Daniel C. Hetzel, 590 East Jamestown avenue, Philadelphia. Brick, 1 story, 85x18 feet, slag roof, cement floors, electric work. Owner will build.

**Residence (add.)**, 6234 Haverford avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Mrs. Kathryn Ryan, on premises. Brick, 1 story add., 12x20 feet, slag roof, electric work. Permit issued.

**Store and Residence (add.)**, 7048 Torresdale avenue, \$2,000. Architect, private plans. Owners, American Stores Co., 424 North Nineteenth street, Philadelphia. Brick, 1 story, 25x20 feet, and 1 story, 8x24 feet. Owner will build.

**Recreation Center (Penrose)**, Twelfth and Susquehanna avenue, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, City of Philadelphia, Bureau of Recreation, 595 City Hall. Low bidders: John Devlin, Jr., Hancock and Thompson streets, Philadelphia: A, \$24,500; B, 18,500. Kaufman Const. Co., North American Building, Philadelphia: A, \$25,435; B, \$20,500. Electric, Mitchell & Co., 1713 Sansom street, Philadelphia, \$526. Plumbing, Jacob Brugger, 2124 East Cumberland street, Philadelphia: A, \$1,759; B, \$970.

**Sewers**, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Low bidders: Annsbury street, Wingo-

hocking street, etc., Adolph Jafolla, Eighty-first and Island Road, Philadelphia, \$307,336. Pennypack Creek Intercepting Sewer, W. H. Garson, 5033 Brown street, Philadelphia, \$198,235.40. Armstrong street, Fred T. Buckius, Kensington and Deal streets, \$2,600. Chester avenue, W. H. Garson, 5033 Brown street, Philadelphia, \$7,046.68. Cloud street, Peter & A. J. Ellis, 3342 North Eleventh street, Philadelphia, \$3,062.99. Fernon street, V. J. Perna, 752 North Tenth street, Philadelphia, \$4,466. Haworth street, Mr. Joseph Moss, 1652 Wakeling street, \$6,009.82. Keystone street, John Hastie, 601 East Hilton street, Philadelphia, \$10,287.75. Sulliman street, Peter & A. J. Ellis, 3342 North Eleventh street, Philadelphia, \$4,073.20. 10 Sheldon street, A. De Sandro, 3906 North Fifth street, Philadelphia, \$6,432. Tulip street, John Hastie, 601 East Hilton street, Philadelphia, \$3,955.55. Warrington avenue, P. J. Perna, 752 South Tenth street, Philadelphia, \$10,067.50. Wilmot street, Fred T. Buckius, Kensington and Deal street, Philadelphia, \$1,300.

**Fire House**, Fifty-fourth and Haverford avenue, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Safety, Director's Office, 215 City Hall. Low bidders: Monaghan & Losse, 3016 Chestnut street, Philadelphia, \$72,000; Mitchell Brothers, 2125 Race street, Philadelphia, \$74,990. Plumbing, L. J. Sommer, 2436 Brown street, Philadelphia, \$5,338. Heating, G. J. McCarthy, 1723 Sansom street, Philadelphia, \$3,990. Electric, E. F. Goldhaun, 8619 Crothers avenue, Philadelphia, \$2,588.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Church**, Park avenue and Nedro street, Philadelphia, \$60,000. Architect, George E. Savage, Witherspoon Building, Philadelphia. Owners, Mt. Carmel Methodist Episcopal Church, on premises. Stone, 1 story, 40x70 feet, slate roof, pine floors, steam heat, electric light, tile work. Contract awarded H. H. Wehmeyer, 509 West Cumberland street, Philadelphia.

**Auto Show Room and Store**, Broad street and Roosevelt Boulevard, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, care of architect. Brick, steel, stone, 2 stories, 56x60 feet, slag roof, composition floors, steam heat, electric

light, metal lath, tile work, roof ventilators, metal ceiling, shoring, ornamental iron work, bond, metal bulks, fire doors, hollow metal skylights. Contract awarded A. Kopetz & Co., 2405 East Allegheny avenue, Philadelphia.

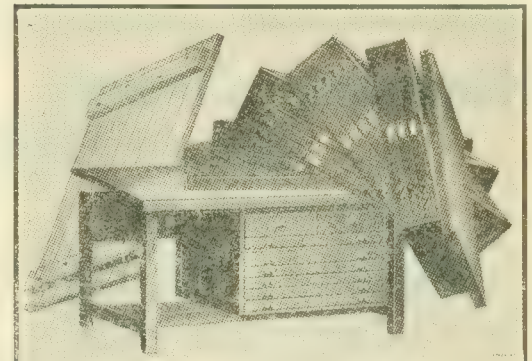
**Residence (alts. into offices)**, 3317-27 Arch streets, Philadelphia. Chief engineer, Charles A. Schulz, 45 West Eighteenth street, New York City. Owners, Union News Co., 45 West Eighteenth street, New York City. Tile work, linoleum floors, painting and glazing, store work, carpentry and mill work, brick work, composition floors, ornamental iron work. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

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Chapel, Deanery and Faculty House, Nos. 16-17, Forty-second and Spruce streets, Philadelphia. Architects, Zantzinger, Borie & Medary, Otis Building, Philadelphia. Owners, Protestant Episcopal Divinity School, Dr. G. C. Bartlett, on premises. Reinforced concrete, stone, artificial cut stone, steel bluestone, flagstone, alternate for limestone, leaded glass, wrought iron pipe, 1 and 3 stories and 2½ stories, chapel, 130x50 feet, deanery, 64x42 feet, faculty houses, 76x39 feet, slate roof, pine and cement floors, hollow tile, painting and glazing, plumbing, steam heat, electric light, metal lath, tile and marble work, terrazzo work, hollow metal sash, bond, ornamental iron work. Contract awarded H. G. Campion, Otis Building, Philadelphia. Work on chapel to start at once.

Show Room and Storage Building (alts.), 4223-25-27 North Broad street, \$4,500. Architect, private plans. Owner, Frank Mlodkowski, on premises. General alterations. Contract awarded to A. Koper, 2405 East Allegheny avenue, Philadelphia.

Apartments (2) (add.), 2035-39 North Eleventh street, Philadelphia, \$3,000. Architect, private plans. Owner, W. C. Cherry, 2046 West Norris street, Philadelphia. Brick, 1 story add., 14x8 feet. Contract awarded to John Spaltro, 6233 West Girard avenue, Philadelphia.

Garage, Southeast Corner Hermit and Houghton streets, Philadelphia, \$2,000. Architect, private plans. Owner, J. Russel Fawley, on premises. Brick, 1 story, 41x23 feet, slag roof, cement floors, electric work. Contract awarded to William H. Eddleman & Son, 453 Green Lane.

Central Medical Office Building, Northeast Corner Eighteenth and Chestnut streets, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, William M. Webster, care of architect. Reinforced concrete, steel, cut stone, brick, limestone, granite, 12 stories and basement, 121x45 feet, slag roof, oak and cement floors, steam heat, electric light, metal lath, tile and marble work, rolled steel and hollow metal sash and skylights, tin lined and kalamein doors, bond, floor hardener, iron stairs, ornamental iron work, elevator doors, roof ventilators, shoring, waterproofing, ornamental terra cotta, ornamental bronze, travertine, plaster, wrought iron pipe, Byer or Reading. Contract awarded Barras Co., 366 Madison avenue, New York.

Community Building (rear), 19 South Tenth street, Philadelphia, \$75,000. Architect, Wetherill F. Trout, 222 South Jessup street, Philadelphia. Owners, St. Stephen's Church, 19 South Tenth street, Philadelphia. Brick, cut stone, granite, reinforced concrete, steel,

3 stories and mezzanine and basement, 70x27 feet, slag roof, linotile floors, painting and glazing, plumbing, roof ventilators, metal weather strip, waterproofing, ornamental iron work, bond, fire, kalamein and hollow metal doors, rolled steel sash and skylights, metal lath, electric light, dumb waiters, hollow terra cotta, partitions, caulking, Byers or Reading wrought iron pipe (heating, insert screens, leaded glass, gas range, refrigerators reserved). Contract awarded J. Myers & Son Co., 609 Witherspoon Building, Philadelphia.

Store and Apartments, 519 South Twelfth street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, M. Simson, 501 South Twelfth street, Philadelphia. Brick, steel, 3 stories, 16x60 feet, slag roof, pine and hardwood floors, electric light, metal ceilings, metal lath, tile and marble work, hollow metal skylights, store fixtures, hollow metal skylights, bond, metal bulks, ornamental iron work. Contract awarded L. Kottler, 2224 South Tenth street, Philadelphia.

Garage, Sixty-second and Webster streets, Philadelphia. Architect, D. C. Finston, North American Building, Philadelphia. Owner, S. Rockower, Sixty-second and Webster streets, Philadelphia. Brick, 1 story, 17x28 feet, hot water heat, electric light, concrete roof, concrete floors. Contract awarded Kaufman Const. Co., North American Building, Philadelphia.

Church (int. alts.), Second and Jefferson streets, Philadelphia. Architect, Peter F. Getz, Victory Building, Philadelphia. Owners, St. Michael's Roman Catholic Church, on premises. Brick work, concrete work, metal ceilings and partitions, plumbing, heating. Contract awarded J. T. Murphy, 1712 North Second street, Philadelphia. Heating, William F. Morthost, 4429 North Fifth street, Philadelphia.

Radiator Repair Shop, 2208 Fairmount avenue, Philadelphia. Architect, Irvin E. Spirer, 4036 Parkside avenue, Philadelphia. Owner, Joseph A. Strakey, on premises. Brick, steel, 2 stories, 18x56 feet, slag roof, hot water heat, electric light, mill work, 2-inch plank floors, hollow metal skylights, ornamental iron work. Contract awarded J. Maurer Co., 1304 North Second street, Philadelphia.

Store (alts.), 5018 Germantown avenue, Philadelphia. Architect, C. J. Cumiskey, 86 Sharpnack street, Philadelphia. Owner, Samuel Bader, care of architect. General alterations, brick work, painting, metal bulks, stair work (heating and electric work reserved). Contract awarded H. P. Schneider, 3713 Old York Road, Philadelphia.

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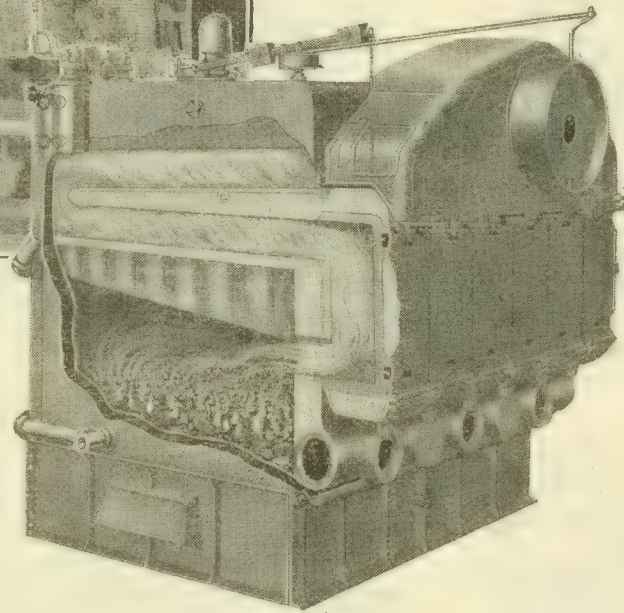
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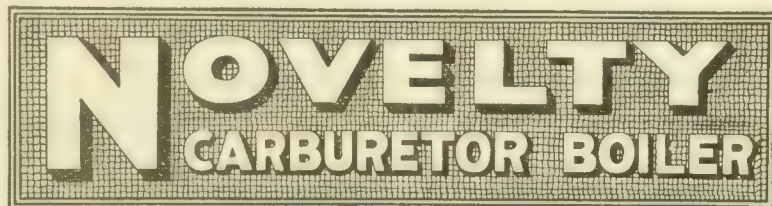
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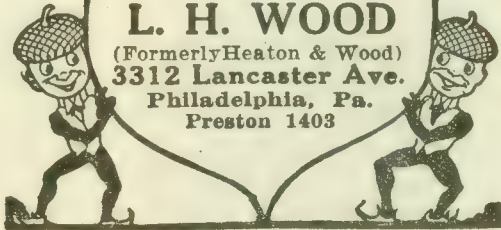
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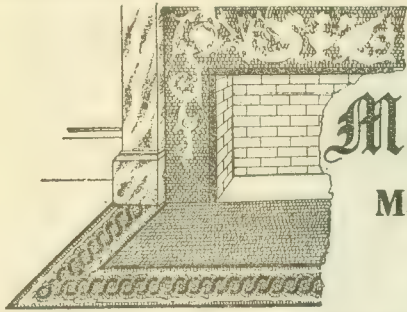
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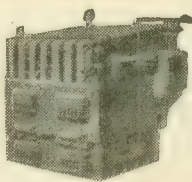
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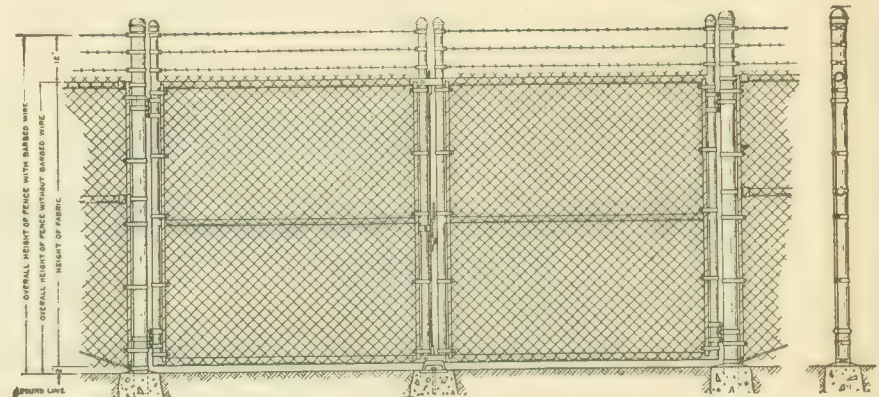
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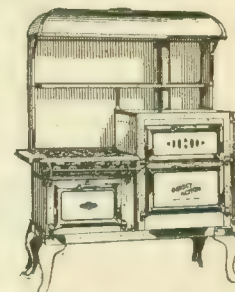
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Mt. Pleasant avenue, Philadelphia. Architect, S. Abramson, 2313 Walnut street, Philadelphia. Owners, Hoplin & Bernstein, 201 Real Estate Trust Building, Philadelphia. Brick, 2 stories, 65x60 feet x irregular, slag roof, hardwood floors, hot water heat, electric light, tile work, metal bulks, plate glass. Contract awarded M. Benjamin, Sixty-sixth avenue and Twenty-first street, Philadelphia.

**Residence and Garage**, Somerton, Philadelphia, \$14,000. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owner, Dr. Charles Stuart, 4602 Frankford avenue, Philadelphia. Hollow tile and stucco, 2½ stories, 36x41 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work, metal lath, garage in basement. Contract awarded Charles T. Ely, Somerton, Pa.

**Office Building (alts. and add.)**, 17 and 19 West Maplewood avenue, Philadelphia. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, E. C. Emhardt and A. B. Schulte, 5600 Germantown avenue, Philadelphia. Limestone, brick, second story add., 9 feet 6 inches x 8 feet, steam heat, electric light, slag roof, pine floors. Contract awarded to S. S. Billingsley, 1230 East Cheltenham avenue.

**Lubricating Station**, Fifty-fifth and Walnut streets, Philadelphia, \$9,500. Architect, J. L. Conarroe, 225 South Sydenham street, Philadelphia. Owner, Earl Mylcraine, 337 South Broad street, Philadelphia. Brick, 1 story, 35x48 feet, slag roof, cement floors. Contract awarded to C. D. Coldren, 2025 South Sixty-fifth street, Philadelphia.

**Factory**, South side Nicholas street, West of Twenty-first street, Philadelphia, \$15,000. Architect, private plans. Owners, Bargs',

Inc., 1618 North Twenty-first street, Philadelphia. Brick, 1 story, 55x135 feet, slag roof, electric light. Contract awarded to H. M. Wilson Co., 20 South Fifteenth street, Philadelphia.

**Stone Barn (repairs)**, East side State Road, West of Rhawn, \$14,000. Architect, private plans. Owners, City of Philadelphia, Department of Public Welfare, Bureau of Charities and Correction, City Hall, Philadelphia. General fire repairs. Contract awarded to E. H. Keefer & Son, 1321 Rodman street, Philadelphia.

**Garage**, 4252-54 North Seventeenth street, Philadelphia, \$10,000. Architect, private plans. Owner, N. Keda, 4350 Germantown avenue, Philadelphia. Brick, 1 story, irregular size, slag roof, cement floors. Contract awarded to Frank Radonski, 4329 North Sixteenth street, Philadelphia.

**Garage**, North side Erie avenue, West of Sixth street, Philadelphia, \$8,500. Architect, private plans. Owner, Frank F. Goelz, 3616 North Twelfth street, Philadelphia. Brick, 1 story, 51 feet 8 inches x 79 feet 5 inches, slag roof, cement floors. Contract awarded to J. Fleischer & Sons, 739 Roosevelt Boulevard.

**Residences (2)**, North side Hermitage street, East of Lawnton, \$5,500 each. Architect, private plans. Owner, John L. Pauling, 4352 Mitchell street, Philadelphia. Brick, 2 stories, 16x40 feet, tin roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to E. L. Cuthbertson, 334 Roxborough avenue.

**Warehouse (alts.)**, West side Sixth street, North of Erie avenue, \$5,250. Architect, private plans. Owner, Frank F. Goelz, 3616 North Twelfth street, Philadelphia. General

alterations. Contract awarded to J. Fleischer & Sons, 739 Roosevelt Boulevard.

**Residence**, West side Greene street, North of Walnut Lane, \$20,000. Architect, private plans. Owner, Dr. J. H. Clason, 143 West Coulter street, Philadelphia. Stone and brick, 2 stories, 32x60 feet, hot water heat, electric light, hardwood and pine floors, tile work. Contract awarded to Charles W. Sibel, 527 Carpenter Lane, Philadelphia.

**Store and Office Building**, 1708-10 Ludlow street, Philadelphia, \$20,000. Architect, private plans. Owner, F. P. Mellon, 1712 Ludlow street, Philadelphia. Brick, 1 story, 32x20 feet, 3 stories, 32x55 feet, slag roof, electric light, steam heat. Contract awarded to George C. Dougherty, 1725 Sansom street, Philadelphia.

**Store and Office (alts.)**, 924 Walnut street, Philadelphia, \$15,000. Architect, Joseph Margolis, 1505 Race street, Philadelphia. Owners, Lush & Miller, Real Estate Trust Building, Philadelphia. General alterations. Contract awarded to John De Paul & Bro., 80 Sharpnack street, Philadelphia.

**Residence**, South side Oriole street, East of Silverwood street, \$9,365. Architect, private plans. Owner, A. P. Mosier, 850 North Taylor street, Philadelphia. Stone and frame, 2 stories, 32x40 feet, hot water heat, electric light, hardwood and pine floors, tile work. Contract awarded to Carl F. Hirsch, 418 Ripka avenue, Philadelphia.

**Residence and Store (alts. and add.)**, 1526 West Ridge avenue, \$6,000. Owner, H. Katz, 1531 Ridge avenue, Philadelphia. Brick, 3 stories, 18x12 feet, 1 story, 3x20 feet, general alterations. Contract awarded to M. Sklar, 628 Pine street, Philadelphia.

**Garage (add.)**, 6312-16 Rising Sun avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Richard Wildey, 6324 Rising Sun avenue, Philadelphia. Brick, 1 story add., 26x100

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feet, slag roof, electric work. Contract awarded to Lewis Hild, 1022 Robbins avenue, Philadelphia.

**Garage**, 8962 Frankford avenue, Philadelphia, \$2,000. Architect, private plans. Owner, J. R. Jenks, on premises. Frame, 2 stories, 25x22 feet, cement and pine floors, electric work. Contract awarded to Horace M. Freas, Andalusia, Pa.

**Garage**, North side Moreland avenue, East of Germantown avenue, \$5,000. Architect, private plans. Owner, Andrew Vecchin, 7821 Germantown avenue, Philadelphia. Stone, 1 story, 48x50 feet, cement floors. Contract awarded to M. H. Grebe, 5 East Highland avenue, Chestnut Hill.

**Residence Operation**, East side Claridge street, North of Vincent street, \$4,000 each. Architect, private plans. Owner, Lena Perlman, 1225 Cottman street, Philadelphia. Frame, 2 stories, 16x40 feet, shingle roof, pine floors, hot water heating, electric lighting. Contract awarded to Henry Perlman, 1225 Cottman street, Philadelphia.

**Residences (10)**, North and South side Newland street, West of Flamingo street, \$6,000 each. Architect, private plans. Owner, Henry Bogash, 500 Bankers' Trust Building, Philadelphia. Brick, 2 stories, 24x26 feet, hot water heat, electric light, hardwood and pine floors, slag roof. Contract awarded to Henry W. Brightly, 1216 North Thirty-fourth street, Camden.

**Residences (10)**, West side Tabor Road, North of Levick, \$6,500 each. Architect, private plans. Owners, Hamilton & Kelly, Tabor Road and Godfrey avenue, Philadelphia. Brick, 2 stories, 24x21 feet, hot air heat, electric light. Contract awarded to H. A. Hamilton, Green and Chelton avenue, Philadelphia.

**Garages (10)**, East side Fiftieth street,

South of Overbrook avenue, \$8,000 total. Architect, private plans. Owner, T. F. Reilly, Bryn Mawr and Overbrook avenues, Philadelphia. Stone, 1 story, 20x33 feet, cement floors, electric work. Contract awarded to W. H. Moran, Willow Grove, Pa.

**Residence**, Southeast Corner Seventh and League streets, Philadelphia, \$7,500. Architect, private plans. Owner, Max Pearl, Atlantic City, N. J. Brick, 2 stories, 16x34 feet 8 inches, hardwood and pine floors, electric work. Contract awarded to Thomas E. Bressi, 744 South Sixth street, Philadelphia.

**Workshop**, 3556-58 North Fifth street (rear), Philadelphia, \$4,000. Architect, private plans. Owner, Robert E. Clark, 134 West York street, Philadelphia. Brick, 1 story, 40x40 feet, slag roof, pine floors, electric work. Contract awarded to William Carr, 3550 Jasper street, Philadelphia.

**Store and Residence (alts.)**, 2000 East Orleans street, \$2,700. Architect, private plans. Owner, Tony Feron, on premises. General alterations. Contract awarded to A. Rosenberg, 1918 East Orleans street, Philadelphia.

**School**, North side Rittenhouse street, East of Germantown avenue, \$23,000. Architect, private plans. Owners, Board of Education, Nineteenth street above Chestnut, Philadelphia. General alterations. Contract awarded to E. C. Durell, 1713 North Twenty-fourth street, Philadelphia.

**Garage**, 5615 North Lawrence street, Philadelphia, \$2,400. Architect, private plans. Owner, John Bade, on premises. Brick, 1 story, 50x24 feet, slag roof, cement floors, electric work. Contract awarded to Northern Const. Co., 515 Fishers avenue, Philadelphia.

**Store and Residence (alts.)**, Southwest Corner Fifteenth and Tasker streets, \$2,000. Architect, private plans. Owner, P. De Vecchio, 1505 South Broad street, Philadelphia. Gen-

eral alterations. Contract awarded to S. Fosca, 931 Ernest street, Philadelphia.

**Stores (2)**, 4305-07 North Eighteenth street, Philadelphia, \$3,950. Architect, private plans. Owner, William Naumann, 4324 Germantown avenue, Philadelphia. Brick, 1 story, 18x20 feet, slag roof, pine floors, electric work. Contract awarded to J. F. Crowthamel, 4528 North Carlisle street.

**Office and Sales Room**, Southeast Corner Front and Coral streets, \$3,000. Architect, private plans. Owners, Atlantic Refining Co., 260 South Broad street, Philadelphia. Brick, 1 story, 14x16 feet, slag roof, wood and cement floors, electric lighting. Contract awarded to Metzger, Fisher & White, Otis Building, Philadelphia.

**Storage Building**, 1414 North Perth street, Philadelphia, \$3,000. Architect, private plans. Owner, Max Buttermann, 1417 North Eighth street, Philadelphia. Brick, 2 stories, 17x33 feet, slag roof, pine floors, electric work. Contract awarded to Fleischer Brothers, 1531 North Eighth street, Philadelphia.

**Garage**, 3237 North Second street (rear), Philadelphia, \$3,000. Architect, private plans. Owner, Fred Schultz, on premises. Brick, 1 story, 18x130 feet, slag roof, cement floors. Contract awarded to Thomas Matthews & Son, 2636 North Hancock street.

**Store (alts. and add.)**, 6153-55 Woodland avenue, Philadelphia, \$2,000. Architect, private plans. Owner, J. Ruskor, on premises. Brick, 1 story add., 16x16 feet, general alterations. Contract awarded to A. Kessler, 3231 Turner street, Philadelphia.

**Office Building (alts.)**, Southeast Corner Broad and Spring Garden, \$2,000. Architect, private plans. Owner, H. Isenberg, 2251 Spruce street, Philadelphia. General alterations. Contract awarded to J. Getzik, 1918 North Park avenue, Philadelphia.

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**Residence (alts.),** Southwest Corner Thirtieth and Spring Garden streets, \$3,000. Architect, private plans. Owner, John Cassady, 3102 Spring Garden street, Philadelphia. General alterations. Contract awarded to Kelly & Henry, 2727 North Twenty-fourth street, Philadelphia.

**Residence (add.),** 6045 Osage avenue, Philadelphia, \$2,180. Architect, private plans. Owner, E. Jones, on premises. Brick, 2 stories, 15x12 feet, slag roof, electric lighting. Contract awarded to Frank N. Percival, 6229 Market street.

**Store (alts.),** 17 South Twenty-first street, Philadelphia, \$2,000. Architect, private plans. Owner, George Schorr, Real Estate Trust Building, Philadelphia. General alterations. Contract awarded to S. H. Levin, 1631 South Fifth street, Philadelphia.

**Garage,** 345 East Gowen avenue, Philadelphia, \$2,000. Architect, private plans. Owner, George Henrich, on premises. Brick, 1 story, 25x23 feet, slag roof, cement floors, electric work. Contract awarded to John J. Bateman & Son, 6715 North Seventeenth street.

**Store and Residence (alts.),** Northeast Corner Fifth and Erie avenue, \$2,000. Architect, private plans. Owner, John Rhul, on premises. General alterations. Contract awarded to S. Skeen, 3748 North Fifth street, Philadelphia.

**Garage and Shop (add.),** 320 Budd street, Philadelphia, \$2,500. Architect, private plans. Owners, C. M. & E. R. Paul, 317 North Forty-first street, Philadelphia. Brick, 2 stories add., 25x55 feet, slag roof, cement and pine floors, electric lighting. Contract awarded to Charles M. Paul, 317 North Forty-first street, Philadelphia.

**Garage (add.),** 4729 Hawthorne street, Philadelphia, \$2,000. Architect, private plans. Owner, James H. Funk, on premises. Brick, 1 story add., 60x17 feet, slag roof, cement floors. Contract awarded to Edward Morrow, 4693 Castor Road, Philadelphia.

**Grading, etc.,** Philadelphia. Owners, Department of Public Works, Bureau of Highways, 232 City Hall. Contracts awarded:

Schedule A—Grading. Brill and Charles streets, Dewees Brothers, 1947 Spencer street, Philadelphia, \$8,771; Grange street and Fifteenth, Dewees Brothers, 1974 Spencer street, Philadelphia, \$4,755; Hunting Park avenue, Dewees Brothers, 1974 Spencer street, Philadelphia, \$527; N street and three others, David Duffin & Sons, 5101 Roosevelt Boulevard, \$6,238; Oxford avenue, T. Flanagan, 531 East Girard avenue, Philadelphia, \$2,395; Eighteenth street, Dewees Brothers, 1974 Spencer street, Philadelphia, \$3,212.

Schedule B—Asphalt Paving. Day street, Union Paving Co., Thirtieth and Locust streets, Philadelphia, \$6,920; Luzerne street and L, M, C streets, Union Paving Co., Thirtieth and Locust, \$44,392; Janney, Scheller,

Sepviva, Tulip and Wiekel streets, Eastern Paving Co., Colonial Trust Building, Philadelphia, \$32,937; Jasper street, Union Paving Co., Thirtieth and Locust streets, Philadelphia, \$1,585; Larchwood avenue, Barber Asphalt Co., Thirtieth and Race streets, \$7,307; Limekiln Pike, Union Paving Co., Thirtieth and Locust streets, \$7,967; Ritner street, Barber Asphalt Co., Thirtieth and Race streets, Philadelphia, \$4,496; Trinity and Hindson streets, Barber Asphalt Co., Thirtieth and Race streets, \$5,009; Wagner avenue, Mack Paving Co., Nicetown Lane and C street, Philadelphia, \$10,621; Westmoreland street, Barber Asphalt Co., Thirtieth and Race streets, \$2,403; Forty-seventh street, Union Paving Co., Thirtieth and Locust streets, Philadelphia, \$6,528; Sixtieth street, Barber Asphalt Co., Thirtieth and Race streets, Philadelphia, \$13,286.

Schedule C—Vitrified Block Paving. Smick

street, Union Paving Co., Thirtieth and Locust streets, Philadelphia, \$6,779.

Schedule D—Country Road Improvements. Park avenue, A. J. Henderson, care of owner, \$2,912; Neeley Brothers & Russell, Wake-ling and Oxford Pike, \$2,912; Green Tree Road, N. J. McCrudden, Real Estate Trust Building, Philadelphia, \$3,585.

Schedule E—Asphalt Repaving. Emely street, Eastern Paving Co., Colonial Trust Building, Philadelphia, \$2,935; Gordon street, Mack Paving & Const. Co., Nicetown and C streets, \$10,706; Fernon and Montrose streets, Eastern Paving Co., Colonial Trust Building, \$6,985; Wister street, Barber Asphalt Co., Thirtieth and Race streets, Philadelphia, \$13,162.

Schedule G—Completion concrete floor, League Island Bathing Beach. Municipal Paving Co., 632 Kater street, Philadelphia, \$41,860.

## PENNSYLVANIA

# Construction News

**Bank Building,** Southampton, Pa. Architect, H. Parker, 1120 Locust street, Philadelphia. Owners, Southampton State Bank, care of Southampton, Pa. Brick, 1 story, 40x60 feet. Owners taking bids due October 21st at 4 P. M., at office of C. Wilson Roberts, 133 S. 12th Street, Philadelphia, or his residence in Southampton, Pa.

**Residence and Garage,** Narberth, Pa. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owner, Joseph I. Rowan, Narberth, Pa. Stone and shingle, 2 stories, 40x50 feet, 1 story, 18x20 feet, shingle roof, hardwood and cement floors, hot water heat, electric light, tile work. Plans in progress.

**Residence and Garage,** Jenkintown, Pa. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Brick, 2½ stories, 20x40 feet, wing 16x18 feet, shingle roof, hardwood and cement floors, hot water heat, electric light, tile work. Plans in progress.

**Residence (add.), Doctor's Office and Laboratory,** Torresdale, Pa. Architect, Samuel D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Frame, 2 stories. Plans in progress.

**Bungalow,** Royersford, Pa. Architect, J. V. Poley, 162 Second avenue, Royersford, Pa. Owner, M. L. Evans, Ninth avenue and Washington street, Royersford, Pa. Brick, 1½ stories, 32x33 feet, asbestos shingle roof, oak floors, pipeless heat, electric light. Plans in progress.

**Ice Storage House,** Fourth and Penn streets, Chester, Pa. Architect, Jesse T. Hoekstra, 1713 Sansom street, Philadelphia. Own-

ers, Penn Ice Co., Chester, Pa. Brick, 50x66x60 feet high, 1 story, 20x50 feet, 15x266 feet, slag roof, cement floors, electric elevator, electric light, cork insulation, ammonia piping, wood piling, reinforced concrete work. Plans in progress.

**Bethlehem Theatre,** Bethlehem, Pa. Architect, Hoffman Henon, Finance Building, Philadelphia. Owners, Bethlehem Theatre Co., Bethlehem, Pa. Brick and steel. Ready for bids in a few days.

**Stores, Auditorium and Apartments,** Ephrata, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Owls' Home Association of Ephrata, care of architect. Brick, steel, 3 stories, 64x160 feet, composition roof, hardwood floors, roof ventilators, steam heat, electric light, metal lath, rolled steel sash, iron stairs. Plans in progress.

**Inn,** Mechanicsburg, Pa. Architect, W. P. Erisman, Woolworth Building, Lancaster, Pa. Owner, J. Devers, Mechanicsburg, Pa. Cinder block and stucco, 2½ stories, 35x50 feet, shingle roof, pine floors, steam heat, electric light, kitchen equipment. Revised plans in progress.

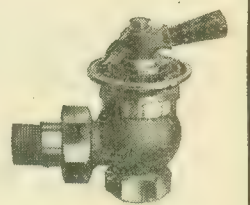
**Store and Office Building,** West Chestnut street, Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, Steinman & Steinman, 8 West King street, Lancaster, Pa. Brick, steel, 2 stories, 80x60 feet, slag roof, pine floors, steam heat, electric light cast stone. Plans in progress (revised).

**Theatre, Store and Hotel,** Carlisle, Pa. Architect, C. J. Lappley, Cottrell-Ebner Building, Harrisburg. Owners, Belehas & Hemawel,

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William Penn Hotel, 327 Market street, Harrisburg, Pa. Brick, steel, stone, 3 stories, 60x160 feet, slag roof, composition and hardwood floors, hollow tile, steam heat, electric light, metal lath, tile work, copper work, fire doors, iron stairs, ornamental iron work. Plans in progress.

**Store (alts. and add.),** 20 North Third street, Harrisburg, Pa. Architect, C. Harry Kain, Harrisburg, Pa. Owners, Walkover Boot Shop, on premises. General alterations and additions. Plans in progress.

**Office and Apartments,** 224 Pine street, Harrisburg, Pa. Architect, C. Harry Kain, Harrisburg, Pa. Owner, Dr. John F. Culp, on premises. General alterations and additions. Plans in progress.

**Building,** State street, Harrisburg, Pa. Architect, C. Harry Kain, Harrisburg, Pa. Owners, Pythian Castle Association, Harrisburg, Pa. General alterations and additions. Plans in progress.

**Apartment House,** Altoona, Pa. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owner, Miss Harriet B. Glenn, care of Silverman Brothers, Altoona, Pa. Brick, 3 stories, 40x50 feet, slag roof, pine and hardwood floors, electric light, tile and marble work. Owner taking general bids.

**Apartment House,** Lancaster and Haverford avenues, Haverford, Pa. Architects, Lippincott & Schaeff, 11 South Sixteenth street, Philadelphia. Owner, Perry Beam, 605 Market street, Philadelphia. Brick, stucco, steel, 3 stories, 100x260 feet, tile roof, elevators, vapor fuel oil burning heating, electric light, tile work. Architects will be ready for bids in one week.

**Bungalow,** Walnut street, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, H. E. Brandt, Seventh avenue and Walnut street, Royersford, Pa. Brick and concrete, 1 story, 32x34 feet, asbestos shingle roof, oak floors, steam heat (heating, plumbing, lighting reserved). Plans in progress. Owner will take bids.

**Residences (400),** Chester, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, W. G. Price, Inc., 550 Edgemont avenue, Chester, Pa. Brick, 2 stories, 16x32 feet, slate and slag roof, hardwood floors, cement work, hot water heat, electric light, metal lath, garages in basement. Owners taking sub-bids on first 50.

**Parochial School,** Waynesboro, Pa. Architects, Starr & Johnson, Spooner Building, Harrisburg, Pa. Owner, Rev. W. J. O'Callahan, Waynesboro, Pa. Brick, steel, tile, 2 stories and basement, 71x125 feet, composition roof, pine floors, roof ventilators, school equipment (heating, electric and plumbing reserved). Architects ready for bids.

**Hospital (alts. and add.),** Reading, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Homeopathic Hospital, C. E. Leppy, chairman Building Committee, 135 North Sixth street, Reading, Pa. Brick, steel, fireproof, 4 stories and basement, 35x60 feet, slag roof, concrete floors, hollow tile, waterproofing, steam heat, electric light, metal lath, tile and marble work, metal sash, fire doors, bond, iron stairs, ornamental iron work. Plans about completed. Architects ready for bids.

**Residence,** Penn Side, Reading, Pa. Architect, L. D. Lance, 108 North Fifth street, Reading, Pa. Owner, H. H. Weiler, 138 Elm street, Reading, Pa. Brick, frame, 2½ stories,

36x28 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner will take sub-bids.

**Garage,** Pottsville, Pa. Architect, W. D. Hill, Pottsville, Pa. Owner, O. B. Knittle, Pottsville, Pa. Cement block, 2 stories, 50x150 feet, built-up roof, cement floors, metal lath, roof ventilators, gasoline storage system, vapor heat, electric light, steel sash (structural steel reserved). Architect taking bids due October 25th.

**Apartments and Stores,** Pottsville, Pa. Architect, W. D. Hill, Pottsville, Pa. Owners, Yuengling Realty Co., Pottsville, Pa. Hollow tile and brick, 30x105 feet, built-up roof, yellow pine floors, hollow tile, metal lath, vapor heat, electric light, tile work, wood sash. Architect taking bids due October 18th.

**Jail and Garage,** Ardmore, Pa. Architects, Zantzing, Borie & Medary, Otis Building, Philadelphia. Owners, Commissioners of Lower Merion Township, Montgomery County, Ardmore, Pa. Owners taking bids due October 13th. Plans ready for general contractors. Plans for heating, lighting, plumbing and ventilating on office building, Ardmore, Pa., and also for the jail and garage ready for sub-contractors.

**Residence (alts. and add.),** 7823 Park avenue, Elkins Park, Pa. Architect, Philip S. Johnson, 1713 Sansom street, Philadelphia. Owner, E. Speath, care of architect. Oak floors, carpentry and mill work, painting, tile work, tin roof, shingle roof, cement floors, electric work, plumbing alts., heating repairs. Architect taking bids due as soon as possible.

**New Pavilion and Alts. to Hospital,** Coatesville, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Coatesville Hospital, Coatesville, Pa. Brick, steel, cut stone, 3 stories and basement, 120x40 feet, slate roof (electric, heating, ventilating and elevators reserved), metal lath, tile work, rolling steel skylights, fire doors, iron stairs, ornamental iron work, composition cement and duraflex floors, hollow tile, plumbing, bluestone, encaustic tile, cast iron pipe, Reading or Byers wrought iron pipe. Architects taking bids due October 14th.

**Road Work,** Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Low bidders on work opened September 30th, 1924:

Allegheny County, R-247, Castle Shannon Borough, 8,612 feet. One course reinforced concrete. A. G. Rothey, Elizabeth, Pa. \$153,329.25.

Armstrong County, R-214, A-2981, Brady's Bend Township, 6,661 feet. One course reinforced concrete. Cooper Const. Co., Clymer, Pa. \$68,297.20.

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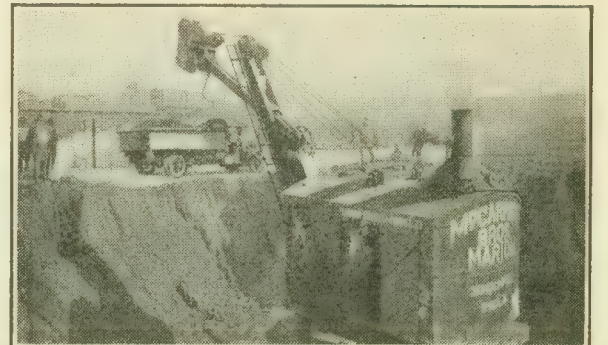
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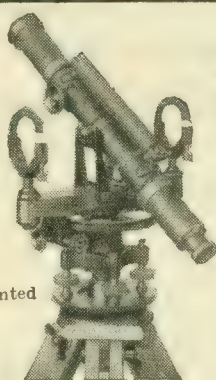
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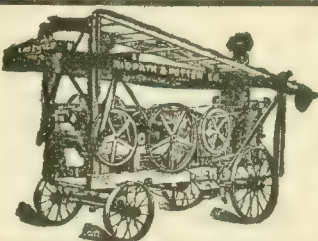
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Bradford-Tioga Counties, R-212, Columbia and Sullivan Townships, 37,947 feet. One course reinforced concrete. Lane Const. Corp., eMriden, Conn. \$447,058.26.

Bedford County, R-46, Hopewell Township, 29,800 feet. One course reinforced concrete. W. C. Guncheon & Co., Harrisburg. \$275,802.20.

Washington County, R-268, A-2932, East Pike Run Township, California Borough, 2,126 feet. One course reinforced concrete. Petriello Brothers, South Brownsville, Pa. \$42,997.80.

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## Pennsylvania Contracts Awarded

**Residence and Garage**, Norristown, Pa. Architect, Edward T. Boggs, 119 South Fourth street, Philadelphia. Owner, Dr. P. W. McLaughlin, 626 DeKalb street, Norristown, Pa. Stone, cut stone, stucco, brick, 2½ stories, 84x29 feet, garages, 1½ stories, 31x22 feet, slate roof, oak, pine and cement floors, waterproofing, hot water heat, electric light, metal lath, tile and marble work, ornamental iron work, plumbing, galvanized iron pipe. Contract awarded Raymond Houghton, Norristown, Pa.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Lebanon County, R-149, Jackson Township, Myerstown Borough, 1,390 feet. One course reinforced concrete. \$22,815. Contract awarded to Continental Cont. Co., Baltimore, Md.

**School (add.)**, Edge Hill, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Cheltenham Township School Board, Edge Hill, Pa. Stone, brick, cut stone, limestone, 1 story and basement, 30x70 feet, slate roof, cement and wood block, duraflex floors, hollow tile, bond, ornamental iron work (plumbing, heating and electric separate). Contract awarded Harry Murphy, Willow Grove, Pa. Electric, Robert Wright, Willow Grove, Pa. Plumbing and heating will be readvertised.

**Residence and Garage**, Merion Road, Merion, \$27,000. Architect, J. Wilmer Thompson, 703 South Sixtieth street, Philadelphia. Owner, Frank P. Zurn, care of architect. Stone, hollow tile, stucco, 2½ stories, 42x28 feet, wing 18x20 feet, hot water heat, oil burning equipment, electric light, tile work, roofing undecided, hardwood floors, (4) baths. Contract awarded E. Harris Smith, Lansdowne, Pa.

**Central High School**, Johnstown, Pa., \$878,975. Architects, associate, J. E. Adams, Johnstown, Pa., and E. L. Tilton, 141 East Forty-fifth street, New York. Owners, Board of Education, Johnstown, Pa. Contract awarded to Berkodele Brothers, Johnstown, Pa.

**Store and Apartments**, South Springfield, Pa. Architect, private plans. Owner, Dr. Cecilia Lubin, Eighty-fourth and Eastwick streets, Philadelphia. Brick, frame, stucco, 3 stories, 72 feet 6 inches x 19 feet 6 inches, slate and slag roof, hardwood and pine floors, plate glass, hot water heat, electric light, tile work. Contract awarded Curtis Grindrod Co., 10 South Eighteenth street, Philadelphia.

**Farm House**, Bryn Mawr, Pa. Architects, Willing, Sims & Talbutt, 126 South Eighteenth street, Philadelphia. Owner, Dr. C. J. Rhoades, on premises. Clapboard, 2 stories, 34x14 feet, hot water heat, electric light, shingle roof, pine floors. Contract awarded W. J. Ryder, 1725 Sansom street, Philadelphia.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa.

Indiana County, R-62, Cherry Tree Borough, 3,638 feet. One course reinforced con-

crete. \$33,081.75. Contract awarded to M. J. McMahon, Brookville, Pa.

Greene County, R-112, Franklin Township, 11,386 feet. One course reinforced concrete. \$134,928.60. Contract awarded to E. E. Morris, Waynesburg, Pa.

Indiana County, R-68, 223, Burrell Township, 1,733 feet. One course reinforced concrete. \$19,979.40. Contract awarded to Rood Const. Co., Butler, Pa.

Venango County, R-65, Cranberry Township, 10,464 feet. One course reinforced concrete. \$148,140.88. Contract awarded to Milliron Const. Co., Dubois, Pa.

Erie County, R-86, Mill Creek Borough, Peninsula Project, 21,070 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. \$204,749.75. Contract awarded to Charles H. Fry Const. Co., Erie, Pa.

## New Jersey Construction News

**Office**, Boardwalk, Atlantic City, N. J. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City. Owners, Hollywood Land & Water Co., Kentucky avenue and Boardwalk, Atlantic City, N. J. Architect selected.

**Residence**, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owner, Albert C. Abbott, Chelsea Bank Building, Atlantic City. Hollow tile and stucco, 2½ stories, 62x38 feet, Spanish tile roof, hardwood floors, electric light, tile work. Plans in progress.

**Hotel Innelli (alts. and add.)**, Atlantic City, N. J. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owner, care of architect. General alterations, hardwood floors, hot water heat, metal ceilings. Plans in progress.

**Residences (6)**, 25-27 South Georgia avenue, Atlantic City, N. J. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owner, A. A. Aratta, 2304 Atlantic avenue, Atlantic City, N. J. Brick, 2 stories, 50x175 feet, slag roof, pine floors, electric light, hot water heat, tile work. Plans in progress.

**Store (add.)**, 1914 Atlantic avenue, Atlantic City, N. J. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owners, E. Cooper & Son, on premises. Brick, steel, 2 stories, 50x75 feet, slag roof, pine floors, metal ceilings, electric light. Plans in progress. Architect ready for bids.

**Store and Warehouse**, Riverside, N. J. Architect, J. Fletcher Street, 1120 Locust street, Philadelphia. Owners, J. S. Collins & Son, Riverside, N. J. Face hollow tile, 2 stories, 50x160 feet, rubberoid roof, pine floors, hot water heat, electric light, plate glass, flush bulks. Plans completed. Owners taking general bids.

**Borough Hall**, King's Highway, Haddonfield, N. J. Architect, W. C. Pritchett, 225 South Sixth street, Philadelphia. Owners, Borough of Haddonfield, Allen Clymer, Haddonfield, N. J. Brick, 2 stories, 80x60 feet. Plans in progress. Will be ready for bids in 3 weeks.

**Church (alts. and add.)**, Raritan, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Joseph's Church, Rev. J. B. Ketter, Raritan, N. J. Brick, terra cotta, 1 tower and 2 belfrys. Plans in progress.

**School**, Raritan, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Joseph's Church, Rev. J. B. Ketter, Raritan, N. J. Stone, steel, 3 stories, 10 rooms and auditorium, composition roof, hardwood floors, pine floors, hollow tile, safety treads, roof ventilators (heating and plumbing reserved), electric light, metal lath,

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Wissahickon Ave. & Juniata St.  
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rolled steel skylights, iron stairs, ornamental iron work, waterproofing, architectural terra cotta. Plans in progress.

**Bungalow**, Hightstown, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, J. Perine, Hightstown, N. J. Hollow tile and stucco, 1½ stories, 30x50 feet, shingle roof, pine floors, hot water heat, electric light, tile work. Plans in progress.

**Residence**, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, William Hicks, 19 South Westfield street, Trenton, N. J. Frame, stucco, 2 stories, 24x30 feet, shingle roof, pine floors, hot water heat, electric light, tile work. Plans in progress.

**Stores**, Boardwalk, Wildwood, N. J. Architect, Mark B. Reeves, Wildwood Trust Building, Wildwood, N. J. Owners, Fuld & Weil, 837 North Third street, Philadelphia. Brick and cement block, 2 stories, 40x80 feet, slag roof, cement and wood floors, electric light. Plans in progress.

**Hotel (alts. and add.)**, Avalon, N. J. Architect, Mark B. Reeves, Wildwood Trust Building, Wildwood, N. J. Owner, care of Harvey Partridge, Avalon, N. J. Frame and stucco, 4 stories, slag roof, cement and wood floors, electric light, tile work. Plans in progress.

**Apartment Building**, Wildwood, N. J. Architect, Mark B. Reeves, Wildwood Trust Building, Wildwood, N. J. Owner, care of architect. Frame and stucco, 2 stories, 32x74 feet, asbestos shingle roof, wood floors, hot water heat, electric light, tile work. Architect taking bids.

**Apartment**, Wildwood, N. J. Architect, Mark B. Reeves, Wildwood Trust Building, Wildwood, N. J. Owner, care of architect. Frame and stucco, 2 stories, 24x60 feet, asbestos shingle roof, wood floors, elevators, electric light, tile work. Architect taking bids.

**Hotel Erie (alts. and add.)**, 1719 Pacific avenue, Atlantic City. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owner, M. Moliff, on premises. Brick, 4 stories, 22x30 feet, Spanish tile roof, plumbing, hot water heat, tile and marble work, steel sash, metal ceilings. Owner taking sub-bids.

**Group of Buildings**, Trenton, N. J. Architects, A. H. Moses, Temple Building, Camden, N. J., and Guilbert & Betelle, Newark, N. J. Owners, New Jersey School for Deaf, care of State Board of Education, State House, Trenton, N. J. Brick, steel, concrete, 1 and 2 stories (plumbing, heating and electric work separate bids), cement floors, bond. Owners taking bids due October 23rd at 2.30 P. M. Plans may be obtained at office of A. H. Moses, Temple Building, Camden, N. J. \$50 deposit required (refunded).

**Fire Station (alts. and add.)**, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owners, City of Atlantic City, Commissioner Kuehnle, City Hall, Atlantic City, N. J. General alterations, new partitions, tile and marble work (heating, plumbing, electric reserved). Owners taking bids due October 9th.

**John W. Mickle Annex Public School**, Sixth and Van Hook streets, Camden, N. J. Architects, Edwards & Green, 23-25 Broadway, Camden, N. J. Owners, Board of Education of Camden, Walter Mockey, City Hall, Camden, N. J. Brick, hollow concrete tile, cut stone, steel 3 stories and basement, 85x61 feet, composition roof, cement and maple floors, roof ventilators, metal ceilings, waterproofing and dampproofing, metal lath, rolled steel sash, kalamein doors, bond, iron stairs, ornamental iron work, metal partitions, concrete block, pre-cast cement stone, steel flag-pole (plumbing, heating, electric work separate bids). Owners taking bids due October 20th.

## New Jersey Contracts Awarded

**Apartment House**, 1908 Pacific avenue, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owner, Benjamin Rosenblatt, 1904 Pacific avenue, Atlantic City. Brick, frame and steel, 3 stories, 30x85 feet, slag roof, hardwood floors, hot water heat, electric light, tile and marble work, metal lath, terra cotta or stone work, ornamental iron work. Contract awarded to Samuel Dolinsky & Son, 2 North Vermont avenue, Atlantic City, N. J.

**Residence**, Atlantic City, N. J., \$40,000. Architect, A. F. Amodio, Segal Building, Atlantic City, N. J. Owner, name withheld. Brick, Indiana limestone, 2½ stories, 36x54 feet, Spanish tile roof, hardwood floors, hot water heat, electric light, tile, marble work, terra cotta. Contract awarded to Abacus Const. Co. 2024 Atlantic avenue, Atlantic City, N. J.

**Stores (alts. and add.)**, Illinois and Pacific avenues, Atlantic City. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City, N. J. Owners, Bacharach Realty Co., care of architect. Brick, steel, 4 stories, 50x100 feet, slag roof, pine floors, hot water heat, electric light, tile work, plate glass, copper work. Contract awarded to Mayer & Daley, Atlantic City, N. J.

**Residence and Office**, Ewing, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, Ewing Cemetery Co., care of architect. Hollow tile and stucco, 1½ stories, 32x23 feet, cement and tile roof, pine floors, steam heat, electric light. Contract awarded to J. Ross & Son, Wilkinson Building, Trenton, N. J.

## Miscellaneous Construction News

**Church Building (Superstructure)**, Thirteenth avenue, between Fifty-seventh and Fifty-eighth streets, Brooklyn, N. Y. Architect, E. G. Perrot, 1211 Arch street, Philadelphia. Owner, St. Frances DeChantel, Brooklyn, N. Y. Brick, 61x157 feet, heating and lighting extensions, copper roof, wood floors. Architect taking bids, due October 7.

**Residence**, Chicago, Ill. Architect, W. B. Riebenack, Guarantee Trust Building, Atlantic City, N. J. Owner, J. F. Reed, care of architect. Hollow tile and stucco, 2½ stories, 40x60 feet, asbestos shingle roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Administration Building**, Belmont Park, Long Island, N. Y. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owners, Westchester Racing Association, care of architect. Brick, hollow tile, cut stone, 1 story and basement, 117x39 feet, tin roof, pine, cement and rubber tile floors, plumbing, metal lath, bond, wrought iron pipe. Architect taking bids due October 10th.

**Hotel**, Jefferson street, Roanoke, Va. Architect, W. L. Stoddart, 50 East Forty-first street, New York City. Owners, New Hotel Corp., W. W. Boxley, president, Roanoke, Va. Brick, cut stone, steel, reinforced concrete, granite, 11 stories and basement, 134x111

feet (plumbing, heating, electric and elevators reserved), slag roof, cement floors, roof ventilators, shoring, waterproofing and damp-proofing, architectural terra cotta, ornamental iron work, bond, hollow metal doors, rolling steel skylights, hollow metal sash, tile, marble and terrazzo work, ornamental plastering, imitation Bedford stone. Owners taking bids due October 23rd.

**United States Veterans' Hospital**, No. 89, Rutland, Mass. Architects, Construction Division, United States Veterans' Bureau, Washington, D. C. Owners, United States Veterans' Bureau, Arlington Building, Washington, D. C. Brick, steel, stucco, steam heat, electric light, metal lath, tile and marble work, metal lath, rolled steel sash, bond, floor hardener, iron stairs, ornamental iron work, waterproofing and dampproofing, roof ventilators, plumbing, hollow tile, cement floors, slate, tin and slate roof, cast concrete, dumb waiters, wrought iron pipe, cast iron pipe. Recreation building, 1 story and basement, 78x87 feet; semi-ambulant building, 164x41 feet, 2 stories and basement; add. to infirmary west wing, 3 stories, 36x674 feet; boiler house, 1 story, 80x76 feet; add. to attendants' quarters, 2 stories and basement, 37x36 feet; duplex officers' quarters, 2 stories, 54x30 feet; medical officers in charge, 2 stories and basement, 39x22 feet. Owners taking bids due October 18th.

## Proposal

### ADVERTISEMENT FOR THE CONSTRUCTION OF BUILDINGS FOR THE NEW JERSEY SCHOOL FOR THE DEAF.

Public notice is hereby given that sealed proposals for furnishing labor and materials to construct and equip ready for furnishing the New School Building, including Dining Hall, Kitchen, Auditorium, Gymnasium and Locker Rooms, Shop Building, Laundry Building, and Superintendent's House as shown on the Plot Plan of the grounds of the New Jersey School for the Deaf, near Trenton Junction, New Jersey, will be received and opened by the Architects at the State House, in Trenton, New Jersey, on the 23rd day of October, 1924, at 2.30 o'clock P. M.

Bids will be received as follows for the general construction of all buildings above mentioned. Bids will likewise be received separately for the General Construction of:

(1) The New School Building, including Dining Hall, Kitchen, Auditorium and Gymnasium and Locker Rooms, Shop Building.

(2) For the General Construction of Laundry Building.

(3) For the General Construction of the Superintendent's House.

Each bid must be accompanied with unit prices on the following items for use in estimating additional work or deductions from contract requirements and in adjusting monthly payments: Excavation per cu. yd., Rock Excavation, Mass Concrete per cu. yd., Reinforced Concrete per cu. yd., Cement basement floors per sq. ft., Forms for concrete per sq. ft., Structural Steel per ton, Brickwork per thousand, Face and Common, Roofs per square, Plaster per sq. yd.

**CHAPMAN SLATE CO.**  
BETHLEHEM, PA.  
**ROOFING SLATE EXCLUSIVELY**  
The Only Manufacturers of Genuine Chapman Slate



Separate bids will also be received for the following:

(4) For Plumbing Water Supply and Drainage for all the buildings as above mentioned, also for each separate group or building as mentioned above.

(5) For Heating and Ventilating for all the buildings as above mentioned, also for each separate group or building as mentioned above.

(6) For Electrical Work for all the buildings as above mentioned, also for each separate group or building as mentioned above.

The right is reserved to accept or reject any or all bids or to waive any informality in any bids presented. All bids must be in sealed envelopes endorsed "Proposals for New Jersey School for the Deaf," and stating the branch of work estimated upon.

No bids will be considered unless accompanied by a certified check to the order of the State of New Jersey, in the amount of five per cent. of the bid, binding the bidder to execute a contract and bond if awarded to him. The terms of proposal with surety required are fixed by the specifications.

Copies of the drawings and specifications will be on file at the office of the Architects for the purpose of estimating. A limited number of the copies of the plans and specifications will be loaned by the Architects to prospective bidders on deposit of a certified check to their order in the sum of FIFTY (\$50.00) DOLLARS. These drawings and specifications may be obtained by application to Arnold H. Moses, Architect, Temple Building, Camden, N. J. If the drawings and specifications are returned to the Architects and an estimate submitted the check will be returned, otherwise the deposit may become forfeited.

ARNOLD H. MOSES,  
GUILBERT & BETELLE,  
Associated Architects.

Dated October 2nd, 1924.

#### Statement of the Ownership, Management, Circulation, etc.

Statement of the ownership, management, circulation, etc., of The Builders' Guide, published weekly at Philadelphia, Pa., required by the Act of August 24, 1912, or April 1, 1924.

Editor, H. L. Sharpe.

Managing Editor, none.

Business Manager, Louis S. DeLone.

Publishers, Building News Publishing Co., Perry Building, Philadelphia.

Owners, Louis S. DeLone, Perry Building, Philadelphia; Samuel R. McDowell, Narberth, Pa.

Known bondholders, mortgages and other security holders holding one per cent. or more of total amount of bonds, mortgages or other securities, none.

(Signed)

Building News Publishing Co.,  
Louis S. DeLone, Business Manager.

Sworn and subscribed before me this 17th day of September, 1924.

Edward J. Toole, Notary Public.

(My commission expires January 21, 1925.)

An old legend tells of a magician's vase; the magician could get out of it only that which he put in. Advertising is just that. If you don't get into it the "kick" of salesmanship it is going to miss by just that much the pulling power it ought to have.

## BUDGETING FOR THE CONTRACTING AND CONSTRUCTION COMPANY

*Prepared by Policyholders' Service  
Bureau, Group Insurance Division,  
Metropolitan Life Insurance  
Company, 1 Madison Ave.,  
New York*

### *Construction Can Be Budgeted*

(Continued from last issue)

The Financial Forecast is made semi-monthly. Whereas the Contractor can depend on certain payments between the 1st and 15th of the month, there are always some customers who drag over to the 18th or 20th. This lag is taken care of either through bank loans or by withholding payment to some of the large subcontractors for a few days.

### *Forecasting of Overhead Expenses*

A second construction company follows substantially the same procedure relative to the general overhead:

"At the beginning of the year we estimate the total overhead expense for the ensuing year, based on the expense of the preceding years and we also estimate the volume of business which we can expect to accomplish with our organization, taking into account business conditions."

The general overhead expense receives too scant attention from many contractors. It is merged frequently in the profit fee, the size of which one contractor admits is determined largely by "How badly off the organization is for work." For a contractor doing a business of from \$500,000 to \$1,000,000 it is estimated that his overhead charges will amount to approximately \$30,000 for his own salary and the salaries of the manager, estimator, accountant, bookkeeper and stenographer, together with charges for rent, light, stationery, telephone, rent of storage yard and tool expense. This is too large an item to be ignored. It should be clearly kept in mind when estimating on jobs.

The contract of a large construction company provides that no part of the expense to the contractor of maintaining the departments named below shall be charged to the cost of work:

Executive Department  
Contract Department  
Budget Department  
Estimating Department  
Accounting Department  
Auditing Department

All of the foregoing items are included in the category of general overhead, which in this instance, in line with the procedure of other construction companies, must be taken from out the contractor's fee. Few parallel situations exist in other industries. General overhead is

a recognized cost of doing business and should be provided for independently in the estimates of the contractor.

There are two kinds of overhead attendant upon construction—first, job overhead which includes a subdivision covering equipment charges; and second, the general overhead. The general overhead expense of a typical construction company includes the following items:

### *General Overhead*

- (a) Executive.
- (b) General office salaries, which is sub-divided into service, purchasing, estimating, bookkeeping, auditing, cost accounting, and employment.
- (c) Light, heat and rent.
- (d) Office supplies.
- (e) Office miscellaneous expenses including legal, dues, gifts at Christmas, telephone, library, travel, auditing, etc.
- (f) Engineering Department, in which considerable designing is carried on, and which department is charged with its proportion of light, heat and rent, telephone, and miscellaneous service.
- (g) Unused labor—A number of field men are so valuable that they cannot be spared. These are paid wages between jobs.
- (h) Advertising.
- (i) Selling.
- (j) Taxes—local and federal.
- (k) Repairs—maintenance of guarantees on work.
- (l) Storage yard—This is a store yard for large tools and equipment between jobs at which place such equipment is overhauled and repaired as necessary.

Items shown under f, g, and l are open to question as proper general overhead items. This is a matter of judgment to be decided by the individual Contractor and Construction Company.

In order to maintain control, the foregoing items are carefully estimated at the beginning of the year and the actual expense of the year is compared directly with such estimates, by months in amounts and graphically.

(Continued next week.)

When you stop to consider that the Guide reaches every week and is read by architects, builders, building owners, contractors and sub-bidders in every branch of building construction, you must perceive its unique importance as a medium for advertising with an appeal to that class. Every copy reaches a live prospect.



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 Ridpath & Potter Co.,  
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West Jersey Sand & Supply Co.,  
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 70th and Kingsessing Ave., Phila.

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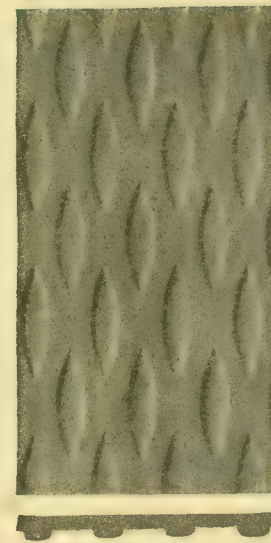


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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 42  
October 15, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

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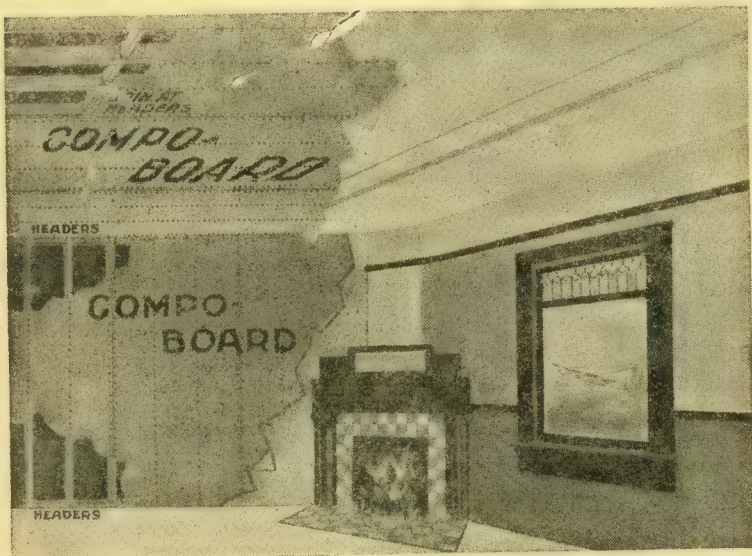
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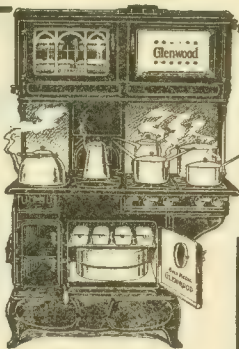


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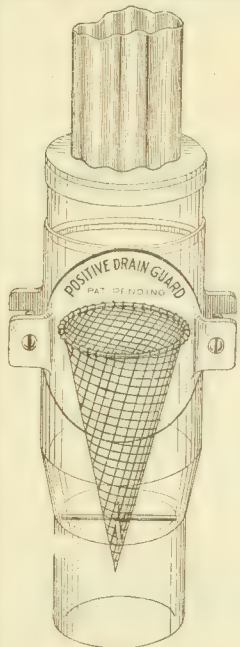
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 42

PHILADELPHIA  
October 15, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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PUBLISHED WEEKLY  
BY

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## As The Editor Sees It



### BUDGETING FOR THE CON- TRACTING AND CONSTRUC- TION COMPANY

Prepared by Policyholders' Service  
Bureau, Group Insurance Division,  
Metropolitan Life Insurance  
Company, 1 Madison Ave.,  
New York

*Construction Can Be Budgeted*  
(Continued from last issue)

At the risk of some repetition, the  
items of general overhead suggested by  
the Association of General Contractors  
are set down in budget form on this page:

#### *Job Overhead*

Job overhead includes those items of  
expense which are traceable to a specific  
undertaking but cannot be allocated to  
any specific phase or operation of that  
undertaking. It is essential that a con-  
tractor shall have a complete understand-  
ing of all the items entering into such job  
overhead, and that each specific job fully  
absorb such expenses. It makes for sim-  
plicity when such job overhead expenses  
are provided for by the contractor at a  
definite percentage of direct material and  
labor cost of the project.

For example, one large construction com-  
pany sets this job overhead at 4 to 6% of  
direct cost, such percentage incidentally  
including the rental cost of equipment.  
When a definite percentage of direct la-

### Budget of General Overhead

	Estimated	Actual	Increase or Decrease over Est.
1. Administrative: Salaries of the contraction com- pany officials, general executives.			
2. Estimating: including estimators, quantity sur- veyors, field investigators.			
3. Accounting and bookkeeping.			
4. Clerical and stenographic.			
5. Clerical and stenographic.			
6. Yards and shops.			
7. Permanent Field Force, dead time and time not chargeable to specific job.			
8. Expense other than salaries.			
9. Rent: main office, shop and yards.			
10. Insurance: office, shops and equipment.			
11. Liability Insurance: office, yard and shop em- ployees.			
12. Taxes.			
13. Depreciation.			
1. Buildings, furniture and fixtures.			
2. Yard and shop equipment.			
3. Construction plant.			
14. Repairs.			
1. Buildings, furniture and fixtures.			
2. Yard and shop equipment.			
3. Construction plant.			
15. Supplies.			
1. Buildings, furniture and fixtures.			
2. Yard and shop equipment.			
3. Construction plant.			
16. Heat, Light and Water.			
1. Office			
2. Yards and Shops			
17. Telephone and telegraph			
18. Traveling			
19. Legal Services			
20. Interest			
21. Association Dues			
22. Miscellaneous			

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bor and material is set aside for job overhead, such percentage in effect becomes a budget of the contractor. It is up to the organization to keep the job overhead within such limits. Any excess above the 4% to 6% mean a loss on the job overhead expense.

Before reproducing the items included in the job overhead by the Associated General Contractors and the table of equipment charges of that organization, it is worth while to note specifically the items covered by the aforementioned 4% to 6% as follows:

The hire, use and transportation to and from the site, the repair, de-

preciation and destruction or loss of such construction plant and equipment as is called for in the Equipment Schedule, as well as the services and travelling and other expenses of officers and employees in the Construction, Supervising, Structural and Mechanical Engineering, Draughting, Traffic, Inspection and Expediting, and Cost Departments.

#### *Use of the Estimate*

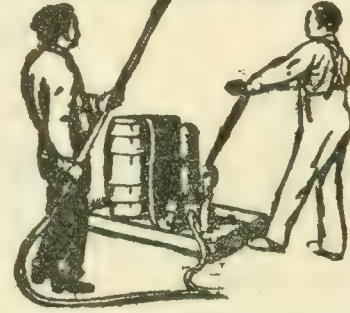
What is said here relative to the use of the estimate in budgeting has a wide application. It holds true for any engineering project; in fact for any jobbing industry.

### Form 3--Job Overhead Summary

Class of Expense	Amount
<b>Equipment, Tools, Accessories</b> Rental (See Rental Schedule) Freight Hauling Loading, unloading, erecting, dismantling <b>Job Organization</b> Superintendence—supt.; assistant Time and Material—timekeeper; material clerk Accounting—bookkeeper; accounting Clerical—stenographer, clerk, office boy Shops—blacksmith, machinist, toolman Safety—watchmen; safety foreman Miscellaneous—job chauffeurs; teamsters; waterboy <b>Light, Power, Water, Connections</b> Electricity—light and power Carbide, Gas—lights, cutting, welding Gasoline, Heating and Illuminating Oils Coal and Coke—power, heating, thawing Water—boilers, sprinkling, mixing, etc. <b>Supplies</b> Office—stationery, time-books, forms, etc. Job Shop—steel smiths coal, etc. Equipment—oils, waste, boiler comp., etc. <b>Traveling and Hotel Expenses</b> Material—expediting Labor—Procurement and transportation Officials and members of permanent force <b>Express and Miscellaneous Freight</b> (exclusive of plant and materials) <b>Demurrage allowance</b> Hauling—Hired for odd jobs <b>Advertising</b> —labor, material, equip. <b>Signs</b> —company, warning, notice, etc. <b>Engineering, Surveys and Inspection</b> Layout—lines, levels, batter boards, etc. Public Inspectors—boilers, wiring, etc. Inspection of sub-contract work Lot survey <b>Tests</b> Soil—test pits, borings, bearing power Material—cement, steel, aggregates, etc. Structure—floor loading <b>Drawings</b> —shop and setting Drafting Extra Prints Photos <b>Patents and Royalties</b> <b>Legal</b> —Attorney and Notary Fees <b>Medical Expense</b> <b>Telephone and Telegraph</b> Regular Service and Connection Fee Long Distance Calls <b>Rents</b> Offices Land, Unloading and Storage Facilities <b>Permits</b> Building Street and Sidewalk	

(Continued on page 671)

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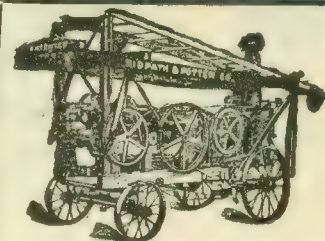
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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Alterations**, 4624 Lancaster avenue, Philadelphia. Architect, Conrad F. Neff, Twelfth and Locust streets, Philadelphia. Owners, Shanahan Catholic Club, 4624 Lancaster avenue, Philadelphia. Brick, stone, lumber, repairs to hot air heating, electric light, tin roof, sheet rock, plastering, iron work. Architect and owner taking bids.

**Hotel Walton (alts.)**, Broad and Locust streets, Philadelphia. Architect, Leroy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Hotel Walton, on premises. Shoring, brick and tile work, iron work, metal lath, plastering, carpentry and mill work, marble, hollow tile, composition floors, cut stone, painting and glazing, plumbing, alts. heating, electric work, plate glass. Architect taking bids due October 17th at noon.

**Residences (4)**, South side Borbeck avenue, West of Castor Road, \$4,200 each. Architect, private plans. Owner, George Ramsey, 22 Central avenue, Cheltenham, Pa. Frame, 2 stories, 16x42 feet, shingle roof, electric lighting. Owner will build.

**Residences (2)**, West side Glenlock street, North of Magee street, \$4,000 each. Architect, private plans. Owner, Fred Schmidt, 6715 Jackson street, Philadelphia. Brick, 2 stories, 16x38 feet, hot water heat, electric light. Owner will build.

**Recreation Centers (2)**, Philadelphia. Architects, private plans. Owners, Department of Public Works, Bureau of Recreation, City Hall, Philadelphia. C-D, Ontario and Westmoreland streets, grading, enclosure and construction of shelter building, including plumbing and electric work. Hancock Square building, Hancock and Jefferson streets, shelter building, including plumbing and electric work. Certified check for 5 per cent required. Owners taking bids due October 28th at noon.

**Alumni Building**, 1502 Poplar street, Philadelphia. Engineer, A. J. Bibighaus, 530 Hamilton street, Allentown, Pa. Owners, Girard Alumni Association, L. Copperhauser, 1502 Poplar street, Philadelphia. Brick, steel, 5 stories, 30x100 feet, Barrett Specification roof, hardwood floors, hollow tile, elevators, safety treads, dampproofing, cast stone, vapor heat, electric light, metal lath, tile work, iron stairs, ornamental iron work. Preliminary plans in progress.

**Moving Picture Theatre**, Frankford, Philadelphia. Architects, Hoffman-Henon Co., Finance Building, Philadelphia. Owners, Stanley Co. of America, 1916 Race street, Philadelphia. Stone, steel, concrete, brick, limestone, terra cotta. Plans about completed. Architects will take bids in one month.

**Apartment House**, Vernon Road and Sprague street, Philadelphia. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owner, Eugene S. Davis, 314 Vernon Road, Philadelphia. Steel, brick, concrete, stone, steam heat, electric light, hardwood and pine floors, electric light, tile work. Plans in progress. Owner will take sub-bids.

**Bungalow and Garage**, Eighty-third street

and Avenue F, Philadelphia. Architect, Jesse T. Hoekstra, 1713 Sansom street, Philadelphia. Owner, Frederick Alber, care of architect. Brick, hollow tile, 1½ stories, 28x50 feet, 1 story, 12x15 feet, hot water heat, electric light, tile work, asbestos shingle roof, pine floors, cement work, concrete work. Plans completed. Owner will take bids.

**Store and Apartment**, Northeast Corner Thirteenth and Master streets, Philadelphia. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owner, L. Jaffe, Southwest Corner Thirteenth and Master streets, Philadelphia. Brick, 3 stories, 16x70 feet, hot water heat, electric light, tile work, slag roof, hardwood floors, metal ceilings, plate glass, metal bulks. Plans completed. Owner will take general bids.

**Stores (6), (32) Apartments (alts. and add.)**, Northwest Corner Thirty-sixth and Chestnut and 3603 Chestnut street, Philadelphia, \$47,000. Architect, not yet selected. Owner, A. S. Shafer, Northeast Corner Thirty-eighth and Ludlow streets, Philadelphia. Structural iron, brick, 4 stories, 50x100 feet, tile roof, vapor heat, electric lighting, metal lath, tile and marble work, carpentry and mill work, demolishing, stair work, plastering, incinerators, painting and glazing, plate glass, plumbing, copper fronts. Owner ready for sub-bids. Work to start in 15 days.

**Garage (alts.)**, Forty-ninth and Baltimore avenue, Philadelphia. Architects, Durham Brothers, 1609 Sansom street, Philadelphia. Owner, J. W. Boon, on premises. Changing second floor of garage into apartments, electric light, pine floors, metal lath, plastering, plumbing. Owner taking sub-bids.

**Group of Buildings**, Washington Lane and Philadelphia and Reading Railway, Philadelphia. Architect, A. H. Savery, 1309 Locust street, Philadelphia. Owners, Edward F. Benis & Son, on premises. Garage, 1 story, 42x65 feet, employees' building, 1 story, 15x22 feet, boiler house, 1 story, 10x16 feet, stable, 2 stories, 35x29 feet, tool house, 1 story, 12x15 feet, plumbing, cement work, steam heat, electric light, metal work, roof ventilators, built-up roof. Architect taking bids due October 16th.

**Convent**, 1420-22 Susquehanna avenue, Philadelphia. Architect, Peter F. Getz, 714

Victory Building, Philadelphia. Owners, Holy Name of Jesus Congreg., Rev. G. S. Scholz, on premises. Brick, cut stone, granite, limestone, concrete, 3 stories and basement (plumbing, heating and electric separate), asbestos shingle built up asphalt roof, composition and pine floors, metal lath, tile, marble and terrazzo work, sheet metal sash, copper skylights, metal ceilings, waterproofing, leaded glass. Architect taking revised bids.

**Store and Office Building**, Southwest Corner Twentieth and Chestnut streets, Philadelphia. Architect, Abraham Levy, 1208 Real Estate Trust Building, Philadelphia. Owners, Edelstein & Bernstein, 215 South Fifteenth street, Philadelphia. Brick and steel, 2 stories and basement, 40x767 feet, slag roof, oak, cement and maple floors, painting and glazing, ornamental iron work, artificial stone, tile and marble work, electric light, steam heat. Architect taking bids due as soon as possible.

**Store and Office Building**, Southwest Corner Twentieth and Chestnut streets, Philadelphia. Architect, Abraham Levy, 1208 Real Estate Trust Building, Philadelphia. Owners, Edelstein & Bernstein, 215 South Fifteenth street, Philadelphia. Brick, steel, 2 stories and basement, 40x76 feet, slag roof, oak, cement and maple floors, painting and glazing, ornamental iron work, artificial stone, tile and marble work, electric light, steam heat. Architect taking sub-bids.

**Store Front (alts.)**, 502 Market street, Philadelphia. Architect, Gabriel Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Carpentry, marble work, copper bars, plate glass, painting. Architect taking bids.

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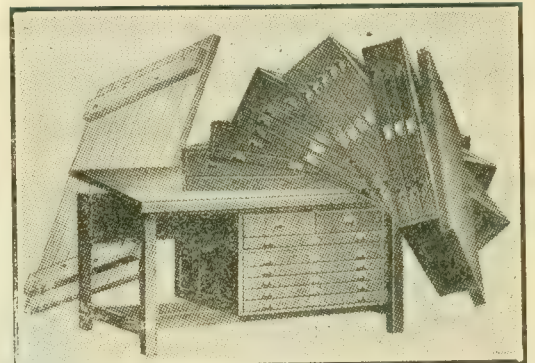
**New Street Warehouse (alts.)**, 120 New street, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia.

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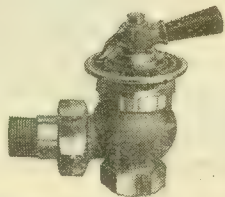
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Low bidders: Kober Const. Co., 34 South Seventeenth street, Philadelphia, \$5,490; Mitchell Brothers, 2125 Race street, Philadelphia, \$6,666.

**Miscellaneous Work, Philadelphia.** Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Low bidders on electric work: Pierce School, H. E. Wallace, 2514 Germantown avenue, Philadelphia, \$1,960. Manayunk School, H. E. Wallace, 2514 Germantown avenue, \$1,360. Northeast School, H. E. Wallace, 2514 Germantown avenue, \$1,628. Wright School, H. E. Wallace, 2514 Germantown avenue, \$1,934. Paxson School, H. E. Wallace, 2514 Germantown avenue, \$1,655. Wharton No. 1 School, H. E. Wallace, 2514 Germantown avenue, \$1,634. Abraham Lincoln School, Ross Elec. Co., Beach and Brown streets, \$2,360. Decater School, Enterprise Elec. Co., 239 South Tenth street, \$370. Jones School, Enterprise Elec. Co., 239 South Tenth street, \$954.

**Residences and Garages (12),** West side Ardleigh street, North of Mermaid Lane, Philadelphia, \$62,600. Architect, private plans. Owner, A. R. Smith, Greene and Chelton avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage,** 408-10 North Sixty-third street, Philadelphia, \$31,000. Architect, private plans. Owner, Frederick Sbroglia, 6001 Elmwood avenue, Philadelphia. Brick, 1 story, 50x225 feet, slag roof, cement floors. Owner will build.

**Moving Picture Theatre,** West side Front street, North of Huntingdon, \$25,000. Architect, private plans. Owner, George H. Chapman, 6521 North Broad street, Philadelphia. Brick, 2 stories, 65x16 feet, 1 story, 65x93 feet, steam heat, electric light. Owner will build.

**Garage,** 4417 Chestnut street, Philadelphia, \$60,000. Architect, Fred N. Greisler, 1021 Walnut street, Philadelphia. Owners, Lipkin Brothers, 249 North Fifteenth street, Philadelphia. Brick, 2 stories, 36x65x214 feet, slag roof, cement floors, electric lighting. Owners will build.

**Residences (55),** Twenty-first, Parrish, Poplar and Beechwood streets, \$283,000. Architect, private plans. Owner, George A. Nahm, 2736 Girard avenue, Philadelphia. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2) and Store,** Pratt and Edmund streets, Philadelphia, \$12,500. Architect, private plans. Owner, Felix Tatko, 2117 Pratt street, Philadelphia. Brick, 2 stories, 16x50 feet and 16x42 feet, hot water heat, electric light, hardwood and pine floors, slag roof. Owner will build.

**Shop (add.),** Northeast Corner Beach and Berks streets, Philadelphia, \$7,000. Architect, private plans. Owners, DeFrain Sand Co., on premises. Brick, 1 story add., 73x30 feet, 10x14 feet, slag roof, cement work, electric lighting. Owners will build.

**Residences (8),** South side Bridge street, West of Rutland, \$7,500 each. Architect, private plans. Owner, J. D. Fotheringham, 1000 Arrott street, Philadelphia. Brick, 2 stories, 16x58 feet, slate and slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (30),** North and South sides Alengrove street, West of Castor Road, \$6,500 each. Architect, private plans. Owner, H. Roy Whitaker, 6949 Torresdale avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence,** 7950 Ridge avenue, Philadelphia, \$8,500. Architect, private plans. Owner, John F. Culp, 8143 Ridge avenue, Philadelphia. Stone, 2 stories, 26x35 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (8),** Cottage and Longshore streets, \$5,000 each. Architect, private plans. Owners, Tacony Housing Association, Tacony, Philadelphia. Brick, 2 stories, 16x45 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (2),** South side Cottman street, East of Montour street, \$4,000 each. Architect, private plans. Owners, Louis Leitenberger & Sons, 7345 Oxford avenue, Philadelphia. Brick, 2 stories, 14 feet 6 inches x 42 feet, hot water heat, electric light. Owners will build.

**Manufacturing Building (alts.),** 2601 North Hancock street, \$5,000. Engineers, Carson & Carson, 22 South Fifteenth street, Philadelphia. Owners, Fred Wolstenholme, Inc., on premises. Concrete work. Engineers will build.

**Residence,** Southeast Corner Ferndale and Rhawn streets, Philadelphia, \$4,500. Architect, private plans. Owner, J. Bridgewater, 320 Stanwood street, Philadelphia. Concrete block and frame, 2 stories, 16x36 feet, steam heat, electric light. Owner will build.

**Residence (alts. and add.),** 6228 Haverford avenue, \$3,500. Architect, private plans. Owner, Louis De Toma, on premises. Brick, 1 story, 15x21 feet, 1 story, 15x14 feet, general alterations. Owner will build.

**Garage,** 2923-25 North Croskey street, Philadelphia, \$3,000. Architect, private plans. Owner, Stephen Traitz, 2135 West Toronto street, Philadelphia. Brick, 1 story, 25x40 feet, slag roof, cement floors, electric lighting. Owner will build.

**Garage,** West side Erdrick street, North of Howell street, \$2,500. Architect, private

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plans. Owner, Edward B. Miller, 3935 North Marshall street, Philadelphia. Brick, 1 story, 16x100 feet, slag roof, cement floors, electric light. Owner will build.

Garage, 381 Gowen avenue, Philadelphia, \$2,200. Architect, private plans. Owner, J. M. Jones, on premises. Stone, 1 story, 21 feet 6 inches x 33 feet, cement floors, electric light. Owner will build.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Residence**, 2115 North Sixty-third street, Philadelphia, \$9,000. Architect, private plans. Owner, John V. Ramsden, on premises. Brick, 3 stories, 22x26 feet, steam heat, electric light, slag roof, hardwood and pine floors, tile work. Contract awarded to J. H. Hutt, 5919 Spruce street, Philadelphia.

**Residence**, 1316 West Tioga street, Philadelphia, \$8,000. Architect, private plans. Owner, John J. Carlin, 1717 Master street, Philadelphia. Brick, 3 stories, 20x42 feet, slag roof, hardwood and pine floors. Contract awarded to George Rappentuck, 1726 Master street, Philadelphia.

**Residence (add.)**, 5521 North Fifth street, Philadelphia, \$7,000. Architect, private plans. Owner, Samuel B. McKeinenil, Southeast Corner Fourth and Market streets, Philadelphia. Brick, 1 story, 16x15 feet, and 1 story, 9x48 feet, slag roof, hardwood and pine floors, electric light. Contract awarded to Charles Davis & Son, 1500 Ellsworth street.

**Garage**, Northwest Corner Thirteenth and Luzerne streets, Philadelphia, \$6,000. Architect, private plans. Owner, F. Webster, on premises. Brick, 1 story, 18x146 feet 6 inches, slag roof, cement floors. Contract awarded to Oscar C. Wehmeyer, 313 East Eleanor street, Philadelphia.

**Garage (add.)**, 2115 North Sixty-third street, Philadelphia, \$3,000. Architect, private plans. Owner, John V. Ramsden, on premises. Brick, 1 story, 70x20 feet, slag roof, cement floors. Contract awarded to John H. Hutt, 5919 Spruce street, Philadelphia.

**Store and Storage (alts.)**, 225 Callowhill street, Philadelphia, \$2,480. Architect, private plans. Owner, Rose Savage, 727 North Sixty-third street, Philadelphia. General alterations. Contract awarded to A. Mactavish, 2026 Waverly street, Philadelphia.

**Garage**, 112 Federal street (rear), Philadelphia, \$2,400. Architect, private plans. Owner, A. Archimovick, on premises. Brick, 1 story, 20x40 feet, slag roof, cement floors. Contract awarded to James Miraldi, 726 Morris street, Philadelphia.

**Bakery (add.)**, Northwest Corner Fountain and Ogle streets, \$2,200. Architect, private

plans. Owner, L. Tomston, 4802 Ogle street, Philadelphia. Brick, 1 story add., 13x17 feet. Contract awarded to Henry Hofmaier, 2247 North Fifth street, Philadelphia.

**Garage**, 5326 Baynton street, Philadelphia, \$2,000. Architect, private plans. Owner, D. W. Cherry, on premises. Stone, 1 story, 24x23 feet, cement floors. Contract awarded to Fred Elvidge & Son, 5522 Germantown avenue, Philadelphia.

**Apartment House**, Northwest Corner Forty-third and Chestnut streets, Philadelphia, \$500,000. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, I. Newton Smith, Fortieth and Walnut streets, Philadelphia. Brick, east stone, steel, 4 stories and basement, 233x116 feet, slag roof, oak floors, elevators, roof ventilators, metal weather strips, metal lath, tile, marble work, copper skylights, fire doors, ornamental iron work (painting, plumbing, electric oil burning equipment, rubber tile floors reserved). Contract awarded W. Edward Pierce, 328 South Juniper street, Philadelphia.

**Preparatory School (add.) and New Gym**, Coulter and Germantown avenue. Architects, Heacock & Hokanson, Bailey Building, Philadelphia. Owners, Germantown Friends' Preparatory School, on premises. Brick, limestone, cut stone, steel, concrete, 3 stories, 60x100 feet, slate roof, wood block, Duraflex and marbeloid floors, hollow tile, plumbing, ventilating, steam heat, electric light, metal lath, tile and marble work, ornamental iron work. Contract awarded McNeill Const. Co., Schaff Building, Philadelphia.

**Storage House (add.)**, Washington avenue and Philadelphia and Reading R. R., Philadelphia. Architect, Addison H. Savery, 1309 Locust street, Philadelphia. Owner, Edward F. Bennis, on premises. Stone, steel, 1 story, 50x35 feet, slag roof, concrete and pine floors, plumbing, vapor heat, electric light. Contract awarded J. Roman, 515 East Brighthurst street, Philadelphia.

**Store and Apartment**, Torresdale avenue and Unruh street, Frankford, Philadelphia. Architects, G. H. Murphy and C. M. Talley, Drexel Building, Philadelphia. Owner, W. R.



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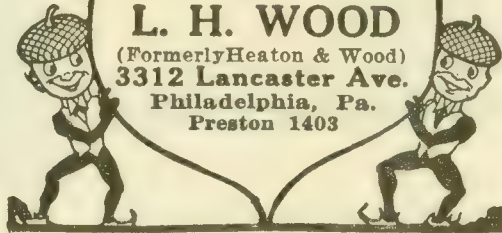
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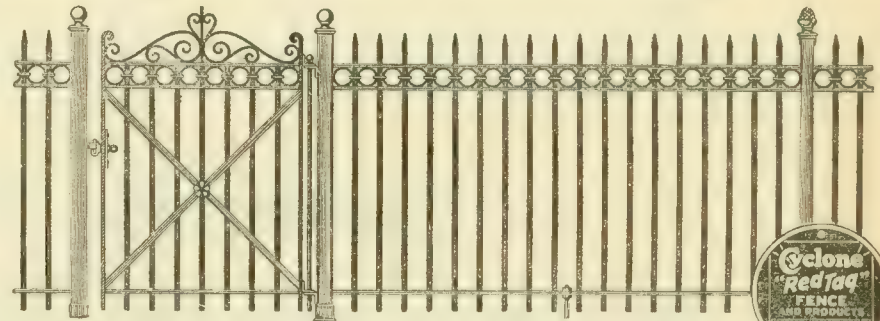
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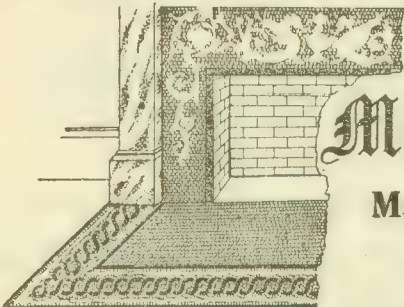
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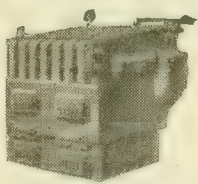
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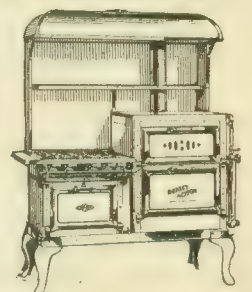
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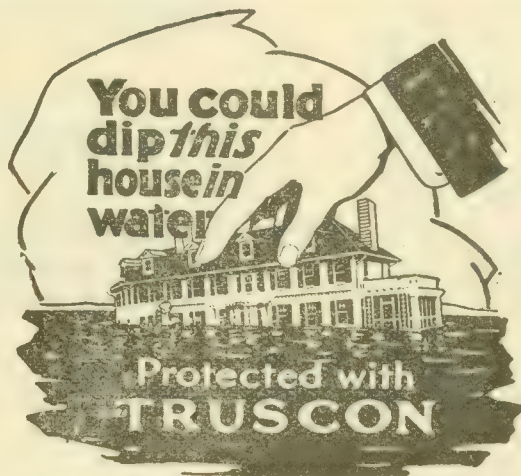
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Coursart, on premises. Brick, hot water heat, electric light, tile work, ventilating, skylights, metal bulks, slag roof, composition and pine floors, plumbing, metal frames, leaded glass, plate glass. Contract awarded Rush Brothers, Darrah below Margaret street, Philadelphia.

**Garage (alts. and add.),** 1413 Locust street, Philadelphia, \$7,400. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Brown Service Co., on premises. Brick, steel, 4 stories and basement, 21x10 feet, gypsum iron skylights, cement floors, plastering, elevator doors, plumbing, electric light, bond, iron work (ornamental). Contract awarded to F. A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Church (add.),** Queen Lane and Wayne avenue, Philadelphia. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owners, Wayne Avenue Baptist Church, 1537 Chestnut street, Philadelphia. Stone, 1 story, 20x40 feet, steam heat, electric light, slate roof, pine floors. Contract awarded, not yet signed, Roy Randall, Jenkintown, Pa.

**Church (alts. to basement),** South side Johnson, near Walnut Lane, \$6,000. Architect, private plans. Owners, Methodist Episcopal Church, on premises. Stone basement, general alterations. Contract awarded to Bowman & Ralston, 8127 Germantown avenue.

**Garage,** 2019 Chancellor street, Philadelphia, \$5,000. Architect, private plans. Owner, Agnes B. Stewart, 2020 Walnut street, Philadelphia. Brick, 2 stories, 21 feet 6 inches x 52 feet 6 inches, slag roof, cement floors. Contract awarded to James F. Baird, 232 Farragut Terrace, Philadelphia.

**Residences (4),** North side Griffith street,

West of Bustleton avenue. Architect, private plans. Owner, J. Fred Burhart, Castor avenue and Rhawn street, Philadelphia. Frame, 2 stories, 25x36 feet, hot water heat, electric light, shingle roof, hardwood and pine floors. Contract awarded to Charles M. S. Sinn, 5518 North American street, Philadelphia.

**Residence (alts. and add.),** Rising Sun avenue and Levick street, Philadelphia. Architect, private plans. Owner, Dr. A. H. Martin, on premises. General alterations and additions, mill work, heating extension, painting and glazing, plumbing. Contract awarded Evans Steele, Inc., 2217 Chestnut street, Philadelphia.

**Store and Residence (alts. and add.),** 137-39 South Sixtieth street. Architect, private plans. Owner, A. Brooks, 143 South Sixtieth street, Philadelphia. Brick, 1 story add., 31x10 feet, general alterations. Contract awarded to M. Sanberg, 2622 South Ninth street, Philadelphia.

**Garage,** Northwest Corner Ontario and Palethorpe streets, Philadelphia, \$9,000. Architect, private plans. Owner, Hugh Toland, 3405 North Second street, Philadelphia. Brick, 1 story, 50x21 feet, 38x48 feet, slag roof, cement floors. Contract awarded to Conlin, McGill & Parker, 4401 Germantown avenue.

**Warehouse,** Southwest Corner Tacony and Lewis streets, Philadelphia, \$5,000. Architect, private plans. Owners, William and Harvey Rowland, Inc., on premises. Iron, 1 story, 36x114 feet, 64x16 feet. Contract awarded to Truscon Steel Co., 1505 Arch street, Philadelphia.

**Store and Residence (add. and alts.),** 3255 North Front street, \$5,000. Architect, private plans. Owner, Daniel J. Duffy, on premises. Brick, 2 stories add., 10x51 feet, general al-

terations. Contract awarded to Clayton & Davison, 2030 East Westmoreland street.

**Residences (4), Store and Residence (1),** High and Ross streets, Philadelphia, \$24,000. Architect, private plans. Owner, Leandro Angalone, 316 Pine street, Philadelphia. Brick, 2 stories, (1) 17x52 feet, (4) 15x29 feet, 12x11 feet, hot water heat, electric light, slag roof, hardwood and pine floors. Contract awarded to Charles M. Sinn, 5578 North American street.

**Residences (4),** East side Oakley street, North of Knorr street, \$5,250 each. Architect, private plans. Owner, Yetta Korman, Oxford Pike and Levick street, Philadelphia. Brick and frame, 2 stories, 16x26 feet, 19x16 feet, hot water heat, electric light, hardwood and pine floors. Contract awarded to Hyman & Korman, Oxford Pike and Levick street.

**Residence (add.),** 1416 North Fifty-third street, Philadelphia, \$6,300. Owners, Stella and Edna Foss, on premises. Mansard and brick addition, third story, 16x52 feet. Contract awarded to Mitchell Brothers, 2125 Race street, Philadelphia.

**Garage,** 2925 North Marshall street, Philadelphia, \$5,000. Architect, private plans. Owner, Bernhardt Ern. Brick, 1 story, 40x6 feet, 136x16 feet, slag roof, cement floors. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Office (add.),** West side Third street, South of Noble, \$2,100. Owners, William Amer Co., 538 North Third street, Philadelphia. Brick, second story add., 21x21 feet. Contract awarded to P. Haibach Cont. Co., 1261 North Twenty-sixth street.

**Residences (8),** Mt. Airy avenue and Emelen street, Philadelphia, \$40,800. Architect, private plans. Owner, A. W. Moore, 7100 McCallum street, Philadelphia. Brick, 2 stories, 18x28 feet, 19x28 feet and 20x28 feet, slag roof, hot water heat, electric light, hardwood and pine floors. Contract awarded to Samuel Harting & Son, 20 East Johnson street.

**Residences (2) (alts. and add.),** 5741-43 Woodland avenue, \$7,500 both. Architect, private plans. Owner, Daniel McNichol, 7006 Paschall avenue, Philadelphia. Brick, 1 story, 13x16 feet, second story, 16x8 feet, general alterations. Contract awarded to Julius Nelson, Darby, Pa.

**Residence,** South side Brunswick avenue,

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West Eighty-third street, Philadelphia, \$4,500. Architect, private plans. Owner, William Umstetter, 8006 Brunswick avenue, Philadelphia. Brick, 2 stories, 16x38 feet, slag roof, pipeless heater, electric lighting. Contract awarded to C. D. Ruth, Eighty-eighth and Eastwick avenue, Philadelphia.

**Seminary (add.)**, South side Cheltenham avenue, between Magnolia and Musgrave streets, \$2,300. Owners, St. Vincent's Seminary, on premises. Stone, 1 story, 14x27 feet, slate roof, yellow pine floors, electric lighting. Contract awarded to D. W. O'Dea, 420 Duncan non avenue, Philadelphia.

**Residence (add.) and Garage**, 4210 North Fifteenth street, Philadelphia, \$5,500. Architect, private plans. Owner, Dominick Fariello, on premises. Brick, 2 stories add., 19x21 feet, garage, brick, 1 story, 42x19 feet. Contract awarded to P. Galante & Son, 1909 Den nie street, Philadelphia.

**Residence (add.)**, 106 Highland avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Walter C. Shipley, Germantown, Philadelphia. Brick, 2 stories add., 17 feet 9 inches x 12 feet. Contract awarded to S. D. Parker, 18 East Walnut Lane, Philadelphia.

**Garage**, 5029 Penn street, Philadelphia, \$2,400. Architect, private plans. Owner, F. W. Hollingsworth, on premises. Brick, 1 story, 21x22 feet, slag roof, cement floors. Contract awarded to F. Crompton & Bro., 4614 Oak land street, Philadelphia.

**Building (alts.)**, Northwest Corner Twenty-fifth and Christian streets, \$2,400. Architect, private plans. Owner, care of P. H. Valentine, on premises. General alterations. Contract awarded to John A. Codori, 1235 Arch street, Philadelphia.

**Garage**, 2123-25 East Clearfield street, Philadelphia, \$4,000. Architect, private plans. Owner, P. O. Larson, on premises. Brick, 1 story, 16x90 feet, slag roof, cement floors. Contract awarded to A. Slowik, 3055 Edgemont street, Philadelphia.

**Store and Residence (add.)**, 400 North Fifty-second street, Philadelphia, \$3,000. Architect, private plans. Owner, E. Weist, on premises. Brick, 2 stories add., 18x9 feet. Contract awarded to Carter Const. Co., 5729 Commerce street.

**Residence (add.)**, 1125 North Forty-first street, Philadelphia, \$2,500. Architect, private plans. Owner, Mr. Brownstein, 1118

North Forty-first street, Philadelphia. Brick, 2 stories add., 16x17 feet; third story add., 16x32 feet. Contract awarded to Z. Z. Polhamus, 416 North Budd street, Philadelphia.

**Manufacturing Building (alts. and add.)**, 5412 Paschall avenue, \$6,000. Architect, private plans. Owners, Murlon Mfg. Co., on premises. Brick, 1 story add., 39x75 feet, slag roof, steel sash, cement floors. Contract awarded to M. L. Conneen & Son, 1813 South Fifty-fourth street, Philadelphia.

**Residence and Store**, Northeast Corner Salmon and Ash streets, Philadelphia, \$7,500. Architect, private plans. Owner, J. Florkowski, Tacony, Philadelphia. Brick, 2 stories, 24x24 feet, 16x32 feet, slag roof, hardwood and pine floors, electric light. Contract awarded to Felix Tatko, 2117 Pratt street, Philadelphia.

**Residence**, Northwest Corner Stanwood and Ferndale streets, Philadelphia, \$6,500. Architect, private plans. Owner, Harry L. Watson, Fox Chase, Philadelphia. Frame, 2 stories, 22x35 feet 6 inches, hot air heat, electric light. Contract awarded to I. A. Dunkelberger, 71 East Herman street, Philadelphia.

**Lumber Shed (alts.)**, 3836 Spring Garden street, Philadelphia, \$6,000. Architect, private plans. Owner, William S. Lilly, on premises. General alterations. Contract awarded to R. J. Whiteside & Son, 2115 Walnut street, Philadelphia.

**Residence, Store and Garage (alts. and add.)**, 4208 Main street, \$5,000. Architect, private plans. Owner, Mamie Chinnici, on premises. Brick, 1 story add., 14x32 feet, 25x44 feet, general alterations. Contract awarded to A. Matzon, Brooklyn, N. Y.

**Service Station**, Southeast Corner Twenty-third and South streets, Philadelphia,

\$4,500. Architect, private plans. Owners, Atlantic Refining Co., 260 South Broad street, Philadelphia. Brick, 1 story, 24x15 feet, slate roof, cement floors, electric lighting. Contract awarded to Metzger, Fisher & White, Otis Building, Philadelphia.

**Residence (add.)**, 1518 North Fifty-fourth street, Philadelphia, \$4,000. Architect, private plans. Owner, George J. Dougherty, 1522 North Fifty-fourth street, Philadelphia. Brick, 2 stories add., 10x17 feet. Contract awarded to L. W. Crosson, 1311 North Fifty-fifth street, Philadelphia.

**Store (alts.)**, 42 East Rittenhouse street, Philadelphia, \$3,000. Architect, private plans. Owner, M. Esposito, 235 East Rittenhouse street, Philadelphia. General alterations. Contract awarded to Charles E. M. McClure, 3118 Rhawn street, Philadelphia.

**Shop and Office (add.)**, 2208 Fairmount avenue, Philadelphia, \$2,800. Architect, private plans. Owner, Joseph A. Strakey, on premises. Brick, 2 stories, 18x50 feet. Contract awarded to J. Maurer & Co., 1304 North Second street, Philadelphia.

**Store and Residence (add.)**, Southeast Corner Benner and Montague streets, \$2,000. Architect, private plans. Owner, William McKinney, 3017 Benner street, Philadelphia. Brick, 1 story add., 16x30 feet. Contract awarded to E. M. Carlson, 3224 Higbee street, Philadelphia.

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## PENNSYLVANIA Construction News

**Residence and Garages (2)**, Wynnefield, Pa. Architects, Thalheimer & Weitz, 10 South Eighteenth street, Philadelphia. Owner, name withheld. Brick, stone, 2½ stories, 26x60 feet each, 1 story, 20x22 feet each, slate roof, hardwood, pine and composition floors, cement and concrete work, vapor heat, electric light, tile work. Architect taking bids October 21st.

**Operation Twin Residences**, Llanerch, Pa. Architect, Conrad F. Neff, Twelfth and Locust streets, Philadelphia. Owners, Smith & Clendenning, Llanerch, Pa. Frame, stone, stucco, 2½ stories, 16x33 feet, hot water heat, electric light, imitation tile work, shingle roof, hardwood and pine floors. Owners taking sub-bids.

**Residence and Garage**, Cheltenham Hills, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, Miss Mary Lippincott, care of architect. Stone, hollow tile and stucco. Plans in progress.

**Residence (alts. and add.)**, Valley Forge, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, name withheld. Frame, general alterations. Plans in progress.

**Residence (alts.)**, Wynnewood, Pa. Architects, T. B. Lippincott and C. S. Schaef, 11 South Sixteenth street, Philadelphia. Owner, H. W. Cheltenham, Wynnewood, Pa. New porches, etc. Plans in progress.

**Theatre, Store and Garage**, Allentown, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, name withheld. Brick, steel, 1 story, 60x120 feet. Preliminary plans in progress.

**Sheridan School**, Sixth Ward, Allentown, Pa. Architects, Jacoby & Everett, Common-

wealth Building, Allentown, Pa. Owners, School District of Allentown, Administration Building, Allentown. Plumbing and fixtures. Plans in progress.

**Residence**, Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, William Derr, 1724 Elm street, Bethlehem, Pa. Brick, timber, 2 stories, 20x40 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Building (alts.)**, Main and Prospect streets, Phoenixville, Pa. Architect, private plans. Owners, Philadelphia Suburban Gas & Electric Co., Chester, Pa. Brick work, concrete and cement work, carpentry and mill work, plastering, hardware, electric work, miscellaneous iron work, painting and glazing, sheet metal work, plastering. Barclay-White Co., 1713 Sansom street, Philadelphia, taking sub-bids due as soon as possible.

**Farm Colony Cottage**, Laurelton, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owners, Laurelton State Village, care of architect. Frame, 2 stories, 31 feet 6 inches x 57 feet 6 inches, asbestos shingle roof, pine floors, cement and concrete work, plumbing, vapor heat, electric light. Architect taking sub-bids.

**Residence**, Hillcrest avenue, Oakmont, Pa. Architects, Durham Brothers, 1609 Sansom street, Philadelphia. Owner, Chester A. Badgley, 6216 Master street, Philadelphia. Frame and stucco, 2½ stories, 32x37 feet, shingle roof, hardwood floors, hot air heat, electric light, tile work, concrete work. Owner ready for sub-bids.

**Colonial Theatre, Stores (2), Dance Hall**, Easton, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Wilmer & Vincent, 1451 Broadway, New York City. Steel, brick, hollow tile concrete, 2 stories and 1 story and lobby, 85x150 feet, capacity 1,800, slate roof, cement floors, hardware, steam heat, electric light, metal lath, tile and marble work, fire doors, rolling steel sash, roof ventilators. Architect taking bids due October 28th.

**Residence**, Ardmore, Pa. Architect, E. William Martin, 2301 Spruce street, Philadelphia. Owner, Carleton Linsley, care of architect. Hollow tile and stucco, 2½ and 1 stories, 37x29 feet, 25x25 feet, shingle roof, oak, pine and cement floors, terra cotta, hollow tile, plumbing, hot water heat, electric light, tile work, ornamental iron work. Architect taking bids due October 16th.

**Bethlehem Theatre**, Bethlehem, Pa. Architects, Hoffman & Henon, Finance Building, Philadelphia. Owners, Bethlehem Theatre Co., Bethlehem, Pa. Brick, steel. Architects taking bids.

The BUILDERS' GUIDE is in its thirty-eighth year of continuous publication.

## Pennsylvania Contracts Awarded

**Main Hospital Building (alts. and add.) and Power House**, Reading, Pa., \$474,000. Architect, Fred Muhlenberg, Reading, Pa. Owners, St. Joseph's Hospital, Sisters of the Order of St. Francis, Reading, Pa. Brick, granite, limestone, cut stone, steel, 14 stories and basement, 1 story, 81x43 feet, power house, 37x53 feet, slag roof, maple, cement, mastic linoleum floors, metal weather strip, waterproofing and dampproofing, architectural terra cotta, ornamental iron work, iron stairs, kalamein doors, rolling steel skylights, steel casements, tile, marble and terrazzo work, metal lath. Contract awarded Wark Co., 1600 Walnut street, Philadelphia.

**Caddie House**, Llanerch, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, Llanerch Country Club, Llanerch, Pa. Frame, 1 story, 20x40 feet, shingle roof, cement floors. Contract awarded M. W. Young, 2037 North Sixty-third street, Philadelphia.

**Orphanage**, Millmont, Reading, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Bernardine Sisters of St. Francis, Millmont, Pa. Brick, steel, 3 and 2 stories, 240x187 feet, composition and tile roof, tile, cement and hardwood floors, dumb waiters, safety treads, roof ventilators, architectural terra cotta, steam heat, electric light, metal lath, tile work, bond, ornamental iron work. Contract awarded to John Detthoff, Reading, Pa.

**Residence and Garage**, Bethlehem, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, Mrs. Hugh McFadden, Fourth and Polk streets, Bethlehem, Pa. Brick, 2½ stories, 70x30 feet, 28x30 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to F. B. Glassmire, Bethlehem Trust Building, Bethlehem, Pa.

**Rectory**, Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owners, Sts. Peter and Paul Greek Parish, Rev. Thomas Ovushkiveitch, Bethlehem, Pa. Brick, 2½ stories, 30x45 feet, slate roof, hardwood floors, tile work, electric lighting. Contract awarded to Ronoa Brothers Co., Bethlehem, Pa.

**Hotel, Store, Restaurant and Dance Hall**, Ashland, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Anton and Peter H. Loeper, Ashland, Pa. Brick, steel, 4 stories, 50x125 feet, 75 rooms, slag roof, wood and cement floors, elevators, tile and marble work, steam heat, electric light. Contract awarded to Stofflet & Tillotson, Wesley Building, Philadelphia.

**Residence**, Manoa Heights, Pa., \$15,000. Architect, private plans. Owner, H. Mercer, Manoa Heights, Delaware County, Pa. Stone and stucco, 2½ stories, 38x25 feet, slag roof, plastering, mill work, stone work, excavation, cement work, electric, heating. Contract awarded Albert Dunlap, 7223 Oak avenue, Oak Lane, Philadelphia.

**Residences (8)**, Main street, South Bethlehem, Pa. Architect, C. F. Spangenberg, 504 Broadway, Bethlehem, Pa. Owner, A. Weiner, 39 West Broad street, Bethlehem, Pa. Brick, 2 stories, 60x120 feet, pine floors, hot water heating, electric lighting. Contract awarded to Allen Smith, Bethlehem, Pa.

**Footway, Tunnel**, Ashbourne Road, South of Elkins Park, Pa. Owners, Philadelphia and Reading R. R., Twelfth and Market streets, Philadelphia. Grading and masonry. Contract awarded Fish-Rutherford, Real Estate Trust Building, Philadelphia. Waterproofing, Benjamin Foster Co., Twentieth and Venango streets, Philadelphia.

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**Monroe County Home**, near Sciota, Pa. Architects, Lacey & Rinker, Henry Building, East Stroudsburg, Pa. Owners, County Commissioners, Monroe County Court House, Stroudsburg, Pa. Brick, hollow tile, 2 stories, 77x131 feet (heating, plumbing, electric work separate bids). Contract awarded to Abram Shook, E. Stroudsburg, Pa.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa.

Erie County, R-88, 304, Amity Township, 17,549 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Contract awarded to Mayers Bros. Const. Co., Erie, Pa. \$198,028.

Northumberland County, R-336, A-2921, Jackson, Jordon and Lower Mahoney Townships, 15,764 feet. One course reinforced concrete. \$132,910.76. Contract awarded to Lincoln Const. Co., Strafford, Pa.

Bradford-Tioga County, R-212, Columbia and Sullivan Townships, 37,947 feet. One course reinforced concrete. \$447,058.26. Contract awarded to Lane Const. Co., Meriden, Conn.

## New Jersey Construction News

**New Dormitory**, Princeton, N. J. Architects, Day & Klauder, 1416 Chestnut street, Philadelphia. Owners, Princeton University, Princeton, N. J. Stone, limestone, reinforced concrete, steel, brick, 2½ stories, 156x25 feet, wings 25x90 feet, 104x30 feet, 25x50 feet, slate and slag roof, pine and cement floors, terra cotta, hollow tile, plumbing, waterproofing and dampproofing, ornamental iron work, bond, fire and kalamein doors, rolling steel sash, marble and terrazzo work, metal lath, electric light, steam heat, bluestone, wrought iron. Architects taking bids due October 30th.

**School**, Plainfield, N. J. Architect, John T. Rowland, 100 Sip avenue, Jersey City, N. J. Owners, Board of Education, Plainfield, Union County, N. J. Brick, steel, 3 stories and basement, 196x87 feet, Barrett Specification roof, maple and cement floors, dampproofing, ornamental iron work, bond, linotile floors, tile and marble and terrazzo work, metal lath. Owners taking bids.

**Press Building (alts. and add.)**, Camden, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden Daily Courier, Camden, N. J. Reinforced concrete, partitions, cement floors, general alterations. Plans in progress. Architects about ready for bids.

**Residence**, Haddonfield, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, A. M. Duckett, 22 West Summit avenue, Haddonfield, N. J. Weatherboard, 2½ stories, 35x28 feet, 10x25 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Architects ready for bids.

**Antlers' Home**, Phillipsburg, N. J. Architect, E. H. Wenzelberger, 3 Center Square, Easton, Pa. Owners, B. P. O. E., Phillipsburg, N. J. Brick, steel, terra cotta, 3 stories and basement, 75x130 feet, slag roof, various floors, hollow tile, elevators, metal lath, tile, marble and terrazzo work, ornamental iron

and plaster (heating, plumbing, electric and elevators reserved). Revised plans in progress.

**Stanley Theatre**, Sixth and Market streets, Camden, N. J. Architects, Hoffman & Henon Co., Finance Building, Philadelphia. Owners, Stanley Co. of America, 1218 Market street, Philadelphia. Brick, stone, steel, concrete, limestone and terra cotta, 160x110 feet, slag roof, steam heating, electric light, tile and marble work, roof ventilators, fire doors, cement work. Plans completed. Architect will be ready for bids in a week.

**Store (add.)**, Trenton, N. J. Architects, Klemann & Kaplan, First National Bank Building, Trenton, N. J. Owners, Goldberg, Inc., Broad and Front streets, Trenton, N. J. Brick, steel, 5 stories and basement, 51x90 feet, slag roof, hardwood floors, hollow tile, elevators, roof ventilators, vapor heat, electric light, metal lath, tile and marble work, rolled steel skylights, fire doors, iron stairs, ornamental iron work. Architects taking sub-bids.

**Detention House**, Pensauken, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Camden County Board of Chosen Freeholders, J. Riggins, Court House, Camden, N. J. Fireproof, 2 stories, 50x200 feet, slate roof, tile and composition floors, cement block, safety treads, metal window guards, waterproofing, dampproofing, ornamental iron work, iron stairs, fire doors, rolled steel sash, tile work, metal lath, vapor heat, electric light. Architects taking revised bids due November 7th.

**Elks' Home**, Camden, N. J. Architect, J. C. Jefferis, 312 Market street, Camden, N. J. Owners, B. P. O. E., Camden, N. J. Brick, steel, 4 stories, 70x150 feet, hardwood floors, hollow tile, elevators, safety treads, roof ventilators, terra cotta, ornamental iron work, iron stairs, fire doors, rolled steel sash, tile and marble work, electric light. Architect taking bids due October 24th.

**Store and Apartment**, Franklin street, Collingswood, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, Michael Swiecicko, Collingswood, N. J. Brick and cinder block, 2 stories, 40x62 feet, slag roof, pine floors, metal lath, hot water heat, electric light, plate glass, copper work, ornamental iron work. Architects taking bids.

**Residences (3)**, Fairmount avenue, Trenton, N. J., \$9,000 total. Architect, private plans. Owner, G. W. Harle, R. F. D. No. 3, Trenton, N. J. Frame, 2 stories, 20x24 feet, slate roof, pine floors, electric lighting. Owner will build.

**Residences (pair)**, New Willow street, Trenton, N. J., \$8,000. Architect, private plans. Owners, Putsch & Gars, 109 Wayne avenue, Trenton, N. J. Brick, shingle, 2½ stories, 28x36 feet, slate roof, pine floors, electric lighting. Owners will build.

## New Jersey Contracts Awarded

**Fire House**, Merchantville, N. J. Architect, J. C. Jefferies, 312 Market street, Camden, N. J. Owners, Borough Council of Merchantville, Merchantville, N. J. Brick, stucco, steel, 1 story and basement, 24x50 feet, steam heat, metal lath, electric light, composition roof, concrete and maple floors. Contract

awarded to George W. Shaner & Son, Palmyra, N. J.

**Store and Apartment**, East Haddonfield, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, Mrs. L. B. Hepple, care of architects. Cinder block and

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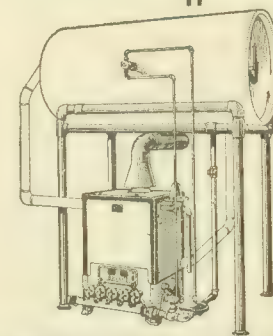
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stucco, 3 stories, 40x80 feet, slag and tile roof, pine floors, metal lath, vapor heat, electric light, tile work. Contract awarded to H. C. Lishman, Haddonfield, N. J.

**Inn (alts. and add.),** Watsontown, Camden County, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, Silver Lake Inn, J. E. Weber, Watsontown, N. J. Brick and cinder block, slag roof, hardwood floors, steam heat, electric light, plumbing, general alterations. Contract awarded to J. S. Shoemaker, Pitman, N. J.

**Residence,** Bellevue Road, Trenton, N. J., \$6,500. Architect, private plans. Owner, W. Campbell, care of builder. Frame, 2 stories, 21x30 feet, slate roof, pine floors, electric lighting. Contract awarded to Jas. A. R. Bole, 83 Beechwood street, Trenton, N. J.

## Miscellaneous Construction News

**Greenwich High School,** Greenwich, Conn. Architects, Guilbert & Betelle, Newark, N. J. Owners, Special School Building Committee, Township of Greenwich, Conn. Brick, reinforced concrete, cut stone, steel, 3 stories and basement, 296x104 feet, slag roof, cement and maple and linoleum floors, hollow tile, plumbing, wrought iron pipe, waterproofing and dampproofing, architectural terra cotta, ornamental iron work, bond, fire doors, rolling steel skylights, tile, marble and terrazzo work, metal lath, steam heat, electric light, bluestone, limestone, soapstone, ornamental bronze, steel lockers. Architects and owners taking bids due October 22nd.

**Richardson Park School,** Middleborough Road, near Ashley, New Castle County, Del. Architects, Guilbert & Betelle, Newark, N. J. Owners, Board of School Trustees of Richardson Park School District No. 20, Delaware School Auxiliary Association, 4116 Dupont Building, Wilmington, Del. Brick, structural steel, reinforced concrete, 2 stories, 100x60 feet, concrete and timber roof, hardwood and yellow pine floors, roof ventilators (heating, plumbing, electric work separate bids), metal lath, kalamein doors. Certified check required (or bond). Ornamental iron work. Owners taking bids due October 21st.

**Residence,** Highpoint and Philadelphia Pike, Wilmington, Del. Architect, J. A. McKibbin, Industrial Trust Building, Wilmington. Owner, Samuel Handler, 214 West Fourteenth street, Wilmington, Del. Stone, 2½ stories, 40x60 feet, slate roof, hardwood floors, metal weather strips (heating and lighting reserved). Architect taking bids due October 16th.

**Residences (3),** 2714-16 West street, Wilmington, Del., \$10,000. Architect, private plans. Owners, Moreland & Donovan, 2114 Washington street, Wilmington. Brick, 2 stories, 20x28 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Residences (4),** 3100-2-4-6 Jefferson street, Wilmington, \$16,000. Architect, private plans. Owner, J. P. Jones, Jr., 201 West Thirtieth street, Wilmington, Del. Brick, 2 stories, 20x28 feet, slag roof, pine floors, hot air heat, electric light. Owner will build.

## Miscellaneous Contracts Awarded

**Plant,** Schenectady, N. Y. Architects, Harris & Richards, Drexel Building, Philadelphia. Owners, General Elec. Co., Schenectady, N. Y. Reinforced concrete and brick, 5 stories and 1 story, 150x250 feet (plumbing, heating, electric, elevators separate), built-up roof, cement, wood block floors, rolling steel sash, rolled steel skylights, fire and hollow metal doors, ornamental iron work. Contract awarded U. G. I. Cont. Co., Broad and Arch streets, Philadelphia.

**Factory Building,** Willows avenue, between One Hundred and Thirty-third and One Hundred and Thirty-fourth streets, New York. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owners, A. Finkenbergs Sons, 2279 Third avenue, New York. Brick and reinforced concrete, 6 stories, 2206x110 feet, 153x206 feet, slag roof, reinforced concrete floors, (3) elevators, steam heat, metal lath, electric light, rolling steel sash, fire doors. Contract awarded Barney Ahler Co., 110 West Fortieth street, New York.

**Residence,** Louisville, Ky. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Dr. John Moore, care of architect. Stone, 2½ stories. Contract awarded Palmer Graham, Louisville, Ky.

## Proposal

### ADVERTISEMENT FOR THE CONSTRUCTION OF BUILDINGS FOR THE NEW JERSEY SCHOOL FOR THE DEAF.

Public notice is hereby given that sealed proposals for furnishing labor and materials to construct and equip ready for furnishing the New School Building, including Dining Hall, Kitchen, Auditorium, Gymnasium and Locker Rooms, Shop Building, Laundry Building, and Superintendent's House as shown on the Plot Plan of the grounds of the New Jersey School for the Deaf, near Trenton Junction, New Jersey, will be received and opened by the Architects at the State House, in Trenton, New Jersey, on the 23rd day of October, 1924, at 2.30 o'clock P. M.

Bids will be received as follows for the general construction of all buildings above mentioned. Bids will likewise be received separately for the General Construction of:

(1) The New School Building, including Dining Hall, Kitchen, Auditorium and Gymnasium and Locker Rooms, Shop Building.

(2) For the General Construction of Laundry Building.

(3) For the General Construction of the Superintendent's House.

Each bid must be accompanied with unit prices on the following items for use in estimating additional work or deductions from contract requirements and in adjusting monthly payments: Excavation per cu. yd., Rock Excavation, Mass Concrete per cu. yd.,

Reinforced Concrete per cu. yd., Cement basement floors per sq. ft., Forms for concrete per sq. ft., Structural Steel per ton, Brickwork per thousand, Face and Common, Roofs per square, Plaster per sq. yd.

Separate bids will also be received for the following:

(4) For Plumbing Water Supply and Drainage for all the buildings as above mentioned, also for each separate group or building as mentioned above.

(5) For Heating and Ventilating for all the buildings as above mentioned, also for each separate group or building as mentioned above.

(6) For Electrical Work for all the buildings as above mentioned, also for each separate group or building as mentioned above.

The right is reserved to accept or reject any or all bids or to waive any informality in any bids presented. All bids must be in sealed envelopes endorsed "Proposals for New Jersey School for the Deaf," and stating the branch of work estimated upon.

No bids will be considered unless accompanied by a certified check to the order of the State of New Jersey, in the amount of five per cent. of the bid, binding the bidder to execute a contract and bond if awarded to him. The terms of proposal with surety required are fixed by the specifications.

Copies of the drawings and specifications will be on file at the office of the Architects for the purpose of estimating. A limited number of the copies of the plans and specifications will be loaned by the Architects to prospective bidders on deposit of a certified check to their order in the sum of FIFTY (\$50.00) DOLLARS. These drawings and specifications may be obtained by application to Arnold H. Moses, Architect, Temple Building, Camden, N. J. If the drawings and specifications are returned to the Architects and an estimate submitted the check will be returned, otherwise the deposit may become forfeited.

ARNOLD H. MOSES,  
GUILBERT & BETELLE,  
Associated Architects.

Dated October 2nd, 1924.

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., October 10, 1924. SEALED PROPOSALS will be opened in this office at 3 P. M., November 10, 1924, for the construction, including the mechanical equipment and approaches, of a one-story brick and tile Post Office building, approximately 98 by 76 feet, in plan at Pittston, Pa. Drawings and specifications may be obtained from the custodian of the site at Pittston, Pa., or at this office, in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

Just remember this: Give out courtesy, kindness, patience and good-will, and you'll get them all back with compound interest. The men who deserve to rank in Class A do not chew the lint and fuss about the small misfits of life. To take what comes and forget the rest is wisdom. Let Braggo give the janitor the call, and the Hall Boys have it out with the Ashbox Inspector—you can't afford to soil your soul with small scraps. Fight on a big scale, or not at all. The folks who have trouble with ushers are always looking for trouble—and find it. Smile, old boy, smile!



Courtesy and Service are always here—

You will find us right on the job with  
**TERRA COTTA**

**SEWER PIPE, FLUE LINING, WALL COPING**

Give us the opportunity of serving you

**William H. Clausen**

27th and Diamond Streets, Philadelphia

Columbia  
6526-6527

Park  
4981



(Continued from page 660)

**Form 3—Job Overhead Summary—Continued**

Class of Expense	Amount
Water	
Sewer	
Special—hauling over, boulevards and bridge, Use of equipment, etc.	
<b>Insurance—Miscellaneous—</b>	
Fire, tornado, earthquake, riot, theft, boiler, plate-glass, automobile, payroll, etc.	
<b>Petty Cash Items</b>	
<b>Interest—</b> On deposits and job funds	
<b>Cutting and Patching for Trades</b>	
<b>Contingencies—</b> Guarantees;	
Labor—strikes, rates, output; weather—rains and freezing.	
Acts of God—floods, cyclones, earthquakes; Material—shortage and price; Transportation—rates, shortage; Subsoil conditions; Finance—interest rates, credit restriction; In-equitable Contract Provisions; Supervising Personnel	
<b>Cold Weather Expense</b>	
Thawing Materials—sand, gravel, etc.	
Weather Protection—window and door closures, temp. walls canvass, etc.	
Temporary Heat—installing, maintaining (include fuel either here or under Coal and Coke)	
<b>Repairs—</b> Streets, sidewalks, property	
<b>Pumping—</b> De-watering (if preferred, cover under Excavation or Sheet piling).	
<b>Final Clean Up—</b> Windows, walls, floors, and premises	
<b>Association Dues—</b> Job share	
<b>Share of General Company Overhead</b>	
Expense of home office, shops and yard including estimating, investigations, etc., and dead time of permanent field force.	
<b>Special Items Not Listed Above.</b>	
<b>Total Job Overhead</b>	

*Job Overhead Summary*

Very often tasks are undertaken on the basis of estimates furnished, which estimates are filed away once the job is obtained. This is a very slipshod procedure. The job is undertaken on the basis of estimates given and every subdivision of the job should be carefully controlled on the basis of the estimate. With this qualification, frequently jobs are entered into on carelessly made estimates; estimates filled with an over optimistic spirit, or estimates made on too liberal a basis. When the job or contract is once received, the estimates should be carefully scrutinized and gone over, and on the basis of such resurveyal, tasks for the various departments should be established.

In the Construction Industry the estimate can be used in at least four or five ways:

1st—The Contract Manager will receive therefrom allowances he may have in awarding the various subcontracts.

2nd—The estimate will set limits for the Purchasing Agent in placing orders for necessary materials.

3rd—The estimate will enable Job Supervisor and Construction Assistants to watch very closely labor costs.

4th—The estimate will enable the Planning Department to schedule carefully

the work, that it may be completed on time.

5th—The estimate will enable the Cost and Financial Department to check up the profitable or unprofitable character of the character of the contract while in process of completion.

A few construction companies describe their use of the estimate, as follows:

"All of our estimates are made in detail, with complete take-offs, covering all portions of the work. A summary of this estimate goes to the contract manager; the complete take-off with prices goes to the purchasing agent; and the complete estimate goes to the erection superintendent, or job supervisor. The construction superintendent on the job is given a revised estimate which includes the estimate of the bare labor necessary for completion of the job. This estimate is revised so that all overhead items are eliminated, and all items of profit."

\* \* \*

"The most important use of the estimate is in regards to the labor cost of the job. The cost clerk in the main office is given a copy of the estimated labor cost. The weekly costs are divided into the various sub-divisions of labor. These are added up weekly and compared with

the estimated cost. Copies of the actual cost as compared with the estimated cost are given from time to time to the job Supervisor and the Construction Superintendent. In this manner, a close check is kept upon the labor cost and should it appear to be running over what has been estimated, it is caught, and if possible remedied during the course of the job, rather than at the completion of the job when it is too late."

\* \* \*

"We make careful estimates of all construction work on which we take contracts. When a contract is closed we make a new statement which is called a "bogey," following the terms of golf, which is a very careful analysis of the actual job after we have had time to give it study, and the unit prices are fixed as to what can be done if the working force will do their very best, and cannot be reached unless they do exert themselves completely. This bogey is usually much less than the estimate. The job timekeeping is subdivided daily and each of the operations and important ones are worked out into unit costs daily for the superintendent, and the whole thing is worked out once a week. Copies are sent to home office as used on the job. This keeps the work under close control. Everyone interested has a copy of this bogey—Contract Manager, Purchasing Agent, job supervisor, and construction assistants on the job. Any variation from this score upward is given very prompt and careful study. We also, whenever possible, and this is very frequently, set up a task and bonus for the superintendent, foremen, gang bosses and workmen such as a lump sum if they meet the bogey and one-half saving if they beat it."

*Equipment Rental Schedule*

The schedule of percentage values given below represents for individual construction machines, the annual expense of equipment ownership, expressed in terms of original capital investment, based on the experience of a large number of representative construction firms. These percentages, which include no allowance for profit, apply to equipment operating under the wear and tear of ordinary job conditions. Exceptionally favorable or unfavorable conditions would warrant changing the values as individual judgment indicated. The original capital investment of a machine is the price F. O. B. constructor's unloading point.

Further explanation of the schedule and the methods of determining rental charges are given on the following page:



Form 4—Annual Equipment Expense

Items of Equipment	Economic Life Yrs.	Form 4—Annual Equipment Expense							Total
		Depreciation (Salvage Value) 25%	Interest at 6½%	Shop Repairs	Field Repairs	Storage Incidentals	Insurance	Taxes	
Auto-crane	5	15	4	6	5	3½	1	1	35½
Auto-truck	3	25	4	20	20	3½	1	1	74½
Auto-trailer	5	15	4	6	5	3½	1	1	35½
Back filler, power	4	18¾	4	6	7	3½	1	1	41¼
Ballast spreader	8	9½	4	6	4	3½	1	1	29
Boiler, Upright	8	9½	4	20	5	3½	1	1	44
Boiler, Locomotive	8	9½	4	15	5	3½	1	1	39
Bucket, clam shell	4	18¾	4	15	6	3½	1	1	49¼
Bucket, orange-peel	4	18¾	4	25	6	3½	1	1	59¼
Bucket, drag-line	4	18¾	4	12	3	3½	1	1	43¼
Cars, steel dump	6	12½	4	8	4	3½	1	1	34
Cars, wood dump	5	15	4	7	3	3½	1	1	34½
Cars, flat	8	9½	4	4	3	3½	1	1	26
Cars, hopper	5	15	4	8	3	3½	1	1	35½
Compressor, steam	7	10¾	4	6	3	3½	1	1	29¼
Compressor, gasoline	4	18¾	4	6	7	3½	1	1	41¼
Compressor, electric	6	12½	4	3	3	3½	1	1	28
Concrete chutes	2	37½	4	15	15	3½	1	1	77
Conveyor, belt	2	37½	4	7	6	3½	1	1	60
Conveyor, bucket	2	37½	4	10	6	3½	1	1	63
Crusher, rock	6	12½	4	5	3	3½	1	1	30
Derrick, wood	5	15	4	4	4	3½	1	1	32½
Derrick, steel	10	7½	4	4	3	3½	1	1	24
Drag-line, steam	6	12½	4	9	8	3½	1	1	39
Drag-line, gasoline	4	18¾	4	10	10	3½	1	1	48¼
Drag-line, electric	8	9½	4	7	7	3½	1	1	33
Drill, tunnel carriage	5	15	4	8	8	3½	1	1	40½
Drill, traction well	6	12½	4	7	10	3½	1	1	39
Drill, tripod	4	18¾	4	7	10	3½	1	1	45¼
Drill, jack hammer	4	18¾	4	7	6	3½	1	1	41¼
Engine, gas	6	12½	4	8	8	3½	1	1	38
Engine, steam	10	7½	4	5	5	3½	1	1	27
Excavator, cableway	6	12½	4	4	12	3½	1	1	38
Excavator, Keystone	5	15	4	8	4	3½	1	1	36½
Excavator, trench	5	15	4	8	6	3½	1	1	38½
Forms, steel concrete	2	37½	4	20	20	3½	1	1	87
Graders, common road	4	18¾	4	12	6	3½	1	1	46¼
Graders, elevating	4	18¾	4	15	7	3½	1	1	50¼
Hoist, steam	10	7½	4	6	4	3½	1	1	27
Hoist, gasoline	6	12½	4	7	8	3½	1	1	37
Hoist, electric	8	9½	4	5	3	3½	1	1	27
Locomotive, Indus. Steam	9	8½	4	6	4	3½	1	1	28
Locomotive, Indus. gas	4	18¾	4	13	10	3½	1	1	51¼
Locomotive, Indus. battery	4	18¾	4	15	4	3½	1	1	47¼
Locomotive, Standard gauge	10	7½	4	6	4	3½	1	1	27
Locomotive, crane steam	8	9½	4	7	8	3½	1	1	34
Locomotive, crane electric	8	9½	4	6	4	3½	1	1	29
Mixer, steam	5	15	4	12	4	3½	1	1	40½
Mixer, gasoline	4	18¾	4	13	8	3½	1	1	49¼
Mixer, electric	6	12½	4	12	4	3½	1	1	38
Mixer, paving steam	5	15	4	13	4	3½	1	1	41½
Mixer, paving gas	3	25	4	16	9	3½	1	1	59½
Motors	6	12½	4	6	4	3½	1	1	32
Pile driver, steam	8	9½	4	7	5	3½	1	1	31
Pile driver, track	10	7½	4	5	3	3½	1	1	25
Pile, hammer steam	7	10¾	4	7	3	3½	1	1	30¼
Pipe, galvanized	3	25	4	5	6	3½	1	1	45½
Plows	3	25	4	15	10	3½	1	1	59½
Pneumatic concrete machine	4	18¾	4	20	8	3½	1	1	56¼
Pump, centrifugal	8	9½	4	6	4	3½	1	1	29
Pump, piston	6	12½	4	7	5	3½	1	1	34
Pump, impulse	8	9½	4	2	4	3½	1	1	25
Rails	8	9½	4	5	3	3½	1	1	27
Riveter, air	5	15	4	8	4	3½	1	1	36½
Rock Channeler	6	12½	4	7	8	3½	1	1	37
Roller, steam road	10	7½	4	5	3	3½	1	1	25
Saw rigs	4	18¾	4	10	15	3½	1	1	53¼
Scraper, wheel	3	25	4	8	4	3½	1	1	46½
Scraper, slip	1	75	4	25	10	3½	1	1	119½
Scraper, fresno	2	37½	4	25	15	3½	1	1	87
Shovel, steam	6	12½	4	7	6	3½	1	1	35
Shovel, gasoline	4	18¾	4	9	7	3½	1	1	44¼
Shovel, electric	7	10¾	4	6	5	3½	1	1	31¼
Switches, fabricated	3	25	4	3	3	3½	1	1	40½
Tower, steel hoist	7	10¾	4	3	4	3½	1	1	27¼
Tractor, wheel gas	6	12½	4	9	5	3½	1	1	36
Tractor, caterpillar	5	15	4	15	10	3½	1	1	49½
Wagons, dump	4	18¾	4	17	3	3½	1	1	48¼
Wagons, hauling	4	18¾	4	12	3	3½	1	1	43¼
Wagons, loaders, power	5	15	4	10	3	3½	1	1	40½

Seven items of equipment expense constitute the total rental charge and require consideration in estimating a lump sum contract or in determining fixed rate rentals.

They are (1) Depreciation, (2) Interest, (3) Shop Repairs, (4) Field Repairs, (5) Storage and Incidentals, (6) Insurance, (7) Taxes. Some of these items, especially depreciation and repairs, vary for different machines, and it is to establish average values for the most important articles of equipment that the schedule above has been drawn up.

#### How to Determine a Typical Rental Charge

As a basis for comparing different machines, it is assumed that their economical life is over when the depreciation has reached 75 per cent., or, in other words, when the salvage value is reduced to 25%. Upon this basis the annual rental charge for a machine having a life of six years is made up as follows:

	Percent
1. Average depreciation	12½
2. Equivalent annual interest at 6½%	4
3. Shop repairs	6
4. Field repairs	4
5. Storage and incidentals	3½
6. Insurance	1
7. Taxes	1

Total annual expense ..... 32

But the total annual expense is charged off during the usual working time in each year. Thus, where machines are used only eight months out of twelve, the monthly charge is one-eighth of 32 per cent. or 4 per cent. per month. Likewise, where they are ordinarily utilized but 100 days in the year, the daily charge is one one-hundredth of 32 per cent., or .32 per cent. per day.

#### Interest on Investment

Interest at the prevailing rate is charged each year on either the depreciated value of equipment or on the average value throughout its economical life. The average value equals the sum of initial value and the salvage value, divided by two. When the salvage value is 25 per cent., the average value =  $(100\% + 25\%) \div 2 = 62½\%$  of the initial value. The prevailing interest rate is applied to this amount, giving the equivalent annual interest. Thus the equivalent annual interest is  $62½\% \times 6½\%$  (prevailing rate) = 4% of the initial value.

#### Three Types of Charges

Owners of equipment find occasion to establish rental rates as follows:

1. For a lump sum or unit price estimated.
2. To owners on cost-plus work.
3. To others than client owners.

In these instances charges are made as follows:

(Continued next week.)



# Reference Directory for Architects, Builders and Owners

## ARCHITECTURAL CEMENT CASTINGS

Erickson & Weiss, Fisher's Ave. and Mascher St.  
ARTESIAN WELLS.  
Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

ARTISTS AND ARCHITECTS' SUPPLIES.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

ASPHALT CONSTRUCTION.  
Rulon, Ralph V. ....239 N. 30th St., Phila.

BLUE PRINTS.  
Blue Print Shop. ....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

BLUE PRINT PAPER.  
Blue Print Shop. ....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

BOILER AND PIPE COVERINGS.  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

BRICK (Face, Common, Paving).  
Holloway Corporation. ....105-107 S. Third St., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

BUILDERS.  
Mitchell Bros. ....2125 Race St., Phila.

BUILDING NEWS.  
Daily Building News. ....Perry Bldg., Phila.

BUILDERS' SUPPLIES.  
Phila. Transportation & Lighterage Co.,  
119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

CEMENT.  
The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

CEMENT WORK.  
D'Lauro, John ....55 E. Mermaid Lane, Phila.

Erickson & Weiss, Fisher's Ave. and Mascher St.  
Massiah, Frederick. Juniper and Cypress Sts., Phila.

COLD STORAGE (Insulation and Covering)  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

COLUMNS (Metal).  
Pearce Fireproof Co. ....1345 Arch St., Phila.

COMPOSITION FLOORING.  
Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

CONCRETE TILE.  
Gramm, Price, Turner, Inc. ....Ashland, N. J.

CONCRETE WORK.  
Massiah, Frederick. Juniper and Cypress Sts., Phila.

CONTRACT BONDS.  
Patton, Edward W. ....400 Lincoln Bldg., Phila.

CONTRACTOR'S EQUIPMENT  
Lee T. Ward Co. ....617 Filbert St., Phila.

CORK FLOORING  
Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

CURTIS WOODWORK.  
Gillingham Co. ....Norris and Richmond Sts., Phila.

CUT STONE.  
Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

DAILY BUILDING NEWS.  
Building News Pub. Co. ....Perry Bldg., Phila.

DAMP-PROOFING.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger. ....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories. ....1505 Race St., Phila.

DRAWING MATERIALS.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

ELEVATOR DOOR CONTROLLERS.  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

ELEVATOR DOOR HANGERS.  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

EXCAVATING.  
McCarriek Bros. ....3138 N. 24th St., Phila.

McCool, John. Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

FENCES.  
Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ....Erie Ave. and "D" St., Phila.

Reisbord, Wolf. ....4437-43 Ludlow St., Phila.

FIREPROOFING.  
Pearce Fireproof Co. ....1345 Arch St., Phila.

FLOOR HARDENER.  
Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories. ....1505 Race St., Phila.

FLOOR PLATES.  
Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

FLUE LINING.  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

GARAGE DOOR HANGERS.  
Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

GARAGE HEATERS.  
Fleck Bros. ....44 N. 5th St., Phila.

GAS RANGES.  
Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

HARDWOOD FLOORS.  
Wood, L. H. ....3312 Lancaster Ave., Phila.

HAULING CONTRACTORS.  
Dooley, John J. ....39 S. 19th St., Phila.

McCarriek Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford. ....719 Cherry St., Phila.

HEATING CONTRACTORS.  
Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson. ....Columbia 5591

HEATING BOILERS.  
Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

HOLLOW METAL WINDOWS.  
McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

HOLLOW TILE.  
Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

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Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

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Patton, Edward W. ....400 Lincoln Bldg., Phila.

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Lukens, Lewis N. ....19th and Washington Ave., Phila.

Potts, Horace T., & Co. ....Erie Ave. and D St., Phila.

Reisbord, Wolf. ....4437-43 Ludlow St., Phila.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

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Housel, J. W., Co.,  
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Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

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Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

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Gillingham Co. ....Norris and Richmond Sts., Phila.

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Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

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Cosenza Albert,  
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Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Penna. Tile & Mosaic Co. ....1637 Wood St., Phila.

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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 43  
October 22, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

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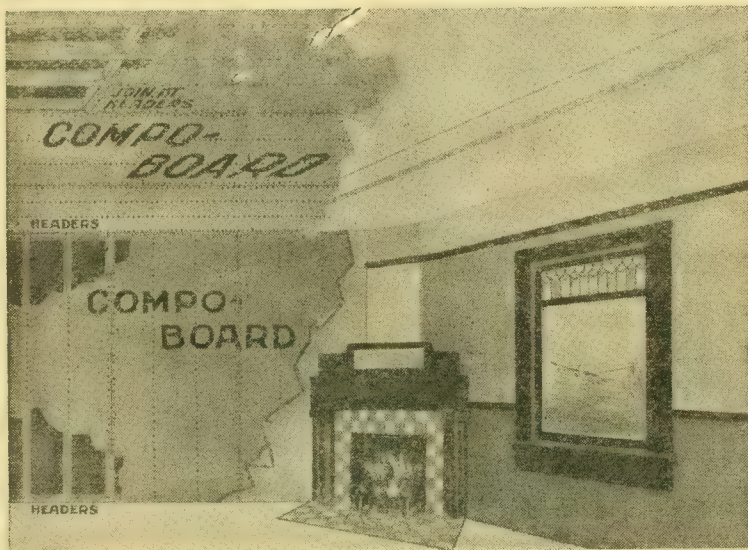
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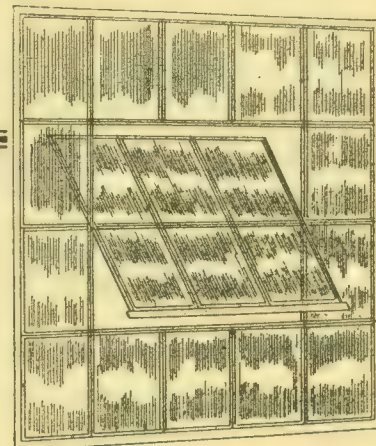
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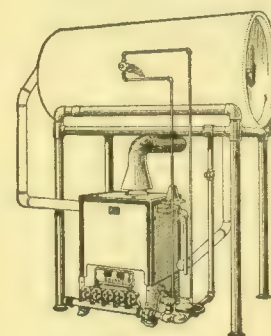
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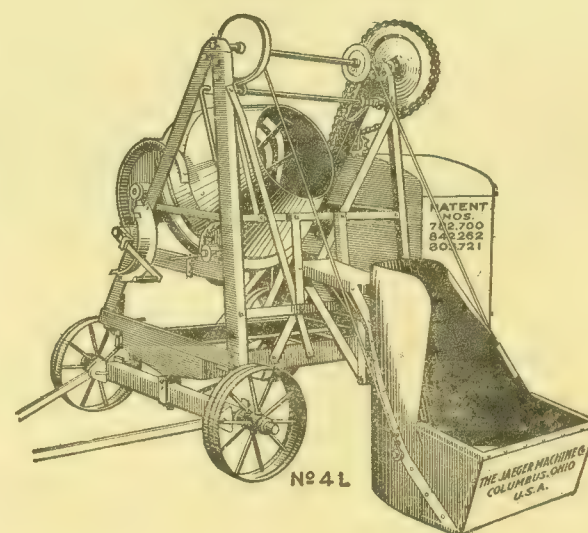
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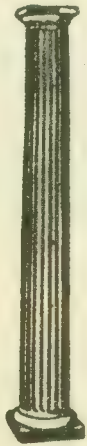
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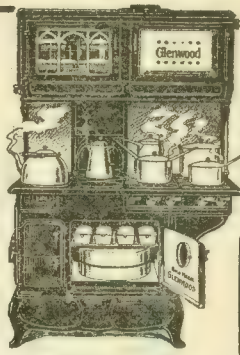


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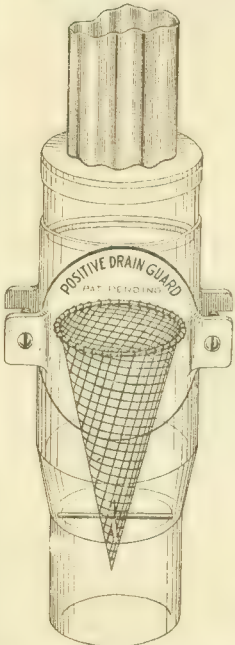
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural

VOLUME XXXIX

Engineering and the Building Trades

PHILADELPHIA

Number 43

October 22, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## Advance Construction News

CONTEMPLATED CONSTRUCTION; ARCHITECTS AND OWNERS; COST LIMIT; LAST DAYS FOR FILING BIDS;

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED; ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Railroad Station**, Thirtieth and Market streets, Philadelphia. Architects, Graham, Probst & White, Chicago, Ill. Owners, Pennsylvania Railroad, Broad Street Station, Philadelphia. Preliminary sketches drawn.

**Store**, S. W. corner Fifty-seventh and Kingsessing avenue, Philadelphia. Architect, Frank V. Nickels, 15 South Twenty-first street, Philadelphia. Owner's name withheld. Brick, 1 story and basement, 26x16 feet, slag roof, maple floors, plumbing, metal ceilings, bond, metal bulks, ornamental iron work, electric light, cast iron pipe. Architect taking bids.

**Residences (24)**, Fifty-fourth and Wyndale avenue, Philadelphia, \$282,000. Architect, private plans. Owner, Daniel Crawford, Jr., 3901 Chestnut street, Philadelphia. Brick, 3 stories, 21x50 feet and 17x49 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (42)**, 6300 to 6382 Marsden street, Philadelphia, \$190,000. Architect, private plans. Owner, J. Charles Yundt, 266 East Johnson street, Philadelphia. Brick, 2 stories, 14 feet 6 inchesx37 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, 3341 to 47 Livingston street, Philadelphia, \$3,500 each. Architect, private plans. Owner, Frank Faulkner, 6709 Frankford avenue, Philadelphia. Brick, 2 stories, 15x30 feet, hot air heat, electric light. Owner will build.

**Casa Del Pay Apartment Hotel**, Lancaster avenue, west of Haverford avenue, Philadelphia. Architects, Thomas B. Lippincott & C. F. Schaef, 11 South Sixteenth street, Philadelphia. Owner, Perry Beam, 605 Market street, Philadelphia. Stone, cut stone, steel, brick, hollow concrete block, 13 stories and base-

ment, 210x94 feet, wing 46x49 feet (heating and oil burning reserved), slag roof, tile roof, linoleum, oak, cement, natural cork, rubber tile floors, elevators, plumbing, roof ventilators, waterproofing, ornamental terra cotta, ornamental iron work, bond, tin clad, kalamein and hollow metal doors, rolled steel skylights, hollow metal sash, tile and marble work, metal lath, electric light, morene wall finish, galvanized wrought iron pipe. Architects taking bids, due October 28 at noon.

**Manufacturing Buildings (8)**, Delaware and Bigler streets, Philadelphia, \$2,000,000. Architect, C. E. Wunder, 1520 Locust street, Philadelphia. Owners, Publicker Commercial Alcohol Co., Swanson and Delaware avenue. Reinforced concrete and steel, 2 to 8 stories, various sizes. Mechanical equipment separate bids. Plans in progress.

**Garage and Show Room**, 1515 North Broad street, Philadelphia. Architect, Abraham Levy, 1208 Real Estate Trust Building, Philadelphia. Owner's name withheld. Reinforced concrete, brick, steel, 2 stories, 239x68 feet, irregular, slag roof, concrete floor and ramps, plate glass, flush bulks, tile and marble work, electric light, steam heat. Plans in progress.

**Residences (52)**, **Stores (2)**, Edna street, between Ogontz avenue and Nineteenth street, Philadelphia. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owner, Geo. H. McCracken, 2528 West Lehigh avenue, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, garages in basement, tile work, electric light, hot water heat. Plans completed. Work contemplated. Owner may take sub-bids in spring of 1925.

**Lodge Building**, N. W. corner Seventh and Pine streets, Philadelphia. Architect, Wil-

liam L. Charr, 149 South Fourth street, Philadelphia. Owners, Boslover Beneficial Association, I. J. Stern, 417 Pine street. Stone, steel, brick, 3 stories and basement, 22x87 feet 6 inches (heating and plumbing reserved), four ply crushed slate roof, maple and hardwood floors, electric light, metal lath, tile and marble work, metal window guards, metal ceilings, water and dampproofing, ornamental iron work, floor hardener, bond, kalamein doors. Revised plans in progress.

**Edward Wynne Moore Memorial Hall**, Green street and School House Lane, Germantown. Architect, Robeson Lea Perot, 137 Harvey st., Germantown, Philadelphia. Owners, Germantown Academy, on premises. Stone, cut stone, brick, steel, 2 stories and basement, 66x50 feet, heating extension, electric light, metal lath, rolling steel sash, bond, archt. terra cotta, dampproofing, plumbing, wrought iron pipe, asbestos slate roof, pine floors, precast artificial stone. Architect taking bids.

**Garage**, Fortieth and Locust streets, Philadelphia. Architect, Ralph Goldberg, 10 South Eighteenth street, Philadelphia. Owner's name withheld. Limestone, brick, steel and concrete, 2 stories, 60x175 feet, slag roof, cement floors, plate glass, metal bulks, tile, marble and terrazzo work, steam heat, electric light. Plans about completed. Architect will take bids in a week.

**Garage and Show Room**, Mervine and Loudon streets, Philadelphia. Architect, Joseph Margolis, 1505 Race street, Philadelphia. Owners, Lush & Miller, 1218 Real Estate Trust Building, Philadelphia. Structural steel, stone, limestone, brick, 2 stories, 75x76 feet 6 inches, slag roof, steam heat, electric light, marble work, skylights, cement and wood floors, metal bulks, plate glass, excavating, demolition, carpentry and mill work, cement

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work, plumbing. Owners will be ready for sub-bids in ten days.

**Turkish Bath**, 741 Porter street, Philadelphia. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, I. Grossman, 729 Jackson street, Philadelphia. Brick, steel, 2 stories, 15x70 feet, slag roof, steam heat, electric light, tile, marble and slate roof, concrete swimming pool, plumbing, hollow metal skylights, metal ceilings, waterproofing. Plans about completed. Architect will be ready for general bids in a few days.

**Pelham Court Apartment Building, No. 3**, Emlen and Carpenter streets, Philadelphia. Architect, B. Stanley Simmons, 1013 Fifteenth street, N. W., Washington, D. C. Owners, Pelham Terrace Apartments, J. Jones and E. Hutchinson, Jr., on premises. Brick, concrete, cut stone, steel, 9 stories and basement, 132x96 feet, slag roof, cement and oak floors, hollow stile, elevators, shoring, ornamental terra cotta, ornament iron work, bond, galvanized iron skylights, tile and marble work, steam heat, electric light, ornamental plaster, galvanized iron pipe, plumbing. Boyle Robertson Const. Co., Evans Building, Washington, D. C., taking sub-bids. Plans may be seen at the Builders' Exchange, 1716 Arch street, Philadelphia.

**Apartment House (1), Residences and Garages (8)**, Sixty-seventh and Ogontz avenue, Philadelphia, total \$72,000. Architect, Karl F. Otto, 1828 Arch street, Philadelphia. Owners, Mahon & Coffin, Oak Lane Trust Co., Oak Lane, Philadelphia. Brick, apartment 3 stories, 25x69 feet, 6 inches; residences, 2 stories, 20x46 feet and 16x32 feet, 13x13 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Stores and Apartments (alt. and add.)**, Front and York streets, Philadelphia. Architect, Frank E. Hahn, 1112 Chestnut street, Philadelphia. Owner, Albert M. Greenfield, Fifteenth and Chestnut streets, Philadelphia. Architect taking bids, due October 28.

**Residences (10)** Hilltop Road, East of Shawnee avenue, \$13,000 each. Architect, private plans. Owner, J. P. Vancleave, Willow Grove and Eastern avenues, Philadelphia. Brick, 3 stories, 25x36 feet, hot water heat, electric light, hardwood and pine floors, tile work. Owner will build.

**Store and Apartments (alts. and add.)**, 1606-08 North Fifty-second street, \$12,000. Architect, private plans. Owner, N. Litman, 1597 North Fifty-second street, Philadelphia. Brick, 3 stories, 32x30 feet; 3 stories, 20x6 feet, general alterations. Owner will build.

**Residences (2)**, east side of Stenton avenue, north of Gorgas street, \$10,000 each. Architect, private plans. Owner, Vincent Mercaldo, 353 East Price street, Philadelphia. Stone and brick, 3 stories, 17x37 feet, and 1 story, 12x13 feet, hot water heat, elec-

tric light, tile work, hardwood and pine floors. Owner will build.

**Garage**, 4410-12-14 Market street, Philadelphia, \$10,000. Architect, private plans. Owner, A. Gallagher, 3700 Haverford avenue, Philadelphia. Brick, 1 story, 63x120 feet, slag roof, cement floors. Owner will build.

**Sewers, etc.**, Philadelphia. Owner, Department of Public Works, Bureau of Surveys, 216 City Hall. Owner taking bids, due October 23, at noon. Inquire Room 416. Schedule A, removal of old sewers, construction of new sewers, Thirteenth street, etc., Johnston and Bigler streets, etc. Schedule B, sewage disposal project, Pennypack Creek, intercepting sewer, Section No. 2, underground electric wiring, lighting units and signals. Schedule C, steel filing cases, safes and filing cases.

**Garage (add.)**, 6020 Ludlow street, Philadelphia, \$9,000. Architect, private plans. Owner, Robert Williams, on premises. Brick, second story addition, 56x90 feet, pine floors, slag roof, electric light. Owner will build.

**Residences (3)**, north side of Chew street, east of Fifth street, \$7,000 each. Architect, private plans. Owner, Henry Felt, 5631 North Fifth street, Philadelphia. Brick, 2 stories, 15x33 feet and 12x16 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residences (2)**, east side of Dorcas street, north of Shelmire street, \$5,000 each. Architect, private plans. Owner, John Delwig, 7501 Dorcas street, Philadelphia. Brick, 2 stories, 16x43 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence (add.)**, 5112 Spruce street, Philadelphia, \$5,000. Owner, Dr. James Cancelmo, 5112 Spruce street, Philadelphia. Brick, 3 stories, 16x8 feet, third story, 16x50 feet. Owner will build.

**Storage Building (add.)**, west side of Forty-third street, south of Woodland avenue, Philadelphia, \$5,000. Architects, Wm. F. Koelle & Co., 2601 Oxford street, Philadelphia. Owners, Breyer Ice Cream Co., on premises. Brick, 3 story addition, 48x38 feet, slag roof, electric work. Architect will build.

**Residence and Store**, west side of Fifty-second street, south of Heston street, \$7,500. Architect, private plans. Owner, Nathan Litman, 1597 North Fifty-second street, Philadelphia. Brick, 3 stories, 16x32 feet, 13x20 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, 2511-17 York street, Philadelphia, \$20,000. Architect, private plans. Owners, Terminal Const. Co., 6019 Market street, Philadelphia. Brick, 1 story, 80x112 feet, slag roof, cement floors, electric light. Owners will build.

**Store and Storage**, 933 North Watts street, Philadelphia, \$6,000. Architect, private plans. Owner, Morris Goodstein, 5714 Wyalusing

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avenue, Philadelphia. Brick, 2 stories, 16x78 feet, slag roof, pine floors, electric light. Owner will build.

**Store and Garage**, 1322 West Girard avenue, Philadelphia, \$10,000. Architect, private plans. Owner, Morris Goodstein, 5714 Wyalusing avenue, Philadelphia. Brick, 3 stories, 17x100 feet, slag roof, cement and pine floors, electric lighting. Owner will build.

**Storage**, north side Duncannon avenue, east of P. & R. Ry., \$5,000. Architect, private plans. Owners, Philadelphia Builders' Supply Co., Second and Duncannon avenue. Iron, 1 story, 72x10 feet. Owners will build.

**Residence**, north side of Bleigh street, east of Rockwell street, \$4,800. Architect, private plans. Owner, Harry J. Gunstall, 1006 Cottman street, Philadelphia. Frame, 2 stories, 26 feet 6 inchesx38 feet 6 inches, shingle roof, hot water heat, electric light. Owner will build.

**Storage**, N. E. corner of Balfour and Ontario street, Philadelphia, \$4,000. Architect, private plans. Owners, Brodsky Bros., on premises. Iron, 1 story, 60x40 feet. Owners will build.

**Residences (3)**, Harrison and Charles streets, Philadelphia, \$18,000. Architect, private plans. Owners, W. M. France & Son, 1529 Foulkrod street, Philadelphia. Brick, 2 stories, (1) 16x38 feet, (2) 18x30 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, 1325 to 31 Levick street, Philadelphia, \$4,500 each. Architect, private plans. Owner, Wm. H. Fischer, 6370 Montour street, Philadelphia. Stone and frame, 2 stories, 16x50 feet, slag roof, hot water heat, electric light. Owner will build.

**Store**, 803 North Franklin street, Philadelphia, \$2,200. Architect, private plans. Owner, M. Nachawich, on premises. Brick, 1 story, 24x40 feet, slag roof, pine floors, electric light. Owner will build.

**Residences (3)**, 172-74-76 West Roosevelt Boulevard, \$4,000 each. Architect, private plans. Owners, C. Deer & Son, 4801 North Third street, Philadelphia. Brick, 2 stories, 14x38 feet, electric light. Owner will build.

**Storage Building (add.)**, 409 North Franklin street, \$2,000. Owner, Herbert M. Sostman, 1521 Belfield avenue, Philadelphia. Brick, 1 story addition, 15x35 feet. Owner will build.

**Building (alts.)**, 903 Levick street, Philadelphia, \$2,000. Owner, S. Monkus, on premises. General alterations. Owner will build.

**Boiler House**, Twenty-first and Oregon avenue, Philadelphia. Architect, private plans. Owners, Philadelphia Quartermaster Department, Const. Q. M., Philadelphia. Low bidders: B. P. Lientz Co., 511 West Fifty-fourth street, New York City, \$25,598; Williamson Const. Co., Wilmington, Del., \$25,600.

**Miscellaneous Work**, Philadelphia. Owners, Department of Wharves, Docks and Ferries, Municipal Pier No. 4, South Wharves, Philadelphia. Low bidders: Schedule A, paving with incidental work, Porter Street Pier No. 4, Achrone & Conuse, 804 South Tenth street, Philadelphia, \$175,996.46. Schedule B, repairs to side walls, Pier No. 19, North Wharves, Kaufman Const. Co., North American Building, \$3,426. Schedule C, replacement of wood fenders Pier No. 16, South Wharves, H. H. Eyre, 1212 North Delaware avenue, Philadelphia, \$3,123.

1620 Thompson street, Philadelphia.

**Convent**, 1420-22 Susquehanna avenue, Philadelphia. Architect, Peter F. Getz, 714 Victory Building, Philadelphia. Owners, Holy Name of Jesus Congregation, Rev. G. S. Scholz, on premises. Brick, cut stone, granite limestone, concrete, 3 stories and basement, 63x36 feet (plumbing, heating, electric separate), asbestos shingle built up roof, asphalt roof, composition and pine floors, metal lath, tile, marble and terrazzo work, sheet metal sash, copper skylights, metal ceilings, waterproofing, leaded glass. Contract awarded M. Melody & Son, 1322 Race street, Philadelphia.

**Building (alts.)**, Thirty-third and Columbia avenue, Philadelphia, \$16,990. Architect, C. Leslie Weir, 41 East Forty-second street, New York City. Owners, American Ice Co., Mr. Fredericks, Broad and Cherry streets, Philadelphia. Structural steel work, cork insulation, waterproofing, carpentry and mill work, concrete and cement work. Contract awarded Sutton & Stephenson, 1317 Washington avenue, Philadelphia.

**Residence (alts.)**, 544 West Hortter street, Philadelphia, \$12,500. Architects, Folson & Stanton, 10 South Eighteenth street, Philadelphia. Owner, J. J. McArdle, on premises. Tile, stone work, cement work, slate roof, plastering, electric work, carpentry and mill work, linoleum floors. Contract awarded E. Allen Reeves, Abington, Pa.

**Club House**, N. E. corner of Princeton avenue and James street, Philadelphia, \$8,650. Architect, Herman H. Kline, 717 Bulletin Building, Philadelphia. Owners, Italian Republican Club, on premises. Brick, 1 story, 32x65 feet, slag roof, electric light, oak and pine floors. Contract awarded to Joseph Rotornado, 4740 Milnor street, Philadelphia.

**Stores and Offices (alts. and add.)**, 256-58 South Thirty-seventh street, \$6,200. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoa Heights. Owner, D. H. Kahakian, Lansdowne, Pa. Brick, 2 stories, 20x60 feet, slag roof, pine and cement floors, hot water heat, electric light, metal lath, metal ceilings, shoring, metal frame bulks, plate glass. Contract awarded to M. K. Bajapan, 5639 Walton avenue, Philadelphia.

**New Street Warehouse (alts.)**, 120 New street, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Structural steel, plastering, iron work, metal lath, steel sash, painting and glazing. Contract awarded Kober Const. Co., 34 South Seventeenth street, Philadelphia, \$5,490.

**Garage**, 1502-04 Thompson street, Philadelphia. Architect, Chas. F. Schaef, 11 South

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Shriner Hospital for Crippled Children**, Roosevelt Boulevard, Philadelphia. Architect, Philip Johnson, 1713 Sansom street, Philadelphia. Owners, Pennsylvania Mystic Shrine, W. F. Kendrick, 1337 Spring Garden street. Brick, cut stone, reinforced concrete, steam heat, electric light, slag and slate roof, cement and maple floors, elevators, plumbing, cast iron pipe, shoring, water and dampproofing, archt, terra cotta, ornamental iron work, travertine, bluestone, steel partitions, wrought iron and steel pipe, iron stairs, bond, rolling steel skylights and sash, tile, marble and terrazzo work, metal lath. Administration building, 2½ stories, 148x108 feet; south ward, 2 wings, 98x32 feet, 47x38 feet, 90x32 feet; north wing, 98x39 feet, wing 35x32 feet, 56x38 feet. Contract awarded to A. Raymond Raff Cont. Co., 1620 Thompson street, Philadelphia.

**Factory Building**, 720-28 South Eleventh street, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owners, Tornick ros., 720-28 South Eleventh street, Philadelphia. Mill construction, 3 stories, 90x90 feet, slag roof, plank floors, steam heat, electric light, metal lath, hollow metal sash and skylights, fire doors, floor

hardener, iron stairs, cold water painting, elevators. Work started. Contract awarded to L. Cherry, 17 North Second street, Philadelphia.

**Office and Factory Building**, Woodland avenue, near Sixtieth street, Philadelphia, \$65,000. Architect, private plans. Owners, U. S. Pencil Co., J. S. Furst, Sixtieth and Baltimore avenue, Philadelphia. Brick, slow burning, 2 stories, 218x60 feet, slag roof, cement and pine floors, electric light, rolling steel sash. Contract awarded to McClockey Co.,

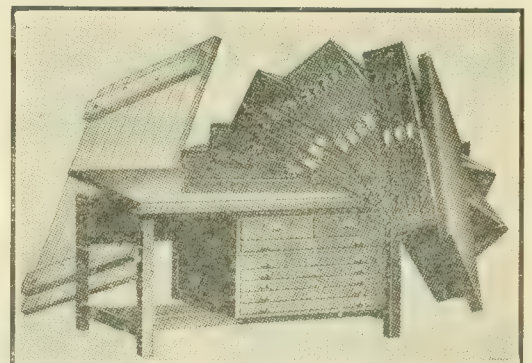
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Sixteenth street, Philadelphia. Owner, S. Keyserman, 2139 North Thirty-second street, Philadelphia. Brick, 2 stories and basement, 30x50 feet, slag roof, pine floors, steam heat, electric light. Contract awarded to H. P. Schneider, 3713 Old York Road, Philadelphia.

**Store and Loft Building (alts. and add.)**, 308-12 North Fourth street, Philadelphia. \$4,000. Architect, Max A. Bernhardt, 721 Walnut street, Philadelphia. Owners, Monroe, Lederer & Taussig, on premises. Bond, shoring, brickwork, cement work, marble work, concrete, galvanized iron work, metal ceilings, slag roof, iron and steel work, metal bulks, carpentry, millwork, metal lath, plastering, hardware, painting, glazing, electric work. Contract awarded to A. R. Raff Cont. Co., 1635 Thompson street, Philadelphia.

**Store (alts. and add.)**, S. W. corner of Sixteenth and Dauphin streets, \$7,565. Architect, private plans. Owners, Andrew Sargis, et al., 2306 North Park avenue, Philadelphia. Brick, 2 story addition, 16x14 feet, general alterations. Contract awarded to L. M. Shes-tack, 826 Arch street, Philadelphia.

**Residence and Store (alts. and add.)**, 2055 East Cheltenham avenue, \$7,000. Architect, private plans. Owner, Wm. Frick, 2071 East Cheltenham avenue, Philadelphia. Brick, 2 stories, 22x20 feet, 1 story, 22x15 feet. Contract awarded to Arthur M. Lane, 2050 Haines street, Philadelphia.

**Apartment (add.)**, 439 North Fifty-second street, Philadelphia, \$6,300. Architect, private plans. Owner, J. L. Brown, 506 South Fifty-second street, Philadelphia. Brick, 2 stories, 20x13 feet, 1 story, 4x22 feet and 2 stories, 14x12 feet. Contract awarded to Carl Jacobs, 1313 North Twelfth street, Philadelphia.

**Store**, west side Farragut Terrace, south of Chestnut street, \$6,000. Architect, A. Kister, 424 North Nineteenth street, Philadelphia. Owners, American Stores Co., 424 North Nineteenth street, Philadelphia. Brick, 1 story, 25x65 feet, slag roof, pine floors, electric light. Contract awarded to John T. Allen, Woodbury, N. J.

**Residence**, N. E. corner of McCallum and Wellsley Road, Philadelphia, \$15,000. Architect, private plans. Owner, George W. Carson, 5601 Germantown avenue, Philadelphia. Stone, 3 stories, 39x24 feet, 1 story, 17x12 feet, hot water heat, electric light, hardwood and pine floors, slate roof, tile work. Contract awarded to Carson Bros., 5601 Germantown avenue, Philadelphia.

**Residence (add.)**, 2115 North Sixty-third street, Philadelphia, \$5,200. Architect, private plans. Owner, John V. Ramsden, on premises. Brick, 3 story addition, 26x26 feet.

Contract awarded to J. H. Hutt, 5919 Spruce street, Philadelphia.

**Residence**, east side of Camac street, south of Nedro avenue, \$5,000. Owner, P. A. Greenspan, 142 South Eleventh street, Philadelphia. Brick, 2 stories, 16x16 feet, 20x14 feet, hot water heat, electric light, hardwood and pine floors, slag roof. Contract awarded to Wm. Liss, 2618 South Sheridan street, Philadelphia.

**Church (alts.)**, Fourth street, south of Vine street, Philadelphia, \$10,000. Architects, Folsom & Stanton, 10 South Eighteenth street, Philadelphia. Owners, St. Augustine's R. C. Church, on premises. Changing vaults. Contract awarded to McCloskey Co., 1620 Thompson street, Philadelphia.

**Residences and Stores (2)**, 908-10 South Tenth street, Philadelphia, \$5,500 each. Architect, private plans. Owner, Angelo Sonow, 912 South Ninth street, Philadelphia. Brick, 3 stories, 15x33 feet, 12x12 feet, slag roof, hardwood and pine floors, electric light. Contract awarded to N. Anbercea, 730 Fulton street, Philadelphia.

**Garage and Storage**, N. W. corner of Tenth and Oak Lane ave., Philadelphia, \$4,500. Architect, private plans. Owner, Newton Jackson, on premises. Brick, 2 stories, 24x24 feet, slag roof, cement and pine floors. Contract awarded to J. A. Bradford, 7212 North Broad street, Philadelphia.

**Auto Sprinkler**, 526-28 Cherry street, Philadelphia, \$4,200. Architect, private plans. Owners, Horstman Uniform Co., on premises. Auto sprinkler. Contract awarded to Frank G. English & Son, 1610 North Carlisle street, Philadelphia.

**Business Building (alts. and Add.)**, 1633 Ranstead street, \$4,000. Architect, private plans. Owner, Edward Reid, 1619 Ranstead street, Philadelphia. Brick, 1 story, 30x12 feet, general alterations. Contract awarded to J. H. Hutt, 5919 Spruce street, Philadelphia.

**Stores (2)**, east side of Wayne avenue, north of Luray street, total \$3,000. Architect, private plans. Owner, Clara Knox, 4716 Wayne avenue, Philadelphia. Brick, 1 story, 18x30 feet, slag roof, pine floors. Contract awarded to Wm. K. Dyer, 4929 Knox street, Philadelphia.

**Garage**, north side of Chew street, east of Fifth street, Philadelphia, \$2,500. Architect, private plans. Owner, Henry Felt, 5631 North Fifth street, Philadelphia. Brick, 1 story, 46x18 feet, slag roof, cement floors. Contract awarded to Chas. R. Davis & Son, 1500 Emsworth street, Philadelphia.

**Store and Residence**, 2920 North Twenty-first street, Philadelphia, \$4,800. Architect,

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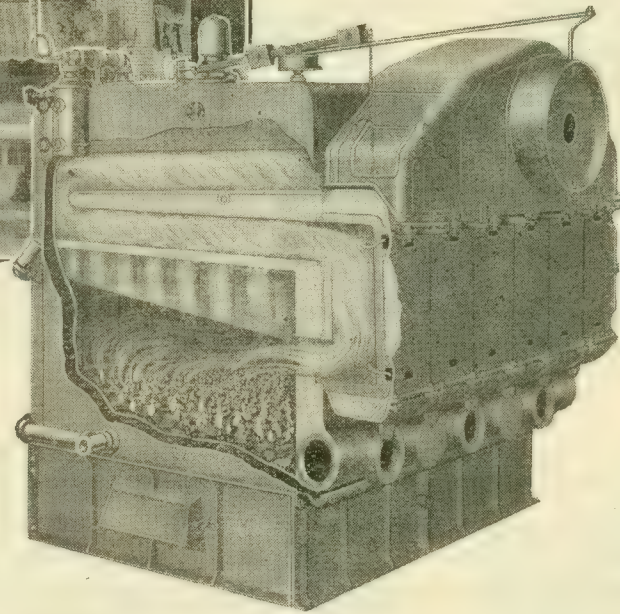
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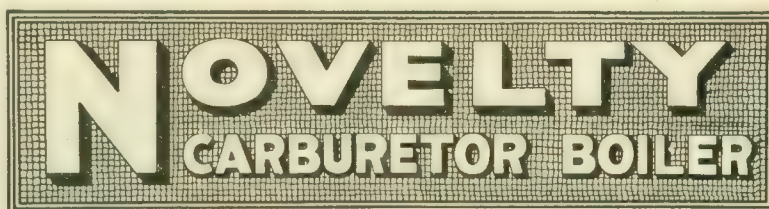
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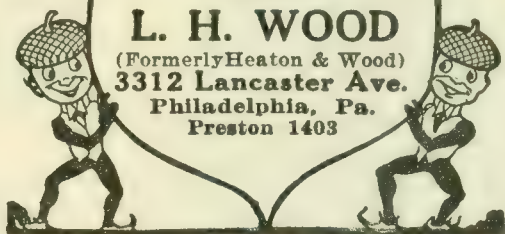
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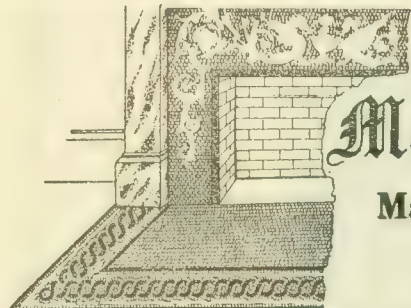
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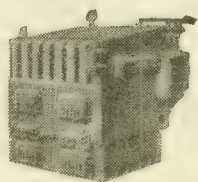
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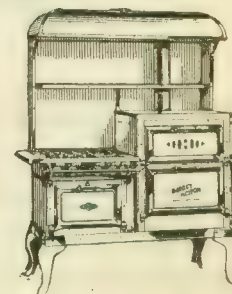
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private plans. Owner, Samuel Donozo, 2116 West Stella street, Philadelphia. Brick, 2 stories, 15x35 feet, 12x20 feet, hot water heat, electric light. Contract awarded to John Di Philip, 2920 North Van Pelt street, Philadelphia.

**Residences (7)**, west side of Germantown avenue, north of Manheim street, Philadelphia, \$4,000. Architect, private plans. Owners, Fader & Feinstone, Fifteenth and Locust streets, Philadelphia. Brick, 2 stories, 17x20 feet-65 feet, slag roof, hot water heat, electric light. Owners will build.

**Conservatory**, 6020 Overbrook avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Edward J. Flanagan, on premises. Stone and glass, 1 story, 18x25 feet. Contract awarded to Lord & Burnham Co., Land Title Building, Philadelphia.

**Building (alts.)**, 3609-13 North Broad street, Philadelphia, \$3,000. Architect, private plans. Owner, Herman Schlaugter, on premises. General alterations. Contract awarded to Samuel R. Detwiler, 1724 North Camac street, Philadelphia.

**Residence (add. and alts.)**, 536 North Fifty-fourth street, Philadelphia, \$3,000. Architect, private plans. Owner, A. Woelfert, on premises. Brick, 2 story addition, 14x15 feet, general alterations. Contract awarded to L. Rosengarten, 4742 Market street, Philadelphia.

**Store (alts.)**, 939 Market street, Philadelphia, \$2,500. Architect, private plans. Owner, Lewis Lefkoe, on premises. General alterations. Contract awarded to Paul Brosz, 2511 West Huntingdon street, Philadelphia.

**Garage (add.)**, 3024-28 North Sixth street, Philadelphia, \$3,000. Architect, private plans. Owner, Frank Landolfi, 3030 North Sixth

street, Philadelphia. Brick, 1 story addition, 38 feet 7 inchesx71 feet, slag roof. Contract awarded to P. Landolfi, 3030 North Sixth street, Philadelphia.

**Garage**, S. E. corner Fifty-sixth and Greenway avenue, Philadelphia, \$2,200. Architect, private plans. Owner, John McCullough, 424 North Sixty-third street, Philadelphia. Brick, 1 story, 23x63 feet, slag roof, cement floors. Contract awarded to Samuel A. Royers, 5312 Thompson street, Philadelphia.

**Parochial School (alts.)**, S. W. corner of Twenty-third and Lehigh avenue, \$2,000. Architect, private plans. Owners, St. Columba's R. C. Church, on premises. General alterations. Contract awarded to J. E. Houseworth, Thirtieth and Lehigh avenue, Philadelphia.

**Residence and Office (add.)**, N. E. corner of Peach and Master streets. Architect, private plans. Owner, Dr. G. Mason Ashley, on premises. Brick, 1 story addition, 7 feet 6 inchesx15 feet. Contract awarded to Mitchell Bros., 2125 Race street, Philadelphia.

**Garage**, 132 Federal street, Philadelphia, \$3,000. Architect, private plans. Owner, E. W. Giles, S. E. corner of Second and Federal streets, Philadelphia. Brick, 1 story, 30x60 feet, slag roof, cement floors. Contract awarded to L. Newton McMurtrie, 132 Eastbourne street, Philadelphia.

**Garage**, 5315-17 Chancellor street, Philadelphia, \$2,000. Architect, private plans. Owner, Millard F. Kennedy, 5332 Walnut street, Philadelphia. Brick, 1 story, 28x23 feet, slag roof, cement floors. Contract awarded to A. K. Cooper, 5232 Beaumont avenue, Philadelphia.

**Residence (alts.)**, 626 West Hortter street, Philadelphia, \$2,000. Owner, W. R. Harper,

on premises. General alterations. Contract awarded to E. Allen Reeves, Abington, Pa.

**Store**, Southwest Corner Newmarket and Poplar streets, \$2,000. Architect, private plans. Owner, Oscar Rosenbaum, 315 Real Estate Trust Building, Philadelphia. Brick, 1 story, 20x28 feet, pine floors, electric light. Contract awarded to N. Brendoline, 1412 South Fifteenth street, Philadelphia

## Pennsylvania Construction News

**Lodge Building (alts. and Add.)**, Norristown, Pa. Owners, Odd Fellows' Good Will Hall, Norristown, Pa. Brick, 4 stories, steam heat, oil burning equipt, electric light, new slag roof, pine and composition floors, plumbing, general interior painting and decorating. Plans in progress.

**Residences (2)**, Ardmore, Pa. Architects, DeArmond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, Robert H. Page, Jr., Lancaster avenue, Ardmore, Pa. Hollow tile, frame and stucco, 2½ stories, 31x31 feet, 28x36 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Architects taking sub-bids.

**Residence (alts.)**, Elkins Park, Pa. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, Howard A. Loeb, 431 Chestnut street, Philadelphia. Tile work, tin roof, oak and pine floors, plastering, painting and glazing, carpentry and mill work. Architects taking bids, due October 27.

**Bank**, Narberth, Pa. Architects, Boyd, Abel & Gugert, Otis Building, Philadelphia. Owners, First National Bank, Narberth, Pa. Architects taking bids, due October 24.

**Residence and Garage**, Rydal, Pa. Archi-

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tect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Frank B. Putt, 1318 Wake-ling street, Philadelphia. Stone, 2½ stories, 34x82 feet, 2 stories, 23x35 feet, shingle roof, hardwood, pine and cement floors, hot water heat, tile and marble work, electric lighting. Plans in progress.

**Residence (alts. and add.),** State street, Ephrata, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, I. Mentzer, Ephrata, Pa. Brick, 2 stories add., general alterations. Plans in progress.

**House and Garage,** Ardmore avenue and Tumbredn road, Haverford Township, Pa. Architects, Willing, Sims & Talbutt, Bankers' Trust Building, Philadelphia. Owner, Walter J. Hallahan, care of architect. Stone, cut stone, slate roof, oak and pine and cement floors, metal lath, tile and marble work, hollow metal sash, bond, ornamental iron work, limestone, flagstone, soapstone. Revised plans in progress.

**Fire House,** Mahanoy City, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Good American Hose Co., No. 3, Mahanoy City, Pa. Frame, clapboard, sheet rock lined, 2 stories, 42x70 feet, Joyce construction, concrete foundations, steam heat, electric light, asbestos shingle and tin roof, wood block floors. Plans about completed. Ready for bids in about a week.

**Church,** Ringtown, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. John's Lutheran Church, Rev. M. W. Krause, Ringtown, Pa. Architects selected.

**Factory (add.),** Lancaster, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Schutte Body Co., Lancaster, Pa. Reinforced concrete and steel, 2 stories, 80x150 feet, composition roof, maple floors, hollow tile, roof ventilators, waterproofing, dampproofing, heating extension,

electric light, metal lath, rolled steel sash, fire doors, iron stairs. Plans in progress.

**Y. M. C. A. Building (add.),** Pottstown, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Y. M. C. A. of Pottstown, care of G. T. Buxton, Pottstown, Pa. Brick, 2 stories, 40x80 feet, asphalt roof, maple floors, heating extension, electric light. Plans in progress.

**Rectory,** Pottstown, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Holy Trinity Roman Catholic Church, Rev. Zboyovsky, Pottstown, Pa. Brick, 3 stories, 42x32 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Bank,** Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, Keystone National Bank, J. Berbey, president, 622 Penn street, Reading, Pa. Steel, marble front, 1 story, 30x150 feet, composition roof, marble floors, hollow tile, roof ventilators, metal window guards, bronze work, ornamental iron work, bond, bank fixtures, rolled steel sash and skylights, metal lath, steam heat, electric light. Plans in progress. Architect will be ready for bids in three weeks.

**Bridge** over Schuylkill Canal above Bridgeport, Pa. Engineer, Warren Cressman, Norristown, Pa. Owner, County Commissioner, Montgomery County, Norristown, Pa. Reinforced concrete bridge. Plans completed. Work contemplated.

**Theatre, Store and Hotel,** Carlisle, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Belehas & Hemawel, William Penn Hotel, 327 Market street, Harrisburg, Pa. Brick, steel, stone, 3 stories, 60x160 feet, slag roof, hardwood and composition floors, hollow tile, steam heat, electric light, metal lath, tile work, copper work, iron stairs, ornamental iron work. Ar-

chitect will be ready for bids in one week.

**Residence,** Cedar road and Shady lane, Abington Township, Pa. Architect, William H. Wooters, 816 West Allegheny avenue, Philadelphia. Owner, Adolph Ancher, care of architect. Concrete block, mineral stucco, 2½ stories, 40x25 feet, wing 8x20 feet, asbestos shingle roof, hardwood and pine floors, hot water heat, electric light, cement work, plumbing. Plans completed. Architect taking sub-bids.

**Residence,** Lancaster, Pa. Architects, Hamme & Witman, City Bank Building, York, Pa. Owner, J. M. Hetrick, Woolworth Building, Lancaster, Pa. Stone, 2½ stories, 65x31 feet, 24x48 feet, slate roof, hardwood and tile floors, vapor vacuum heat, electric light, metal lath, tile and marble work. Owner taking bids.

**Auditorium, Apartment and Stores,** Ephrata, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owners, Owls' Home Association, care of architect. Brick, steel, 3 stories, 64x160 feet, composition roof, hardwood floors, safety treads, steam heat, electric light, metal lath, steel sash, iron stairs. Architect taking bids due October 26th.

**Retaining Wall,** South Prince street, Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owners, School Board of Lancaster, Prince and Lemon streets, Lancaster. Concrete, steel, 85 feet long, 8 feet high. Owners taking bids due October 31st.

**Dormitory,** Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Harrisburg Academy, care of Dr. Brown, 2900 North Second street, Harrisburg, Pa. Brick, stucco and reinforced concrete, 3 stories and basement, 33x111 feet, slate roof, hardwood and composition floors, cinder block, vapor heat, electric light, metal

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lath, rolled steel sash. Architects taking bids due October 26th.

**Publishing Plant,** King and Hanover streets, Pottstown, Pa. Architect, Arthur S. Kepner, 121 North Hanover street, Pottstown, Pa., and Johnson & Schuyler, 10 South Eighteenth street, Philadelphia. Owners, The Pottstown News, W. S. Binder, Pottstown, Pa. Limestone, concrete, steel, 2 stories, 71x90 feet, slag roof, cement floors, steam heat, electric light, tile and marble work. A. S. Kepner taking bids due November 1st.

**School,** Wallingford, Delaware County, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, School Board of Township Wallingford, Netherland Providence Township, Delaware County, Pa. Brick, hollow tile, cut stone, pre-cast stone, 2 stories and basement, slate roof, composition, maple and cement floors, painting and glazing (plumbing, heating, electric separate), metal lath, tin clad doors, bond, iron stairs, ornamental iron work. Owners taking bids due October 30th.

**Columbia Avenue School Building,** Coatesville, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Board of Education, Penrose N. Davis, secretary, Coatesville, Pa. Brick, reinforced concrete, steel, cut stone, 2 stories and basement, 91x45 feet, slate roof, N. C. pine floors, plumbing, wrought iron pipe, steam heat, electric light, metal lath, bond, ornamental iron work, dampproofing. Owners taking bids due October 25th, 8 P. M.

**Post Office Building,** Pittston, Pa. Architect, James A. Wetmore, Acting Supervising Architect, Treasury Department, Washington, D. C. Owners, United States Government, Treasury Department, Washington, D. C. Brick and tile, 1 story, 98x76 feet, mechanical equipment. Architect taking bids due November 10th at 3 P. M.

**School Building,** Logan street, Pear and Pond streets, Bristol, Pa. Architects, Rex Stackhouse and W. W. Donohue, 1120 Locust street, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. Isadore Jenne, Bristol, Pa. Brick, cut stone, cast stone, steel, 2 stories and basement, 81x50 feet, slate roof, composition and pine floors, electric light, metal lath, tile and marble work, rolling steel sash, metal weatherstrips, bond, ornamental iron work, dumb waiters. Architects taking bids due October 27th at 10 A. M.

**Store Building,** Lackawanna avenue, Scranton, Pa. Architect, G. N. Edson, Scranton, Pa. Owners, Household Outfitting Co., Scranton, Pa. Brick, limestone, granite, steel, 8 stories and mezzanine and basement, 76x105 feet (plumbing, heating, electric, elevators, sprinkler system separate bids), Barrett's specification roof, cement and pine floors, hollow tile, metal weatherstrip, metal ceilings, shoring, terra cotta coping, iron stairs, bond, kalamein doors, rolled steel skylights, tile

work, metal lath. Architect taking bids due October 23rd.

**Road Work,** Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Owners taking bids due November 3rd at 10 A. M.

Cambria County, R-221, A-2411-3134-3135, Chest Spring Borough, Clearfield Township, 26,617 feet. One course reinforced concrete. Certified check, \$4,000.

Elk-McKean Counties, R-97, Jones, Wetmore Townships, Kane Borough, 45,232 feet. Either bituminous surface course on concrete foundation or one course reinforced concrete. Certified check, \$4,000.

Perry County, Route 275, Watts, Buffalo and Howe Townships, 53,578 feet. Grading and drainage. Certified check, \$4,000.

Tioga County, A-3177, Jackson Township, 5,354 feet. One course reinforced concrete. Certified check, \$1,000.

Wyoming County, R-241, Washington and Meshoppen Townships, Meshoppen Borough, 26,546 feet. One course reinforced concrete. Certified check, \$4,000.

**Bridge,** Route 231, Station 201, over White Run, Mt. Pleasant Township, Adams County, Pa. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Reinforced concrete, T-beam, 40 feet long, 11 feet high, 24 feet roadway. Certified check, \$1,000. Owners taking bids due November 3rd at 10 A. M.

**Road Work,** Pennsylvania. Owners, State Department of Highways, Harrisburg, Pa. Low bidders on work opened October 14th:

Allegheny County, R-70, Tarentum Borough, 3,938 feet. One course reinforced concrete. Rinehart Brothers, East Liverpool, Ohio. \$56,318.75.

Beaver County, R-204, Chippewa Township, 3,491 feet. One course reinforced concrete. E. A. Freshwater & Sons, Chester, W. Va. \$33,783.65.

Clarion County, A-1928-1930, Edenburg Borough, 2,235 feet. One course reinforced concrete. Standard Paving & Cont. Co., Chicago, Ill. \$28,683.40.

Lancaster County, R-136, East Drumore, Little Brittain and Fulton Townships, 47,424 feet. One course reinforced concrete. W. Grant Raub, Red Lion, Pa. \$440,517.46.

Mercer County, R-206, A-3203, Jamestown Borough, 1,342 feet. One course reinforced concrete. H. E. Bunce, Rinesville, Pa. \$12,107.42.

Monroe County, R-169, A-2503, Pocono and Paradise Townships, 6,783 feet. One course reinforced concrete. Lane Const. Co., Meriden, Conn. \$76,014.10.

Somerset County, R-50, A-3137, Lower Turkeyfoot and Addison Townships, 14,028 feet. One course reinforced concrete. A. W. Hinaman, Mansfield, Pa. \$126,730.05.

York County, A-550, Fawn Grove Borough, 6,143 feet. One course reinforced concrete. Fred E. Fish, Elkton, Md. \$64,075.39.

Low bidders on work opened October 15th:

Contract 31, Blackbird to Ginns Corner, 1.777 miles. George & Lynch, Dover, Del. \$55,127.

Contract 49, Dupont road to Ellendale, 0.84 mile. Highway Engineering & Const. Co., Selbyville, Del. Stone concrete-stone base course, \$27,523.20; slag base course, \$27,503.20. Slag concrete-stone base course, \$26,785.70; slag base course, \$26,765.70.

Contract 50, West Corner to Lewes Crossroads, 1.10 miles. Old Line Const. Co., Chestertown, Md. Stone, \$45,918.50; slag, \$45,284.50.

Contract 51, Georgetown to Bridgeville road, 0.966 mile. Highway Eng. & Const. Co., Selbyville, Del. Stone concrete, \$33,135; slag concrete, \$32,451.

Contract CN-23, Biddles Corner to Port Penn, 3.94 miles. E. Riley Mixner, Goshen, N. J. Stone concrete, \$158,299; slag concrete, \$158,299.

Contract M-9, precast concrete guard rail posts. Smyrna Concrete Products Co., Smyrna, Del. \$2,940.

## Pennsylvania

### Contracts Awarded

**Residence and Garage,** Wallingford, Pa. Architects, Bunting & Shrigley, 603 Chestnut street, Philadelphia. Owner, Mrs. Jos. Swain, Swarthmore, Pa. Brick, cut stone, 2½ stories, 40x48 feet (heating electric fixtures, hardwood floors reserved), electric light, tile work, slate roof pine floors, plumbing, wrought iron pipe, kalamein doors, bond, ornamental iron work. Contract awarded to J. W. Worriolow, Media, Pa.

**Road Work,** Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa.

Washington County, Route 268, Appli. 2932, East Pike Run Township, California Borough, 2126 feet. One course reinforced concrete, \$42,997.80. Contract awarded to Petriello ros., South Brownsville, Pa.

**Hospital,** Williamsport, Pa. Architects, Stearns & Woodnutt, Stephen Girard Building, Philadelphia. Owners, Williamsport Hospital, Williamsport, Pa. Brick, steel concrete, cut stone, 7 stories, 44x180 feet, slag roof (heating, plumbing, electric elevators, finishing floors separate bids), steam heat, electric light, metal lath, tile and marble work, fire doors, ornamental iron work, hollow tile, concrete floors, (2) electric elevators. Contract awarded Jacob Geheron Co., Williamsport, Pa. Heating, E. Keller, Williamsport, Pa. Plumbing, W. T. Reed, Williamsport, Pa. Electric, The Prior & Salada Co., Williamsport, Pa.

**Bank and Office Building,** Main and Swede streets, Norristown, Pa., \$600,000. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Norristown Penn Trust Co., care of Penn Trust Co., on premises.

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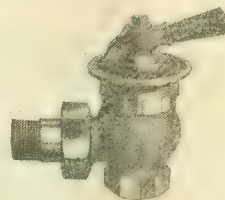
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**School**, Bethlehem, Pa. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, St. Cyril and Methodius Roman Catholic Church, Rev. Francis J. Velssak, 617 Pierce street, Bethlehem, Pa. Brick, stone, 2 stories and basement, 63x102 feet. Contract awarded F. B. Glassmire, Bethlehem, Pa.

**Residence and Garage**, "A," Cynwyd, Pa. Architect, Ralph Goldberg, 10 South Eighteenth street, Philadelphia. Owners, Barney F. Winkelman and Edward Davis, care of architect. Hollow tile, stucco, 3 stories, 25x45 feet, 1 story, 20x24 feet, shingle roof; oak and pine and linoleum floors, vapor heat, electric light, tile and marble work. Contract awarded Alex. Voight, 6100 North Tenth street, Philadelphia.

**Jail and Garage**, Ardmore, Pa., \$38,500. Architects, Zantzing, Borie & Medary, Otis Building, Philadelphia. Owners, Commissioners of Lower Merion Township, Ardmore, Pa. Limestone, reinforced concrete, brick, steel, cut stone, 1 story, 200x29 feet, slag and slate roof, cement floors, metal window guards, metal lath, rolling steel skylights, steel and kalamein doors, bond, metal, ornamental iron work, bluestone. Contract awarded Fred A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Store and Office**, Reading, Pa. Architect, F. H. Muhlenberg, Ganster Building, Reading, Pa. Owners, C. Breneiser & Sons, Seventh and Penn streets, Reading, Pa. Fireproof, steel, 3 stories, 45x60 feet, composition roof, maple floors (heating, plumbing and electric reserved), metal lath, bronze. Contract awarded to D. H. Hunter, 820 North Eleventh street, Reading, Pa.

**Stable**, near Lancaster, Pa. Architect, M. R. Evans, 10½ East Orange street, Lancaster, Pa. Owner, H. Eshelman, Lancaster, Pa. Frame, 2 stories, 60x45 feet, shingle roof, pine floors, electric work. Contract awarded to A. C. Sheetz, East Petersburg, Pa.

**Bank**, Market and Highland avenue, York, Pa. Architects, Simons, Brittain & English, Pittsburgh, Pa. Owners, New York Industrial Bank, Zach. Lane, president, York, Pa. Indiana limestone, fireproof, 1 story, 40x90 feet, hollow tile, metal window guards, electric light, metal lath, tile and marble work, bronze work, bank fixtures, ornamental iron work. Contract awarded to Simons, Brittain & English, Pittsburgh, Pa.

**Residences (4)**, Duell Tract, Meadowbrook, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Wayne Harkness, Land Title Building, Philadelphia. Stone, brick, stone whitewashed, 2½ stories, hardwood and pine floors, electric light, tile work. Contract awarded Roy Randall, Jenkintown, Pa.

**Apartment and Store (alts. and add.)**, Second street, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg,

Pa. Owner, A. Blake, 225 North Second street, Harrisburg, Pa. Brick, 1 story, 35x75 feet, slag roof, maple floors, city steam heat, electric light, tile and marble work, interior alterations. Contract awarded to H. A. Hipple, Harrisburg Bank Building, Harrisburg, Pa.

**Residence**, Swarthmore, Pa. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owner, Samuel H. Day, care of architect. Contract awarded G. W. Gregory, Swarthmore, Pa.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa.

**Armstrong County**, R-214, A-2981, Brady's Bend Township, 6,661 feet. One course reinforced concrete. \$68,297.20. Contract awarded to Cooper Const. Co., Clymer, Pa.

**Lackawanna County**, R-5, Lackawanna Township and Moosic Borough, 18,997 feet. One course reinforced concrete. \$237,611.50. Contract awarded to Public Service Production Co., Newark, N. J.

**Bridges**, Nos. 0-39, 0-40, North of Big Mine Run Junction, Pa. Owners, Philadelphia & Reading, Twelfth and Market streets, Philadelphia. Stone and concrete. Contracts awarded: Masonry, C. H. Reimard, Bloomsburg, Pa.; waterproofing, Martin & Breen, 1613 Sansom street, Philadelphia.

## New Jersey Construction News

**Bank Building**, Haddon and Kaighn Avenues, Camden, N. J. Architect, Simon & Ciments, 240 S. Juniper Street, Philadelphia. Owner, Parkside Trust Co., A. L. Sayers, Camden, N. J. Brick and steel, 1 story and basement. Preliminary plans in progress.

**Store (add.)**, State Street, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton, N. J. Owner, H. M. Voorhees & Bro., 131 E. State Street, Trenton, N. J. Brick, steel, 4 stories, 60x40 feet, slag roof, pine floors, hollow tile, steam heat, electric light, metal lath, rolled steel sash, plate glass, cement work, iron stairs. Plans in progress.

**Church**, Audubon, N. J. Architect, F. R. Watson, 1211 Walnut Street, Philadelphia. Owner, Logan Memorial Presbyterian Church, Rev. C. Kane, Audubon, N. J. Stone, 1 story and basement; 40x70 feet. Preliminary plans in progress.

**Church**, Florence, N. J. Architects, W. W.

Slack & Son, St. Regis Building, Trenton, N. J. Owners, First Baptist Church, Rev. C. Engle, Florence, N. J. Brick, 1 story, basement and gallery, 50x115 feet, Spanish tile

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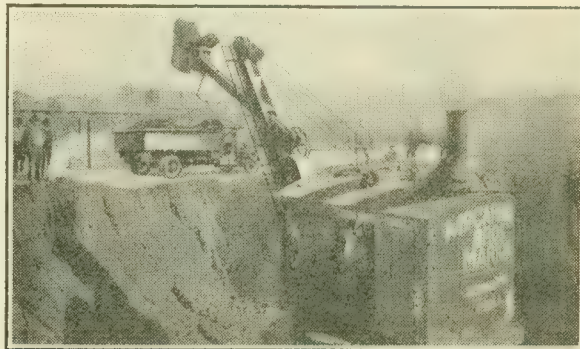


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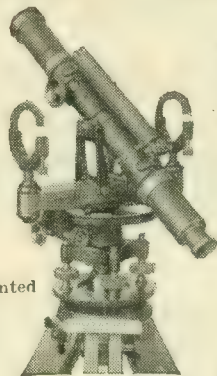
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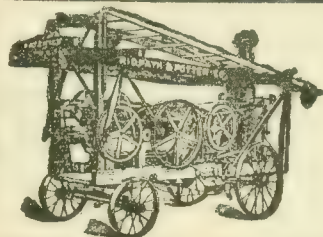
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roof, nine floors, electric light. Plans in progress.

**Residence**, Margate Park, N. J. Architect, C. H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owner, Captain Arthur Cranston, 110 Lincoln Avenue, Atlantic City. Cinder block, 2½ stories, 22x36 feet, asphalt roof, pine floors, hot water heat, electric light, tile work. Plans in progress.

**Residence**, Margate Park, N. J. Architect,

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C. H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owner, Chas. V. Rosevear, 3603 Winchester Avenue, Atlantic City. Cinder block, 2½ stories, 22x36 feet, asphalt shingle roof, pine floors, hot water heat, electric light, tile work. Plans in progress.

**Apartment**, 210 Atlantic Avenue, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Freeman & Kauffman, care of Architect. Brick, 3 stories, 89 feet 6 inchesx37 feet 4 inches, slag roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residences (2)**, 1340-42 Van Hook Street, Camden, N. J., \$10,000. Architect, Private plans. Owner, Costanza Bros., 1338 Sheridan Street, Camden, N. J. Brick, 2 stories, 16x51 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residence**, Trenton, N. J., \$5,000. Architect, private plans. Owner, Charles J. Palant, 1148 Hamilton Street, Trenton, N. J. Frame, 2½ stories, 16x68 feet, slate roof, pine floors, electric lighting. Owner will build.

## New Jersey Contracts Awarded

**Storehouse and (2) Garages (add.)**, 1451 Broadway, Camden, N. J., \$6,000. Architect, private plans. Owner, Frank Leonard, 1449 Broadway, Camden, N. J. Brick, 2 stories, 20x22 feet, 1 story, 9x20 feet, 1 story, 6x20 feet, slag roof, hot water heat, electric light. Contract awarded to Bezahl & Schulke, 348 Kaighn avenue, Camden, N. J.

**School**, Plainfield, N. J., \$200,000. Architect, John T. Rowland, Jersey City, N. J. Owner, Board of Education, Plainfield, Union Co., N. J. Brick, steel, 3 stories and basement, 16x87 feet, Barrett Specification roof, maple and cement floors, dampproofing, ornamental iron work, bond, linoleum floors, tile and marble and terrazzo work, metal lath. Contract awarded Woodland Const. Co., 65th and Chester Ave., Philadelphia.

**Hotel (add.)**, Atlantic City, N. J. Architect, Wm. Macy Stanton and Stanley P. Stewart, 1524 Chestnut St., Philadelphia, Pa. Owner, Hotel Iroquois, Atlantic City, N. J. Brick, steel, concrete, cut stone, 7 stories, 90x40 feet, tile roof, hardwood floors, hollow tile, tile and marble work, (steam heating, electric light, plumbing, elevators reserved). Contract awarded S. D. Headley, Guarantee Trust Building, Atlantic City, N. J.

**Comfort Station**, Pleasantville, N. J. Architect, Bertram Ireland, Guarantee Trust Bldg., Atlantic City, N. J. Owners, City

of Pleasantville, care of City Council, Pleasantville, N. J. Brick, stucco, 1 story, 27x50 feet, Spanish tile roof, tile floors, (heating, plumbing and electric work, reserved) tile and mangle work. Contract awarded to Samuel Headley, Guarantee Trust Building, Atlantic City, N. J.

**Office Building (alts. and add.)**, 229-33 Federal Street, Camden, N. J. Architect, Lackey & Hettle, 5 Hudson Avenue, Camden, N. J. Owner, "Camden Daily Courier," on premises. Brick, steel, slag roof, composite roof, plumbing, ainting and glazing, hardware, concrete work, kalamiein doors, bond, iron stairs, ornamental iron work, wrought iron ie. Contract awarded H. Fearn, 44th and Westfield Avenue, Camden, N. J.

**Residences (10)**, 1244-62 Dayton Street, Camden, N. J. Architect, Joseph Costanza, 1338 Sheridan St., Camden, N. J. Owners, Katz & Young, Inc., 325½ Kaighn Avenue, Camden, N. J. Brick and concrete block, 2 stories, 18x34 feet, slag roof, hot air heat, electric light (roofing reserved). Contract awarded to Costanza Bros., 1338 Sheridan Street, Camden, N. J.

**Fire Station (alts. and add.)**, Maryland and Atlantic Avenues, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owners, City of Atlantic City, Commissioner Kuehne, City Hall, Atlantic City, N. J. Partitions, tile and marble work (heating, plumbing, and electric separate bids.) Contract awarded to Lam Bldg. Co., Humphrey Building, Atlantic City.

**Apartment and Store (alts. and add.)**, 6516-18 Ventnor Avenue, Atlantic City, N. J. Architect, D. A. Rosenstein, Humphrey Building, Atlantic City, N. J. Owner, D. Rabinovitz, care of Architect. Brick, 3 stories, slag and slate roof, hardwood floors, partitions, heating extension, electric light, tile work, general alterations. Contract awarded to C. Dougherty, Pleasantville, N. J.

## Miscellaneous Construction News

**Apartment House**, Location Withheld. Architect, William L. Charr, 149 S. 4th Street, Steel, concrete, 12 stories and basement, 50x112 feet. Work contemplated.

**Church**, 10th and Dupont Streets, Wilmington, Del. Architect, Gleason Mulrooney & Burke, 404 S. Broad Street, Philadelphia. Owner, St. Anthony de Padra Church, the Very Rev. J. Francis Tucker, Wilmington, Del. Stone (basement), slag roof. Preliminary plans in urogress.

**Store (alts.)**, Brooklyn, N. Y. Architects, J. Lubroth, 2210 Bath Avenue, Brooklyn, N. Y., and D. A. Rosenstein, Humphrey Building, Atlantic City, N. J. Owners, Silver & Bros. Co., 130 Fifth Avenue, New York City. Copper work, plate glass, tile and marble 2 stories and basement building, noramental iron work. D. A. Rosenstein, of Atlantic City, ready for bids on interior work.

**Kitchen Building**, Maggie, West Virginia. work, elevators, safety treads, alterations to Architects, Paul A. Davis, 3rd, Dunlap & Barney, 1805 Walnut Street, Philadelphia. Owner, Hospital for Insane, care of State Board of Control, J. S. Lakin, Chairman, Building Committee, Charleston, W. Va. Owner taking bids due November 10th.

**Chapel Auditorium**, College Building (East Wing Add), Woodstock, Md. Architect, Emil G. Perrot, 1211 Arch St., Philadelphia. Owner, Woodstock College, Woodstock, Md. Slate roof, concrete floors, steam heat, electric light, tile and marble work. Architect taking bids due Oct. 24th.

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#### *Individual Judgment Needed*

In using percentage such as those given in the rental schedule above, there is danger unless the conditions under which the equipment is to work are carefully investigated.

To illustrate: If the values here given for a standard-gauge shovel outfit were applied to such an outfit engaged constantly in excavating hard rock, the probability is that the charges allowed would not cover the expense. Frequent dokey shots and the dropping of heavy boulders into cars entail a higher rate of depreciation and repairs than is given in the schedule. On the other hand, if this shovel outfit were steadily engaged in digging sandy loam, the values given in the table would probably cause the equipment charge to contain an element of profit.

Such a rental schedule sums up the experience of typical firms, and its value to others depends upon the individual judgment used in interpreting it in the light of the circumstances surrounding any particular job.

The following is a form of Weekly Unit Cost Report employed by a large construction company, for the various features of the contract. Note the comparison of actual unit costs with estimates. See Form 5, previous page.

In connection with the foregoing weekly report, the Summary Cost Report of the following general description may be used. See Form 6, previous page.

Form 6 may be subdivided into three forms if it is not desirable to show the time, cost and profit trends on one report.

One great secret of success in the construction industry is to make the estimate work for you. The estimate represents the task undertaken by the organization and it is up to everyone in the organization to see to it that the work is completed within the limits therein set down. In this connection, for the information of contractors who are not familiar with it, the Building Estimate Summary of the Associated General Contractors of America is reproduced on this page.

The other day a prominent local architect called up to inquire regarding a concern that has not advertised with us for two years. "I saw their ad. some years ago in the Guide," said the architect, "and am unable to recall just where they are located." We gave him the address and learned subsequently that as a result the firm bagged a big order. How many similar orders, from architects who wouldn't take the trouble to look them up, that same concern has missed in the course of the past two years it would interest us to know.

### Form 7—Building Estimate Summary Sheet

Class of Work	Amount
Wrecking, Moving and Clearing Site	
Temporary Construction—Office, Sheds, etc.	
Excavation, Grading, Backfill and Special Fill	
Foundation Support—Piles, Caissons, Cribbs	
Shoring, Sheeting—Temporary, Permanent	
Underpinning—Temporary and Permanent	
Water Lines, Gas, Drains, Sewers, Conduits	
Paving, Curbs, Sidewalks and Drives	
Concrete—	
Concrete Surfacing and Cement Work	
Concrete Forms—Wood, Metal; Metal Arches	
Reinforcing Rods and Mesh; Metal Inserts	
Concrete Block	
Common Brick	
Face Brick	
Fire Brick; Flue Lining and Special Brick	
Hollow Tile—Load Bearing and Partition	
Terra Cotta Fire Proofing—Arch, Furring, etc.	
Gypsum Block—Lintels, Furring, Book Tile	
Water and Dampproofing	
Architectural Terra Cotta	
Artificial Stone	
Cut Stone—Lime, Sand, Blue, Etc.	
Exterior Marble and Granite	
Structural Steel and Iron	
Metal Lumber	
Stacks—Metal, Brick, Concrete	
Ornamental and Miscellaneous Iron	
Iron Doors, Gates and Shutters	
Vault Lights	
Metal Store Fronts	
Bronze and other Art Metal	
Lumber. Wall Board and Rough Carpentry	
Insulation and Sound Proofing	
Millwork and Finished Carpentry	
Special Cabinet, Panel, Stair and Door Work	
Artwood Floors—Parquetry	
Rough Hardware	
Finished Hardware	
Roofing—Non-metal, slate, tile, composition	
Sheet Metal Work, Plain; and Metal Roofing	
Pressed Sheet Metal—Ceilings, Panels, etc.	
Metal Furring, Lathing, Corner Beads, Grounds	
Plastering—Plain Ornamental; Plaster Board	
Stucco	
Imitation Marble and Stone, and Scagliola	
Interior Marble, Slate, Stone, Carrara Glass	
Tile, Mosaic and Terrazzo	
Composition, Cork, and Patented Floors	
Kalamein and Other Fire Doors and Windows	
Hollow Metal Doors, Windows and Trim	
Steel Sash and Partitions	
Caulking	
Weather Strips	
Glass and Glazing	
Priming and Painting	
Decorating	
Plumbing and Gas Fitting	
Electrical Wiring	
Electrical Fixtures	
Heating and Ventilating; Boiler Setting	
Elevators, Dumb-waiters, Hoists; Controls	
Elevator Doors and Enclosures	
Mail Chutes	
Pneumatic System	
Vacuum System	
Refrigeration System; Refrigerators	
Sprinkler System	
Tanks	
Vaults and Vault Doors	
Revolving Doors	
Awning, Shades and Blinds	
Fly Screens	
Floor Coverings	
Special Equipment not otherwise listed	
Special Interior Fixtures	
Landscape-Leveling, Sodding, Planting	
Job Overhead—Equipment, Fees, Permits, Etc.	
Compensation, Liability, Contingent Insurance	
Total Cost—Labor, Material, Sub-bids	
Margin and Profit	
Bond	
Amount of Bid	



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October 29, 1924

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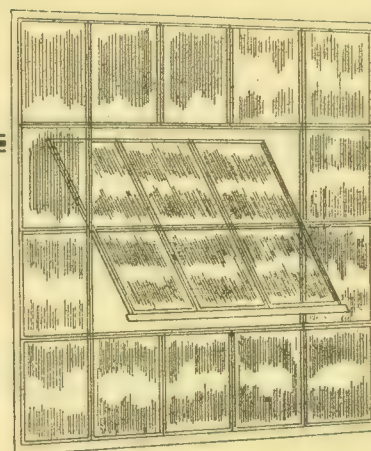
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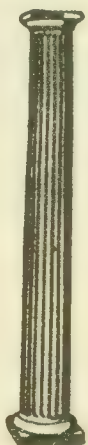


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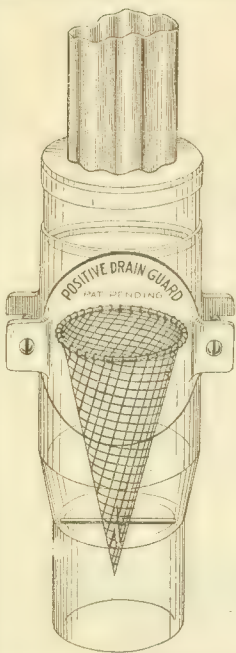
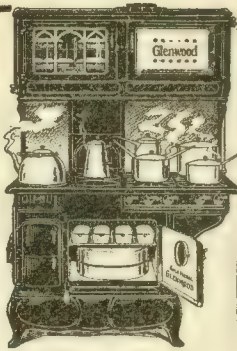


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Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 44

PHILADELPHIA  
October 29, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### SEMI-ANNUAL STATEMENT BY AMERICAN CONSTRUCTION COUNCIL

Through Its President FRANKLIN D.  
ROOSEVELT

THE semi-annual statement of the American Construction Council covering the present situation as regards the construction industry, was made public recently through its President, Franklin D. Roosevelt. The statement is as follows:

"In making public its semi-annual review of conditions affecting the construction industry nationally, the American Construction Council finds as the outstanding feature at this time a growing insistence on the part of the building-investing and home-owning public for better quality of construction and greater responsibility in financing and in other phases of building operations.

"This increasing demand for better building, a movement which the Council sponsored on a national scale last Spring, is accompanied by a general undertone of increasing confidence as to greater stability in the construction industry throughout the country as a whole. While it is not possible to say that construction is actually on a stable basis, a more favorable trend than has existed for the past several years is indicated in this regard both by the volume of operations and by the type of new work coming out.

"There has not been the marked seasonal decline appearing so noticeably in the past with the coming of the Fall and Winter months. On the contrary the amount of new work contracted for and begun has held up for this time of the year unusually well. This shows a very favorable response on the part of the public to the general movement to promote the scheduling of building operations so as to take advantage of the relative slack in materials and labor during the Fall and Winter months, which has been frequently urged by the Council, the Federal Department of Commerce, the Building Congresses in various communities, and others. Undoubtedly the slowing down of speculative building, which curtailment the Council has urged both as a steadying influence in construction activities and as a phase of better building in general, has done much to make this possible.

"Even a more significant fact stands out as to the present type of building operations. There is a larger ratio of commercial and industrial structures contracted for than has been seen for some time, showing a tendency towards greater confidence on the part of business generally and particularly as to its willingness to go ahead with investment in buildings for its own use. Residential construction is still going forward in large volume in some districts but it appears to be of a better average type in most sections than has recently existed. There

has been a small recession in cost. Outlying districts and the smaller communities are sharing more largely in the work now under way than they have for some time in the past, another indication of the beneficial results being secured through the steadying and bettering of operations in the industry.

"The impetus already given to the movement for better building in general and against the purely speculative and questionable type of housing and other undesirable projects in particular is being given permanent direction through the Council's special committee on better building whose primary purpose is to bring the public to a realization of the real business of building and a general adoption of the principles of better building in all of its phases. While the Council is therefore happy to report that the favorable trend already noted as being under way with regard to the construction of both business structures and homes augurs well for the country at large, it is imperative to note that the securing of the desirable ends to be gained depends upon an intelligent and widespread appreciation and application of the necessary correctives.

"A similar need for a better conception and use of the fundamental principles and processes of construction is to be seen also in the field of engineering construction in the larger sense, in which fall such types of work as power plants and similar field projects, highway con-

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struction, public carriers and the like. In the promotion and prosecution of such projects account must be taken of all the elements in construction—from financing, design and engineering on through management, materials and labor—that enter into the problem as it affects building construction itself as already pointed out by the Council last Spring.

"In this connection it seems advisable to call attention to the importance of adequate and proper construction of national highways in the development of the industry and commerce of the country. With the constantly increasing scope and complexity of transportation for both business and pleasure purposes, the necessity for adequate and proper highways of the right type is becoming more and more urgent as an economic problem of first magnitude for the country at large.

"Equally important is the proper conservation of the timber resources of the nation. This question enters with regard both to better building and efficient conduct of construction generally and to the permanent continuance of an adequate supply of lumber of good quality. Constructive attention should therefore be given to the demands being made upon the nation's timber resources and the most efficient utilization of lumber in the actual work of construction, and the beneficial measures being taken toward this end by the lumber industry of the country should receive general support.

"The above constitute the Council's general survey of conditions to which it desires to call the attention of the public at this time. The Council recommends in viewing the situation as a whole that the following specific measures be borne in mind by all those interested in any way in construction as it relates to both buildings and engineering projects:

1. "That all who have to do with construction—from financing and design on through materials, management and labor—take specific steps not only in their own lines as such but in co-operation with the other elements of the industry to further eradicate, as already recommended by the Council, the evils arising out of the large percentage of construction of inferior quality and unsound financing. In addition to making a general survey of conditions through its general committee on better building and recommending correctives where deemed necessary, the Council has placed its resources in this entire work at the disposal of the public.
2. "That with the approach of the Fall and Winter season all who contemplate construction of any kind give serious consideration to the scheduling of such work so far as possible at any early date in order to take

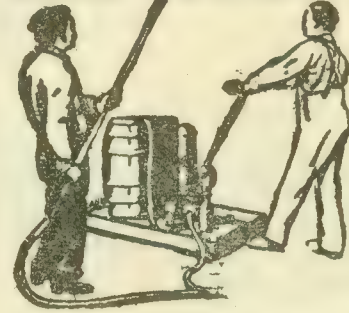
advantage of the relative slack in demand for materials and labor during the winter months. This will not only facilitate the progress of construction during the winter season but will also assist in getting ready for work later and thus help in maintaining construction activities on a more even keel. The carrying on of maintenance and repair work during the so-called slack season, as repeatedly urged by the Council, will also do much to help in steadying construction activities and at the same time lengthen the working period thus extending the active season without overlapping or congestion. Custom, not climate, is mainly responsible for seasonal idleness in the Construction Industry, as pointed out by the Committee on Seasonal Operation in the Construction Industries of the President's Conference on Unemployment. The Council supports the various constructive recommendations of this Committee. Undoubtedly the building public is coming to an increasing recognition of the advantages of all-year construction but there still exists the need for ascertaining the facts as to specific procedure and for having such facts readily available.

3. "That the Building Congresses in various communities be encouraged and extended and new ones be organized wherever possible. These Congresses represent the same idea for their respective localities that the Council does for construction industry nationally and as such are the agencies that come before the public in these localities for the purpose of organizing and administering the various activities in their community aspects. It is the opinion of the Council that these local get-together associations are essential in the work of bringing conditions in the industry to the attention of the public and securing the adoption in actual practice of the measures needed to remedy undesirable conditions. The Council therefore supports the local Congresses as a part of the general movement to promote responsibility and intelligent co-operation on the part of all persons interested in construction and thereby secure the basis for insuring very practical benefits to the industry generally and to the public."

In commenting upon the Council's recently concluded meeting, at which this statement was formulated, as the largest and most successful that the Council has yet held Mr. Roosevelt said, "We have given to the public through the newspapers of the country every six months

(Continued on page 703)

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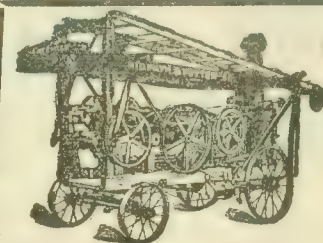
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**Residences (75)**, Sixty-fifth, Buist avenue and Theodore street, \$300,000. Architect, private plans. Owner, John H. Dart, Jr., 913 Lincoln Building, Philadelphia. Brick, 2 stories, 16x32 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Store and Office**, Northeast Corner Thirteenth and Race streets, Philadelphia, \$20,000. Architect, private plans. Owner, Sol. Hoskins, 400 South Sixtieth street, Philadelphia. Brick, 2 stories, 50x60 feet, steam heat, electric light, slag roof, pine floors. Owner will build.

**Garage and Stable**, North side of Ludlow, East of Forty-eighth street, Philadelphia. Architect, William Lowenthal, 1208 Chestnut street, Philadelphia. Owners, Quaker City Laundry, on premises. Brick, slow burning, steel girders, 1 story, 42x100 feet, 35x51 feet, slag roof, cement and pine floors, steam heat, electric light, hollow metal skylights. Plans in progress. Will be ready for bids November 1st.

**Gym, Social Hall and Kitchen**, Camac and Wyoming avenue, Philadelphia. Architect, J. W. Neff, 2006 North Sixty-first street, Philadelphia. Owners, Third United Brethren Church, care of Mr. Snoke, Quaker Lace Co., Fourth and Lehigh avenue, Philadelphia. Owners taking bids due November 1st.

**Apartment House**, Germantown, Philadelphia. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, name withheld. Brick, stone, steel, concrete, 3 stories and basement, will contain 40 apartments, steam heat, electric light, tile work, hardwood floors. Plans about completed.

**Store and Apartments (alts. and add.)**, 302 South Fifty-second street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. Chandler, on premises. Plans ready for bids.

**Bryant School (add.)**, Sixty-ninth and Cedar avenue, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. General construction, plumbing, heating, electric and ventilation. Owners taking bids due November 6th at noon. **Various Schools**, general repairs, electric light, hardware, etc.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Furnishing and planting trees, furnishing and renewing outdoor play apparatus on Funfield Recreation Center, Twenty-second and Sedgley, Philadelphia. Owners taking bids.

**Garage**, Fifth and Erie avenue, Philadelphia. Architects, Mills & Van Kirk, Harrison Building, Philadelphia. Owner, Charles M. Kolb, care of architect. Cement, brick, steel and concrete, 2 stories and basement. Plans completed.

**Store and Apartment**, 6206 Germantown avenue, Philadelphia. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owner, Russell Blood, on premises. Brick, 3 stories. Plans in progress. Too early for details.

**Warehouse**, North side of Walnut, West of

Fortieth street, Philadelphia. Architect, George S. Kingsley, 109 North Dearborn, Chicago, Ill., and New York City. Owners, Atlas Storage Co., Walter E. Sweeting, Thirty-seventh and Market streets, Philadelphia. Brick, concrete steel, size and stories not determined. Architect selected. Plans have not yet been started.

**Store (alts. and add.)**, 1906 Germantown avenue, Philadelphia. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, Frank V. Graham & Co., on premises. General alterations and additions. Plans completed. Owners have selected builder.

**Stella Apartment**, 4629 Kingsessing avenue, Philadelphia. Architect, H. W. Goddard, 1624 Chestnut street, Philadelphia. Owner, T. J. Whelan, Twentieth and Chestnut streets, Philadelphia. Limestone brick, 4 stories, 50x122 feet, slag roof, hardwood floors, hot water heat, electric light, tile and marble work, will contain 12 apartments, kitchen and laundry equipment, Murphy beds, stone foundations, cast stone. Owner will build and is taking sub-bids. Work to be started in three weeks.

**Stores (4), Apartments**, Southwest Corner Thirty-ninth and Walnut streets, Philadelphia. Architect, E. L. Rothschild, Bankers Trust Building, Philadelphia. Owners, Thirty-ninth and Walnut Streets Corporation, care of architect. Brick, cut stone, steel, 3 stories, 102x54 feet, hot water heat, electric light, tile work, slag roof, oak floors. Architect taking sub-bids.

**Bank**, Southeast Corner Germantown and Venango streets, Philadelphia. Architects, Willing, Sims & Talbutt, 126 South Eighteenth street, Philadelphia. Owners, Western Saving Fund, Tenth and Walnut streets, Philadelphia. Brick, cut stone, steel, limestone, 1 story, 90x60 feet, slag roof, cement and linoleum floors, hollow tile, shoring, waterproofing, ornamental iron work, vault doors, floor hardener, rolling steel skylights, tile and marble work, metal lath. Architects taking bids due October 30th.

**Residence**, South side Bell Mills road, East of Germantown avenue, \$28,000. Architect, private plans. Owner, Judson M. Zane, Land Title Building, Philadelphia. Stone, 3 sto-

ries, 26x48 feet, 20x12 feet, shingle roof, hardwood floors, hot water heat, electric light. Owner will build.

**Garages (2)**, rear 6050 Girard avenue, \$25,000, and Northwest Corner Fifth and Hunting Park avenue, \$10,000, Philadelphia. Architect, private plans. Owner, B. W. Glover, 5300 Chestnut street, Philadelphia. Brick, 1 story, (1) irregular shape, (1) 50x70 feet, slag roof, cement floors, electric light. Owner will build.

**Service Station and Office (1)**, Southeast Corner Ridge avenue and Walnut Lane, and (1) Wyoming and Belfield avenue, \$7,500 each. Owners, Gulf Refining Co., 516 Widener Building, Philadelphia. Brick, 1 story, 14x14 feet, tile roofs, electric lighting. Owners will build.

**Residences (5)**, South side Wentz street, West of Front street, \$5,000 each. Architect, private plans. Owner, M. J. Reiser, 2721 North Fifth street, Philadelphia. Brick, 2 stories, 16x38 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, North side Princeton avenue, East of Jackson street, \$5,000 each. Architect, private plans. Owner, Robert L. Gereke, 7123 Torresdale avenue, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, Southwest Corner Pechin and Ripka streets, Philadelphia, \$4,500. Architect, private plans. Owner, Joseph W. Hyde, 357 Lyceum avenue, Philadelphia. Brick, 2 stories, 15 feet, 2 inches x 40 feet, slag roof, hot water heating, electric lighting, pine floors. Owner will build.

**Residences (25)**, Leiper and Pratt streets, Philadelphia, \$112,000. Architect, private plans. Owner, Mathew J. Best, 4821 Roosevelt Boulevard, Philadelphia. Brick, 2 stories, (1) 16x50 feet, (24) 16x29 feet, 12x10 feet, hot water heat, electric light. Owner will build.

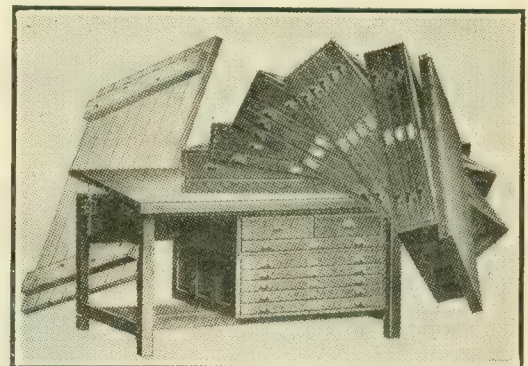
**Garage**, 4420-22 Market street, Philadelphia, \$30,000. Architect, private plans. Owner, W. H. Gunnis, 5544 Greenway avenue, Philadelphia. Brick, 2 stories, 42 feet, 6 inches x 214 feet, slag roof, cement floors, electric lighting. Owner will build.

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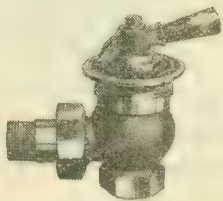
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**Residences (25)**, East side Eighteenth street, North of Sixty-sixth avenue, \$127,000. Architect, private plans. Owner, William Savick, 637 West Diamond street, Philadelphia. Brick, 2 stories, (2) 16x44 feet, (23) 15x35 feet, 12x16 feet, hot water heat, electric light, slag roof. Owner will build.

**Residences (4)**, East side Montour street, South of Shelmire street, \$5,500 each. Architect, private plans. Owner, Steven Szetelik, 2126 Leithgow street, Philadelphia. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (6)**, West side Ditman street, North of Friendship street, \$5,000 each. Architect, private plans. Owner, E. Samuel Gercke, Montague street above Tyson street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (14)**, 700-724 Atwood Road, Philadelphia, \$89,500. Architect, private plans. Owners, Brown & Caruso, 6524 Lansdowne avenue, Philadelphia. Brick, 2 stories, 18x56 feet, 16x56 feet and 16x30 feet, 12x19 feet, hot water heat, electric light. Owners will build.

**Residence**, West side Verree Road, North of Ferndale street, \$5,500. Architect, private plans. Owner, Edward Davis, 7301 Oxford Road, Philadelphia. Frame and stucco, 1 story, 26x38 feet, shingle roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Tank Support and Tank**, 3336 Market street, Philadelphia, \$5,000. Owners, Supplee, Wills, Jones Co., 1523 North Sixteenth street, Philadelphia. Permit issued.

**Apartment House (alts. and add.)**, Southwest Corner Arrott and Griscom streets, \$5,000. Architect, private plans. Owner, William France, Oxford avenue and Griscom street, Philadelphia. Brick, 1 story, 20x11 feet and 16x8 feet, general alterations. Owner will build.

**Residences (26)**, South side Durham street,

Emlen to Jefferson, \$5,000 each. Architect, private plans. Owner, M. J. McCrudden, 1134 Real Estate Trust Building, Philadelphia. Concrete block, 2 stories, 16x32 feet, 8 inches, hot water heat, electric light, slag roof. Owner will build.

**Residence**, North side Chelwynde avenue, West of Seventy-sixth street, \$4,000. Architect, private plans. Owner, John McEnhill, Eighty-second and Tinicum avenue, Philadelphia. Brick, 1 story, 14x28 feet, slag roof, pine floors, electric lighting. Owner will build.

**Residence**, North side Brunswick avenue, West of Eighty-sixth street, \$3,000. Architect, private plans. Owner, Peter Ruppel, 2022 East Huntingdon street, Philadelphia. Brick, 2 stories, 16x24 feet, hot air heat, electric light, pine floors. Owner will build.

**Residences (2)**, East side Jackson street, North of Magee street, \$3,800 each. Architect, private plans. Owner, William F. Peters, 6629 Jackson street, Philadelphia. Brick, 2 stories, 16x34 feet, 6 inches, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Garage**, 512 Carpenter street, Germantown, Philadelphia, \$3,000. Architect, private plans. Owner, Levi Cartnell, 539 Carpenter street, Germantown, Philadelphia. Brick, 1 story, 50x20 feet, slag roof, cement floors, electric light. Owner will build.

**Apartment (alts.)**, 225 South Fortieth street, Philadelphia, \$2,500. Architect, private plans. Owner, W. T. Harris, 3944 Chestnut street, Philadelphia. General alterations. Owner will build.

**Garage**, 4928 Royal street, Philadelphia, \$2,500. Architect, private plans. Owner, A. J. Zelk, 4938 Royal street, Philadelphia. Brick, 1 story, 96x18 feet, cement floors, slag roof. Owner will build.

**Garage**, 7314 Germantown avenue (rear), Philadelphia, \$2,000. Architect, private plans. Owners, Zane & McCandless, 4710 York Road, Philadelphia. Brick, 1 story, 70x18 feet, slag roof, cement floors. Owners will build.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Store and Rooming House (alts. and add.)**, 13 South Sixteenth street, Philadelphia, \$15,000. Architect, Gabriel B. Roth, 1629 Chestnut street, Philadelphia. Owner, M. B. Willig, Franklin Trust Building, Philadelphia. Brick, cut stone, 2 stories, 18x96 feet, slag roof, composition floors, plumbing, metal

ceilings, vapor heat, electric light, metal lath, tile work, ornamental iron work, galvanized iron and wrought steel pipe. Contract awarded to Sol. Marcus, 429 South Fifty-seventh street, Philadelphia.

**Building**, Southwest Corner Thirteenth and Walnut streets, Philadelphia. Architect, Le-

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roy B. Rothschild, 215 South Broad street, Philadelphia. Owner, Horace E. Hano, 1207 Chestnut street, Philadelphia. Brick, 2 stories, 118x42 feet, slag roof, maple and cement floors, vacuum heat, electric light, tile work, metal lath, bond, ornamental iron work, architectural terra cotta, cast iron pipe, sprinkler system. Contract awarded Golder Const. Co., 315 South Fifteenth street, Philadelphia.

**Porter Street Pier, No. 4, South Wharves, Philadelphia, \$175,996.46.** Owners, Department of Wharves, Docks and Ferries, No. 4, South Wharves, Philadelphia. Paving with incidental work, Porter Street Pier, No. 4, South Wharves. Contract awarded Achrone & Conuse, 804 South Tenth street, Philadelphia.

**Subway Construction, Philadelphia, \$13,485,414.** Owners, Department of City Transit, 1211 Chestnut street, Philadelphia. Construction of 8,591 feet of 4-track subway in Broad street, from South side of Clearfield to about 45 feet North of Courtland. Contract awarded P. McGovern, 50 East Forty-second street, New York City.

**Cobb's Creek Branch, Cobb's Creek Boulevard and Baltimore avenue, Philadelphia.** Architect, Edmund B. Gilchrist, 1618 Latimer street, Philadelphia. Owners, Free Library of Philadelphia, Thirteenth and Locust streets, Philadelphia. Penn building concrete block, cut stone, steel, stucco, 2 stories and basement, 39x85 feet, Carey filter roof, cement and pine and linoleum floors, painting and glazing, plumbing, wrought iron pipe, waterproofing, ornamental iron work, metal partitions, floor hardener, bond, hollow metal doors and sash, metal lath, electric light, steam heat, galvanized iron pipe. Contract awarded W. R. Dougherty, 1610 Sansom street, Philadelphia.

**Hospital (add.), Thirty-fourth and Spruce streets, Philadelphia.** Architect, Arthur H. Broekie, 154 South Fifteenth street, Philadelphia. Owners, University Hospital, on premises. Cut stone, concrete, cement work, hardware, masonry, carpentry and mill work, plumbing, painting and glazing, sheet metal work, structural steel, flag stone, galvanized iron skylights. Contract awarded Ketcham & McQuade, 1029 Brown street, Philadelphia.

**Church (superstructure), F and Westmoreland streets, Philadelphia.** Architects, Hoffman Henon, Finance Building, Philadelphia. Owners, Ascension of Our Lord Roman Catholic Church, Rev. D. L. Broughal, on premises. Reinforced concrete, stone, cut stone, brick, steel, limestone, 1 story and basement, 165x120 feet (plumbing, heating, electric, church windows, altars, bronze gates reserved), tile roof, maple floors, metal lath, bond, ornamental iron work, iron stairs, architectural terra cotta. Contract awarded

John McShain, Inc., 1610 North street, Philadelphia.

**Group of Buildings, Washington avenue and Philadelphia & Reading R. R., Philadelphia.** Architect, Addison H. Savery, 1309 Locust street, Philadelphia. Owner, Edward F. Benis, on premises. Garage, 1 story, 42x65 feet, employees' building, 1 story, 15x22 feet, boiler house, 1 story, 10x16 feet, stable, 2 stories, 35x29 feet, tool house, 1 story, 12x15 feet, stone steel concrete, plumbing, cement work, steam heat, electric light, metal lath, roof ventilators, built-up roof. Contract awarded John Roman, 414 East Bringhurst street, Philadelphia.

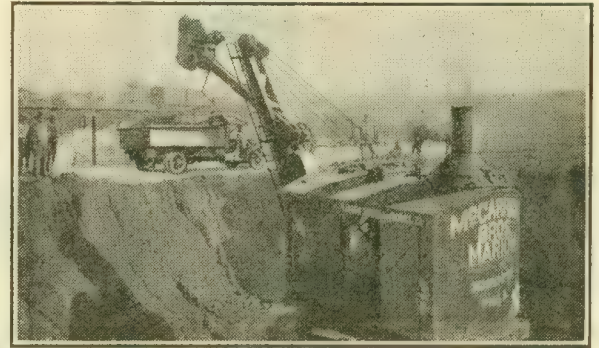
**Fire House, Fifty-fourth and Haverford streets, Philadelphia, \$72,000.** City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Safety, Director's Office, 215 City Hall. Brick, steel, cut stone, reinforced concrete, 2 stories and basement, 43x91 feet (plumbing, heating and electric separate), slag roof, cement and linoleum floors, metal lath, tile, marble and terrazzo work, bond, ornamental iron work, shoring, waterproofing, steel lockers, bluestone, ornamental art stone. Contract awarded Monaghan & Losse, 3016 Chestnut street, Philadelphia. Plumbing, L. J. Sommer, 2125 Race street, Philadelphia, \$5,338. Heating, C. J. McCarthy, 1723 Sansom street, Philadelphia, \$3,900. Electric, E. F. Goldhaun, 8619 Crothers avenue, Philadelphia, \$2,588.

**Store and Apartment (2) (alts. and add.), 5741-43 Woodland avenue, Philadelphia.** Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, D. McNichol, 7066 Paschall avenue, Philadelphia. Brick, rear addition, 1 story, 13x19 feet, slag roof, hardwood floors, hot water heat, electric light, tile work, metal bulks. Contract awarded Julius Nelson, Post Office Building, Upper Darby, Pa.

**Store and Rooming House (alts. and add.), 5119 Chestnut street, \$5,000.** Architect, J. S. C. Fernald, 5533 Wyalusing avenue, Philadelphia. Owner, N. Denabedian, 101 North Fifty-fifth street, Philadelphia. Brick, 2 stories, 16x10 feet, 2 stories, 16x8 feet, general alterations. Contract awarded to H. Devletian, 5948 Walnut street, Philadelphia.

**Packing House, Darien and Noble streets, Philadelphia.** Architect, private plans. Owners, J. Morrell & Co., 816 Noble street, Philadelphia. Brick, concrete, 3 stories, basement and mezzanine, 50x126 feet, slag roof, cement floors. Contract awarded John N. Gill Const. Co., City Center Building, Philadelphia.

**Stores (8) (alts.), Northwest Corner Eighth and Arch streets, Philadelphia.** Architect, E. L. Rothschild, Bankers' Trust Building, Philadelphia. Owner, name withheld. New bulks, metal lath, tile and marble work, hardwood floors, plastered partitions, plate glass.



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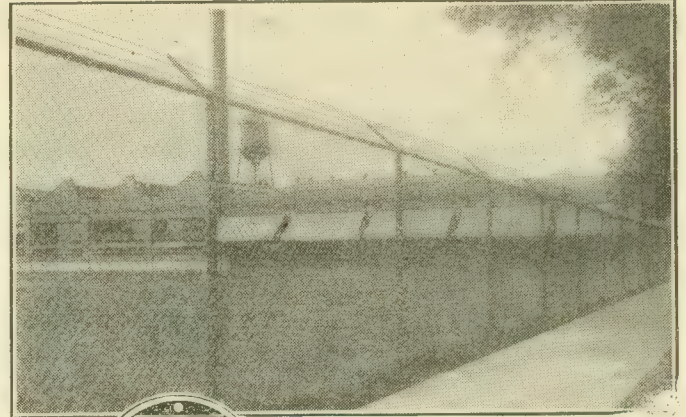
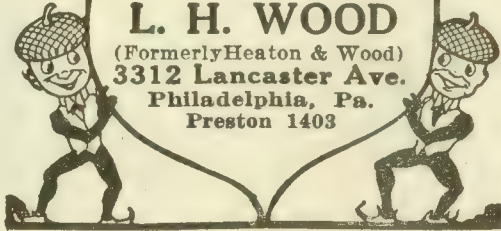
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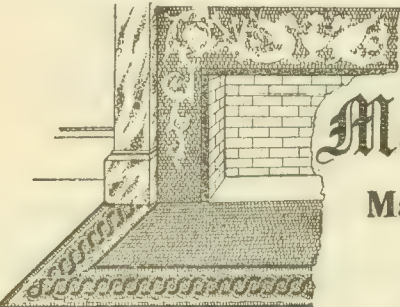
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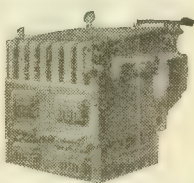
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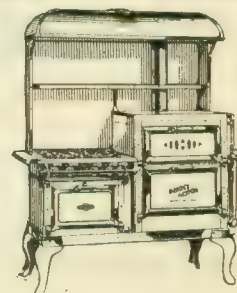
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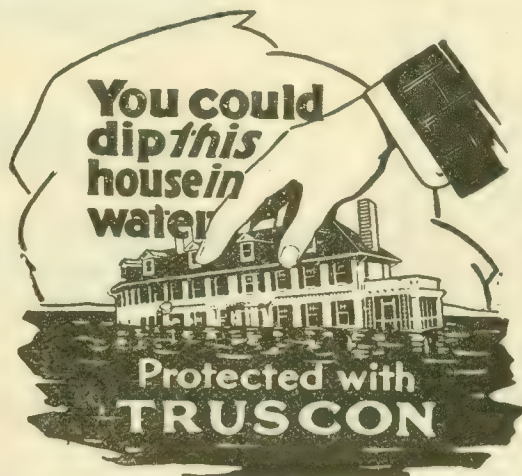
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Contract awarded S. Yellin, 3125 Montgomery avenue, Philadelphia.

**Pier No. 19 (repairs to side walls)**, North Wharves, Philadelphia, \$3,426. Owners, Department of Wharves, Docks and Ferries, No. 4, South Wharves, Philadelphia. Brick work, steel sash, shoring, plastering, painting and glazing. Contract awarded Kaufman Const. Co., North American Building, Philadelphia.

**Garage**, Southeast Corner Front and Mentor streets, Philadelphia, \$18,000. Architect, Conrad F. Neff, 1200 Locust street, Philadelphia. Owner, Samuel Barenbaum, care of architect. Brick, 1 story, 68x103 feet, slag roof, cement floors, electric work. Contract awarded to S. Yellin & Son, 3125 Montgomery avenue.

**Warehouse**, 2128-34 West Lippincott street, Philadelphia, \$34,000. Architect, private plans. Owners, Jacob Hornung Brewing Co., 2125 West Clearfield street. Brick, 2 stories, 61x52 feet, 1 story, 66x32 feet, slag roof, cement floors, steel sash, electric light. Contract awarded to F. I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Warehouse (alts. and add.)**, 832 North Third street, Philadelphia, \$8,000. Architect, private plans. Owner, Simon Weil, 1141 North Second street, Philadelphia. Brick, 2 stories add., 20x28 feet and 18x29 feet, general alterations. Contract awarded to Charles S. Barnett, 1633 South Fifty-ninth street, Philadelphia.

**Salesroom (alts.)**, 250-52 North Broad street, Philadelphia, \$11,000. Owner, Samuel Gorson, 301 North Broad street, Philadelphia. General alterations to auto salesroom. Contract awarded to Kaskey Brothers, 238 North Broad street, Philadelphia.

**Residences (9) (alts. and add.)**, 2005-21

East Letterly street, \$9,000. Architect, private plans. Owner, B. Horowitz, 1826 Wilkey street, Philadelphia. Brick, 2 stories add., 12x10 feet, general alterations. Contract awarded to George W. Hughes, Sr., 4834 Hooper street, Philadelphia.

**Residences and Stores (2)**, 322-24-26 Poplar street, Philadelphia, \$7,000. Architect, private plans. Owner, Louis Kalish, on premises. General alterations. Contract awarded to Jacob Sklar, 5931 Spruce street, Philadelphia.

**Residences (9)**, East side Fifth street, South of Chew street, \$14,500 each. Architect, private plans. Owners, F. and M. E. Felt, Bankers' Trust Building, Philadelphia. Brick, 3 stories, 16x27 feet, 12x22 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Charles R. Davis & Son, 1500 Ellsworth street.

**Manufacturing Building (add.)**, South side Hunting Park avenue, West of Nineteenth street, Philadelphia, \$8,500. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owner, Frank C. Sommer, on premises. Brick, 1 story add., 42x57 feet, slag roof, steel sash, steam heat, electric work, cement work. Contract awarded to Harry Gill, Jr., 2515 Germantown avenue.

**Residences (4)**, South side Orthodox street, East of Edgemont street, \$4,200 each. Architect, private plans. Owner, J. Pilozski, Thompson and Orthodox streets, Philadelphia. Brick, 2 stories, 15x29 feet, 12x14 feet, slag roof, hot water heating, electric lighting. Contract awarded to Felix Tatko, 2117 Pratt street, Philadelphia.

**Open Pavilion**, Southeast Corner Wissahickon avenue and School Lane, \$3,800. Owners, Hebrew Sheltering Home, on premises.

1 story, 53x16 feet, carpentry work, shingle roof. Contract awarded to F. A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Residences (6)**, North side Chew street, East of Fifth street, \$7,000 each. Architect, private plans. Owner, Henry Felt, 5631 North Fifth street, Philadelphia. Brick, 2 stories, 15x33 feet, 12x16 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Charles R. Davis & Son, 1500 Ellsworth street.

**Store and Office (add.)**, 5514-16 Germantown avenue, \$5,500. Architect, private plans. Owner, Max Sussman, agent, 40 South Delaware avenue, Philadelphia. Brick, 1 story add., 44x77 feet, slag roof, pine floors. Contract awarded to J. M. Rosenberg, 6025 Irving street, Philadelphia.

**Residence (add.)**, 2200 St. James Place, Philadelphia, \$5,000. Architect, private plans. Owner, F. T. Patterson, on premises. Brick elevator shaft, 3 stories, 2 feet, 9 inches x 5 feet, 10 inches. Contract awarded to Otis Elevator Co., 112 South Sixteenth street, Philadelphia.

**Residence**, East side Warnock street, North of Lindley avenue, \$5,200. Architect, private plans. Owner, Louis Hasselbush, 1009 Lindley avenue, Philadelphia. Brick, 2 stories, 16 feet, 4 inches x 48 feet, slag roof, hardwood and pine floors, hot water heating, electric lighting. Contract awarded to Eigenbauer & Kepner, 5207 Marshall street.

**Building (alts.)**, Northeast Corner Twenty-fifth and Morris streets, Philadelphia, \$5,000. Architect, William F. Koelle & Co., 2601 Oxford street, Philadelphia. Owners, Crescent Ice Co., on premises. General alterations. Contract awarded to William F. Koelle & Co., 2601 Oxford street, Philadelphia.

**Store and Residence (alts. and add.)**, 953 North Marshall street, \$4,500. Architect, private plans. Owner, Max Klein, on premises. Brick, 2 stories add., 11x31 feet, general alterations. Contract awarded to Max Friedman, 4742 North Warnock street, Philadelphia.

**Residence and Garage**, 1339 North Mascher street, Philadelphia, \$7,700 total. Architect, private plans. Owner, Helen Rogers, on premises. Brick residence, 2 stories, 17x32 feet, 9x10 feet, garage, 1 story, 17x48 feet, 32x56 feet, slag roof, pine and cement floors, hot

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water heat, electric light. Contract awarded to John R. Erbe, 2551 North Sixth street, Philadelphia.

**Residence and Office (alts.)**, 1617-19 Pine street, Philadelphia, \$4,000. Architect, private plans. Owner, E. N. Hoyt, 345 South Hicks street, Philadelphia. General alterations. Contract awarded to Samuel J. Rea & Son, 1608 Fairmount avenue.

**Store and Residence (alts. and add.)**, 706 North Eleventh street, \$2,750. Architect, private plans. Owner, A. Janjigian, Southwest Corner Eleventh and Fairmount avenue, Philadelphia. Brick, third story, 14x11 feet, 2 stories, 4x11 feet, general alterations. Contract awarded to J. S. Alahwerde, 2625 North Jessup street, Philadelphia.

**Garage**, Northwest Corner Jefferson and Lambert streets, Philadelphia, \$2,600. Architect, private plans. Owner, Dr. M. Miller, on premises. Brick, 1 story, 18x42 feet, slag roof, cement floors, electric work. Contract awarded to J. F. Trent, Nineteenth and Addison streets, Philadelphia.

**Garage**, West side Grisco street, South of Arrott street, Philadelphia, \$2,400. Architect, private plans. Owner, M. C. France, Oxford avenue and Grisco street, Philadelphia. Brick, 1 story, 52x20 feet, slag roof, cement floors. Contract awarded to W. M. France & Son, 1529 Foulkrod street, Philadelphia.

**Store (add.)**, 244 North Twenty-second street, Philadelphia, \$4,500. Architect, private plans. Owner, J. B. Coates, on premises. Brick, 2 stories add., 15 feet, 6 inches x 21 feet. Contract awarded to F. L. Hoover & Son, 1023 Cherry street, Philadelphia.

**Garage**, Northeast Corner Bowman and Cresson streets, Philadelphia, \$2,500. Architect, private plans. Owners, Pickersgill & Watson, 3522 Sunnyside avenue, Philadelphia. Brick, 1 story, 18x63 feet, slag roof, cement floors, electric work. Contract awarded to A. J. Hummel, 2057 East Allegheny avenue.

**Residence (add.)**, 959 North American street, Philadelphia, \$3,000. Architect, private plans. Owner, William Friedman, on premises. Brick, 2 stories add., 16x30 feet. Contract awarded to P. Camparo, 1244 South Nineteenth street, Philadelphia.

**Residences (add.)**, 506 Locust avenue, Philadelphia, \$2,500. Architect, private plans. Owner, George W. Heyser, on premises. Brick, second story add., 15x30 feet, new porch. Contract awarded to N. Wilkie, care of owner.

**Residence**, South side Crothers avenue, West of Eighty-fourth street, \$2,000. Architect, private plans. Owner, Leola Hester, Eighty-fourth and Ripley avenue, Philadelphia. Concrete block, 1 story, 21x30 feet. Contract awarded to George Hester, Eighty-fourth and Ripley avenue.

**Shop**, Northwest Corner Pacific and Glenwood avenues, Philadelphia, \$2,000. Architect, private plans. Owner, Harry Geitner, 1637 Tioga street, Philadelphia. Brick, 1 story, irregular shape, slag roof, pine floors. Contract awarded to Tony Olivieri, 4518 Lackawanna street.

**Garage**, 2829 Mercer street, Philadelphia, \$2,000. Architect, private plans. Owner, Joseph Ricciardielli, 2830 Thompson street, Philadelphia. Brick, 1 story, 16x16 feet, slag roof, cement floors. Contract awarded to Joseph Curcillo, 2002 South Twelfth street, Philadelphia.

**Store and Residence (alts.)**, 2201-03 North

Gratz street, \$3,000. Architect, private plans. Owner, B. Kashner, 1813 West Susquehanna avenue, Philadelphia. General alterations. Contract awarded to D. Wittenberg, 1519 North Thirty-third street, Philadelphia.

**Garage**, Southeast Corner Queen and Fox streets, Philadelphia, \$2,175. Architect, private plans. Owner, Edward W. Taylor, on premises. Stone, 1 story, 20x20 feet, cement floors. Contract awarded to William C. Wright & Son, 22 Harvey street, Philadelphia.

**Stable**, Northeast Corner Ridge and Lehigh avenues, Philadelphia, \$2,000. Architect, private plans. Owners, Mt. Vernon Cemetery Co., 813 Stephen Girard Building, Philadelphia. Brick, 1 story, 16x30 feet, 2 stories, 16x10 feet, cement floors. Contract awarded to A. H. Frankenberger, Jr., 3022 West Dauphin street.

**Garage**, 6707 York Road, Philadelphia, \$2,000. Architect, private plans. Owner, James Brown, on premises. Brick, 1 story, 23x30 feet, slag roof, cement floors. Contract awarded to A. Dunlap, 7223 Oak avenue, Philadelphia.

**Apartment (alts.)**, 434 North Thirty-fourth street, Philadelphia, \$3,000. Architect, private plans. Owner, A. Mesh, on premises. General alterations. Contract awarded to D. Goldman, 1607 South Orkney street, Philadelphia.

**Bake Shop**, 313 North Simpson street, Philadelphia, \$2,500. Architect, private plans. Owner, V. Armargo, 358 Simpson street, Philadelphia. Brick, 1 story, 17x25 feet, slag roof, pine floors, electric work. Contract awarded to Otto Malz & Son, 2002 North Fourth street, Philadelphia.

**Community House (add.)**, 256-58 East On-

tario street, Philadelphia, \$2,400. Architect, private plans. Owners, St. Agnes' Home, on premises. Brick, 1 story add., 31x11 feet, slag roof, pine floors. Contract awarded to James Trainer, 1504 North Eighteenth street, Philadelphia.

**Garage**, 6329 Sherwood Road, Philadelphia, \$2,000. Owner, Rev. R. B. Whyte, on premises. Concrete block, 1 story, 12x20 feet, slag roof, concrete floors. Contract awarded to Jacob Myers & Sons Co., Witherspoon Building, Philadelphia.

**Residence (add.)**, Northeast Corner Forty-seventh and Meredith streets, \$2,000. Architect, private plans. Owner, James Irvan, Thirty-sixth and Sansom streets, Philadelphia. Brick, 2 stories add., 30x16 feet. Contract awarded to S. Reenick, East Lansdowne, Pa.

**Residence (add.)**, 1737 Champlost avenue, Philadelphia, \$2,000. Architect, private plans. Owner, James Hampson, 5716 North Fifth street, Philadelphia. Brick, 1 story add., 16x8 feet. Contract awarded to Fitt & Foster, 5753 North Fifth street, Philadelphia.

**Factory (alts.)**, 1213 North Seventh street, Philadelphia, \$2,000. Architect, private plans. Owner, Mrs. A. Cohen, Southeast Corner Fifth and Gaskill streets, Philadelphia. General alterations. Contract awarded to Lapides & Sacks, 5809 Rodman street.

**Office (alts.)**, 314 Market street, Philadelphia, \$2,000. Architect, private plans. Owner, J. Hersch, on premises. General alterations. Contract awarded to I. Getzick, 1918 North Park avenue, Philadelphia.

**Manufacturing Building (alts.)**, 221-25 Vine street, \$3,000. Architect, private plans. Owners, S. Twithers Co., on premises. General alterations. Contract awarded to Samuel S. Sanders, 1232 Marlborough street.

## PENNSYLVANIA

# Construction News

**Store and Apartments (2), Garage and Filling Station**, Wharton avenue and Easton road, Glenside, Pa. Architect, P. S. Tyre, 1505 Arch street, Philadelphia. Owner, Lloyd B. Ely, Glenside, Pa. Brick, stucco, 2 stories, 2 wings, 50x100 feet. Plans in progress.

**Residence**, Wynnewood, Pa. Architect, E. Nelson Edwards, 1012 Walnut street, Philadelphia. Owner, name withheld. Plans completed. Ready for bids in a few days.

**Residence**, Lot No. 74, Wynnewood, Pa. Architect, R. A. Kerns, Jr., 10 South Eighteenth street, Philadelphia. Owners, Mr. and Mrs. Moro Philips, care of architect. Hollow tile and stucco, 2½ stories, 45x35 feet, shingle roof, hardwood and cement floors,

electric light, tile work. Plans in progress.

**Club House**, State road and Springfield road, Springfield Township, Delaware County, Pa., \$50,000. Owners, Rolling Green Golf Club, care of Edwin S. Glauser, Chester, Pa. Work contemplated.

**Store (add.)**, West Northampton street, Wilkes-Barre, Pa. Architects, Knapp & Bosworth, 15 South Franklin street, Wilkes-Barre. Owners, Dry Goods Co., Harry Shann, 70 West Union street, Wilkes-Barre, Pa. Brick, stone, 4 stories. Plans in progress.

**Residence**, Kingston, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owner, name withheld. Frame and stucco, 2½ stories, 28x40 feet, asbestos

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shingle roof, maple floors, vapor heat, electric light, tile work. Plans in progress.

**Church**, Luzerne, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre, Pa. Owners, Lutheran Church, care of architects. Stone, brick, stucco, 1 story and basement, 48x110 feet, slate roof, pine floors, steam heat, electric light. Plans in progress.

**Residence**, Wilkes-Barre, Pa. Architect, J. A. Boyle, Bennett Building, Wilkes-Barre, Pa. Owner, William Jones, care of architect. Brick, 2½ stories, 40x26 feet, slate roof, oak floors, hot water heat, electric light. Plans in progress.

**Store**, Coatesville, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, Philip Lipkin, Coatesville, Pa. Fireproof, 4 stories. Architect selected.

**Residence**, Bangor, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, Harry Stoddard, 437 South Second street, Bethlehem, Pa. Stone, 2 stories, L shaped, slate roof, hardwood floors, steam heat, electric light, tile and marble work, ice plant, central vacuum heat. Plans in progress.

**Garages (22)**, Seventh street, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Majestic Silk Mill Co., care of architects. Brick, cinder block, 1 story, 21x213 feet, built-up roof, concrete floors, electric light. Plans in progress.

**Silk Mill (add.)**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Majestic Silk Mills Co., care of architect. Brick, structural steel, second story add., 66x213 feet, built-up roof, wood floors, elevators, waterproofing and dampproofing, steam heat, fire doors, electric light, rolled steel sash, iron stairs. Plans in progress.

**House**, Drexel and State Roads, Drexel Hill, Pa. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoa Heights, Pa. Owner, Ruth S. Cunningham, 6102 Christian street, Philadelphia. Stone, 3 stories, 32x40 feet, asbestos

roof, pine, oak and mineral floors, hot water heat, electric light, tile bath, built-in garages. Owner taking general bids.

**Residence (alts.)**, West Chester, Pa. Architect, W. Corcoran, Jr., Turk's Head Inn, West Chester, Pa. Owner, F. J. Myers, West Chester, Pa. Changing residence to apartments, electric light, plumbing, new partitions, carpentry and mill work. Plans in progress.

**Residence**, East Goshen Township, near West Chester, Pa. Architect, W. Corcoran, Jr., Turk's Head Inn, West Chester, Pa. Owner, Mrs. Gert. McDaniel, Rittenhouse Hotel, Philadelphia. Interior changes, hot water heat, electric lighting, plumbing. Plans in progress.

**Villa Marie Convent (alts.)**, Green Tree, Pa. Architect, William Corcoran, Jr., Turk's Head Inn, West Chester, Pa. Owners, Sisters of the Immaculate Heart of Mary, West Chester, Pa. Interior changes. Plans in progress.

**Residence**, Hummelstown, Pa., \$8,000. Architect, C. Harry Kain, 317 Chestnut street, Harrisburg, Pa. Owner, J. Paul Hummel, Hummelstown, Pa. Brick and concrete, 2½ stories. Plans in progress. Too early for details.

**Store and (4) Apartments (alts. and add.)**, 1015 North Third street, Harrisburg, Pa., \$8,000. Architect, C. Harry Kain, 317 Chestnut street, Harrisburg, Pa. Owner, Antonio E. Scuttetta, care of architect. General alterations and additions. Plans in progress. Too early for details.

**Store and Apartment (alts. and add.)**, Scranton, Pa. Architect, J. H. Davey, Coal Exchange Building, Scranton, Pa. Owner, Joseph Gentile, care of architect. Brick, third story add., 42x43 feet, slag roof, pine floors, electric light, tile work, general interior alterations. Plans in progress.

**School**, Duryea, Pa. Architect, Frank J. Miller, Brooks Building, Scranton, Pa. Owners, Duryea School Board, Stanley Schmidt, secretary, Duryea, Pa. Fireproof, 2 stories, 165x92 feet, Barrett roof, maple floors, metal lath (heating, plumbing, electric separate), limestone, hollow tile, safety treads, roof ventilators, skylights, iron stairs, ornamental iron work. Plans completed.

**Store**, Hazleton, Pa. Architects, Knapp & Bosworth, 15 South Franklin street, Wilkes-Barre. Owner, E. B. Davidow, Hazleton, Pa. Steel, frame, brick, 2 stories and basement, 6x120 feet, slag roof, pine floors, hollow tile, roof ventilators, metal ceilings, architectural terra cotta, iron stairs, kalamein doors, rolled steel sash, tile and marble work, metal lath, vapor heat, electric light. Owner ready for bids.

**High School (alts. and add.)**, Montrose, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Montrose School Board, A. J. Wheaton, secretary, Montrose, Pa. Brick, reinforced concrete steel, limestone, 2 stories and basement, 115x37 feet, slag roof, composition floors (heating, plumbing and electric work reserved), metal lath, tile and marble work, partitions, metal doors, iron stairs, ornamental iron work, cut stone. Architects will be ready for revised bids next week.

**Store and Offices**, Susquehanna and Lackawanna avenues, Olyphant, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Cannon Brothers, Olyphant, Pa. Steel, brick, cut stone, 2 stories and basement, 25x90 feet, slag roof, maple floors, hollow tile, plate glass, metal ceilings, ornamental iron work, copper work, tile and marble work. Architect taking bids due November 8th.

**Garage and Show Room**, Northampton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, Lilly & Lentz, Main street, Northampton, Pa. Steel, brick, cement block, 1 and 2 stories, 105x58 feet, slag roof, concrete floors, electric light, rolled steel sash, cast stone. Owners taking sub-bids.

**Residence**, West Chester, Pa. Architect, William Corcoran, Jr., Turk's Head Inn, West Chester, Pa. Owner, James Harr, West Chester, Pa. Concrete block, 2½ stories, 50x30 feet, asbestos shingle roof, pine floor, hot water heat, electric light. Plans in progress. Owner will take sub-bids in two weeks.

**Residence**, West Chester, Pa. Architect, William Corcoran, Jr., Turk's Head Inn, West Chester, Pa. Owner, Hibberd Darlington, West Chester, Pa. Stone, 2½ stories, 42x36 feet, asbestos shingle roof, hardwood and composition floors, hot water heat, electric light. Plans in progress. Will take bids February 1st, 1925.

**Bungalow**, West Chester, Pa. Architect, William Corcoran, Jr., Turk's Head Inn, West Chester, Pa. Owner, Ernest Harvey, West Chester, Pa. Hollow concrete block, 1 story, 45x32 feet, slate roof, hardwood floors, hot water heat, electric light. Plans in progress. Architect will take bids February 1st, 1925.

**Garage and Show Room**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, Franks Motor Co., Allentown, Pa. Concrete block and steel, 2 stories, 74x200 feet, slag roof, concrete floors, steam heat, electric light, metal lath, tile work, rolled steel sash and skylights, plate glass, cast stone, floor hardener. Owners will sub-let.

**School No. 3 (alts. and add.)**, Carbondale, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Carbondale School Board, Thomas Curran, secretary, Carbondale, Pa. Brick, 2 stories, stair towers, electric light, plumbing, metal ceilings, general alterations, iron stairs. Architect ready for bids due November 11th.

**Garage**, Scranton, Pa. Architect, Frank J. Miller, Brooks Building, Scranton, Pa. Owner, Peter Pestinikas, 345 Penn avenue, Scranton, Pa. Brick, steel, 2 stories, 95x40 feet, slag roof, concrete floors, steam heat, electric light. Owner will build.

**Twin Residences (14)**, Drexel Hill, Pa. Architect, Walter K. Durham, 1345 Pine street, Philadelphia. Owner, Jos. McKeeman, Drexel Hill, Pa. Frame and stucco, 2½ stories, 22x36 feet each, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner will build and is taking sub-bids.

**Residence and Garage**, Jenkintown, Pa. Architect, S. D. Milner, 1117 Foulkrod street, Philadelphia. Owner, name withheld. Brick, 2½ stories, 20x40 feet, 2 stories, wing 12x20 feet, hot water heat, electric light, tile and marble work, slate roof, hardwood and cement floors. Architect is taking sub-bids and will build.

**Eagles' Home**, Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owners, Order of Eagles, care of architect. Semi-fireproof, 3 stories, 100x110 feet, built-up roof, hardwood floors, dumb waiters, roof ventilators, waterproofing, ornamental iron work, iron stairs, fire doors, rolled steel sash, tile and marble work, steam heat, electric light. Architect taking bids due November 7th.

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**Roosevelt School (add.)**, Allentown, Pa., \$200,000. Architect, E. M. Pickin, Hunsicker Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. Brick and steel, 2 stories, 270x100 feet and 50x100 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators, waterproofing, dampproofing (heating, plumbing, electric work separate bids), metal lath, tile work, rolled steel sash and skylights, kalamein doors, bond, iron stairs, ornamental iron work. Architect taking bids due November 11th.

**Residence**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Wilbur P. Diefenderfer, 1130 Wyoming avenue, Allentown. Brick, 2 stories, 26x40 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Architects taking bids.

**Hotel**, Northampton and Green streets, Easton, Pa. Architects, Thomas, Martin & Kirkpatrick, Cunard Building, Philadelphia; H. D. Chidsey, Easton, Pa. Owners, Hotel Easton Corp., Asher Seip, Northampton Bank, Easton, Pa. Brick, steel, stone, cut stone, reinforced concrete granite, 7 stories, main mezzanine and basement, 136x112 feet, slate and Barrett's specification roof, composition, cement and oak floors, hollow tile, elevators, safety treads, painting and glazing, ornamental iron work, iron stairs, floor hardener, bond, kalamein and hollow metal doors, copper skylights, hollow metal sash, tile, marble and terrazzo work, shoring, waterproofing, metal lumber, limestone, bronze work, artificial granite, cinder concrete block, cut cast stone, vacuum cleaning system, mail chutes, ornamental plaster. Owners taking bids due November 10th.

**Residence and Garage**, Ogontz, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owner, Mrs. E. C. Dickenson, care of Louis Burk, Third and Girard avenue, Philadelphia. Brick, cut stone, stucco, 2½ and 1½ stories, 82x37 feet, garage, 40x26 feet, tile roof, slag roof, oak, pine and cement floors, hot water heat, electric light, metal lath, tile and marble work, bond, floor hardener, ornamental iron work, dampproofing, brass piping. Owner taking revised bids due November 3rd.

**School**, New Philadelphia, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owners, New Philadelphia School Board, Mr. Dooley, secretary, New Philadelphia, Pa. Frame, 2 stories and basement, 144x80 feet, slag roof, pine floors, roof ventilators, electric light, iron stairs. Owner taking bids due November 3rd.

**Factory**, Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, 20th Century Silk Co., Bethlehem, Pa. Fireproof, 1 story, 100x50 feet, slag roof, electric light, metal lath, rolled steel sash, east stone. Lowest bidder: F. B. Glassmire, Bethlehem Trust Building, Bethlehem, Pa.

**School**, Merion, Pa. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, School District of Merion, W. J. Byrnes, Ardmore, Pa. Low bidders: Bowden Const. Co., 1935 Chestnut street, Philadelphia, \$154,500; Friel-McLeister, 1615 Spruce street, Philadelphia, \$156,555. Plumbing, John Borden & Bro., 637 North Nine-

teenth street, Philadelphia, \$13,972. Heating (hot air), American Heating & Ventilating Co., 200 North Fifteenth street, \$12,923; (steam) A. McClintock & Sons, 1937 Ridge avenue, Philadelphia, \$14,595. Electric, J. F. Buchanan Co., 1904 Sansom street, Philadelphia, \$5,556.

**Residence and Garage**, Rydal, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Frank B. Petts, 1318 Wakefield street, Philadelphia. Stone, 2½ stories, 85x34 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Architect taking bids due November 4th.

## Pennsylvania Contracts Awarded

**Hospital**, Harrisburg, Pa., \$240,200. Architects, Kast & Kelker, 222 Market street, Harrisburg, Pa. Owners, Polyclinic Hospital, Dr. H. Gross, Harrisburg, Pa. Fireproof, reinforced concrete, 3 and 4 stories, 194x110 feet, brick, concrete roof, reinforced concrete floors, hollow tile, elevators, safety treads (heating, plumbing and electric work reserved), metal lath, tile and marble work, rolled steel sash, steel doors, iron stairs, ornamental iron work. Contract awarded to W. E. Bushey, Lemoyne, Pa.

**Church**, Dubois, Pa. Architects, Morris & McHale, Mears Building, Scranton, Pa. Owners, St. Joseph's Lutheran Church, care of architects. Brick, concrete steel, 1 story and basement, 50x120 feet, asbestos or tile roof, composition and hardwood floors, hollow tile, ornamental iron work, stained glass, cut stone, tile work, metal lath, vapor heat, electric light. Contract awarded to F. P. Cuppels, Cresson, Pa.

**Club House**, North Washington street, Scranton, Pa., \$409,040. Architects, E. H. Davis and George M. D. Lewis, Edward Langley, D. H. Morgan and W. S. Lacondes, Scranton, Pa. Owners, Scranton Board of Trade, Col. N. A. Watres, president, Scranton, Pa. Fireproof, brick, stone, steel, 3 stories, 90x160 feet, hardwood floors, hollow tile, tile and marble work. Contract awarded to Beilman & Son, 220 Ash street, Scranton, Pa.

**College (add.)**, Wilkes-Barre, Pa. Architects, Knapp & Bosworth, 15 South Franklin street, Wilkes-Barre. Owners, Wilkes-Barre Business College, V. L. Dodson, 54 West Market street, Wilkes-Barre, Pa. Steel, wood, 3 stories and basement, 45x160 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators, ornamental iron work, iron stairs, tile and marble work, metal lath, electric light. Contract awarded to J. Curtis & Co., 1 Hickory street, Wilkes-Barre, Pa.

**Residence**, Tunkhannock, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, J. S. Turn, Tunkhannock, Pa. Frame, 2½ stories, 40x40 feet, shingle roof, hardwood floors, tile work, steam heat, electric light. Contract awarded to A. T. Overst, Tunkhannock, Pa.

**Residence**, Shavertown, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owner, P. Dohl, Shavertown, Pa. Frame and stucco, 2½ stories, 40x50 feet, asbestos roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to Frank Mathers, Trucksville, Pa.

**Parochial School**, Nesquehoning, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owners, care of Rev. J. L. O'Connor, Nesquehoning, Pa. Brick, hollow tile, steel, 2 stories and basement, 63x80 feet, slag roof, pine floors, steam heat, electric light, tile work. Contract awarded to Construction Service Co., Wilkes-Barre.

**Bank (alts. and add.)**, Chester, Pa. Architects, Cochran & Robb, 205 South Juniper street, Philadelphia. Owners, Pennsylvania National Bank, Chester, Pa. Marble, steel, 3 stories, 20x114 feet, slag roof, steam heat. Contract awarded H. Louis Morris, Chester, Pa.

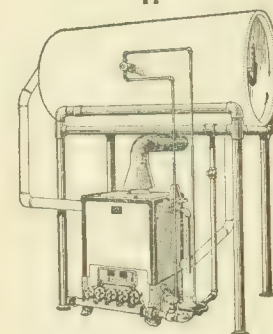
**Shop Building**, White's Ferry, Pa. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, St. Michael's Industrial School, White's Ferry, Pa. Brick, slow burning, 2 stories, 98x50 feet, electric light. Contract awarded Whipple Bros., Laceyville, Pa.

**Fire House**, Hatfield, Pa. Architects, Conover & Winter, Lansdale, Pa. Owners, Hatfield Borough of Volunteer Fire Department, Hatfield, Pa. Brick, 1 story, 80x40 feet, steam heat, electric light, slag roof, cement floors, electric light. Contract awarded (building proper), Stoneback & Nace, Quakertown, Pa., \$15,823. Stone foundations, Stoneback & Nace, Quakertown, Pa., \$3,854.

**Garage and Ice Storage**, Markley and Oak streets, Norristown, Pa. Architect, E. Lane Crawford, 1415 Markley street, Norristown, Pa. Owners, Keystone Ice Co., J. W. Burkert, Norristown, Pa. Brick, 1 story, 54x140 feet, concrete and cork and wood block floors. Contract awarded to Frank R. Heavner, Norristown, Pa.

**Residence (alts. and add.)**, Cheltenham, Pa. Architects, W. Macy Stanton and Stanley P. Stewart, 1524 Chestnut street. Owner, Francis P. Taylor, Cheltenham, Pa. Stone, 2½ stories, general alterations and additions.

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Contract awarded Harold Stoudt, Cheltenham, Pa.

**Road Work, Pennsylvania.** Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Lancaster County, R-136, East Drumore, Little Brittain and Fulton Townships, 47,424 feet. One course reinforced concrete. Contract awarded to W. Grant Raub, Red Lion, Pa., \$440,517.46.

**Road Work, Pennsylvania.** Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Beaver County, R-204, Chippewa Township, 3,491 feet. One course reinforced concrete. \$33,783.65. Contract awarded to E. A. Freshwater & Sons, Chester, W. Va.

**Church (alts.), Williamstown, Pa.** Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, Sacred Heart Roman Catholic Church, Williamstown, Pa. General alterations. Contract awarded Charles W. Datdorf, Williamstown, Pa.

## New Jersey Construction News

**Hospital (add.), Blackwood, N. J.** Architect, W. W. Sharpley, 225 East Washington Square, Philadelphia. Owners, Camden County Board of Freeholders, Camden, N. J. Brick, 2 stories. Plans in progress.

**Convent, Tennessee and Pacific avenues, Atlantic City, N. J.** Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, St. Nicholas' Roman Catholic Church, Rev. Dr. John T. Sheehan, O. S. A., Rectory, Atlantic City, N. J. Stone, brick, 4 stories, 26x126 feet, slag, tile and slate roof, copper dormers, hardwood and slate floor, electric light, hot water heat, metal lath, tile and marble work. Plans about completed. Will be ready for bids in a week.

**Antlers' Home, Phillipsburg, N. J.** Architect, E. H. Wenzelberger, 3 Center Square, Easton, Pa. Owners, B. P. O. E., Phillipsburg, N. J. Brick, steel, terra cotta, 3 stories and basement, 75x130 feet, slag roof, various floors, hollow tile, elevators, metal lath, tile, marble and terrazzo work, ornamental iron and plaster (heating, plumbing and electric and elevators reserved). Architect will take revised bids in a few days.

**Church, Vineland, N. J.** Architects, Mills & Van Kirk, Harrison Building, Philadelphia. Owners, Church of the Pilgrims, Rev. J. McMilliam, Vineland, N. J. Brick, structural steel, limestone, 2 stories and basement, 56x96 feet, boiler room, in the rear, vapor heat, electric light, tile work, pews, pipe organ, painting and glazing, quarry slate roof, pine floors, plumbing, mill work, cabinet work, grading, terracing, cement work, kitchen equipment. Owners will be ready for revised bids in a week.

**Residences (2), Melrose avenue, Trenton, N. J., \$14,000.** Architect, private plans. Owner, Arthur Holford, 50 Bismark street, Trenton, N. J. Frame, 2 stories, 14x38 feet, pine floors, electric lighting. Owner will build.

**Warehouse, Trenton, N. J.** Owners, Sinclair Refining Co., Trenton, N. J. Frame, 1 story, 40x60 feet, slag roof, cement floors, electric work. Owners will build.

**Group of Buildings, Trenton Junction, N. J.** Architects, Guilbert & Betelle, Newark, N. J.; A. H. Moses, Camden, N. J. Owners, New Jersey School for the Deaf, State Board of Education, Trenton, N. J. Low bidders: Victor Gondos, Reading, Pa., general. Heating, Hoenig & Peoples, Newark, N. J. Electric, Mercer Electric Co., Trenton, N. J. Plumbing, Trenton Plumbing & Heating Co., Trenton, N. J.

**John W. Mickle Annex Public School, Sixth and Van Hook streets, Camden, N. J.** Architects, Edwards & Green, 23 Broadway, Camden, N. J. Owners, Board of Education, W. Mockey, Camden, N. J. Low bidders: George W. Shaner & Son, Palmyra, N. J., \$84,750; J. M. Yardley, 1730 Sansom street, Philadelphia, \$87,939. Heating and ventilating, C. H. Leopold, 1466 Haddon avenue, Camden, N. J., \$7,440. Electric, Franks & Sweeney, 1258 Haddon avenue, Camden, N. J., \$1,215. Plumbing and drainage, William Kelly, 675 Ferry street, Camden, N. J., \$4,337.

## New Jersey Contracts Awarded

**Residence (alts.), Merchantville, N. J.** Architect, Albert E. Westover, Jr., 10 South Eighteenth street, Philadelphia. Owner, David Childs, on premises. Stone work, brick work, painting and glazing, plastering, tile, carpentry and mill work, painting and glazing, steel and iron work, sheet metal work, tile and marble work, hardware, hot water heat, alterations and plumbing alterations. Contract awarded Mr. Strang, Audubon, N. J.

**Garages (42), Merrimac and New Hampshire Roads, Camden, N. J., \$9,000 total.** Architect, private plans. Owner, Charles Fleron, Gloucester, N. J. Concrete block, 1 story, 9x18 feet, slag roof, cement floors. Contract awarded to J. L. B. May, 124 North Third street, Camden, N. J.

**Residences (2), 3852-54 High street, Camden, N. J., \$7,500.** Architect, private plans. Owner, James Jones, care of builders. Frame, 2 stories, 14x38 feet, pipeless heater, electric light. Contract awarded to Davies Bros., 901 North Thirty-first street, Camden, N. J.

**Garages (16), 1112-14-16 Mt. Ephraim avenue, Camden, N. J., \$5,000.** Architect, private plans. Owner, S. Stefanski, 1112 Kaighn avenue, Camden, N. J. Concrete block, 1 story, 9x18 feet, slag roof, concrete floors. Contract awarded to Bezahl & Schulke, 348 Kaighn avenue, Camden.

**Garages (8) and Office, Banner and Liberty streets, Camden, \$2,000.** Architect, private plans. Owner, Leo West, 614 Berkley street, Camden, N. J. Brick, 1 story, garages, 8x15 feet, office, 21x21 feet, slag roofs. Contract awarded to William B. Holloway, 586 Washington street, Camden.

**Residences (2), Trenton, N. J., \$9,000.** Architect, private plans. Owner, Michael Gambas, care of builder. Brick, 2½ stories, 28x30 feet, slate and tin roof, electric light. Contract awarded to Nicholas Kudra, 1066 South Broad street, Trenton, N. J.

**Warehouses (2), New York and Hillside**

avenues, Trenton, N. J., \$10,000. Owners, Crew Levick Co., 219 North Broad street, Philadelphia. Concrete block, 1 story, 53x68 feet, slag roof, concrete floors, electric lighting. Contract awarded to J. W. Thompson, Trenton, N. J.

**Pump House and Can House, North side Federal street, East of River road, Camden, N. J.** Architect, private plans. Owners, Standard Oil Co. of N. J., on premises. Tile, 1 story, 14x12 feet and 10x12 feet, concrete roof and floors. Contract awarded to Metzger, Fisher & White, Otis Building, Philadelphia.

**Store and Apartment, Atlantic City, N. J.** Architect, C. H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owner, Name withheld. Brick, 4 stories, 20x56 feet, slag roof, pine floors, hot water heat, electric light. Contract awarded to A. B. Bowen, 1 S. Delancey Place, Atlantic City, N. J.

**Residences (25), 3042-90 Federal Street, Camden, N. J.** Architect, Private plans. Owners, Dudley Park Co., Inc., care of Builder. Brick and concrete block, 2 stories, 16x46 feet 6 inches, slag roof, hot water heat, electric light. Contract awarded to Edmond H. Sharp, 12 S. Center Street, Merchantville, N. J.

**Garage, Rear of 315 Market Street, Camden, N. J., \$2,500.** Architect, private plans. Owner, Jos. H. Forsyth, 315 Market Street, Camden, N. J. Brick, 1 story, 20x24 feet, slag roof, cement floors, hot water heat, electric light. Contract awarded to Jas. W. Draper, 436 Hadden Ave., Camden, N. J.

**Warehouse and Garage, Cooper River above Federal Street, Camden, N. J., \$9,000.** Architect, Private plans. Owners, Sun Oil Co., Chester, Pa. Concrete block, 1 story, Warehouse 30x40 feet, Garage 33x55 feet. Contract awarded to Harry Foulkes, 566 Pine Street, Camden, N. J.

**Warehouse, Point and Erie Streets, Camden, N. J.** Architect, Private plans. Owners, The McNeely Leather Co., Point and Erie Sts., Camden, N. J. Concrete blocks, 1 story, 44x91 feet, concrete floors, electric work. Contract aware to Prince Concrete Co., 212 N. 38th Street, Camden, N. J.

**Church, Trenton, N. J.** Architect, L. Kaplan, First National Bank Bldg., Trenton, N. J. Owners, Gallilee Baptist Church, care of Architect. Stone, basement, 40x60 feet, slag roof, electric light. Contract awarded to J. H. Morris & Co., 211 N. Montgomery Street, Trenton, N. J.

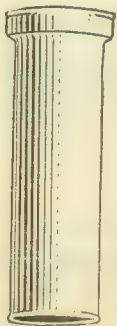
**Residences (2), Trenton, N. J., \$8,000.** Architect, Private plans. Owner, J. M. Wright, Academy and Montgomery Avenues, Trenton, N. J. Frame, 2½ stories, 14x41 feet, slate and tin roof, pine floors, electric lighting. Contract awarded to L. T. Wilson, 916 Melrose Avenue, Trenton, N. J.

**Residence, 1044 Stuyvesant Street, Trenton, N. J., \$15,000.** Architect, private plans. Owner, Louis Fulkert, 1038 Stuyvesant St., Trenton, N. J. Brick, 2½ stories, 37x35 feet, slate roof, pine floors, electric work. Contract awarded to John Maher, Trenton, N. J.

## Miscellaneous Construction News

**Garage and Service Station, Smyrna, Del.** Architect, E. C. May, Dupont Building, Wilmington, Del. Owner, name withheld. Brick, concrete block, structural steel, 1 story, 50x110 feet, slag roof, concrete floors, electric light, rolled steel sash and skylights. Plans in progress.

**Richardson Park School, Middleborough Road, near Ashley, New Castle County, Delaware.** Architects, Guilbert & Betelle, Newark, N. J. Owners, Board of School Trustees of Richardson Park School, District No.



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20, Delaware School Auxiliary Association, 4116 Dupont Building, Wilmington, Del. Brick, structural steel, reinforced concrete, 2 stories, 100x60 feet, concrete and timber roof, hardwood and yellow pine floors, roof ventilators (heating, plumbing, ventilating, electric work separate bids), metal lath, kalamein doors, ornamental iron work. Lowest bidders: B. H. B. Ennis, Jr., Baltimore, Md., \$61,993; W. D. Haddock & Co., 804 Orange street, Wilmington, Del., \$66,518. Plumbing, heating and ventilating, T. T. Weldin & Son, 916 Orange street, Wilmington, Del., \$12,875. Electric work, T. F. Higgins & Co., 843 Tattall street, Wilmington, \$1,295.

**Bungalow**, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington, Del. Owner, Samuel Usilton, 1217 West Third street, Wilmington, Del. Concrete block and stucco, 1½ stories, 25 35 feet, shingle roof, pine floors, hot air heat, electric light. Owner will build.

**Residences (2)**, Twenty-seventh street, Wilmington, Del., \$13,000. Architect, private plans. Owners, W. S. Boyce & Bros., 227 N. Franklin street, Wilmington, Del. Brick, 21x32 feet, slag roof, pine floors, hot water heat, electric light. Owners will build.

## Miscellaneous Contracts Awarded

**Restaurant (alts. and add.)**, rear 921 Market street, Wilmington, Del. Architect, R. C. Tindall, 914 Orange street, Wilmington, Del. Owner, Frank Lackey, care of architect. Brick, 1 and 2 stories, 40x26 feet and 12x26 feet, slag roof, electric work. Contract awarded to J. A. Bader & Co., 923 Market street, Wilmington, Del.

**Store and Residence**, 948 Vandever avenue, Wilmington, Del., \$3,000. Architect, private plans. Owner, H. Goldstein, Vandever and Thatcher streets, Wilmington, Del. Brick, 2 stories, 16x21 feet, pine floors, electric lighting. Contract awarded to VanSant Bros., Elmhurst, Del.

(Continued from page 692)

a very carefully and cautiously prepared statement pointing out marked tendencies. We have pointed out these tendencies to the public because in the last analysis they come from the public and the sufferers would be the public. We are working not only for the construction industry but for the public of the United States in order to have them understand construction, appreciate their mutual problems affecting it, increase efficiency, and make for the general welfare and progress of the country."

In addition to the meetings held twice a year to exchange ideas and through addresses and otherwise bring out the existing problems of construction and as a result of these meetings issue a statement to the public, Mr. Roosevelt called attention to the great influence the Council has had as the national body interested in bringing together all elements of the construction industry in order to attack those phases of bad functioning which can be handled only through broad surveys of conditions and promotion of remedial measures in their national phases. The Council for example has given recogni-

tion to the community of interest between the national body and community groups by taking up for very definite action the promotion of community apprenticeship commissions, and the development of training methods and materials for teaching apprentices. It has also given special attention to furthering the organization of new Building Congresses in important construction centers of the country in which it is acting in accord with the National Congress of the Building and Construction Industries; to the giving of national support by the industry to the movement for the reduction of seasonal unemployment; to serving as a clearing house for the distribution of information of interest to the entire industry; to establishing co-operation between the various branches and localities of the industry themselves and the public officials of the country; and to the developing of greater responsibility in construction generally.

## SAVE MONEY—KEEP ON BUILDING

"Construction is the balance wheel of American industry," says Secretary of Commerce Hoover in a foreword to the recently-issued report on Seasonal Operation in the Construction Industries, made by a committee of the President's conference on unemployment. "The ebb and flow in the demand for construction, seasonally and between different years, to a large degree affect our economic stability."

Then, summarizing the findings and recommendations of the committee, he states:

"Bad weather is not the principal cause of seasonal idleness. Customs which became fixed when builders had not yet learned how to cope with adverse weather conditions have not been changed to meet improvements in building materials, the development of new equipment, and innovations in management methods. For most types of construction it now is possible to build the year round in all parts of the United States."

Secretary Hoover and the committee charge materials manufacturers and dealers, as well as all other elements in the building situation, with the responsibility of educating potential builders to the fact that they *can* advantageously build in cold weather and as to *how* they can do so. The Department of Commerce thus lays the foundation for a movement to "keep on building." The United States Gypsum Company has undertaken a share of the responsibility for such a movement. It has got under way a campaign to educate prospective builders in the methods of building with gypsum materials during inclement weather.

Data assembled by the Gypsum Com-

pany last year show that building costs in Winter are materially less than those in Summer. Completion is quicker. Materials are cheaper during the "off season." Labor is more efficient, easier to find and less exacting as to wages. Contractors who employ men the year-round are not confronted with demands for bonuses and extra wages such as are demanded during peak-seasons when the industry is working on an eight-months-out-of-12 basis. Modern equipment makes it possible to maintain the proper temperatures in buildings under construction at lower cost than previously was necessary.

In the Gypsum Company's survey, reports were obtained on one building costing \$750,000, on which a saving of \$87,710 was made by Winter construction. The total cost of protecting it from weather was \$3,863, made up as follows: temporary protection for labor and material, \$871; tarpaulins, \$667, with a salvage of \$442; temporary heat, \$668; salamanders, \$302; coke, \$304; boiler attendants, \$1,036; coal for boiler heating, \$150; temporary lighting, labor and service, \$196; snow clearing, \$111.

Brick-layers who, during the previous summer, were being paid \$14, \$16 and even \$20 a day, worked on this job at \$10, and their efficiency was found to be 18 per cent. greater than in hot weather. The brick-work cost a total of \$28,150. Had it been done during the peak period of the preceding summer, it would have cost \$5,630. Saving on other labor amounted to \$25,680, and \$16,030 was saved on materials as compared with what they would have cost in the summer.

Another contractor estimates that protection of concrete in winter cost him 5 per cent. of the contract, but that this was more than offset by economies in labor-costs.

Similar economies are possible through the use of gypsum building materials. Many of them are factory-cast and consequently are unaffected by temperature, and those that are not cast set into their initial hardness more quickly than other materials. Sheetrock wallboard is one of the cast materials and it makes winter-construction of small dwellings possible. For this reason it has been used in many housing projects which had to be completed in Winter. Besides being unaffected by cold, this material has the advantage of coming in large units, which speeds up installation and effects economy in labor-cost.

In analyzing conditions affecting plastering, the United States Gypsum Company has recognized that one of the principal dangers is that the keys which form the mechanical bond between the plaster and wood lath are likely to freeze before they set and so fail to function as a clinch. Even where steam-coils or salamanders are installed, there is the danger



that, while the plaster on the inside may set, the keys will freeze.

For this reason the company has perfected Gyplath, a fireproof substitute for wood lath, which entirely eliminates the keys and makes it possible for the plasterer to work on a solid background of insulating material which keeps the cold out until the plaster on the walls and ceilings has entirely set. This has caused many contractors to specify Gyplath, or "plaster board," for winter work.

The advantage of using gypsum plaster is that it sets in a few minutes and attains virtually its full strength within 24 hours. So it is not necessary to maintain heat in a gypsum-plastered room more than one day. Furthermore, the use of gypsum wood fibre plaster obviates the necessity of using sand which, when it is damp and frozen, causes delays and difficulties in plastering.

All gypsum fireproofing, tile and poured constructions can be carried on in Winter with a minimum of additional expense. Structural gypsum generates sufficient heat in the mixture to keep it from freezing during the few minutes required for it to get its initial set.

Use of such materials as these will, as Secretary Hoover points out, mean an improvement of labor and other conditions in the building industry and a material scaling down of the congestion and expense of the nation's annual building program.

#### SHOWS BUILDERS NEW SOURCE OF PROFIT

"Tomorrow's profits must come from today's wastes," declared Ray M. Hudson, chief of the Division of Simplified Practice, U. S. Department of Commerce, to an audience of representatives of the building industry, comprising the New Jersey Building Congress, meeting in Newark recently.

"When the Hoover Committee on the Elimination of Waste in Industry made an expert survey of six of our major industries, it found that the building industry stood in fourth place, with 53 per cent. waste," he continued. "Thirty-four per cent. was chargeable to management, and one of the major causes is lack of simplification and standardization in materials, methods, machinery and so on.

"Think what this means, when you consider that more than five billions of dollars are spent annually in construction in this country."

"The Department of Commerce, through the Division of Simplified Practice, is endeavoring to help the building industry in checking this waste. It is helping to bring about the reduction of unnecessary variety in sizes and dimensions and other immaterial differences in

every day commodities. It is not standardization, nor is it technical but it is based on sound economics.

"Our Division has co-operated with the producers, distributors, architects, engineers, contractors in simplification projects in the field of building. Sixty per cent. of the variety in finished sizes of soft lumber; 81 per cent. of the variety in metal lath; 98 per cent. of the variety in brick sizes; 47 per cent. in hollow building tile, and 51 per cent. of the variety in roofing slate have been eliminated; and this action has been taken by all groups concerned.

"This co-operation between Government and Industry contains nothing regulatory or inquisitorial. Our job is to help such groups as are interested in reducing waste to get the facts and to put their action into practice.

"Many of the 18,000 or more business failures in 1922 were due to frozen capital, due to excessive stocks or inventories resulting from carrying too many varieties of the same thing. Simplification helps release frozen capital, helps keep stocks liquid and turning faster. Reducing variety means quantity production and lower costs; and quantity buying means lower prices, enabling both manufacturer, distributor and consumer to do business on a quantity basis.

"You have the opportunity to make further savings by buying standardized materials, by applying the recommendations given in the engineer's report entitled 'Waste in Industry' and in the more recent report on 'Seasonal Operation in the Construction Industries.' To keep things on an even keel you have to do business on a quantity basis, cut out the wastes, operate your business so you can give full value for the prices you ask, and still make a fair profit. You can do this in proportion to the extent you co-operate in support of the simplified practice recommendations covering building materials, equipment and supplies.

"Simplification is an important factor in the continued success of American industry, and we hope that you will put it to work in your field, not because we suggest it, but because you see in it greater opportunities for you all, individually and collectively."

#### FEW LIMESTONE BEAMS KEEPING STRAIGHT

Progressive sagging during long continued application of load has occurred in most of the eighteen limestone beams undergoing fatigue tests at the Bureau of Standards. None of these beams have broken yet. The greatest amount of bending in addition to that produced by the initial application of the load is .005 inches, while the average is .002 inches.

These beams are 28 inches long be-

tween supports with a section 4 inches wide by 1½ inches thick. They are supported at their ends and carry at the middle a load equal to two-thirds of the load required to break them. In this condition they have remained now for about 16 months and will remain for a long time to come. The load is to be increased, however.

Many cases of fracture in stone buildings have occurred, the bureau states, in which the load was not excessive and in which failure appears to have resulted from long continued application of the load. Marble and granite slabs have been known to assume a permanent bend or warp under a very slight load, and incidents of this warping in the case of marble can generally be found in old graveyards. Such warping is less common in granite, but a case has come to the bureau's attention in which some granite steps were warped to such an extent that they had to be redressed, as a result of being left on the ground for some time before use.

#### SALTS IN OIL SMOKE INJURE SLATE ROOF

Salts contained in the soot from an oil burner were found by the Bureau of Standards of the Department of Commerce to be the cause of extensive decay in the slate roof of the building in which the burner was housed. These salts, being soluble in water, were leached into the slate by the rains and were recrystallized in dry weather. The formation of the crystals tends to pry the particles of slate apart and produce an effect similar to frost action only much more severe.

The disintegration of the slate was first noticed about six years ago and in some parts of the roof it has progressed to the danger point. It manifests itself only on the interior and is invisible from the outside. The process begins at the edge of the shingles and progresses along the direction of the cleavage, reducing the slate to powder.

All advertising pays—even that which is poorly constructed. A bad ad. is better than no ad. at all. It is worth all that it costs in the competitive world of the present day, merely to keep one's name where the possible buyer cannot help seeing it. To be out of sight in the commercial world is to be out of mind.

Advertising is telling who you are, where you are, and what you have to offer the world in the way of service or commodity.

If nobody knows who you are, or what you have to offer, you do no business, and the world is the loser through giving you absent treatment.

Life is too short for the consumer to employ detectives to ferret out merchants who have the necessities of life to sell.



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Erickson & Weiss, Fisher's Ave. and Mascher St.  
ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

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Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

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Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

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## BRICK (Face, Common, Paving).

Holloway Corporation....105-107 S. Third St., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

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119 Walnut St., Phila.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

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The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.  
Erickson & Weiss, Fisher's Ave. and Mascher St.  
Massiah, Frederick..Juniper and Cypress Sts., Phila.

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CONCRETE WORK.

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## CURTIS WOODWORK.

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## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

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Barnett Bingswanger.....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co..829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

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Weil, J. H., Co. ....1315 Cherry St., Phila.

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## ELEVATOR DOOR HANGERS.

Wagner Mfg. Co. ....328 Witherspoon Bldg., Phila.

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McDevitt, John F.....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

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Pettit, Frank, Ornamental Iron Works,  
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Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

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Truscon Laboratories.....1505 Race St., Phila.

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Gillingham Co. ...Norris and Richmond Sts., Phila.

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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 45  
November 5, 1924

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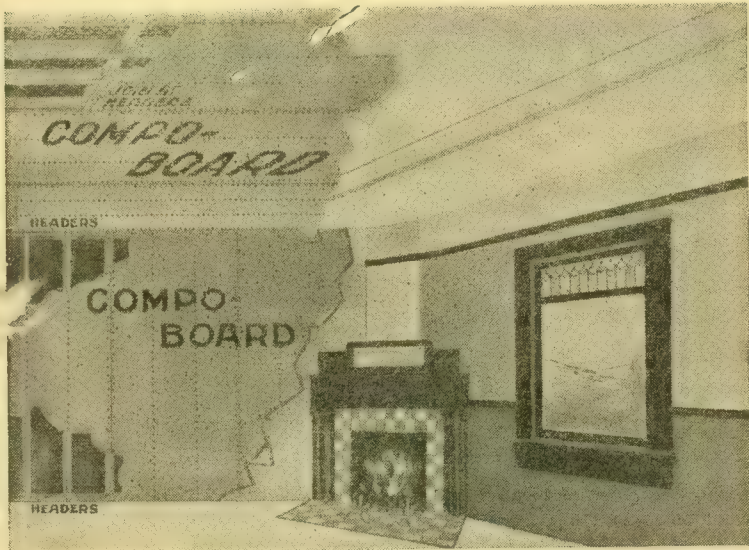
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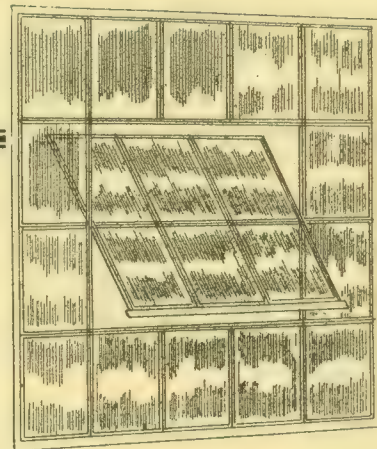
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
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Foot of 49th Street, Schuylkill River Wharves  
Bainbridge Street Wharf, Schuylkill River

Bell-Kensington 7120

Keystone-East 8982

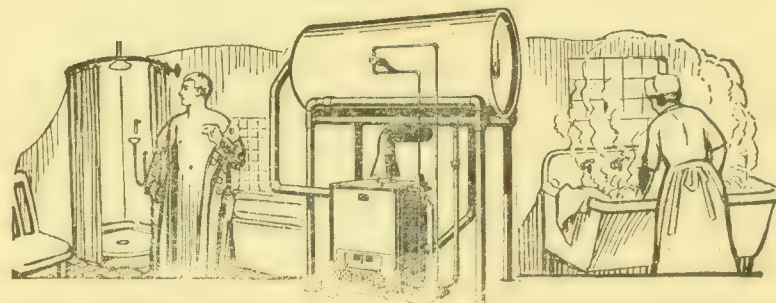


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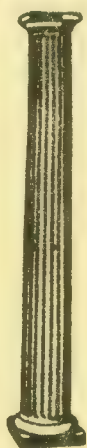
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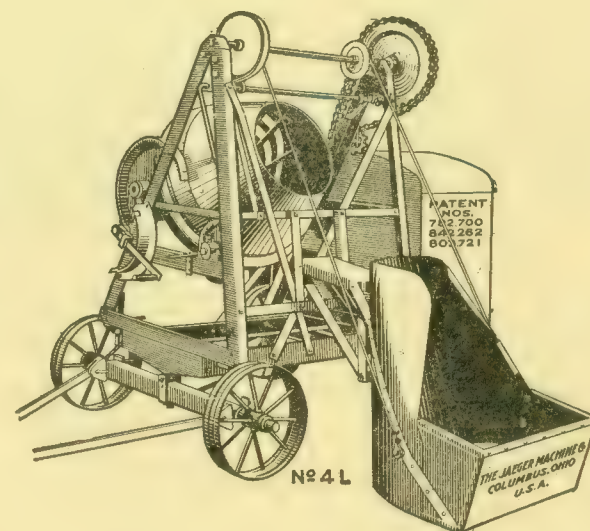
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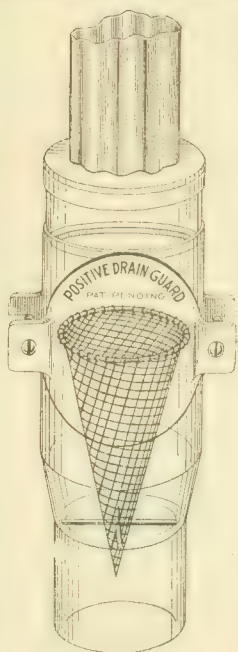
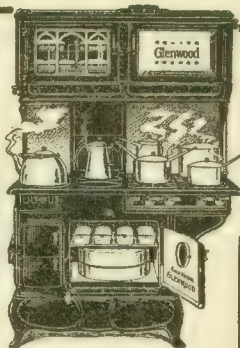


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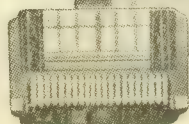
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural

VOLUME XXXIX

Number 45

Engineering and the Building Trades

PHILADELPHIA

November 5, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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BY WHARTON CLAY

*Architectural Engineer, Member of the  
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National Fire Protection  
Association*

If an architect and engineer and a criminal incendiary should get their heads together, they could hardly devise a better construction for rapid destruction by fire than the present residence or apartment building with lumber joists, studs and ordinary lath. Even the plaster, which is incombustible itself and would be considered a fire protection of high order, aids in making a series of chimneys to aid in the draft, and when this plaster is installed, as is customary, the entire interior of the chimney is lined with small pieces of rough wood easily ignited, and which communicate a fire with incredible speed throughout the structure. This does not mean that lumber must be eliminated to make houses fire-safe, but to make them fire-safe, the lumber must be protected in a manner different from the present custom and the myriad of small pieces of wood must be eliminated.

It seems strange that the design of fire-restrictive construction should have started at the top and worked downward to the residence. It is strange that city ordinances give more consideration to the protection of the lives of transients with-

in their boundaries living in hotels than is given to their own citizens whose lives are in constant peril in houses that strictly conform to all the laws. Stranger yet, that a man will demand a fireproof vault in which to store bond and stocks, and yet will leave home light-heartedly with his dearest possessions soundly asleep in a tinder box which, on the slightest spark, in a few moments will become hopelessly involved in a rapidly enveloping fire. In fact, the modern house, if constructed scientifically at all is built so as to permit the flames to spread in the most rapid manner that could possibly be devised.

Lumber construction, because of its strength, ease of cutting and fitting, and the familiarity of the workmen with it, is today the most economical material with which houses can be constructed. Attempts have been made to produce fire-resistive houses with other materials, but they have always ended in financial disappointment because of the extra burden it places upon the home owner. There is another reason, too, why incombustible materials have not appealed to the home owner. We are creatures of habit, and are familiar with wood and appreciate its beauty. We do not like to see the cold floors and do not readily respond to a different form of construction. Fortunately, there is no need for this, for within our grasp and within reach of our pocketbooks lie materials which will make the fire-resistive home a present reality.

In fact, there are many that have been built throughout the length and breadth of this land, and their safety has been tested by actual fires, which, obtaining a start, are stopped before they gain headway.

Metal lath as a protection for lumber solves the problem as does no other material. It does not change our habits of constructing the building, it does not hamper the speed of erection, and it does not add greatly to the cost. It even lessens the burden on the pocketbook of the householder, because it reduces the depreciation and upkeep expense cost to a greater extent than it increases the original investment.

For over thirty years, expanded metal lath has been known to the general building public as a fire-resistive material. Notable examples of its fire-stopping qualities have appeared from time to time. On the other hand, hundreds and even thousands of houses constructed in the ordinary manner burn down yearly, and we thoughtlessly let them pass without inquiring into the basic reasons why houses should be so readily consumed and take with them so many precious lives.

The true measure of the fire-resistive value of expanded metal lath as a protection for wood was not known until a short time ago; but on the anniversary of Fire Prevention Day, 1922, the Underwriters' Laboratories announced that a wood-studded partition plastered on

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PRINTS**



both sides by metal lath and plaster, and an ordinary wood-stud floor as commonly constructed, but protected on the under side with metal lath and plaster would resist the intense heat of the Laboratories' standard fire test for over one hour and remain intact and carry their loads beyond that period. Shortly thereafter, they announced that ordinary lath and plaster would expose the wood behind it, under the same test conditions, in about four minutes. Thereby *the secret was revealed of the immense life and fire loss in residence construction in America.*

Fire preventionists have pointed out the comparison between the fire losses in Europe and America and have attributed it to greater use of incombustible exterior walls in Europe and the common use of frame construction in America. Even the statistics of fires in this country are disregarded when such a conclusion is reached, for we find in the report of the Committee on Statistics on Origin of Fires, dated May 22, 1919, and issued by the National Board of Fire Underwriters, that in the column headed "Percent of Fires Confined to Building or Place of Origin" that the percentages run in the following manner: 99, 91, 98, 98, 97, 94, 100, 96, etc., giving as a general average for every reported city in the United States, a figure well above 96 per cent.

In other words, the fire hazard in America is not due to the spread of fires such as the exterior wall might have some control over, but is due almost entirely to fires which start in certain buildings and involve the building of origin only. That is, the interior construction represents 96 per cent. of all the fire loss, and the control of this 96 per cent. of the fire loss in this country must be the objective of the thought directed toward improving construction. External construction concerns only 4 per cent of the fires, therefore, it is strange that we have given so much consideration to the 4 per cent and so little consideration to the 96 per cent.

More consideration has been given to the elimination of the wood shingle than

has been given to wood lath. Many cities have legislated against wood shingles, when not more than 2 per cent of all the fires in the country can possibly be attributed to conflagrations involving more than two buildings at a time, and municipal authorities have neglected to provide safety from internal fires which form 96 per cent. of the hazard. They have allowed large credits for incombustible exterior walls and they have permitted ordinary window glass to be put in windows, vitiating entirely the undoubted safety of the wall itself, and from an engineering standpoint, have neglected the adage that a "chain is only as strong as its weakest link." It is true that a stucco-covered frame structure is more fire-resistive than the same structure covered with siding. It is equally true that a conflagration will enter a brick building as quickly as a frame building.

My purpose is not to object to giving credits where credits are due. On the contrary, it is my earnest plea that proper weight and measure be given to the fire-resistive advantage that better interior construction will provide over a period of years.

Not only does expanded metal lath and plaster resist the fire which is endeavoring to break through the plaster coating and get to the interior of partitions, but any fire which originates inside of a partition has little to feed on with expanded metal lath and plaster on two sides and a smooth flat piece of wood studding whose edges are embedded in plaster for each of the other two boundaries. True, this wood can ignite, but the horizontal bridging almost universally placed midway between floor and ceiling of these partitions and walls confines such a fire within a very small bulkhead, and fire stops can also be placed at the floor levels to further reduce the chances of spread of fire. In contrast we have the condition inside of a partition lined with ordinary rough lath of ideal size for propagating a fire.

(Continued on Page 719)

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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Garage**, Northeast Corner Twelfth and Brown streets, Philadelphia. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Brick, 1 story, 90x136 feet, gypsum roof, cement floors, steam heat, electric light, hollow metal skylights. New plans in progress.

**Residences (40)**, Thirtieth and Allegheny avenue, Philadelphia. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Brick, 2 stories, 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Plans in progress.

**Alterations and Addition**, 302 South Fifty-second street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. A. M. Chandler, on premises. Bond, cut stone, brick, carpentry and mill work, steel and iron work, hardware, plastering, painting, electric work, plumbing (heating reserved). Architect taking bids due November 10th.

**Parish House**, Broad and Tioga streets, Philadelphia. Architect, Robert Gill, 159 East Tulpehocken street, Philadelphia. Owners, Church of the Resurrection Protestant Episcopal Church, on premises. Stone, brick, cut east stone, steel, 1 story, balcony and basement, 61x67 feet (plumbing, heating, electric reserved), built-up asbestos roof, maple floors, hollow metal skylights, fire doors, ornamental iron work, waterproofing, ornamental plaster. Architect taking bids due November 14th.

**Grading and Tile Paving**, 4937 Stenton avenue, Germantown, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Atwater Kent Mfg. Co., on premises. Architects taking bids due November 7th.

**Post Office**, Windrim avenue, East of Old York Road, \$30,000. Architect, Leroy B. Rothschild, 215 South Broad street, Philadelphia. Owner, A. Leibowitz, 4045 Baltimore avenue, Philadelphia. Brick, cut stone, concrete, 1 story and basement, 111x47 feet, slag roof, cement floors, plumbing, roof ventilators, metal ceilings, structural iron work, bond, hollow metal doors, saw tooth skylights, rolling steel sash, marble and terrazzo work, steam heat, electric light, limestone. Owner will build.

**Auditorium**, Thirty-fourth and Spruce streets, Philadelphia. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owners, University of Pennsylvania, Thirty-fourth street and Spruce street, Philadelphia. Stone, brick, steel. Details undecided. Architect selected.

**Factory**, Sixty-eighth and Woodland avenue, Philadelphia. Architect, E. A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Simplex Valve Meter Co., J. W. Ledoux, 1112 North Broad street. Brick, steel, concrete, 1 story, 90x175 feet, slag roof, cement floors, electric light. Plans in progress.

**Church (alts. and add.)**, Green Lane and

Silverwood street, Manayunk, Philadelphia, \$25,000. Architect, Charles W. Maslin, 428 Roxborough avenue, Philadelphia. Owners, Epiphany Lutheran Cong., Rev. W. Wacker, on premises. Stone, irregular in size, slate roof. Plans in progress.

**Synagogue**, South Philadelphia. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owner, name withheld. Stone, terra cotta, 1 story and basement, 46x50 feet. Plans in progress.

**Reredos for Altar**, Chapel of Blessed Sacrament, Olney, Pa. Architect, Percy Ash, 225 East Washington Square, Philadelphia. Owners, St. Alban's Church, Rev. Archibald Campbell Knowles, Olney, Pa. Preliminary sketches in progress.

**Garage and Auto Show Room**, Broad and Elser streets, Philadelphia. Architect, Charles Schaef, 11 South Sixteenth street, Philadelphia. Owners, Samuel R. Dresner and Dr. J. B. Chaiken, care of architect. Brick, steel, 2 stories and basement, 57x103 feet, slag roof, cement and pine floors, elevators, metal ceilings, cast stone, flush bulks, rolling steel skylights, marble work, steam heat, electric light. Plans in progress.

**Store and Apartments (alts. and add.)**, 5827 Greene street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Clarence M. Brown, Land Title Building, Philadelphia. Brick, 1 story, 30x20 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Sketches in progress.

**Residence (alts. and add.)**, 2121 Delancey street, Philadelphia. Architects, Mills & Van Kirk, Harrison Building, Philadelphia. Owner, Miss Sara A. Wilson, on premises. The work, rear addition, 12x13 feet 4 inches, 1 story, slag roof, new bay window, interior alterations, hardwood floors, hot water heat. Plans ready for bids.

**Garage**, 1315-19 Passyunk avenue, Philadelphia, \$25,000. Architects, Durham Brothers, 1609 Sansom street, Philadelphia. Owner, George Andrews, 1162 South Tenth street, Philadelphia. Brick, steel, 2 stories, 48x69 feet, slag roof, concrete and plank floors, elevators, hollow metal sash, steam heat, electric light. Owner will build and is taking sub-bids.

**Residences (9)**, Tower and Jamestown streets, Philadelphia. Architect, private plans.

Owner, Carl F. Hirsch, 418 Ripka avenue, Roxborough, Philadelphia. Brick, 2 stories, 14 feet 4 inches x 36 feet, slag roof, stone foundations, electric light, pine floors, plumbing. Owner taking sub-bids due as soon as possible.

**Garages (40)**, Jasper and Lehigh avenue, Philadelphia. Architect, private plans. Owner, Charles M. Wasson, Kensington and Wishart streets, Philadelphia. Steel work, brick work, mill work, plumbing, painting and glazing, slag roof, cement work. Owner taking bids due as soon as possible.

**Residences (68)**, Peach street, between Columbia and Montgomery avenues, Philadelphia. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, J. Korman, 1520 North Rosehill street, Philadelphia. Brick, 2 stories, 16x32 feet, slag, tin and tile roof, hardwood floors, hot water heat, electric light, tile work, metal lath, cement work, garages in basement. Owner taking sub-bids.

**William Cullen Bryant School**, Sixtieth and Cedar avenue, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, cut stone, granite, reinforced concrete, steel, 3 stories and basement, 80x123 feet, composition, slate and copper roof, maple, cement and pine floors, hollow tile, safety treads, metal weather strips, metal ceilings, waterproofing and dampproofing, ornamental iron work, iron stairs, floor hardener, bond, rolling steel doors, sheet metal sash, marble work, metal lath (plumbing, heating, electric and ventilating separate). Owners taking bids due November 6th.

**Building (alts.)**, 216 Lombard street, Philadelphia. Architect, William H. Timm, Perry Building, Philadelphia. Owners, Abbott's Alderney Dairies, on premises. Brick work, slag roof, steel sash, carpentry and mill work, concrete work, plastering, plumbing, rolled steel doors, waterproofing, iron work, painting. Architect taking bids due as soon as possible.

**Turkish Bath**, 741 Porter street, Philadelphia. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, I. Rossman, 729 Jackson street, Philadelphia. Brick, steel, 2 stories, 15x70 feet, slag roof, steam heat, electric light, tile and marble and slate work, concrete swimming pool, plumbing, hollow metal skylights, metal ceilings, waterproof-

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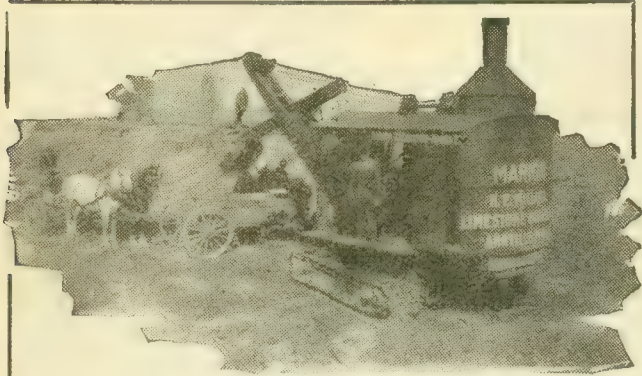
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ing. Owner taking bids due as soon as possible.

**Store Building (alts.)**, Northeast Corner Fourth and South streets, Philadelphia. Architect, private plans. Owner, A. H. Kaplan, Fourth and South streets, Philadelphia. Brick work, iron and steel work, alterations to heating, lighting and plumbing, tile, marble and terrazzo work, Morene Travertine, mill work, metal window guards, metal ceilings, shoring, copper work, galvanized iron work, ornamental iron work, metal bulks, store fixtures, leaded glass. Owner taking bids.

**Church (superstructure)**, F and Westmoreland streets, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Ascension of Our Lord Roman Catholic Church, Rev. D. L. Broughal, on premises. Architects taking bids on heating and electric work due November 8th.

**Garage**, Foulkrod and Duffield streets, Philadelphia. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, Eli Mervish, 739 South Sixtieth street, Philadelphia. Brick, 1 story, 75x201 feet, gypsum and rubberoid roof, steam heat, electric light, rolled steel sash and skylights, ornamental iron work. Owner taking bids due November 6th.

**Show Room, Warehouse and Garage**, Roosevelt Boulevard and Sixth street, Philadelphia. Architects, Webber & Wurster, 1520 Locust street, Philadelphia. Owners, Wright & Wright, 2215 North Broad street, Philadelphia. Brick, cast stone, steel, concrete, limestone, 1 story and basement, 282x81 feet, steam heat, electric light, metal lawn, tile and marble work, terra cotta, cast stone, cement work. Architects taking revised bids due as soon as possible.

**Garages (14)**, 7014-40 York road, Philadelphia, \$8,700 total. Architect, private plans. Owner, Frank D. Williams, on premises. Brick, 1 story, 16x20 feet, slag roof, cement floors, electric light. Owner will build.

**Apartment**, Southeast Corner Broad street and Sixty-fifth avenue, Philadelphia, \$75,000. Engineers, Arrow Const. Co., 34 South Seventeenth street, Philadelphia. Owner, William Moore, Otis Building, Philadelphia. Stone and brick, 4 stories, 92x60 feet, hardwood and pine floors, electric light, steam heat, tile work. Engineers will build.

**Garage**, West side Front street, South of Shunk street, \$25,000. Architect, private plans. Owner, Abram Berman, 2502 South Third street, Philadelphia. Brick, 1 story, 50x203 feet, slag roof, cement floors, hot water heat, electric light. Owner will build.

**Residence**, North side Krewston road, West of Bustleton Pike, \$6,000. Architect, private plans. Owner, W. B. Bubeck, Somerton, Philadelphia. Frame, 2 stories, 26x34 feet,

shingle roof, hardwood and pine floors, electric light, tile work. Owner will build.

**Residence and Store**, 8511 Eastwick avenue, Philadelphia, \$6,000. Architect, private plans. Owner, William Greenman, 8314 Brewster avenue, Philadelphia. Brick, 2 stories, 16x54 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, 908-10-12-14 Tyson street, Philadelphia, \$5,000. Architect, private plans. Owners, Harry T. Harting & Son, 927 Tyson street, Philadelphia. Brick, 2 stories, 20x29 feet, slag roof, electric lighting, hardwood and pine floors. Owners will build.

**Residences (4)**, North side Gibson avenue, East of Fifty-fourth street, \$5,400. Architect, private plans. Owner, Jesse L. Steele, 924 South Fifty-fourth street, Philadelphia. Brick, 2 stories, 16x32 feet, slag roof, hot water heat, electric light. Owner will build.

**Residence and Store and Residences (7)**, Sixty-sixth and Elmwood avenue, \$29,000. Architect, private plans. Owner, D. Raden, 5415 Florence avenue, Philadelphia. Brick, 2 stories, various sizes, hot water heat, electric light. Owner will build.

**Garage**, Northwest Corner Hoffman and Cecil streets, Philadelphia, \$8,000. Architect, private plans. Owner, F. H. Thole, 1200 South Fifty-eighth street, Philadelphia. Brick, 1 story, 36x100 feet, slag roof, cement floors. Permit issued.

**Residences (4)**, West side Pembroke avenue, North of Ivins avenue, \$6,000 each. Architect, private plans. Owner, L. Davis, Palmyra, N. J. Stone and frame, 3 stories, 16x40 feet, hot water heat, electric light, hardwood and pine floors. Owner will build.

**Residences (2)**, East side Oakley street, North of Knorr street, \$5,000 each. Architect, private plans. Owner, Samuel Karp, 2516 West Cumberland street, Philadelphia. Brick, frame, 2 stories, 16x49 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, 4627 James street, Philadelphia, \$3,500. Architect, private plans. Owner, A. Manuszak, 4622 Tacony street, Philadelphia. Brick, 2 stories, 16x18 feet, slag roof, pine floors, electric light. Owner will build.

**Garage**, 3613-15 Calumet street, Philadelphia, \$3,000. Architect, private plans. Owner, Michael Handel, 5821 Lansdowne avenue, Philadelphia. Brick, 1 story, irregular size, slag roof, cement floors. Owner will build.

**Garage**, East side Fifty-fourth street, North of Woodland avenue, \$5,000. Architect, private plans. Owner, Harry P. Reed, 1127 South Sixty-first street, Philadelphia. Brick, 1 story, 65x156 feet, cement floors. Owner will build.

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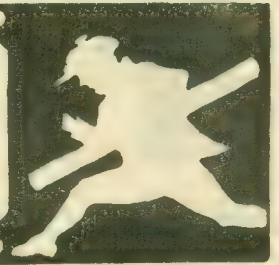
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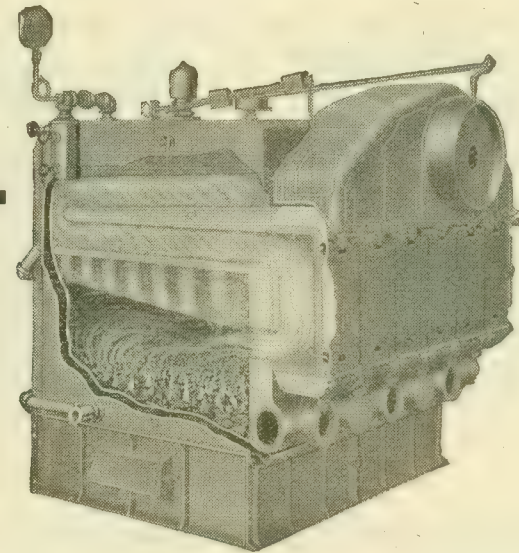






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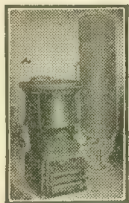
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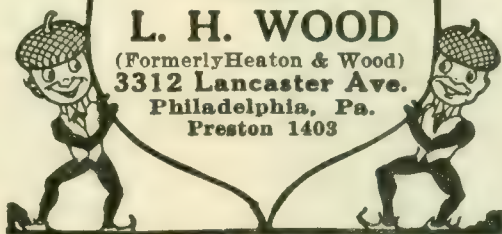
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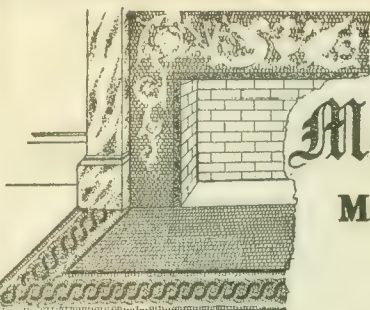
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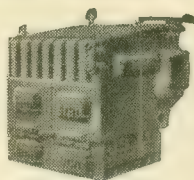
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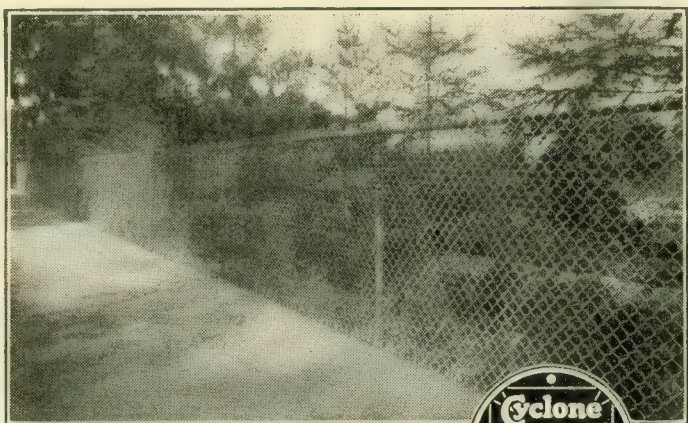


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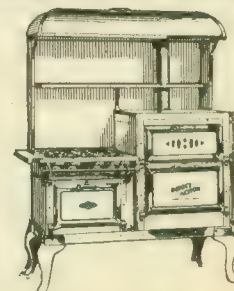
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street, Philadelphia, \$5,000. Architect, private plans. Owners, Supplee, Wills, Jones Co., on premises. Steel. Owners will build.

**Residences (2)**, South side Hellerman street, North of Oakley street, \$4,500 each. Architect, private plans. Owner, W. G. Isles, 806 Levick street, Philadelphia. Frame, 2 stories, 14x46 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, South side Bleigh street, East of Rockwell, \$4,200 each. Architect, private plans. Owner, Henry J. Tunstall, 1006 Cottman street, Philadelphia. Brick, 2 stories, 14x38 feet, slag roof, pine floors, electric light, hot water heat. Owner will build.

**Residences (3)**, East side Lawndale avenue, South of Levick street, \$4,000 each. Architect, private plans. Owner, Frederick C. Foy, 6411 Rising Sun avenue, Philadelphia. Brick, 2 stories, 16x30 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Guyer avenue, West of Eighty-fourth street, Philadelphia, \$3,000. Architect, private plans. Owner, Alex. Sterrett, 2231 Fitzwater street, Philadelphia. Brick, 2 stories, 16x36 feet, slag roof, pine floors, hot air heat, electric light. Owner will build.

**Residences (40)**, 2900-18 and 2901-19 South Colorado street, 2900-18 South Seventeenth, and 2901-19 South Eighteenth street, Philadelphia, \$115,200. Owner, Charles Weild, 2737 South Sixteenth street, Philadelphia. Brick, 2 stories, various sizes, hot water heat, electric light, slag roof. Owner will build.

**Residences (4)**, (2) Shelbourne avenue and Levick street, and (2) 805-07 Magee street, Philadelphia, \$4,000 each. Owner, William A. Kitchner, 836 Magee street, Philadelphia. Brick, 2 stories, 14x40 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, North side Magee street, East of Tabor street, \$4,000 each. Architect, private plans. Owner, Theo. Kirmise, 6604 Oxford avenue, Philadelphia. Brick and frame, 2 stories, 16x41 feet, shingle roof, hot water heat, electric light, pine floors. Owner will build.

**Service Station**, Northwest Corner Roosevelt Boulevard and Mayfair street, \$2,700. Architect, private plans. Owner, Thomas Connor, on premises. Brick, 1 story, 32x20 feet, slag roof, cement floors. Owner will build.

**Residence**, East side Torresdale avenue, North of Linden avenue, \$2,500. Architect, private plans. Owner, George B. Krantz, 1937 East Orleans street, Philadelphia. Frame, 1 story, 20x30 feet, hot air heat, electric light, shingle roof. Owner will build.

**Residence and Office (add.)**, 3725-29 York Road, \$2,000. Owners, N. Masifi & Son, on premises. Brick, 2 stories add., 16x20 feet. Owners will build.

**Residence (add.)**, 1257 East Cheltenham avenue, Philadelphia, \$2,000. Architect, private plans. Owner, P. P. Turner, M. D., 1423 Widener Place, Philadelphia. Brick, 2 stories add., 15x15 feet, slag roof, pine floors. Owner will build.

**Recreation Centers (2)**, Philadelphia. Own-

ers, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Shelter Building, C, Westmoreland, D, Ontario streets, Philadelphia. Sheet asbestos, 1 story, 41x29 feet, asbestos shingle roof, concrete work, waterproofing, brick work, iron work, iron fences and gates, carpentry and mill work, painting and glazing (plumbing, drainage and electric separate). Low bidders: Penn Engr. & Const. Co., Real Estate Trust Building, Philadelphia, Item A, \$54,960; Item B, \$49,010; Kaufman Const. Co., North American Building, Philadelphia, Item A, \$55,175; Item B, \$48,975. Plumbing, J. Bugger, 2124 East Cumberland street, Philadelphia, Item A, \$1,587; Item B, \$950; L. Sommer & Son, 2436 Brown street,

Philadelphia, Item A, \$2,180; Item B, \$862. Electric, Merit Elec., 630 Race street, Philadelphia, \$449. Shelter Building and Imp., Hancock, Master and Jefferson streets. Brick work, iron work, iron fence and gates, carpentry and mill work, painting and glazing (plumbing, drainage, electric separate), sheet asbestos, 1 story, 41x29 feet, asbestos shingle roof, cement floors. Low bidders: Kaufman Const. Co., North American Building, Philadelphia, \$6,185; Conneen Const. Co., 2313 Walnut street, Philadelphia, \$6,998. Plumbing, George W. Sandman Co., 404 South Twentieth street, \$1,170. Electric, Merit Elec. Co., 630 Race street, Philadelphia, \$435.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Garage**, Northeast Corner Fourth and Spring Garden streets, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Ladner Realty Co., Fifth and Green streets, Philadelphia. Brick, steel, 1 story, 178x39 feet, composition roof, cement floors, plumbing, electric light, bond, wrought iron pipe. Contract awarded J. Copeland, 1218 North Seventh street, Philadelphia.

**Residence**, South side Van Kirk street, East of Erdrick street, \$7,000. Architect, private plans. Owner, Edward J. Stevens, 5427 Walker street, Philadelphia. Brick, 2 stories, 18x36 feet, slag roof, hardwood and pine floors. Contract awarded to Sutton & Rudolph, 1602 Bridge street, Philadelphia.

**Residences (4) (alts.)**, 2032-34-36-38 North Tenth street, \$2,400 total. Architect, private plans. Owner, Thomas Martin, 1217 West Susquehanna avenue, Philadelphia. General alterations. Contract awarded to A. J. Monaghan, 2615 North Sixth street, Philadelphia.

**Residences (10)**, South side Fillmore street, West of Tackawanna street, \$4,500. Architect, private plans. Owner, Tony Olivieri, 4518 Tackawanna street, Philadelphia. Brick, 2 stories, 15x32 feet, 11x9 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, East side Mitchell street, North of Shurs lane, \$4,500. Architect, private plans. Owner, Walter Rowland, 4403 Dexter street, Philadelphia. Brick, 2 stories, 21x30 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Factory**, 1615-21 Wood street, Philadelphia, \$25,000. Owner, A. Leibowitz, 4045 Baltimore avenue, Philadelphia. Brick, 2 stories, 60x100 feet, slag roof, electric lighting, pine floors. Owner will build.

**Moving Private Patients' Building**, Penn and Chew streets, Philadelphia. Architect, A. H. Brockie, 254 South Fifteenth street, Philadelphia. Owners, Germantown Hospital, Penn and Chew streets, Philadelphia. Heating contract awarded to W. H. Walters &

Sons, 1314 North Carlisle street, Philadelphia, \$9,800.

**Apartment House (alts.)**, 3922 Chestnut street, Philadelphia, \$2,600. Architect, private plans. Owners, Blair, Inc., 5225 Chestnut street, Philadelphia. General alterations. Contract awarded W. B. Lane, 5209 Chancellor street, Philadelphia.

**Church and Sunday School**, Greene, near Coulter street, Germantown, \$200,000. Architects, Day & Klauder, 1416 Chestnut street, Philadelphia. Owners, Second Church of Christ Scientist, on premises. Stone, cut stone, reinforced concrete, brick, steel, 1 story and basement and balcony, 103x1388 feet, steam heat, slag roof, linoleum floors, hollow tile, plumbing, wrought iron pipe, electric light, metal lath, marble and terrazzo work, bond, precast stone, bluestone, limestone. Contract awarded F. L. Hoover & Son, 1023 Cherry street, Philadelphia.

**Residences (5)**, Rhawn and Tabor Road, Fox Chase, Philadelphia. Architects, G. Harold Murphy and C. M. Talley, Drexel Building, Philadelphia. Owner, name withheld. Stone, frame, brick, stucco, 2½ stories, 24x40 feet, frame, 1 story, 10x18 feet, slate, shingle and slag roof, hardwood and cement floors, hot water heat, electric light, tile work (plumbing, heating and electric separate). Contract awarded Rush Bros., Darrah below Margaret streets, Philadelphia.

**Building**, Dock street, between Walnut and Moravian streets, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Seaman's Church Institute, Second and Walnut streets, Philadelphia. Brick, cut stone, cast stone, concrete and steel, 2 additional stories. Contract awarded Wark Co., 1600 Walnut street, Philadelphia.

**Church**, Loretta and Ripley avenue, Philadelphia. Architect, A. M. Dobbins, 1709 Arch street, Philadelphia. Owners, Berean Methodist Episcopal Church, on premises. Stone and clapboard, 1 story, 24x48 8feet, wing 16x22 feet, shingle roof, pine floors, plumbing, vapor heat, electric light. Contract awarded Charles Sinn, 5518 North American street, Philadelphia.

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**Residences (9)**, Southeast Corner Wissahickon and Clapier streets, \$58,000. Architects, MacKenzie & Wiley, 517 Bankers' Trust Building, Philadelphia. Owner, Leon J. Benamy, 903 North American Building, Philadelphia. Brick, (1) 3 stories, 18x56 feet, 1 story, 20x13 feet, (8) 2 stories, 18x22 feet, 14x20 feet, 1 story, 14x18 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Benamy Const. Co., 903 North American Building.

**Residence**, South side Weigard street, West of Ridge avenue, \$9,000. Architect, private plans. Owner, J. Courtney Nedwill, 1907 Chestnut street, Philadelphia. Stone, 3 stories, 34x44 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to John R. Schaeffer, 3731 North Seventh street, Philadelphia.

**Store**, Northwest Corner Solly avenue and Roosevelt Boulevard, Philadelphia, \$7,000. Architect, private plans. Owner, J. Elwood McKinley, 1318 Arrott street, Philadelphia. Brick, 1 story, 17 feet 10 inches x 40 feet, slag roof, pine floors. Contract awarded to James McKinley, 1318 Arrott street, Philadelphia.

**Garage**, South side Venango street, West of Balfour street, \$8,000. Architect, private plans. Owner, Elizabeth Garlick, 2934 East Venango street, Philadelphia. Brick, 1 story, 45x140 feet, slag roof, cement floors. Contract awarded to E. Garlick, 2934 East Venango street, Philadelphia.

**Residences (2)**, East side Veree Road, North of Faunce, \$5,000 each. Architect, private plans. Owner, Joseph A. Hearn, 5136 Akron street, Philadelphia. Brick, 2 stories, 16x38 feet, hot water heat, electric light, hardwood and pine floors. Contract awarded to Bankers & Drach, 110 Ryers avenue, Cheltenham, Pa.

**Residence and Office (alts.)**, 6942 Torresdale avenue, \$6,000. Architect, private plans. Owner, Warren E. Titus, on premises. Carpentry, mill work, plastering, electric work, heating alts. Contract awarded to F. W. Van Loon, Perry Building, Philadelphia.

**Warehouse (alts. and repairs)**, 326 North Third street, \$5,000. Architect, private plans. Owners, Penn Leather Co., 322 North Third street, Philadelphia. General alterations and repairs. Contract awarded to Geo. Kessler Cont. Co., 1733 North Marvine street.

**Manufacturing Building (alts.)**, Northwest Corner Fourth and Race streets, \$7,500. Architect, private plans. Owners, Stephen F. Whitman & Sons, on premises. Underpinning, shoring, concrete work. Contract awarded to William Steele & Sons Co., 219 North Broad street.

**Warehouse and Office (alts.)**, 205-11 North Fourth street, \$7,000. Architect, private plans. Owner, Benj. H. Shoemaker, on premises. Underpinning, shoring, concrete work. Contract awarded to William Steele & Sons Co., 219 North Broad street.

**Residence**, 2652 East Somerset street, Philadelphia, \$7,000. Architect, private plans. Owner, Michael Cosmo, on premises. Brick, 2 stories, 18 feet 7 inches x 50 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to J. Curcillo, 2002 South Twelfth street, Philadelphia.

**Residence**, South side Solly avenue, West of Frontenac street, \$6,500. Architect, private plans. Owner, John Drum, Sr., 6618 Rising Sun avenue, Philadelphia. Frame, 1 story, 25x44 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to H. E. Durst, Rhawn and Castor avenue, Philadelphia.

**Garage**, 4735-37 Reinhard street, Philadelphia, \$4,000. Architect, private plans. Owner, John Repetta, 4716 Kingsessing avenue, Philadelphia. Brick, 1 story, 17x77 feet, 9x17

feet, slag roof, cement floors. Contract awarded to A. P. Schade, 1312 North Ninth street, Philadelphia.

**Store**, Southwest Corner Seventeenth and Francis streets, Philadelphia, \$3,500. Architect, private plans. Owner, H. L. Ensign, on premises. Brick, 1 story, 16x30 feet, slag roof, pine floors. Contract awarded to Wil-lart & Company, 262 West Sheldon street.

**Factory (add.)**, 1603 North Hope street, Philadelphia, \$3,000. Architect, private plans. Owner, A. Holt, on premises. Brick, 2 stories add., 18x56 feet 10 inches, slag roof, electric light. Contract awarded to A. Dell, 1532 East Berks street, Philadelphia.

**Residence**, Frontenac and Rhawn streets, Philadelphia, \$4,500. Architect, private plans. Owner, E. G. Pogel, 6120 Torresdale avenue, Philadelphia. Frame, 2 stories, 16x40 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to C. Day, Rhawn and Moro streets, Philadelphia.

**Residence**, North side Fuller street, West of Frontenac, \$7,200. Architect, private plans. Owner, John Drum, 5925 Chancellor street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to C. Day, Rhawn and Moro streets, Philadelphia.

**Garage**, 1124-26 Leopard street, Philadelphia, \$8,100. Architect, private plans. Owner, Howard White, 1142 Dunton street, Philadelphia. Brick, 2 stories, 26x79 feet, slag roof, cement floors. Contract awarded to Edward C. Sherry, 188 West Girard avenue, Philadelphia.

**Residence**, East side Bingham street, North of Levick street, \$4,200. Architect, private plans. Owners, Walter and Anna Kershaw, 1101 Levick street, Philadelphia. Frame, 1 story, 34x24 feet, hot water heat, electric light, shingle roof, pine floors. Contract awarded to Thomas Dreegar, 5646 Malcolm street.

**Residences (2)**, West side Belgrade street, North of Lefevre, \$4,800 each. Architect, private plans. Owner, A. S. Sohousk, 2344 Orthodox street, Philadelphia. Brick, 2 stories, 14x40 feet, slag roof, hot water heat, electric work. Contract awarded to Louis Ahlers, Rhawn and Large streets, Philadelphia.

**Store (alts.)**, 1230 Chestnut street, Philadelphia, \$4,000. Architect, private plans. Owner, J. Ash, on premises. General alterations. Contract awarded to S. Yellin & Son, 3125 Montgomery avenue.

**Residence (alts. and add.)**, 1025 West Cambria street, \$4,000. Architect, private plans. Owner, Mrs. Louise Schute, 2845 North Eighth street, Philadelphia. Brick, 2 stories add., 12x10 feet, general alterations. Contract awarded to D. A. Adams, 2933 North Seventh street, Philadelphia.

**Residence (alts. and add.)**, 708 Fitzwater street, \$3,900. Architect, private plans. Owner, P. Del Rotto, on premises. General alterations and hot water heating. Contract awarded to C. Francesiconi & Son, 912 Mifflin street.

**Apartment (alts. and heat.)**, 2117 Spring Garden street, \$3,400. Architect, private plans. Owner, Ignatz Goodman, 410 Liberty

Building, Philadelphia. General alterations and new heating. Contract awarded to C. E. Leisey, 2104 Norris street, Philadelphia.

**Store and Residence (alts. and add.)**, 714 South Twentieth street, \$3,000. Architect, private plans. Owner, George Perry, on premises. Brick, third story add., 16x14 feet, general alterations. Contract awarded to Joseph Perry, 714 South Twentieth street, Philadelphia.

**Garage**, 7343 Bingham street, Philadelphia, \$2,300. Architect, private plans. Owner, Charles Schweigert, on premises. Brick, 1 story, 40x18 feet, slag roof, cement floors. Contract awarded to Shoemaker & Bros., 5726 North Mascher street.

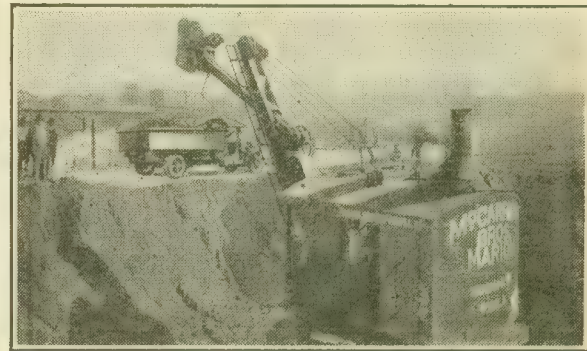
**Store and Residence (alts.)**, Northeast Corner Twenty-second and Columbia avenue, \$3,000. Architect, private plans. Owner, I. Cohen, 2426 Ridge avenue, Philadelphia. General alterations. Contract awarded to F. I. Wintz, 1618 North Twenty-seventh street, Philadelphia.

**Store and Storage (alts. and add.)**, 1613 South Eleventh street, \$3,200. Architect, private plans. Owner, A. Fria, on premises. Brick, 2 stories add., 16x13 feet, general alterations. Contract awarded to A. Leshner, 2647 South Seventh street, Philadelphia.

**Apartment (alts. and add.)**, 1665 Orthodox street, \$2,500. Architect, private plans. Owner, Ernest H. Mancke, 1801 East Wishart street, Philadelphia. Brick, 3 stories, 20x9 feet, 4x15 feet, general alterations. Contract awarded to B. Cerranti, 1835 Orthodox street, Philadelphia.

**Business Building (alts.)**, 21 South Sixteenth street, Philadelphia, \$2,500. Architect, private plans. Owner, B. Hoffman, 254 South Fifteenth street, Philadelphia. General alterations. Contract awarded to Leonard Will, 651 North Frazier street, Philadelphia.

**Garage and Shop**, 1225 Cottman street, Philadelphia, \$2,500. Architect, private plans. Owner, Lena Pelman, on premises. Brick, 2 stories, 40x18 feet, slag roof, cement and pine floors, hot water heat, electric light. Con-



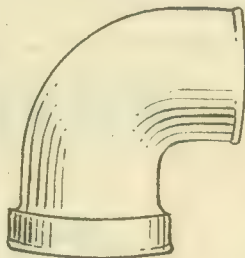
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tract awarded to Henry Pelman, 1225 Cottman street, Philadelphia.

**Rooming House**, 1616 Locust street, Philadelphia, \$2,000. Architect, private plans. Owner, John E. Magesel Co., 1420 Walnut

street, Philadelphia. Brick, 1 story add., 18x24 feet, slag roof, pine floors. Contract awarded to Harry R. Rust, Inc., 19 South Eighth street, Philadelphia.

wood floors, steam heat, electric light, metal lath, tile work. Plans in progress.

**Lodge (add.)**, 1040 Penn street, Reading, Pa. Architects, Scholl & Richardson, 136 Robeson street, Reading, Pa. Owners, Fraternal Order of Eagles, William Luppold, chairman, 117 North Eighth street, Reading, Pa. Stone and brick, 2 stories. Plans in progress.

**Store House**, Fort Mifflin, Pa. Architects, U. S. Engr. Office, 1505 Race street, Philadelphia. Owners, U. S. Government, Washington, D. C. Hollow tile, steel, concrete. Plans completed. Owner will advertise for bids shortly.

**Residences (82)**, Wycomb and Essex avenues, Lansdowne, Pa. Architects, William Lowentha and E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, David L. Sloan, Maple and Essex avenues, Lansdowne, Pa. Brick, stucco, 2 stories, 18x32 feet, 16x39 feet, slate roof, hardwood floors, copper spouts, hot water heat, electric light, metal lath, tile work, garages in basement, cement work. Owner will build.

**Apartment (alts.)**, Middletown, Pa. Architect, R. E. Williams, 1319 North Second street, Harrisburg, Pa. Owner, Max Jrauss, Middletown, Pa. Partitions, electric work, pine floors, general alterations. Owner will take sub-bids.

**Rectory**, Pottstown, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Holy Trinity Roman Catholic Church, Rev. Aboyovsky, Pottstown. Brick, 3 stories, 42x32 feet, slate roof, hardwood floors, hot water heat, electric light, tile work (heating reserved). Architect taking bids due November 12th.

**Residence**, Conshohocken, Pa. Architects, Karcher & Smith, 34 South Seventeenth street, Philadelphia. Owner, Miss Marion B. Wood, care of architect. Brick, cut stone, steel, stone, 2½ stories, 104x48 feet, slate roof, oak and pine and cement floors, hot water heat, electric light, metal lath, tile and marble work, waterproofing, bond, ornamental iron work, flagstone, vacuum cleaner system, plumbing, Byers or Reading wrought iron pipe. Architect taking bids due November 6th.

**Residence**, Lancaster, Pa. Architects, Hamme & Witman, City Bank Building, York, Pa. Owner, J. M. Hetrick, Woolworth Building, Lancaster, Pa. Stone, 2½ stories, 65x31 feet, 24x48 feet, slate roof, hardwood and tile floors, vapor vacuum heat, electric light, metal lath, tile and marble work. Owners taking bids due as soon as possible.

**Garage and Apartment Building**, Fifth and Chester River, Chester, Pa. Architect, J. Frank Clark, 23 South Sixteenth street, Philadelphia. Owner, name withheld. Brick, cast concrete stone, structural steel, 3 stories, 60x155 feet, irregular, wood piles and reinforced concrete foundations, plumbing, mill work, waterproofing, cement paving, cast stone, ornamental iron work, flush bulks, fire escapes, rolling steel sash, metal lath, vapor heat, electric light. Franklin Const. Co., 23 South Fifteenth street, Philadelphia, taking sub-bids due at once.

**School**, Wallingsford, Delaware County, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Nether Providence School Board, Wallingford, Pa. Low bidders: Wills Bill Co., 1706 Sansom street, Philadelphia, \$73,434; Bowden Const. Co., 1935 Chestnut street, Philadelphia, \$74,

## PENNSYLVANIA

# Construction News

**Colonial Theatre, Stores (2), Dance Hall**, Easton, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Wilmer & Vincent, 1451 Broadway, New York City. Architect taking bids due November 5th. (Note extension.)

**Bungalow**, St. David's Road, St. David's, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Concrete foundations and clapboard, 1½ stories, 48x32 feet, hot water heat, electric light, tile work, asbestos shingle roof, hardwood floors. Plans in progress.

**Residence and Garage**, Elkins Park, Pa. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, S. Weiler, care of architect. Stone, 2½ stories, 26x70 feet. Plans in progress. Architect will be ready for bids in one week.

**Residence and Garage**, Riverside Drive, Harrisburg, Pa. Architect, R. E. Williams, 1319 North Second street, Harrisburg, Pa. Owner, R. Brinser, Harrisburg News Agency, 108 Chestnut street, Harrisburg, Pa. Stone, stucco, 2½ stories, 75x75 feet, slate roof, hardwood floors, vapor heat, electric light, tile and marble work, ornamental iron work. Plans in progress.

**Residence**, Lancaster, Pa. Architect, H. Y.

Shaub, Imperial Building, Lancaster, Pa. Owner, name withheld. Stucco, 2½ stories, slate roof, hardwood floors, electric light. Plans in progress.

**Residence (alts. and add.)**, Ephrata, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owner, Iven Mentzer, Ephrata, Pa. Brick, 2½ stories, 18x25 feet, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residence**, Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owner, Mr. Wilson, care of architect. Brick, 2½ stories, 24x60 feet, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residence**, Scranton, Pa. Architect, Theodore Preitz, 313 Lackawanna avenue, Scranton, Pa. Owner, name withheld. Brick and frame, 2½ stories, 60x38 feet. Plans in progress.

**Convent (alts. and add.)**, 231 North Jardin street, Shenandoah, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, care of Rev. John Mickun, 229 North Jardin street, Shenandoah, Pa. Brick, frame, third story add., 30x55 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Rectory (alts. and add.)**, 229 North Jardin street, Shenandoah, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, care of Rev. John Mickun, 229 North Jardin street, Shenandoah, Pa. Brick, frame, third story add., 25x40 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**School and Auditorium**, Annville, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, St. Francis Lithuanian Parish, Rev. J. A. Karalois, Annville, Pa. Brick, structural steel, 3 stories, 92x64 feet, slag roof, hardwood and cement floors, hollow tile, safety treads, roof ventilators, cast stone, steam heat, electric light, metal lath, bond, iron stairs. Architect will be ready for bids in two weeks.

**Hospital (alts. and add.)**, Sixth street, Reading, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Homeopathic Hospital, C. E. Leppy, chairman Building Committee, Reading, Pa. Fireproof, brick, steel, 4 stories and basement, 35x60 feet, slag roof, concrete floors, hollow tile, safety treads, waterproofing, steam heat, electric light, metal lath, tile and marble work, metal sash, fire doors, bond, iron stairs, ornamental iron work. Architects taking bids.

**Church and Sunday School**, Port Carbon, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Lutheran Church, Rev. Eberwein, Port Carbon, Pa. Stone or brick and structural steel, 2 stories and basement, 45x95 feet, slate roof, hard-

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500. Heating and ventilating, William T. Fowden, Chester, Pa., \$10,900. Electric, E. F. Higgins & Co., Wilmington, Del., \$1,500. Plumbing, H. F. Riley & Co., Chester, Pa., \$2,575.

**J. Henschman School** (add. of 6 rooms), Woodland Manor, Delaware Township, Pa. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owners, School Board of Delaware Township, Woodland Manor, Pa. Brick, cast stone, steel, 2 stories, 25x110 feet (plumbing, heating, electric separate), slag roof, maple floors, roof ventilators, ornamental iron work, caststone. Working plans in progress. Ready for bids in 10 days.

## Pennsylvania Contracts Awarded

**Factory**, Lancaster, Pa. Architect, private plans. Owners, Eisenlohr Cigar Co., 932 Market street, Philadelphia. Brick, 1 story, 60x70 feet (provision for 2 stories), asphalt roof, concrete floors, electric light, roof ventilators, sprinkler system. Contract awarded D. S. Warfel, Lancaster, Pa.

**Bank**, Narberth, Pa. Architects, Boyd, Abel & Gugert, Otis Building, Philadelphia. Owners, First National Bank, Narberth, Pa. Brick, cut stone, steel, 3 stories and basement, 64x30 feet, steam heat, electric light, slag roof, cork and cement floors, plumbing, tile work, wrought iron pipe. Contract awarded W. D. & H. T. Smedley, Narberth, Pa.

**Residence and Garage**, Cheltenham Hills, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, Miss Mary Lippincott, care of architect. Cut stone, stone, hollow tile, stucco, 2½ stories, 24x60 feet, garage, 10x20 feet (plumbing, heating and electric reserved), slate roof, oak, pine and cement floors, bluestone. Contract awarded J. Sims Wilson, 1125 Brown street, Philadelphia.

**Rectory**, Baltimore avenue, Lansdowne, Pa. Architect, George I. Lovatt, 223 South Sydenham street, Philadelphia. Owners, St. Philomena's Roman Catholic Church, Rev. F. J. Markee, on premises. Stone, brick, cast stone, steel, 3 stories and basement, 37x66 feet (plumbing, heating, electric reserved), slate roof, cement and oak floors, painting and glazing, tile and marble and terrazzo work, metal window guards, ornamental iron work, woodoleum floors. Contract awarded A. B. McGregor, 1628 Vine street, Philadelphia.

**Store Building**, Lackawanna avenue, Scranton, Pa. Architect, G. N. Edson, Scranton, Pa. Owners, Household Outfitting Co., Frank & Kleman, Scranton, Pa. Brick, limestone, granite, steel, 8 stories and mezzanine and basement, 74x105 feet (plumbing, heating, electric work, elevators, sprinkler system separate), Barrett Specification roof, cement and pine floors, hollow tile, metal weather strips, metal ceilings, shoring. Contract awarded to Breig Brothers, Scranton, Pa.

**Administration Building**, Cromby, Pa. Architect, private plans. Owners, Philadelphia Suburban Gas & Electric Co., Ardmore, Pa. Brick, 2 stories and basement, 46x69 feet, Johns Mansville built-up asbestos roof, cement floors, roof ventilators, rolling steel sash. Contract awarded Barclay White Co., 1713 Sansom street, Philadelphia.

**Loading Platform, Test House and Pattern Shop**, Troy, Pa. Architect, W. E. S. Dyer, Land Title Building, Philadelphia. Owners, Troy Engine & Machine Co., Troy, Pa. Brick, steel, 1 story, 29x20 feet, 73x26 feet, slag roof, cement and maple floors, rolling steel sash, bond, ornamental iron work. Contract awarded A. K. Sanbrook, Troy, Pa.

**Church**, Collingdale, Delaware County, Pa. Architect, A. M. Dobbins, 1709 Arch street, Philadelphia. Owners, Methodist Episcopal Extension, Collingdale, Pa. Stone, clapboard, 1 story, 24x48 feet, wing 16x22 feet, shingle roof, pine floors, plumbing, vapor heat, electric light. Contract awarded Charles Sinn, 5518 North American street, Philadelphia.

**Residence and Garage**, Elkins Park, Pa., \$20,000. Architect, private plans. Owner, name withheld. Brick, stucco, 2½ stories, 28x40 feet, 1 story, 20x24 feet, shingle roof, hardwood floors, hot water heat, electric light, tile. Contract awarded Hood & Gross, 1613 Chestnut street, Philadelphia.

**Parochial School**, Waynesboro, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, care of Rev. W. J. O'Callahan, Waynesboro, Pa. Brick, 2 stories and basement, 71x125 feet, steel, tile, composition roof, pine floors (heating, plumbing and electric work reserved), school equipment, roof ventilators. Contract awarded to A. J. Etter, Waynesboro, Pa.

**Bungalow**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Thomas Usherwood, Washington street, Spring City, Pa. Frame and stucco, 1 story, 24x32 feet, composition roof, yellow pine floors (heating, plumbing, lighting reserved), plaster boards, Morgan doors, terra cotta. Contract awarded to M. L. Evans, Royersford, Pa.

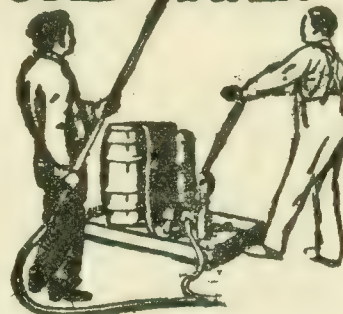
**Residence**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, Orville Quay, Spring City, Pa. Cement block, 2½ stories, 30x30 feet, asbestos roof, oak and tile floors (heating, plumbing and lighting reserved), tile work. Contract awarded to Frank L. Walley, Spring City, Pa.

**Bungalow**, Royersford, Pa. Architect, J. Vincent Poley, 162 Second avenue, Royersford, Pa. Owner, H. C. Rantz, Ninth avenue and Walnut street, Royersford, Pa. Brick, concrete, 1½ stories, 32x36 feet, asbestos shingle roof, oak and tile floors (heating, plumbing, lighting reserved), tile work. Contract awarded to M. L. Evans, Royersford, Pa.

**School**, Merion, Pa. Architect, Walter

Smedley, Stephen Girard Building, Philadelphia. Owners, School District of Merion, W. J. Byrnes, Ardmore, Pa. Brick, granite, steel, cut stone, 1 story and basement, 172x106 feet,

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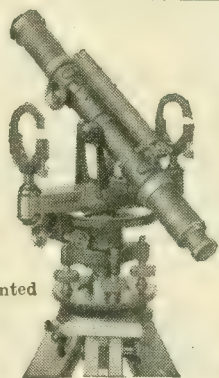
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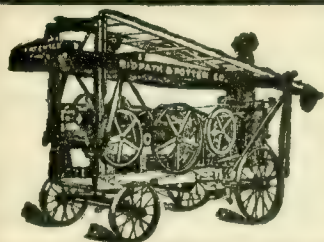
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slag roof, cement, maple floors, rolling steel skylight, roof ventilators, ornamental terra cotta, iron (plumbing, heating, electric reserved). Contracts awarded: Bowden Const. Co., 1935 Chestnut street, Philadelphia, \$154,500. Plumbing, J. Borden & Bro., 637 North Nineteenth street, Philadelphia, \$13,972. Electric, W. Pangborne Co., 1927 West Montgomery avenue. Heating not awarded.

Road Work, Pennsylvania. Owners, De-

partment of Highways of Pennsylvania, Harrisburg, Pa.

Somerset County, R-50, A-3137, Lower Turkeyfoot and Addison Townships, 14,028 feet. One course reinforced concrete. \$126,730.05. Contract awarded to A. W. Hinaman, Mansfield, Pa.

Monroe County, R-169, A-2503, Pocono and Paradise Townships, 6,783 feet. One course reinforced concrete. \$76,014.10. Contract awarded to Lane Const. Corp., Meriden, Conn.

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## New Jersey Construction News

**Community House**, Moorestown, N. J. Architects, Karcher & Smith, 34 S. Seventeenth street, Philadelphia. Owners, Moorestown Community House, E. K. Johnson, Moorestown, N. J. Brick, cut stone, steel, 2 stories and basement, 120x60 feet, wing 75x45 feet, slate roof, maple and cement floors, hollow tile, plumbing, architectural terra cotta, metal casement sash, tile work, steam heat, electric light, dumb waiter, wrought iron pipe. Architects taking bids, due Nov. 13.

**School**, Hammonton, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owners, Hammonton School Board, W. R. Selley, sec'y, Hammonton, N. J. Fireproof, 3 stories, 32 rooms, slag roof, hardwood floors, metal lath, tile and marble work (heating, plumbing and electric reserved), rolled steel sash and skylights, fire doors, iron stairs and work. Plans in progress.

**Residences (4)**, Atlantic City, N. J. Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, name withheld. Hollow tile and stucco, 2½ stories. Plans in progress.

**Residence and Garage**, Woodbury, N. J. Architect, R. L. Goldberg, 10 South Eighteenth street, Philadelphia. Owner, George A. Eagen, care of architect. Frame, 2½ stories, 25x60 feet, 1 story, 20x24 feet, creosote-dipped shingle roof, oak floors, cement work, tile work, electric light, vapor vacuum heat. Plans in progress.

**Residences (4 of present operation)**, Camden, N. J. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, Hitchner & Todd, Thirty-second and Westfield avenue, Camden, N. J. Brick, concrete block, 2½ stories, 20x35 feet, slag and tile roof, hot water heat, electric light, hardwood floors, tile work, garages in basement, metal lath, cement work. Owners taking sub-bids.

**Residence**, River Road, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Dr. Samuel Sica, 309 South Clinton street, Trenton, N. J. Hollow tile and stucco, 2 stories, 32x108 feet, tile roof, hard-

wood floors, hot water heat, electric light, tile and marble work, ornamental iron work. Architect taking bids due in two weeks.

**Residence**, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City. Owner, Albert Abbott, Chelsea Bank Building, Atlantic City, N. J. Hollow tile and stucco, 2½ stories, 62x38 feet, Spanish tile roof, hardwood floors, electric light, tile work. Architect will be ready for bids in two weeks.

**Residence**, Austin avenue, Atlantic City, N. J. Architect, S. G. Dobbin, Segal Building, Atlantic City, N. J. Owner, Wade Hampton, Albany Apartments, Atlantic City. Hollow tile and stucco, 2½ stories, 36x38 feet, slate roof, hardwood floors, hot water heat, electric light, tile and marble work, ornamental iron work. Owner will take sub-bids.

**Residence**, Haddonfield, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owner, A. M. Duckett, 22 West Summit avenue, Haddonfield, N. J. Weatherboard, 2½ stories, 35x28 feet, 10x25 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner ready for sub-bids.

**Apartment**, Dover and Ventnor avenues, Atlantic City, N. J. Architect, S. G. Dobbin, Segal Building, Atlantic City, N. J. Owner, H. Hoffman, 1477 Bradley street, Camden, N. J. Brick, stone, 3 stories, 36x85 feet, slag roof, hardwood floors, hot water heat, electric light, tile work, ornamental iron work. Owner and architect will take sub-bids.

**Post Office**, Camden, N. J. Architect, James A. Wetmore, Treasury Department, Washington, D. C. Owners, United States Government, Treasury Department, Washington, D. C. Extension of Lookout System, including incidental changes in the mechanical equipment of the U. S. Post Office and Custom House at Camden, N. J. Owners taking bids due November 7th at 3 P. M.

**Apartment**, Margate City, N. J. Architect, W. S. Hewitt, Guarantee Trust Building, Atlantic City, N. J. Owner, Mrs. Jessie McClain, Atlantic City, N. J. Brick and frame, 4 stories, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Service Station**, Southeast Corner Second and Mechanic sts., Camden, N. J., \$7,500. Architect, private plans. Owners, Gulf Refining Co., 516 Widener Building, Philadelphia. Brick, 1 story and basement, 15x15 feet, Imperial Spanish tile roof, hot water heat, electric light, tile work. Owners will build.

**Apartment**, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owner, Harry Haulman, 427 North New Hampshire avenue, Atlantic City. Brick, 3 stories, 35x70 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Apartment**, 210 Atlantic avenue, Atlantic City, N. J. Architect, Bertram Ireland, Guarantee Trust Building, Atlantic City. Owners, Freeman & Kaufman, Atlantic City, N. J. Brick, 3 stories, 89 feet 6 inches x 37 feet 4 inches, slag roof, hardwood floors, hot water heat, electric light, tile work. Owners will build.

**Hotel and Store (alts.)**, 117 South Kentucky avenue, Atlantic City. Architect, C. H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owner, Ralph Meckley, on premises. Brick, plate glass, copper work, electric light, tile and marble work, general alterations. Architect will be ready for bids in two days.

**Public Garage and Shop**, 255-57 Spruce street, Camden, N. J., \$5,000. Architect, private plans. Owner, Frank Valeriani, 259 Spruce street, Camden, N. J. Brick and concrete block, 1 story, 32x100 feet, second story, 28x30 feet, slag roof, hot water heat, electric work. Owner will build.

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## New Jersey Contracts Awarded

**John W. Mickle Annex Public School**, Camden, N. J. Architects, Edwards & Green, 23-25 Broadway, Camden, N. J. Owners, Board of Education, Walter Mockey, Camden, N. J. Brick, hollow tile (concrete), cut stone, steel, 3 stories and basement, 85x61 feet, composition roof, cement and maple floors, roof ventilators, metal ceilings, waterproofing and dampproofing, metal lath, rolled steel sash, kalamein doors, bond, iron stairs, ornamental iron work, metal partitions, concrete block, precast cement stone, steel flagpole (plumbing, heating, electric work separate). Contract awarded G. W. Shaner & Son, Palmyra, N. J., \$81,700. Electric, Frank & Sweeney, 1258 Haddon avenue, Camden, N. J., \$1,510. Heating, H. Knecht, West Collingswood, N. J., \$10,986. Plumbing, Charles Leupold, 1466 Haddon avenue, Camden, N. J., \$3,795.

**Store and Residence**, 3092 Federal street, Camden, N. J., \$10,000. Architect, private plans. Owners, Dudley Park Co., Inc., Camden, N. J. Brick, 2 stories, 18x54 feet 6 inches, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to E. H. Sharp, 12 South Center street, Merchantville, N. J.

**Twin Residences**, 331-33 North Forty-first street, Camden, N. J., \$6,500. Owner, Beatrice Thatcher, 714 Linden street, Camden, N. J. Frame, 2 stories, 14x38 feet, slag roof, hot air heat, electric work. Contract awarded to Albert J. Gruber, 410 North Seventh street, Camden, N. J.

**Stores (2) and Store (add.)**, 241 Stevens street, Camden, N. J., \$3,400. Architect, private plans. Owner, Canio Lorruso, 241 Stevens street, Camden, N. J. Brick, 2 stories, 14x16 feet, and 1 story add., 14x16 feet, slag roof, steam heat, electric light. Contract awarded to Dominick Caruso, 503 South Fourth street, Camden.

**Office Building and (3) Garages**, Ferry avenue and Lansdowne avenue, Camden, N. J., \$2,325. Architect, private plans. Owners, Halden-Kelley Coal Co., Clearfield, Pa. Concrete block, 1 story, garages, 10x22 feet, office 12x24 feet, rubberoid roof, electric light, cement work. Contract awarded to A. J. Klemowitz, 2714 Harrison avenue, Camden, N. J.

**Pump House and (6) Storage Tanks**, Twelfth and Federal streets, Camden, \$2,054. Owners, Sun Oil Co., Finance Building, Philadelphia. Concrete, 1 story, 39x18 feet. Contract awarded to Carter Paving Co., Fiftieth and Lancaster avenue, Philadelphia.

**Residences (2)**, Trenton, N. J., \$8,000. Architect, private plans. Owner, James Adams, 1041 South Broad street, Trenton, N. J. Brick, frame and stucco, 2½ stories, 24x58 feet, slate roof, pine floors, electric lighting. Contract awarded to Frank Dereskiewicz, 1540 Genesee avenue, Trenton.

**Residences (2)**, Parkway, Trenton, N. J., \$8,000. Architect, private plans. Owner, Julius Bernhard, 17 Newell street, Trenton, N. J. Frame, stucco and shingle, 2½ stories, 20x50 feet, slate roof, pine floors, electric light. Contract awarded to H. Hilton, 21 Sanford street, Trenton, N. J.

**Residence**, Trenton, N. J., \$4,000. Architect, private plans. Owner, Salvatore Scarletta, care of builder. Brick, 2½ stories, 20x49 feet, slag roof, pine floors, electric work. Contract awarded to M. Dincola, 638 Brunswick street, Trenton, N. J.

**Garage**, 15 Chapel avenue, Trenton, N. J., \$3,150. Architect, private plans. Owner, Edward Plantier, 424 Princeton avenue, Trenton, N. J. Brick, concrete block, 1 story, 20x70 feet, slag roof, cement floors. Contract

awarded to H. Houghton, 663 Rutherford avenue, Trenton, N. J.

**Residence (alts.)**, 200 Atlantic avenue, Atlantic City. Architect, C. H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owners, W. Pedrick and J. Ackerly, care of architect. Brick, 2 stories, pine floors, hot water heat, electric light. Contract awarded to Samuel Headley, Guarantee Trust Building, Atlantic City, N. J.

## Miscellaneous Construction News

**School**, Jarrettsville, Md., \$45,000. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, School Commissioners, M. C. Wright, Belair, Md. Brick, 2 stories. Plans in progress.

**Residence** on Chesapeake Bay, Md. Architect, Percy Ash, 225 East Washington Square, Philadelphia. Owner, William J. Davis, care of architect. Frame, 1½ stories, 125x25 feet, siding, hot water heat, electric light, tile work, shingle roof, hardwood floors. Plans in progress.

**Office Building**, location undecided. Architects, Cram & Ferguson, Boston, Mass. Owners, Provident Mutual Life Ins. Co., Fourth and Chestnut streets, Philadelphia. Details undecided. Architect selected.

**Bath House**, location withheld. Architect, E. Schoeppe, 316 South Fifteenth street, Philadelphia. Owner, name withheld. Brick, steel, concrete, cement floors, tile work, waterproofing, skylights. Preliminary plans in progress.

**Kitchen Building**, Maggie, West Virginia. Architects, P. A. Davis, 3rd, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, Hospital for Insane, care of State Board of Control, J. S. Larkin, chairman Building Committee, Charleston, W. Va. Owners taking bids due November 10th, 4 P. M. (Heating, plumbing, electric reserved).

**Residence and Garage**, Winston Salem, N. C. Architect, Charles Barton Keen, 328 South Smedley street, Philadelphia. Owner, Theron Chatham, Winston Salem, N. C. Hollow tile and stucco, 2½ stories, 45x70 feet, 2 stories, 22x28 feet, tile roof, hardwood and cement floors, vapor heat, electric light, tile and marble work. Architect taking bids due November 12th.

(Continued from Page 708)

It is, therefore, not necessary to depart from the time-honored wood stud and wood joist construction, whether surrounded by a masonry wall or a wood-studded wall covered by either wood siding or stucco, in order to obtain a fire-resistive interior that will give ample protection against a large majority of the fires which statistics show are likely to involve the interiors.

There is a type of partially protected fire-resistive construction which will give the greatest protection for the least extra cost. These are houses which are "built like a battleship," in which the expanded metal lath is used to protect the most vulnerable points, as the battleship designer puts the heaviest armour around the turrets and around the boilers. These vulnerable parts are:

1. *On all stud bearing partitions and fire stops between studs. (Fire stops to be metal lath basket-shaped to fit between*

*studs, coated with plaster or cement and filled with incombustible materials.)*

2. *On ceilings under inhabited floors, especially over heating plants and coal bins.*

3. *At chimney breasts, around flues and back of kitchen ranges.*

4. *For stair-wells and under stairs.*

5. *Exterior walls.*

These are the positions in which the greatest probability of fire exists, or the positions in which fire, if it does start, will do the greatest and quickest damage. While this is not an ideal or ultimate solution, its encouragement is a step in the right direction, and on account of the relatively small additional expense and the crack-resisting advantages it can be more quickly advanced than complete protection.

Fire-resistive houses are a present reality. They simply have not been recognized.

A house has been built in one of the suburbs of Chicago as a model of this type of construction. It was built with the purpose of calling attention of the fire prevention world to the fact that a fire-resistive house could be built at only little extra cost, along the most artistic lines, without deviating in the least from the requirements of the modern housewife as to the exterior appearance of the home or the beauty of its interior. In fact, this house will be free from upkeep expense of repairing plaster cracks and redecorating wall surfaces because of stains or dust marks following the contour of ordinary lath, and will be absolutely safe for the lives of the children who are to live in it. The extra cost will be not more than 2% of the cost of the building.

Fire resistive houses of this general type exist in many communities, but they are not recognized for their intrinsic value, and they are not encouraged by the insurance fraternity whose powerful influence could do so much to bring a realization of the lessened risk of adequate compensation through reduced rates.

The house mentioned here has expanded metal lath covering the underside of all floors and both sides of all partitions and walls. The built-in garage is separated completely from the house by this one-hour rated construction and there is only the smallest possible chance that any fire, however, started, could gain head way fast enough to get out of control.

Much thought has been given to the question of conflagration, but conflagration has been considered only in the terms of a multiplicity of buildings. There is good reason to take a page from the experience of the Naval engineers and encourage a form of design which will make it impossible for any fire to get out of its room of origin for one hour. Na-



val architects, analyzing their problem, found that when a leak occurred in the hull of a vessel that the whole vessel was doomed. They, therefore, developed a system of bulkheads which makes each compartment so water-tight that the vessel will float even if an entire compartment is filled with water. Fire prevention engineers have recognized this same principle in large buildings where they have built fire walls, equipping each opening with automatic self-closing doors, and the same engineering principles can be adopted in the modest dwelling. Burning of the entire structure can be reduced to the burning out of a single room or compartment. The total loss in fires would hereafter be reduced to the damage in the room or origin only.

We have great hope of the efficacy of fire prevention as taught in the public schools by the elimination of carelessness in the minds of the American youth, but any of you who have children will agree with me that the American youth is very careless and will continue to be so, but probably not nearly as careless as the adult American. Much can be gained by this educational policy, but it is a long process that may and may not bring the desired reduction in fire losses. One thing is certain—built-in fire protection is a constant protection, and fires which originate, outside of all human carelessness, can only be stopped by built-in protection.

*Therefore, I say that fire-resistive houses are at present a reality. Their recognition is but a matter of right thinking along engineering principles, weighing the relative duration of metal lath protected wood construction against the duration of construction as ordinarily built with readily combustible lath, and properly considering the relatively greater importance of interior fire protection as against the comparatively small amount of external hazard.*

## IRON REPLACES WOOD IN CONCRETE FORM CONSTRUCTION

BY HARRY P. TERMANSEN

*Special Correspondent for "The Pure Iron Era"*

*Editor's Note*—Ferrous metal is fast eliminating wood from modern industry. One of the more recent uses in which metal has replaced wood is in the making of forms for concrete construction. This has been brought about because of the longer life and much greater adaptability of metalforms.

**I**N the early development of concrete construction wood was used exclusively for giving it form and supporting the concrete until cured or set; but in recent years iron and steel have been rapidly forcing its abandonment. With the constant trend toward larger

buildings, ferrous metal has proved its greater adaptability and economy for the making of forms used in concrete construction.

Particularly in the bigger cities where the demand is for larger and still larger buildings, especially much higher ones, the problem of storage space for material during the period of construction is an important one, and as metal forms require considerably less room, they offer a great advantage.

Speed is also the cry in the building of large modern structures; for the quicker the building is completed, the sooner will the income from rent begin, and the smaller will be the amount of interest lost on the vast sums which are required to build the mammoth structures of today. Since metal forms can be placed and removed considerably faster than those made of wood, they naturally have won favor by reason of this fact. This is particularly true in the dome type of floor construction, which to a large extent has replaced the solid type, especially in multiple-storied buildings. Two general types of metal forms are used, the removable and the permanent. Where permanent forms are used, they are made of a very light gauge iron or steel which remains in the structure.

The removable type of metal form is made of a much heavier gauge metal which is rigid and permits no deflection or sagging. It is supported on wooden strips, nailed to wooden joists. The strips are ripped out after the concrete has set sufficiently and the metal forms removed and used on each succeeding floor. These forms are light, easily stored on the job and readily handled. Under normal conditions two men should lay in place from 4,000 to 6,000 square feet of floor area in eight hours.

The first cost of forms made of metal is higher than those constructed of wood, but the ever increasing cost of lumber, combined with the fact that wooden forms can be used only a few times—normally from three to five—has led to the use of multiple-service removable iron and steel forms.

Although forms may be standard for all the various floors of any particular building, they may vary considerably in width and depth on different buildings. This would necessitate the purchase of a new set of forms for each building by the individual contractors doing the work, which in many cases would make metal forms too expensive. To meet this condition there has developed the business of manufacturing and renting forms to contractors at a certain price per foot.

The BUILDERS' GUIDE is in its thirty-eighth year of continuous publication.

I make it a rule never to write a grouchy letter—I telephone.

## SHOW PARAFFIN BEST FOR WATERPROOFING STONE

The superiority of paraffin treatments for waterproofing stone has been demonstrated by a weathering test of colorless waterproofing compounds conducted at the Bureau of Standards, Department of Commerce, during the past three years. Samples of Indiana limestone and of sandstone have been used in the tests, one half of each specimen being coated with the waterproofing compound while the other half was left untreated.

Very little deterioration was noticed in the case of the paraffin treatments during the period of the test. Materials using aluminum stearate and mixtures of paraffin and china wood oil were also found to give good waterproofing values when properly applied. Materials consisting of solutions of glue, magnesium fluosilicate, cellulose nitrate, resins, etc., are not sufficiently durable to justify their use, in the opinion of the bureau.

Most of the materials tried discolored the stone to a considerable extent at first, depending on the porosity of the stone. Very dense types were not appreciably discolored while very porous ones appeared greasy for several months after treatment. After a year or more of weathering the discoloration disappeared and the treated surface appeared lighter and cleaner than the untreated.

A new series of tests is being started with these materials on dense limestones and marbles. A new compound has recently come into use in England which consists of a silicon ester. This material is being included in the tests.

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From an advertised mattress,  
And put on advertised underwear,  
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Eat advertised breakfast food,  
Drink advertised coffee or substitute,  
Put on an advertised hat,  
Light an advertised cigar,  
Go to his place of business and  
TURN DOWN ADVERTISING ON THE  
GROUND THAT ADVERTISING DOESN'T  
PAY!

The man who starts out with the idea of getting rich won't succeed; you must have a larger ambition. There is no mystery in business success. If you do each day's task successfully, stay faithfully within the natural operations of commercial law, and keep your head clear, you will come out all right.—John D. Rockefeller.

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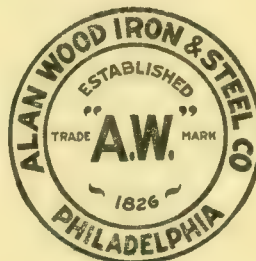
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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 46  
November 12, 1924

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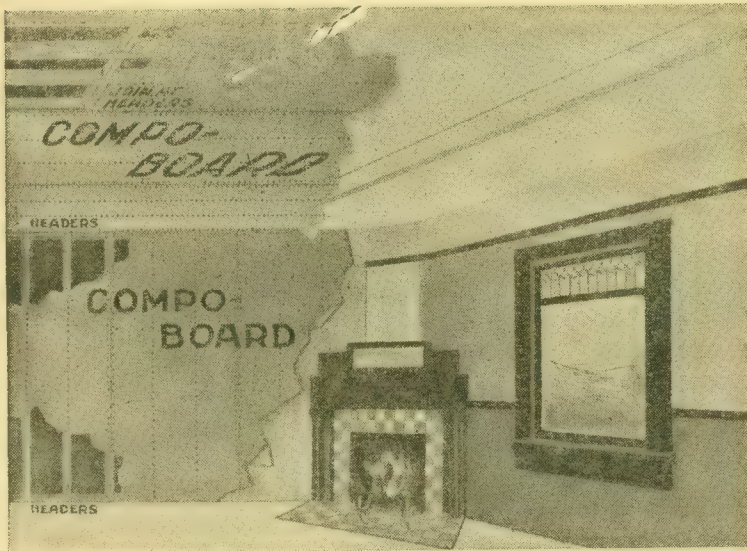
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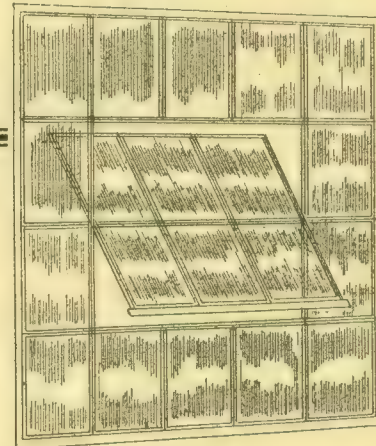
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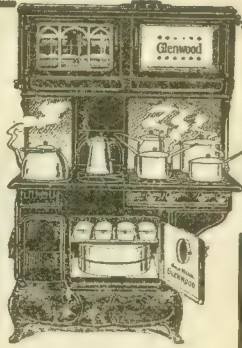


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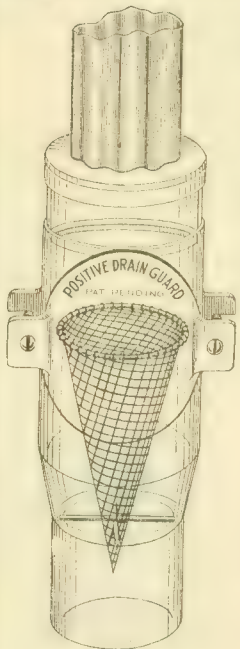
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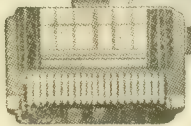
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

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## BUILDERS' GUIDE

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## As The Editor Sees It



### CONCRETING IN COLD WEATHER

#### *Winter Work and the Contractor*

**W**INTER work is not new or untried. Millions of dollars' worth of concrete construction is done each winter. Some contractors even prefer winter to summer concrete work. Labor, both skilled and unskilled, is plentiful and the best can be had. Construction material is usually plentiful during the "slack months." The contractor's overhead expense is reduced by keeping his organization busy and his equipment and construction forces in action throughout the year. The extra cost for protection and heat is largely, if not all, compensated by these advantages. The extra equipment for cold weather concreting is very simple but *no cold weather work should be attempted without it.*

The owner who has a building erected during the winter months has the advantage in letting a contract during the off season. He has, moreover, the important advantage of early occupancy.

#### *Winter Work and the Owner*

Frequently it is imperative to have a structure completed and ready for use at the earliest possible date. Schools, residences, apartment houses, office buildings and hotels are usually needed by a certain date. Earlier occupancy of such structures is of prime importance also from the investment standpoint.

Money provided for building construction earns nothing for the borrower until it is represented as an investment in a completed structure, either rented or occupied by the business for which it is intended. It is often penny-wise and pound-foolish to delay the construction of a needed concrete building because of cold weather, for the extra cost of construction in winter would often be more than offset by the interest saved on the money provided for its construction. The bonus or royalty often paid for the completion of a building before a specified time is tangible evidence of the value placed upon early occupancy by large corporations.

#### *General Principles*

The hardening of concrete is a chemical process. Like most chemical reactions this process requires heat. Furthermore, the hardening process is a gradual one, and continues for a considerable time. One of the fundamental things, therefore, about cold weather concreting, is heat—that is, control of temperatures. In general, the higher the temperature (within limits) the faster the hardening process goes on.

Another fundamental in every case of curing or hardening is that moisture *must* be available. The two fundamental factors in cold weather work therefore, are *heat and moisture*. The entire subject of cold weather concreting is encompassed in those two words. Heat that is

without moisture, that causes rapid drying out, does not produce proper curing conditions. Rapid drying out may be mistaken for the completion of the hardening process. If the concrete is not kept moist during early hardening, its final strength will be less than maximum. It is especially important that moisture be supplied along with heat because of the relatively low moisture content of winter air.

If none of the mixing water evaporated or escaped after the concrete is placed, there would be more than enough present for complete hardening. The object of supplying moisture to the surface of fresh concrete is to prevent evaporation of contained water to a quantity insufficient for the hardening process. Warm, saturated air around the fresh concrete satisfies the conditions of curing.

It is a common phenomenon of chemical reactions that a certain temperature of the mixed substances must be established before the chemical action starts. Once started the action usually continues, provided the rate of loss of heat does not exceed its rate of generation by the chemical action.

Thus, portland cement in the presence of moisture must have a certain temperature before the chemical process of hardening begins. However, the chemical process of hardening of cement goes on slowly, and if the heat loss by radiation

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is very rapid the chemical action will practically stop. Therefore, the first objective in cold weather concreting is to place the material with sufficient contained heat to start the chemical action promptly and then to hold up the temperature so as not to stop or retard the hardening process. The concrete should not be exposed until a strength is attained which will permit the protective measures to be discontinued. By this time the density of the mass will be such as to hold a large part of the contained moisture in such a condition that it will not expand as ice when the concrete is subjected to low temperatures.

Bulletin No. 81 of the Engineering Experiment Station, University of Illinois, contains interesting data on the effect of low temperatures on the hardening of concrete. The data presented shows that some hardening may be expected at temperatures around 32 degrees Fahrenheit, but that the rate of hardening is slow. Some tests were also made to show the effect of alternate freezing and thawing on fresh concrete. The surface concrete of specimens subjected to repeated freezing and thawing attained practically no strength and the strength of the interior portion was only a small fraction of normal strength.

The general principles briefly stated above may be summarized as follows:

1. The hardening of concrete is a chemical process.

2. The temperature of the concrete should not be below a certain minimum (about 40 degrees F.) or the hardening process will not start properly nor will it continue at a normal rate.

3. Green concrete subjected to repeated freezing and thawing will not harden properly.

4. Fresh concrete frozen once, may gain its normal strength, but there is a strong presumption that it will not.

5. During the early stages of hardening, moisture is necessary, and care should be taken to prevent drying out.

6. It is inadvisable to subject green concrete to freezing temperature before it has attained more than one-fourth of its final strength.

7. There is nothing mysterious about successful cold weather concreting—it is simply a matter of keeping the concrete warm and moist. Any method of accomplishing this will produce satisfactory results.

#### *Practical Rules for Cold Weather Work*

Whenever work is started at such a season of the year that cold weather may be expected before the completion of the work, provision should be made to quickly obtain and install enclosing and heating equipment.

Since the concrete should be placed at a temperature which will not delay initial hardening process, it is advisable to heat

both aggregates and water. Simply heating the water but not the aggregates is not enough. The quantity of mixing water amounts to not more than about 20 per cent. of the total volume of the materials and it is obvious that even though the water be introduced into the mixer at a temperature close to the boiling point, the resulting temperature of the hot water and cold aggregates mixed together will be but a relatively small fraction of the temperature of the water. If the temperature of the aggregates is below freezing, a certain amount of frost or ice will be present in them. This frost and ice and the cold aggregate will bring the resulting temperature of the mass below that at which the initial hardening will begin and progress normally. In order to insure prompt beginning of the hardening process, the mass should have a temperature of not less than 60 degrees F. when introduced into the forms, but not to exceed 140 degrees F. The maximum temperature of the mass should not be such as to produce too rapid evaporation of moisture.

There is only one way of knowing the temperature of the concrete as deposited in the forms and its temperature during the first five days after it is deposited, and that is by the use of thermometers. Recording thermometers should be used in the building at several locations and especially on the windward side of the enclosure. Common thermometers should be used to test the fresh mass. Such thermometers may be obtained at an insignificant cost and they constitute an essential part of the equipment for cold weather concreting, because from the data given by them, absolute knowledge may be had as to whether or not the concrete has an opportunity to harden.

Extremes of local climatic changes should be taken into consideration when providing necessary equipment. The speed with which the work is to be carried on should also be taken into account in deciding on the capacity of the heating equipment and the amount of housing material to be supplied. If it be desired to push the work rapidly, sufficient housing should be provided for at least three stories so that one story per week can be constructed.

Tarpaulins of canvas are the most convenient housing material to use. They should be sufficient to provide a tight connection at the lowest floor housed and to completely cover the last floor cast and allow ample room between the canvas and this floor for circulation of heat. Positive provision should be made to allow circulation of heat. It is not enough to insulate the top surface of a green floor and expect that floor to be warm throughout its thickness by absorption of the heat through the slab. Canvas should

(Continued on Page 734)

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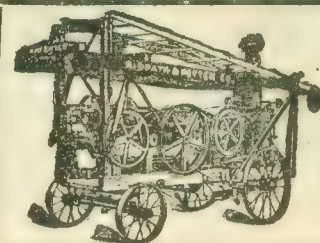
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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Club House (alts.)**, 1319 Locust street, Philadelphia, \$20,000. Architect, not yet selected. Owners, Poor Richard Club, care of Howard C. Story, 239 South Camac street. Brick, 3 stories, 46x92 feet. Interior alterations. Contemplated.

**Office Building and Stores**, Chestnut street, Ransstead, Eleventh and Twelfth streets, Philadelphia. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Estate of Stephen Girard, Lafayette Building, Philadelphia. Stone, steel, concrete, brick, 8 stories. Preliminary plans in progress.

**Art Museum**, Fairmount Park, Philadelphia. Architects, Borie, Trumbauer & Zantzinger, Land Title Building, Philadelphia. Owners, Fairmount Park Commissioners, T. C. Martin, City Hall. Additional work. Plans in progress.

**Garage**, Fifteenth and Windrim streets, Philadelphia. Architect, E. A. Roth, Drexel Building, Philadelphia. Owner, Harry Chervin, 4920 North Broad street, Philadelphia. Brick, steel, 2 stories, 100x100 feet, irregular, composition roof, concrete and plank floors, concrete ramps, hollow metal skylights, rolling steel sash, steam heat, electric light. Plans in progress. Owner will be ready for general bids in two weeks.

**Garage**, rear of 5542-46 Ridge avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Harry Wills, 5546 Ridge avenue, Philadelphia. Brick, 1 story, 20x91 feet 6 inches, slag roof, cement floors, electric lighting. Owner will build.

**Garage and Show Room**, 9057-9 South Fifth street, Philadelphia. Architect, Herman H. Kline, Bulletin Building, Philadelphia. Owner, name withheld. Brick, steel, 2 stories, 42x138 feet, steam heat, electric light, rolling steel sash, metal bulks, plate glass, cement and plank floors, slag roof. Plans in progress.

**Factory (add.)**, Southeast Corner Ninth and McKean streets, Philadelphia. Architect, Herman H. Kline, Bulletin Building, Philadelphia. Owners, Burt Mfg. Co., 1814 Ludlow street, Philadelphia. Brick, slow burning, 4 stories, 32x72 feet, steam heat, electric light, slag roof, maple, plank and concrete floors, rolling steel sash, sprinkler system. Plans in progress.

**Club House**, Southwest Corner Thirty-seventh and Locust streets, Philadelphia. Architect, Robt. R. McGoodwin, 1600 Walnut st., Philadelphia. Owners, Phi Delta Theta Fraternity, Northwest Corner Thirty-sixth and Locust streets. Brick and stone. Details undecided. Preliminary plans in progress.

**Hospital Buildings**, Thirty-fourth and Pine streets, Philadelphia, \$4,000,000. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Property, Bureau of Health and Charities, Dr. W. G. Krusen, City Hall. Plans about completed.

**Administration Building, Women's Building (wing)**, Holmesburg, Pa., \$500,000. Ar-

chitect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owners, Department of Public Welfare, Bureau of Charities and Corrections, Mr. Grakelow, City Hall. Plans in progress.

**Germantown Town Hall**, Haines street and Germantown avenue, Philadelphia. City architect, J. Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Works, Bureau of City Property. Completion of interior. Plans in progress.

**Shelter Building**, Weccacoe, Catherine, between Fourth and Fifth streets, Philadelphia, \$30,500. City architect, J. Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Shelter building, regrading and resurfacing, brick work, iron work, iron fences and gates, carpentry and mill work (plumbing, drainage, electric separate), cement work. Plans completed. Owners ready for bids in a few days.

**Shelter Building**, Whitehall Commons Playground, Torresdale and Wakeling streets, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, City Hall. Working plans in progress.

**Stores (5), Apartments (7)**, Fifty-second and Brown streets, Philadelphia. Architect, W. F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Brick, stucco work, 3 stories, 21x40 feet, hot water heat, tile work, electric lighting, slag, Spanish tile roof, hardwood floors, plate glass, flush bulks. Plans about completed. Architect will be ready for bids in one week.

**Storage Building**, Folsom street, West of Forty-eighth street, Philadelphia. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, Samuel Smilk, 4845 Aspen street, Philadelphia. Brick, 2 stories, 56x31 feet, slag roof, cement floors, electric light. Owner taking bids.

**Residence (alts. for offices)**, 5106 North Broad street, Philadelphia. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, Dr. C. S. Herrman, 5100 North Broad street, Philadelphia. Interior alterations, heating extension, electric light, rubber floors, plumbing, painting. Plans completed. Builder selected.

**Lodge Building**, Northwest Corner Seventh and Pine streets, Philadelphia. Architect, William L. Charr, 149 South Fourth street,

Philadelphia. Owners, Boslover Benef. Asso., care of architect. Stone, steel, brick, 3 stories and basement, 22x87 feet 6 inches, crushed slate roof, maple and rubber floors, metal window guards, waterproofing and dampproofing, ornamental iron work, floor hardener, bond, kalamein and hollow metal doors, tile and marble work, metal lath, electric light, oil heating. Architect taking sub-bids due November 15th.

**Garage**, 1339-41 North Howard street, Philadelphia. Architect, Irvin E. Spirer, 1304 North Second street, Philadelphia. Owner, Matthias Paulis, on premises. Adamantex brick, 1 story, 32x59 feet, slag roof, cement floors, gas radiator, electric lighting, rolling steel sash, hollow metal skylights, sliding doors, iron and steel work, hardware, mill work. Owner will build and is ready for sub-bids.

**Residence and Garage**, Meadowbrook Lane and Stroud street, Chestnut Hill. Engineer, S. W. Marshall, 1524 Chestnut street, Philadelphia. Owner, name withheld. Brick, concrete block, 2½ stories, 32x30 feet, 2 story garage wing 22x28 feet, shingle roof, hardwood and cement floors, vapor vacuum heat, oil burning system, electric light, metal lath, tile work. Engineer will build and is taking sub-bids.

**Store (alts.)**, 958 North Second street, Philadelphia. Architect, Irvin E. Spirer, 1304 North Second street, Philadelphia. Owner, H. Davis, on premises. Brick work, mill work, plastering, hardwood and pine floors, cement paving, metal ceiling, shoring, demolition, painting, copper bulks, tile and marble work, electric light. Plans in progress. Owner will be ready for general bids in three weeks.

**Office Building (alts.)**, 1026-28 Market street, Philadelphia, \$3,000. Architects, Hoffman-Henon, Inc., Finance Building, Philadelphia. Owners, Stanley Co. of America, 1916 Race street, Philadelphia. General alterations. Architects taking sub-bids.

**Turkish Bath**, 741 Porter street, Philadelphia. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, I. Rossman, 729 Jackson street, Philadelphia. Brick, steel, 2 stories, 16x70 feet, slag roof, steam heat, electric light, tile, marble and slate work, concrete swimming pool, plumbing, hollow metal skylights, metal ceilings, waterproofing. Owner will build and is ready for sub-bids.

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**Building (alts.),** 1303-05 Girard avenue, Philadelphia. Architect, private plans. Owner, Ehret J. Hanff, 215 South Broad street, Philadelphia. Lowering first floor, brick work, plastering, new bulks, general interior alterations. Owner will build.

**Market,** South Second street, Philadelphia. City architect, J. Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Works, Bureau of City Property. General construction. Owners taking bids due November 13th at noon.

**Miscellaneous Work,** Philadelphia. Owners, Department of Public Works, Bureau of City Property, 216 City Hall. 2—Improving of Juniata Park by supplying and planting trees. 3—Supplying and planting trees in quantities, variety and to locations as specified. 4—Fertilizer. 5—Making, assembling, repairing and installing Venetian blinds for Independence Hall. Specifications for Items 2, 3, 4, 5 may be obtained at Room 117. Owners taking bids due November 13th at noon. For further information apply Room 117.

**Operation of 200 Residences, including Stores,** Eleventh and Bigler streets, Philadelphia. Architect, private plans. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 2 stories, various sizes, slag roof, hardwood floors, pine floors, hot water heat, electric light, garages in basement of some. Owner taking sub-bids.

**Residences (20),** Nedro and Ogontz avenues, Philadelphia, \$121,000. Architect, private plans. Owners, Hezog & Heinley, 2632 West Sergeant street, Philadelphia. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (3),** East side Torresdale avenue, South of Orthodox street, \$15,000 total. Architect, private plans. Owner, C. Lakowicz, 4635 Torresdale avenue, Philadelphia. Stone and brick, 2 stories, 18x60 feet and 15x56 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (14),** Woodstock and Nedro streets, Philadelphia, \$71,000. Architect, private plans. Owner, Frank Datesman, 4401 Germantown avenue, Philadelphia. Brick, 2 stories, (1) 15x35 feet, (13) 14x24 feet, 11x11 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (16),** 6000-30 North Sixteenth street, Philadelphia, \$85,500. Architect, private plans. Owner, Samuel Kennedy, 3105 F street, Philadelphia. Brick, 2 and 3 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2),** Oxford Pike and St. Vincent street, \$11,000 total. Architect, private plans. Owners, Louis Leitenberger & Sons, 7345 Oxford avenue, Philadelphia. Brick, 2

stories, 16x50 feet and 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Residences (7),** East side Forty-first street, South of Wallace street, \$29,000. Architect, private plans. Owner, Taylor Kershaw, 433 North Forty-first street, Philadelphia. Brick, 2 stories, (1) 16x41 feet, (6) 14x41 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (5),** 408-416 East Mt. Airy avenue, Philadelphia, \$27,000 total. Architect, private plans. Owner, L. W. Boodman, Drexel Hill, Pa. Brick, 2 stories, 15x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (3),** 2640-42-44 Edgemont street, Philadelphia, \$12,400 total. Architect, private plans. Owner, A. Slovak, 3035 Edgemont street, Philadelphia. Brick, 2 stories, 14x36 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (3),** North side Harrison street, East of Charles street, \$6,000 each. Architect, private plans. Owner, Samuel Copkin, 6132 Media street, Philadelphia. Brick, 2 stories, 16x26 feet, 13x20 feet, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Store Building (add.),** West side Forty-third street, South of Woodland avenue, \$10,000. Architects, William F. Koelle & Co., 2601 Oxford street, Philadelphia. Owners, Breyer Ice Cream Co., on premises. Brick, steel, 3 stories add., 34x52 feet, slag roof, pine floors. Architects will build.

**Residences (2),** North side Gates street, East of Launton street, \$9,800 each. Architect, private plans. Owners, C. M. Swartley & Son, 6835 Ridge avenue, Philadelphia. Brick, 3 stories, 20x43 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Residences (2),** 1407-09 East Shelmire avenue, Philadelphia, \$4,750 each. Architect, private plans. Owner, Peter Herdt, Jr., 9442 Whitaker avenue, Philadelphia. Frame and stucco, 2 stories, 16x26 feet, shingle roof, hardwood and pine floors, electric light. Owner will build.

**Garage,** South side Nicetown Lane, East of I street, Philadelphia, \$4,000. Architect, private plans. Owner, John F. Feeny, 106 Kalos street, Philadelphia. Brick, 1 story, 30x60 feet, slag roof, cement floors, electric light. Owner will build.

**Workshop,** East side Belfield avenue, South of Loudon street, \$4,000. Architect, private plans. Owner, J. F. Crouthamel, 4528 North Carlisle street, Philadelphia. Brick, 1 story, 20x70 feet, slag roof, pine floors, electric lighting. Owner will build.

**Residence,** 4718 North Second street, Philadelphia, \$4,500. Architect, private plans.

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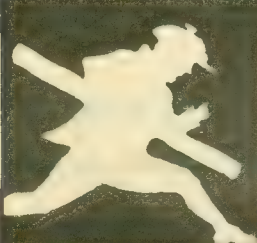
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Owners, Bauerle & Nace, 227 Lindley avenue, Philadelphia. Brick, 2 stories, 15x28 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will build.

**Garage**, 408 East Mt. Airy avenue, Philadelphia, \$4,000. Owner, L. W. Goodman, Drexel Hill, Pa. Brick, 1 story, irregular shape, slag roof, cement floors. Owner will build.

**Residence and Store (alts. and add.)**, 5133 Torresdale avenue, \$3,500. Architect, private plans. Owner, N. Giammachetto, 5123 Worth street, Philadelphia. Brick, 2 stories add., 18x10 feet, general alterations. Owner will build.

**William Cullen Bryant School (add.)**, Sixtieth and Cedar avenue, Philadelphia. Owners, Board of Education, Nineteenth above

Chestnut street, Philadelphia. Brick, cut stone, granite, reinforced concrete steel, 3 stories and basement, 80x123 feet, composition slag and copper roof, maple and cement floors, hollow tile, safety treads, metal weather strip, metal ceilings, waterproofing and dampproofing, ornamental iron work, iron stairs, floor hardener, bond, rolling steel doors, sheet metal sash, marble work, metal lath (plumbing, heating, electric and ventilating reserved). Low bidders: Bowden Const. Co., 1935 Chestnut street, Philadelphia, \$195,900; William Langhorne Co., 10 South Eighteenth street, Philadelphia, \$197,000. Plumbing, Bulman Brothers, 2124 East Cumberland street, \$8,596. Heating, F. J. Mellon, 5845 Beaumont street, Philadelphia, \$24,947. Electric, Mr. Goldhahn, care of owner, \$5,234. Ventilating, Gerbrick & Kauffman, 44 North Second street, Philadelphia, \$1,448.

## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Children's Building (alts. and add.)**, Chestnut Hill, Pa. Architect, Oliver Randolph Parry, 1524 Sansom street, Philadelphia. Owners, Protestant Episcopal Mission, on premises. Carpentry and mill work, brick work, iron work, concrete and cement work, repairs to roof, plastering, hardware, tile floors, painting and glazing, plumbing, electric work, wrought iron pipe, steam heat. Contract awarded Hood & Gross, 1613 Chestnut street, Philadelphia.

**Garage**, 2966-68 Richmond street, Philadelphia, \$4,100. Architect, private plans. Owner, A. Arzanowicz, 3207 Salmon street, Philadelphia. Brick, second story add., 40x40 feet, slag roof, pine floors. Contract awarded to K. Zoltosin, 3027 Edgemont street, Philadelphia.

**Sunday School Building**, Southeast Corner Leon and Stanwood streets, Philadelphia, \$2,500. Architect, private plans. Owner, N. Randolph, et al., Holmesburg, Philadelphia. Frame, 1 story, 24x36 feet, shingle roof, pine floors, electric work. Contract awarded to C. Day, Holmesburg, Philadelphia.

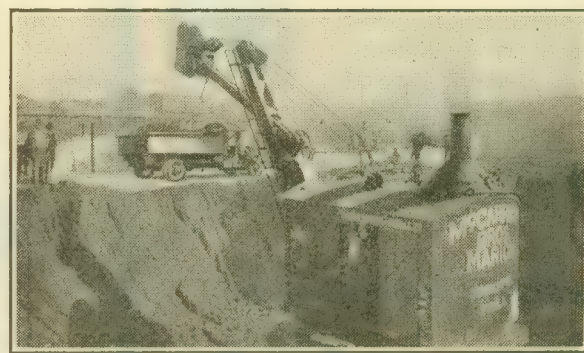
**Store and Residence (alts.)**, Northwest Corner Water and South streets, Philadelphia, \$2,500. Architect, private plans. Owner, Michael Earlus, 2117 Ritner street, Philadelphia. General alterations. Contract awarded to A. A. Shatten, 6142 Pine street, Philadelphia.

**Store and Apartments (alts. and add.)**, Front and York, Philadelphia, Pa. Architect,

Frank E. Hahn, 629 Chestnut street, Philadelphia. Owner, Albert M. Greenfield, Fifteenth and Chestnut streets, Philadelphia. Masonry, cut stone, brick, ornamental iron work, plastering, metal lath, metal bulks, marble, tile and slate work, carpentry and mill work, oak floors, painting and glazing, cold water painting and dampproofing, slag roof, rolled steel skylights, tin lined doors, ventilators. Contract awarded George H. Evans, Inc., 105 North Thirteenth street, Philadelphia.

**Edward Wynne Memorial Hall**, Greene street and School House Lane, Germantown. Architect, Robeson Lea Perot, 137 Harvey street, Germantown, Pa. Owners, Germantown Academy, on premises. Stone, cut stone, brick, steel, 2 stories and basement, 66x50 feet, heating extensions, electric light, metal lath, rolling steel sash, bond, architectural terra cotta, dampproofing, plumbing, wrought iron pipe, asbestos slate roof, pine floors, precast artificial stone. Contract awarded W. O. Springer, 2004 Naudain street, Philadelphia.

**Bank**, Southeast Corner Germantown and Venango streets, Philadelphia. Architects, Willing, Sims & Talbutt, 126 South Eighteenth street, Philadelphia. Owners, Western Saving Fund, 1000 Walnut street, Philadelphia. Brick, cut stone, steel, limestone, 1 story, 90x60 feet, slag roof, cement and linoleum floors, hollow tile shoring, waterproofing, ornamental iron work, vault doors, floor hardener, rolling steel skylights, tile and marble work, metal lath. Contract awarded



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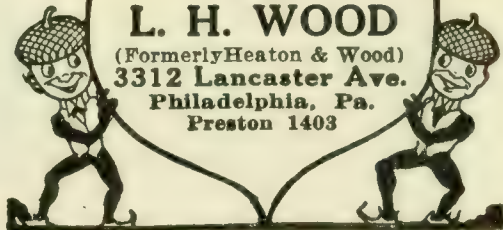
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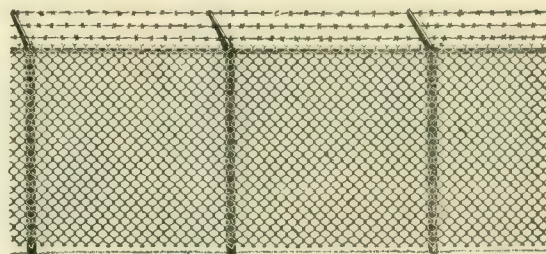
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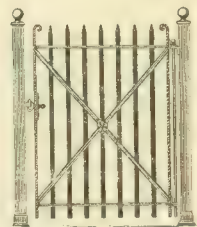
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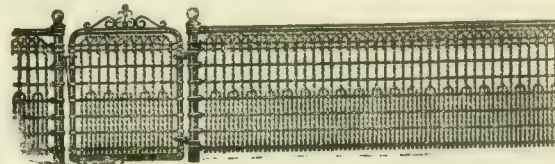
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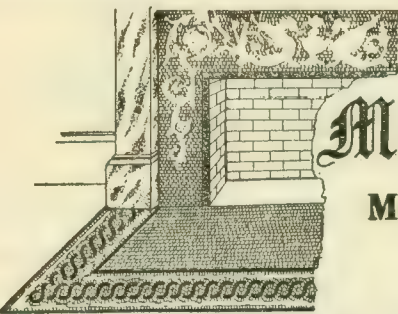
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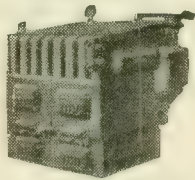
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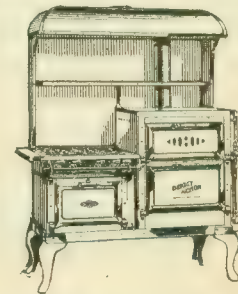
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**Alterations**, 4624 Lancaster avenue, Philadelphia. Architect, Conrad F. Neff, Twelfth and Locust streets, Philadelphia. Owners, Shanahan Catholic Club, on premises. Carpentry and mill work, iron work, plastering, painting and glazing, electric, plumbing, heating, hardware, tin roof. Contract awarded Heist & Doherty, 1216 North Eleventh street, Philadelphia.

**Building (alts.)**, 216 Lombard street, Philadelphia. Architect, William H. Timms, Perry Building, Philadelphia. Owners, Abbott's Alderney Dairies, on premises. Brick work, steel sash, slag roof, carpentry and mill work, concrete work, plastering, plumbing, rolled steel doors, waterproofing, iron work, painting. Contract awarded W. O. Springer, 2004 Naudain street, Philadelphia.

**Orphans' Home**, Southeast Corner Ninth and Shunk streets, Philadelphia. Architects, J. E. Fieldstein and A. C. Bieber, Otis Building, Philadelphia. Owner, name withheld. Brick, cut stone, 2 stories and basement, 100x42 feet, slag roof, maple and composition floors, painting and glazing, rolled steel skylights (heating, plumbing and electric, kitchen equipment separate bids), tile and marble work, metal lath, oil burning. Contract awarded Lam Building Co., 1001 Wood street, Philadelphia. (Note change in contractor.)

**Manufacturing Building (alts.)**, Broad and Glenwood avenue, Philadelphia, \$25,000. Architect, Louis Wirsching, Jr., 85 Ninth avenue, New York. Owners, National Biscuit Co., 85 Ninth avenue, New York. General alterations. Contract awarded to John Griffiths & Sons Co., Twelfth and Glenwood avenue, Philadelphia.

**Shelter Building and Improvement**, Hancock, Master and Jefferson streets. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Contract awarded Kaufman Const. Co., North American Building, Philadelphia, \$6,185. Plumbing, George W. Sandman Co., 404 South Twentieth street, Philadelphia, \$1,170. Electric, Merit Elec. Co., 630 Race street, Philadelphia, \$435.

**Store**, Southwest Corner Second and Arch streets, Philadelphia, \$6,000. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, Edward Davis, North American Building, Philadelphia. Brick, 2 stories, 18 feet 6 inches x 29 feet, 17 feet 6 inches x 30 feet, slag roof, pine floors, steam heat, electric light. Contract awarded to B. A. Kaplan, 6140 Pine street, Philadelphia.

**Store (alts.)**, Sixteenth and Chestnut streets, Philadelphia, \$4,000. Architect, Ralph E. White, Pennsylvania Building, Philadelphia. Owner, name withheld. Granite, terrazzo work, iron work, carpentry and mill work, painting and tile work, hardware. Contract awarded Knox Landers, 1132 Vine street, Philadelphia.

**Store and Manufacturing Building (alts.)**, Northwest Corner Eighth and Arch streets, \$20,000. Architect, private plans. Owner, I. Ginsberg, Bankers' Trust Building, Philadelphia. General alterations. Contract awarded to S. Yellin & Son, 3125 Montgomery avenue, Philadelphia.

**Garage**, 121-23 West Rittenhouse street, Philadelphia, \$20,000. Architect, private plans. Owner, A. Sharp, Broad and Shunk streets, Philadelphia. Brick, 1 story, 50x254 feet, slag roof, cement floors. Contract awarded to B. Wilensky, Broad and Shunk streets, Philadelphia.

**Garages (3)**, North side Atlantic street, West of I street, Philadelphia, \$20,000. Architect, private plans. Owner, H. Bulabin, et al., 5049 Warrington avenue, Philadelphia. Brick, 1 story, irregular sizes, slag roof, cement floors. Contract awarded to David Goldman, 1617 South Orkney street, Philadelphia.

**Theatre (alts.)**, Northwest Corner Fifty-ninth and Market streets, Philadelphia, \$8,900. Architect, private plans. Owners, Stanley Co. of America, 1916 Race street, Philadelphia. General alterations. Contract awarded to T. S. Fetter, 1829 Filbert street, Philadelphia.

**Store and Residence (add.)**, Northeast Corner Frankford avenue and Brill street, Philadelphia, \$6,000. Architect, private plans. Owner, C. R. Osterlin, on premises. Brick and mansard, second and third stories add., 20x47 feet. Contract awarded to J. D. Fotheringham, 1000 Arrott street, Philadelphia.

**Residence**, Southwest Corner Tabor and Cottman streets, Philadelphia, \$5,000. Architect, private plans. Owner, Abner Morganthaler, Southeast Corner Front and Ontario streets, Philadelphia. Brick, 2 stories, 30x30 feet, 1 story, 12x10 feet, hot water heat, electric light, hardwood and pine floors. Contract awarded to Geo. Bertman, 5911 Warnock street, Philadelphia.

**Residence and Store (add.)**, 5543 Baltimore avenue, \$5,000. Architect, private plans. Owner, Isadore Levi, 5545 Baltimore avenue, Philadelphia. Brick, second story add., irregular shape, slag roof, electric work. Contract awarded to Weinstein & Pearson, 275 South Fifty-seventh street.

**Warehouse (alts.)**, Southwest Corner Delaware avenue and South street, \$5,000. Architect, private plans. Owners, Bailey & Bailey Warehouse Co., on premises. Carpentry and mill work. Contract awarded to H. E. Baton, 1713 Sansom street, Philadelphia.

**Residences (2)**, North side Rhaun street, West of Large street, \$4,500 each. Architect, private plans. Owner, Isadore Senator, 4312 York Road, Philadelphia. Frame, 2 stories, 26x40 feet, shingle roof, hot water heating, electric lighting, hardwood and pine floors. Contract awarded to Lewis Ahlers, Jr., Rhaun and Large streets, Philadelphia.

**Residences (2)**, West side Lawnton avenue, West of Conarroe street, \$4,500. Architect, private plans. Owner, Horace Rowland, 4304 Manayunk avenue, Philadelphia. Brick, 2 stories, 14x44 feet, hot water heat, electric light. Contract awarded to Alonza Rowland, 4332 Pechin street, Philadelphia.

**Shop**, 4061 Olive street, Philadelphia, \$4,000. Architect, private plans. Owner, Harry Spindel, 4062 Aspen street, Philadelphia. Brick, 2 stories, 27x47 feet, slag roof, pine floors, electric work. Contract awarded to M. Brenner, 2034 South Fifth street, Philadelphia.

**Shop (add.)**, South side Washington avenue, East of Fifth street, \$3,500. Architect,

private plans. Owners, Southwark Foundry & Machine Co., on premises. Brick and steel, 1 story add., 33x56 feet, slag roof, pine floors. Contract awarded to Truseon Steel Co., 1505 Race street, Philadelphia.

**Residence (alts.)**, 1806 Stiles street, Philadelphia, \$3,000. Architect, private plans. Owner, J. Barrish, 1833 Ridge avenue, Philadelphia. General alterations. Contract awarded to M. Brenner, 2034 South Fifth street, Philadelphia.

**Residences (2)**, 638-40 Rodman street, Philadelphia, \$3,750 each. Architect, private plans. Owner, Harry Baumholz, care of builder. Brick, 2 stories, 14x20 feet, 11x5 feet, hot water heat, electric light. Contract awarded to Harry Harod, 4942 C street, Philadelphia.

**Residence (alts.) and Porch**, 6439 Greene street, Germantown, Philadelphia, \$3,000. Architect, private plans. Owner, Melville J. Baker, 45 Carpenter street, Germantown, Philadelphia. General alterations and porch. Contract awarded to S. Harting & Son, 20 East Johnson street, Philadelphia.

**Garage**, East side Bustleton avenue, South of Tomlinson Road, \$2,500. Owner, Michael Doyle, on premises. Brick, 1 story, 40x45 feet, cement floors, slag roof, electric work. Contract awarded to Guiseppi & Scipine, 3855 North Reese street.

**Garage**, 30 North Allison street, Philadelphia, \$2,500. Architect, private plans. Owner, Charles Jessen, on premises. Brick, 1 story, 25x60 feet, slag roof, cement floors, electric lighting. Contract awarded to F. C. Borel, Jr., 5426 Vine street, Philadelphia.

**Garage (add.)**, 6363 Overbrook avenue, Philadelphia, \$2,900. Architect, Walter F. Price, 119 South Fourth street, Philadelphia. Owner, Thomas McCahan, on premises. Stone, 1 story add., 12x28 feet, slate roof, cement floors. Contract awarded to M. W. Young, 2037 North Sixty-third street, Philadelphia.

## Pennsylvania Construction News

**Residence and Garage**, Devon, Pa. Architect, Arthur Brockie, 254 South Fifteenth street, Philadelphia. Owner, Mrs. Louis Audenreed, care of architect. Brick, cut stone, 2½ stories, 66x25 feet, slate, canvas and slag roof, linotile, oak, pine and cement floors, hollow tile, plumbing, metal weather strip, hot water heat, electric light, marble work, flagstone. Architect taking revised bids due November 12th.

**Library**, Allentown, Pa. Architects, Ruhe & Lange, 10 North Sixth street, Allentown, Pa. Owners, Muhlenberg College, care of architects. Stone, terra cotta, 3 stories, 140x60 feet. Preliminary plans in progress.

**Alms House**, Wescoesville, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owners, Lehigh County Almshouse, care of Mr. Seiger, Wescoesville, Pa. Brick, 2 stories, 280x180 feet, slag roof, steam heat, electric light. Plans in progress.

**Farm House (alts. and add.)**, Edge Hill Road, Rydal, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Leslie J. Hall, Rydal, Pa. General alterations and additions. Plans in progress.

**Building**, East Arch street, Pottsville, Pa. Architect, W. D. Hill, Pottsville, Pa. Own-

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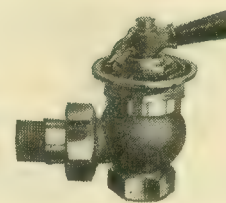
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**University**, Pittsburgh, Pa., \$10,000,000. Architect, Charles Z. Klauder, Franklin Bank Building, Philadelphia. Owners, University of Pittsburgh, Pittsburgh, Pa. White Kentucky limestone, 52 stories, 360x260 feet, tile and marble work, bronze work, ornamental iron work, elevators (16), steam heat, electric light, marble and hardwood floors. Sketches approved. Working plans about to be started.

**Residence and Garage**, Merion, Pa. Engineer, S. W. Marshall, 1524 Chestnut street, Philadelphia. Owner, Thomas H. Hare, Ninth and Walnut streets, Philadelphia. Stone, 2½ stories and basement, 35x53 feet, 1 story, 26x24 feet, hot water heat, oil burning, electric light, tile work, slate roof, hardwood floors. Engineer will build.

**Residence**, Ashbourne Road and Old York Road, Ashbourne, Pa. Architect, S. W. Marshall, 1524 Chestnut street, Philadelphia. Owner, Dr. Fred Herbert, Ashbourne, Pa. Stone, 2½ stories, 35x42 feet, slate roof, hardwood floors, tile work, electric light, hot water heat, oil burning. Engineer will build.

**Apartment House**, Germantown avenue, Philadelphia. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, care of architect. Brick, stone, steel, concrete, 3 stories and basement, will contain 40 apartments, steam heat, electric light, tile work, hardwood floors. Owner taking sub-bids.

**Warehouse**, Lancaster, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Brick, slow burning, 5 stories, 120x150 feet, slag roof, pine floors, freight elevator, roof ventilators, plumbing, steam heat, electric light. Plans in progress. Architect will take general bids about December 1st.

**Double Residence**, Palmerton, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, M. Wolensky, Palmerton, Pa. Brick or stucco, 2½ stories, 35x50 feet, hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Bakery**, Mountaintown, Pa. Architect, Tilghman H. Moyer Co., 824 Hamilton street, Allentown, Pa. Owner, B. E. Meehard, Mountaintown, Pa. Brick, steel, concrete, 2 stories, 60x100 feet, Barber asphalt roof, concrete floors, freight elevators, waterproofing, ornamental iron work, rolled setel sash, metal lath, electric light (heating, plumbing and electric work reserved). Architects will build.

**Bank**, Honeybrook, Chester County, Pa. Architects, Tilghman Moyer Co., 824 Hamilton street, Allentown, Pa. Owners, First National Bank of Honeybrook, care of architects. Brick, steel, stone, 1 story, 36x66 feet, slag roof, terrazzo floors, linoleum floors, hollow tile, dampproofing, vapor vacuum heat, electric light, metal lath, tile and marble and terrazzo work, rolled steel sash, bronze work, ornamental iron work, ornamental plaster. Architects will build.

**Garage**, South Seventeenth street, Allentown, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owner, I. Phillips, 1311 Hamilton street, Allentown, Pa. Brick, 1 story, 108x60 feet, slag roof, concrete floors, steam heat, electric light, rolled steel sash. Architect will take sub-bids.

**Residence**, Easton, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owner, W. R. Buckner, Allentown, Pa. Stucco, 2 stories, 42x30 feet, 18x16 feet, tile roof, hardwood floors, steam heat, electric light, tile and marble work. Architect will take sub-bids.

**Grade School**, Fifteenth Ward, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. Fireproof, 2 stories, 172x124 feet, composition roof, composition and hardwood floors, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing, terra cotta or cast stone (heating, electric and plumbing separate), metal lath, tile, marble and terrazzo work, rolled steel sash, fire doors, bond, iron stairs, ornamental iron work. Owners taking bids due December 9th.

**Nurses' Home (alts. and add.)**, Reading, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Homeopathic Hospital, C. E. Leppy, chairman, Building Committee, Reading, Pa. Fireproof, brick, steel, 4 stories and basement, 35x60 feet, slag roof, concrete floors, hollow tile, safety treads, waterproofing, steam heat, electric light, metal lath, tile and marble work, metal sash, fire doors, bond, iron stairs, ornamental iron work. Architects taking bids due November 21st at 6 P. M.

**Sheridan School**, Sixth Ward, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown. Owners, School District of Allentown, Administration Building, Allentown, Pa. Owners taking bids on plumbing and fixtures due November 13th.

**Silk Mill (add.)**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Majestic Silk Mills Co., care of architects. Brick, structural steel, 2 stories, 66x213 feet, built-up roof, wood floors, elevators, waterproofing and dampproofing, steam heat, fire doors, electric light, rolled steel sash, iron stairs. Architects taking bids due November 14th.

**Residence**, Noble Vista, Montgomery County, Pa. Architect, H. L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, Mr. William H. Dewar, care of architect. Architect taking bids due December 1st.

**Road Work**, Pennsylvania. Owners, Department of Highways of Pennsylvania, Harrisburg, Pa. Low bidders on road work opened November 3rd.

Cambria County, R-221, A-2411, A-3134, A-3135, Chest Spring Borough, Clearfield Township, 26,617 feet. One course reinforced concrete. Fort Pitt Const. Co., Pittsburgh, Pa. \$219,914.50.

Elk-McKean County, Route 97, Jones, Wetmore Townships, Kane Borough, 45,232 feet.

Either bituminous surface course on concrete foundation or one course reinforced concrete. Milliron Const. Co., Inc., Dubois, Pa. \$498,131.23.

Perry County, Route 275, Watts, Buffalo and Howe Townships, 53,478 feet. Grading and drainage. Fort Pitt Const. Co., Pittsburgh, Pa. \$382,483.64.

Tioga County, A-3177, Jackson Township, 5,354 feet. One course reinforced concrete. R. O. Richardson Const. Co., Scranton, Pa. \$48,989.30.

Wyoming County, R-241, Washington and Meshoppen Townships, Meshoppen Borough, 26,546 feet. One course reinforced concrete. Rudolph & Delano, Tamaqua, Pa. \$287,000.06.

Bridge, Adams County, Route 31, Station 201, over White Run, Mt. Pleasant Township. Reinforced concrete, 40 feet long, 11 feet high, 24 feet roadway. W. H. Drawbaugh, Dover, Pa. \$10,577.88.

## Pennsylvania Contracts Awarded

**Residence and Garages (2)**, Wynnefield, Pa. Architects, Thalheimer & Weitz, 10 South Eighteenth street, Philadelphia. Owner, E. J. Frankel, care of architect. Brick, cut stone, stucco, 2½ stories, 26x59 feet (plumbing, heating, electric, steel sash reserved), shingle roof, linoleum floors, painting and glazing, ornamental iron work, bond, tile and marble work, metal lath. Contract awarded J. Getzik, 1918 North Park avenue, Philadelphia.

**School (add.)**, Eighth and Main streets, Coatesville, Pa. Architects, Ritter & Shay, North American Building, Philadelphia. Owners, Board of Education, Penrose Davis, secretary, Coatesville, Pa. Brick, reinforced concrete, steel, cut stone, 2 stories and basement, 91x45 feet, slate roof, pine floors, plumbing, wrought iron pipe, steam heat, electric light, metal lath, bond, ornamental iron work, dampproofing. Contract awarded W. J. Elliott, Coatesville, Pa.

**Office and Garage**, Third and Broomall streets, Chester, Pa. Architect, John T. Windrim, Commonwealth Building, Philadelphia. Owners, Delaware County Electric Co., Chester, Pa. Brick, cut stone, steel, 1 story and basement, 280x156 feet (plumbing, heating, electric reserved), slag roof, concrete floors, hollow tile, waterproofing and dampproofing, ornamental iron work, bond, fire doors, rolling steel and hollow metal sash, rolled steel shutters. Contract awarded Chester Const. & Cont. Co., Chester, Pa.

**Warehouse**, Wilkes-Barre, Pa. Architects, McCormick & French, Wilkes-Barre, Pa.

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Owners, Haines, Jones & Cadbury, Wilkes-Barre, Pa. Brick, steel, 4 stories and basement, 97x56 feet (heating reserved), rubberoid roof, cement and maple floors, ornamental iron work, iron stairs, bond, rolling steel sash, tile work, metal lath, electric light. Contract awarded W. K. Ferguson, Cleveland, Ohio.

**Bank Building**, Southampton, Pa. Architect, H. Parker, 1120 Locust street, Philadelphia. Owners, Southampton State Bank, care of architect. Brick, 1 story, 40x60 feet. Contract awarded Frank Heston, Churchville, Pa.

**Residence**, Ardmore, Pa. Architect, E. Wm. Martin, 2301 Spruce street, Philadelphia. Owner, Charleton Linsley, care of architect. Hollow tile, stucco, 2½ and 1 stories, 37x28 feet, 25x25½ feet, shingle roof, oak, pine and cement floors, terra cotta, hollow tile, plumbing, hot water heat, electric light, tile work, iron work. Contract awarded W. J. Ryder, 1725 Sansom street, Philadelphia.

**Residence**, Wynecote, Pa. Architect, J. N. Neff, 2002 North Sixty-first street, Philadelphia. Owner, Joseph C. Neidinger, care of architect. Stone, 2½ stories, 46x31 feet, slate roof, oak and pine floors, hot water heat, electric light, tile and marble work, metal lath. Contract awarded E. C. Durrell, 1713 North Twenty-fourth street, Philadelphia.

**Garages (22)**, Seventh street, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Majestic Silk Mills Co., care of architects. Brick and cinder block, 1 story, 21x213 feet, built-up roof, concrete floors, electric light. Contract awarded to Chase Const. Co., Allentown, Pa.

**School**, Wallingford, Delaware County, Pa. Architects, Heacock & Hokanson, 1211 Chestnut st., Philadelphia. Owners, School Board of Nether Providence Township, Wallingford, Pa. Contract awarded Wills Bill Co., 1706 Sansom street, Philadelphia, \$73,434. Electric, E. F. Higgins & Co., Wilmington, Del., \$1,500. Plumbing, H. F. Riley & Co., Chester, Pa., \$2,575. Heating and ventilating not awarded.

**School (add.)**, Edge Hill, Pa. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Cheltenham Township School Board, Edge Hill, Pa. Contract awarded William J. Magee, 2040½ East Cheltenham avenue, Germantown, Philadelphia: Plumbing, \$920; heating, \$6,422.

**Factory**, Allentown, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owners, Oreurto & Lova, Allentown, Pa. Reinforced concrete, 5 stories, 141x66 feet, slag roof, concrete floors, electric light, metal lath, rolled steel sash, pine floors. Contract awarded to Ritter & Smith, 1227 Gordon street, Allentown, Pa.

## New Jersey Construction News

**Chemistry Building**, Princeton, N. J. Architects, Day & Klauder, 1416 Chestnut street, Philadelphia. Owners, Princeton University, Princeton, N. J. Stone, reinforced concrete, 3 stories, 200x200 feet, steam heat, electric light, rolling steel sash, English casements,

slag roof, cement and asphalt floors. Working plans in progress.

**Residences and Garages (6)**, Bay Side, N. J. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Mark S. Feiler, Brooklyn, N. Y. Brick, stucco, 2½ stories, 16x52 feet, 1 story, 10x20 feet, slate and slag roof, hardwood floors, hot water heat, electric light, tile and marble work. Plans in progress.

**Church (alts. and add.)**, Trenton, N. J. Architects, Hill & Gollner, Broad Street Bank Building, Trenton, N. J. Owners, Prospect Street Presbyterian Church, care of Edmund D. Voorhees, 501 West State street, Trenton, N. J. Local stone, 2 stories, 53x91 feet. Plans in progress.

**Cottage**, Aster Road, Wildwood Crest, N. J. Architects, Moffett & Ergood, 320 Market street, Camden, N. J. Owner, name withheld. Frame, 1½ stories, 34x52 feet, asbestos shingle roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residence**, Boardwalk, North of Hildreth avenue, Wildwood, N. J. Architects, Moffett & Ergood, 320 Market street, Camden, N. J. Owners, name withheld. Frame, 2 stories, 37x50 feet, asbestos roof, hardwood floors, hot water heat, electric light. Plans in progress.

**Office Building**, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, Fitz Gibbon Crisp, care of architect. Brick, steel, 2 stories, 40x60 feet, slag roof, hardwood floors, vapor heat, electric light, metal lath, tile, marble and terrazzo work, hollow tile, safety treads, roof ventilators, rolled steel sash, iron stairs, ornamental iron work, cut stone. Architect ready for bids due in about ten days.

**Residence**, River Road, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Dr. Samuel Sica, 309 South Clinton avenue, Trenton, N. J. Hollow tile and stucco, 2 stories, 32x108 feet, tile roof, hardwood floors, hot water heat, electric light, tile and marble work, ornamental iron work. Architect taking bids due November 19th.

**Plant**, Burlington, N. J. Architect, private plans. Owners, United States Cast Iron Pipe & Foundry Co., Mr. Herring, Burlington, N. J. Asbestos siding, brick, steel (plumbing, heating and electric reserved), composition roof, rolling steel sash, alterations to tile and asbestos roof, pipe foundry building, 1 story, 123x600 feet, annealing building, 1 story, 60x480 feet, (3) cupola buildings, 2 stories, 53x60 feet, (6) cleaning sheds, 1 story, 60x200 feet, (3) steel runways. Owners taking sub-bids.

**Theatre Building**, Kentucky avenue and Boardwalk, Atlantic City, N. J. Architects, Hoffman-Henon, Inc., Finance Building, Philadelphia. Owners, Stanley Co. of America, 1916 Race street, Philadelphia. Brick, steel, terra cotta, 1 story and basement, 100x160 feet, concrete, slag roof, cement floors, hollow tile, waterproofing and damp-proofing, architectural terra cotta, fire doors, tile and marble work, metal lath, electric light, steam heat. Architects will build. Work about to start.

**Public School**, Woodbury Heights, N. J. Architect, John H. Mowere, Phoenixville, Pa. Owners, Board of Education, Woodbury Heights, N. J. Finishing four rooms and board room, cold water painting, extra heating and ventilating, extra plumbing, extra electric wiring. Owners will take bids.

**Convent Building**, Tennessee and Pacific avenues, Atlantic City, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, St. Nicholas' Roman Catholic Church, Rev. Dr. John T. Sheehan, O. S. A., Atlantic City, N. J. Stone, brick, 4 stories, 26x126 feet, tile and slate roof, copper dormers, hardwood and slate floors, electric light, hot water heat, metal lath, tile and marble work. Architect taking bids due November 17th at noon.

**Public Garage and Service Station**, Pine street, between Seventh and Eighth, Camden, N. J., \$15,000. Architect, private plans. Owners, Brown Brothers, 336 Federal street, Camden, N. J. Brick, 1 story, 69x207 feet, slag roof, cement floors, hot water heating, electric lighting. Owners will build.

**Residences (5)**, 1113-17-21-25-29 Beideman avenue, Camden, N. J., \$15,000. Architect, private plans. Owner, G. Raymond Richman, 1202 Elm avenue, West Collingswood, N. J. Frame, 1½ stories, 22x34 feet, slate surface roof, hot water heat, electric light. Owner will build.

**Residences (4)**, 1141-45-49-53 Beideman avenue, Camden, N. J., \$12,500. Architect, private plans. Owner, G. Raymond Richmond, 1202 Elm avenue, West Collingswood. Frame, 1½ stories, 22x34 feet, slate surface roof, hot water heat, electric light. Owner will build.

**Residences (2)**, Chambers street, Trenton, N. J., \$6,000. Architect, private plans. Owner, Martin Hardush, 401 Commonwealth avenue, Trenton, N. J. Frame, 2½ stories, 28x30 feet, shingle roof, pine floors, electric lighting. Owner will build.

**Residence**, South Clinton street, Trenton, N. J., \$4,000. Architect, private plans. Owner, J. A. Kollapas, 719 Rennie street, Trenton, N. J. Brick, frame, 2½ stories, 28x32 feet, pine floors, electric light. Owner will build.

**Residences (2)**, Evans avenue, Trenton, N. J., \$8,000. Architect, private plans. Owner, Julius Gerke, R. F. D. No. 6, Trenton, N. J. Brick, frame, 2½ stories, 21x40 feet, pine floors, electric light. Owner will build.

**Detention Home**, Pensauken, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owners, Camden County Board of Chosen Freeholders, J. Riggins, Court House, Camden, N. J. Fireproof, 2 stories, 50x200 feet, slate roof, tile and composition floors, cement block, safety treads, metal window guards, waterproofing, damp-proofing, ornamental iron work, iron stairs, fire doors, rolled steel sash, tile work, metal lath, electric light, vapor heat (heating, ventilating, plumbing, electric work separate). Lowest bidders: General, George W. Shaner & Son, Palmyra, N. J., \$157,563; John M. Yardley, 1716 Sansom street, Philadelphia, \$166,945. Heating and ventilating, C. W. Cramer's Sons, 11 Haddon avenue, Camden, N. J., \$9,300. Plumbing, W. J. Kelly, 675 Ferry avenue, Camden, N. J., \$9,850. Electric work, Merit Electric Co., 630 Race street, Philadelphia, \$6,290.

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## New Jersey Contracts Awarded

**New Dormitory**, Princeton, N. J. Architects, Day & Klauder, 1416 Chestnut street, Philadelphia. Owners, Princeton University, Princeton, N. J. Stone, limestone, reinforced concrete, steel, brick, 2½ stories, 156x25 feet, wing 25x90 feet, 104x30 feet, 25x50 feet, slate and slag roof, pine and cement floors, terra cotta, hollow tile, plumbing, waterproofing and dampproofing, ornamental iron work, bond, fire and kalamein doors, rolling steel sash, marble and terrazzo work, metal lath, electric light, steam heat, blue-stone, wrought iron. Contract awarded Matthews Const. Co., Princeton, N. J.

**Residences (2)**, 11 and 13 South Forty-first street, Camden, N. J., \$9,000. Architect, private plans. Owner, E. A. Schneider, Woodbine avenue, Merchantville, N. J. Block, 2 stories, 16 feet 4 inches x 40 feet, slag roof, warm air heat, electric light. Contract awarded to Frank W. Shisler, 461 North Third street, Camden, N. J.

**Residence and Store**, 1852 Mulford street, Camden, N. J., \$4,000. Architect, private plans. Owner, Bengrazio Di Fazio, 421 Berkeley street, Camden, N. J. Brick, 2 stories, 16x46 feet, slag roof, pine floors, electric work. Contract awarded to Santi Mantini, 333 Clinton street, Camden, N. J.

**Antlers' Home**, Phillipsburg, N. J. Architect, E. H. Wenzelberger, 3 Center Square, Easton, Pa. Owners, B. P. O. E., Phillipsburg, N. J. Brick, steel, terra cotta, 3 stories and basement, 75x130 feet, slag roof, various floors, hollow tile, elevator, metal lath, tile, marble and terrazzo work, ornamental iron work and plaster (heating, plumbing, electric and elevators reserved). Contract awarded to Benj. Rymon, Phillipsburg, N. J.

**Warehouse**, 2111-13 Howell street, Camden, N. J., \$17,250. Architect, private plans. Owners, Eisenberg Brothers, 319 Federal street, Camden, N. J. Brick and cement block, 1 story, 59 feet 4 inches x 84 feet, slag roof, cement and wood floors, electric lighting. Contract awarded to John D. Lawrence, Westville, N. J.

**Manufacturing Building (add.)**, Southwest Corner Ninth and Bailey streets, Camden, N. J., \$3,500. Architect, private plans. Owners, Wood Manufacturing Co., Ninth and Bailey streets, Camden, N. J. Brick, 1 story, 21x64 feet, slag roof, pine floors, electric work. Contract awarded to Harry Roach, 1486 Kenwood avenue, Camden, N. J.

**Residence and Store (add.)**, 1548 Mt. Ephraim avenue, Camden, N. J., \$7,000. Architect, private plans. Owner, Ignatius Milewski, 1548 Mt. Ephraim avenue, Camden, N. J. Brick, 2 stories, 12 feet 6 inches x 44 feet, slag roof, hardwood and pine floors. Contract awarded to Stephen Schoen, 1292 Chase street, Camden, N. J.

## Miscellaneous Construction News

**W. P. Bancroft School**, Seventh and Lombard streets, Wilmington, Del. Architects, Guilbert & Betelle, Newark, N. J. Owners, Delaware School Auxiliary Association, Mr.

A. Taylor, 4116 Dupont Building, Wilmington, Del. Brick, steel, reinforced concrete, 2 stories. Preliminary plans in progress.

**Residences**, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington, Del. Owner, Lewis Nasba, 616 East Lord street, Wilmington, Del. Brick, 2 stories, 14x40 feet, slag roof, pine floors, hot air heat, electric light. Owner will build.

**Residences (6)**, 506-08-10-12-14-16 West Twenty-sixth street, Wilmington, \$5,000 each. Architect, private plans. Owner, C. P. Witsie, 2523 Jefferson street, Wilmington, Del. Brick, 2 stories, 16x32 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Residence**, 1827 West Eighth street, Wilmington, Del., \$3,000. Architect, private plans. Owners, S. Cantera & Son, 1837 West Eighth street, Wilmington, Del. Brick, 2 stories, 15 feet 8 inches x 38 feet, slag roof, pine floors, steam heat. Owners will build.

**Highway Work**, Delaware. Owners, State Highway Department, Dover, Del. Owners taking bids due December 1st at 2 P. M. Bond or certified check required. Deposit of \$10 (refunded).

Contract No. 37-C, fill at Drayers, 0.25 miles. 1,400 cubic yards borrow.

Contract No. CK-17A, surface drainage at Frederica. Class "A" concrete, (2) catch basins, 10-inch T. C. pipe, 12-inch R. C. pipe.

**Residences (2)**, location withheld. Architect, Edmund B. Gilchrist, 1618 Latimer street, Philadelphia. Owner, Mrs. Swain, care of architect. Sketches in progress.

**Bakery**, Brooklyn, N. Y. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Drake Bakeries, Inc., Brooklyn, N. Y. Reinforced concrete, steel, 5 stories, 80x84 feet, slag roof, cement floors, steam heat, electric light, elevators, rolling steel sash. Plans about completed. Will be ready for bids in a week.

**Furniture Warehouse**, location withheld, \$40,000. Architect, Irvin E. Spier, 1304 North Second street, Philadelphia. Owner, name withheld. Adamantex and face brick, concrete slab construction, steel, 3 stories, 30x93 feet, composition roof, pine floors, metal ceilings, freight and passenger elevators, sheet rock, cement work, art stone, demolition, iron work, bond, rolling shutter doors, alterations to heating, lighting and plumbing. Preliminary plans in progress. (Elevators reserved.)

**Library**, Fordham, N. Y. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, Fordham University, Fordham, N. Y. Granite, Indiana limestone trim, 3 stories, 70x140 feet, slate roof, marble and linoleum over concrete floors, hollow tile, terra cotta, ornamental iron work, bond, kalamein doors, rolling steel sash, tile, marble and terrazzo work, electric light, steam heat, metal lath. Architect taking bids in his office, Woolworth Building, New York City, due November 19th.

**Police Department Headquarters**, Baltimore, Md. Architects, J. Pennington and Pleasants Pennington, 330 N. Charles street, Baltimore, Md. Owners, Board of Awards, Baltimore, Md. Fred A. Dolfeld, City Hall, Baltimore, Md. Brick, granite, limestone, steel, 5 stories and basement, 239x160 feet, Barrett's specification roof, cement and pine floors, electric elevators, plumbing, metal window guards, waterproofing, brass pipe, ornamental iron work, bond, kalamein and hollow

metal doors, rolling steel sash and skylights, marble and terrazzo work, steam heat, metal lath, electric lighting, bronze doors, metal partitions, cast iron pipe, wrought iron pipe. Owners taking bids due November 19th.

**Infirmary and Sanitarium**, Charleston, S. C. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Francis Xavier, Infirmary and Sanitarium, Charleston, S. C. Brick, concrete, cut stone, steel, stucco, 2 stories and basement, 102x39 feet, wing 93x40 feet (plumbing, heating, electric, kitchen equipment, elevator, dumb waiters reserved), tile and slag roof, cement and pine floors, hollow tile, architectural terra cotta, ornamental iron work, bond, kalamein doors, hollow metal sash, tile, marble and terrazzo work, metal lath. Architect taking bids due at Charleston, S. C., December 4th, at noon.

## Miscellaneous Contracts Awarded

**Chapel, Auditorium, College Building (east wing add.)**, Woodstock, Md. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, Woodstock College, Woodstock, Md. Slate roof, concrete floors, steam heat, electric light, tile and marble work. Contract awarded F. V. Warren Co., 1913 Arch street, Philadelphia.

**Richardson Park High School**, near Ashley, New Castle County, Delaware. Architects, Guilbert & Betelle, Newark, N. J. Owners, Board of School Trustees of Richardson Park School District No. 20, Delaware School Auxiliary Association, 4116 Dupont Building, Wilmington, Del. Brick, structural steel, reinforced concrete, 2 stories, 100x60 feet, concrete and timber roof, hardwood and yellow

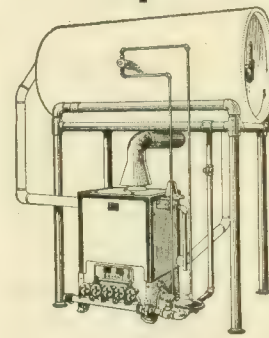
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pine floors, roof ventilators (heating, plumbing, ventilating, electric work separate), metal lath, kalamein doors, ornamental iron work. Contract awarded to B. H. B. Ennis, Jr., Baltimore, Md., \$61,993. Heating, plumbing and ventilating awarded to T. T. Weldin & Son, 916 Orange street, Wilmington, Del., \$12,875. Electric work awarded to E. F. Higgins & Co., 843 Tatnall street, Wilmington, Del., \$1,295.

**Machine Shop**, Maryland and Beech streets, Wilmington, \$2,800. Architect, private plans. Owners, A. L. Henderer's Sons, Maryland and Beech streets, Wilmington. Brick, 1 story add., 30x60 feet, slag roof. Contract awarded to A. S. Reed & Bro., 702 Orange street, Wilmington.

**Club**, Jackson street, between Second and Third streets, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owners, Defiance Athletic Association, care of architect. Brick, 1 story, 30x36 feet, slag roof, pine floors, hot water heat, electric light. Contract awarded to Joyce & Kerrigan, 114 North Broome street, Wilmington, Del.

(Continued from Page 724)

be carried entirely outside of the limits of the new floor slab so that heat can pass up to the top of the floor. In addition to this, heat openings should be provided in the floor so that the warm air may pass directly to the top surface of the slab. These openings, of course, are later filled with fresh concrete. They should preferably be placed at about the mid-point of panels and are conveniently formed by using a box in the form of a truncated pyramid, with the small base resting on the floor forms. If steam heat is used, pipes should be run between the top canvas and floor, in which case heat holes are not necessary.

With sufficient tarpaulins for three floors, building operations can be carried on continuously and one story cast per week. The side tarpaulins should be up while the green concrete is being cast and just as soon as each portion of the story is completed, it should be enclosed and heat turned in.

The use of salamanders for supplying heat is very common. There is, however, no certainty as to the quantity of heat supplied by salamanders. They may be fired regularly and with high grade fuel or just the reverse. The gases of combustion and smoke as well as the ashes produced by salamanders are also troublesome. Since in cold weather work live steam is usually necessary for thawing out aggregates, heating water, etc., it ap-

pears that steam provides the best character of heat. The only objection to the use of steam heat is, of course, the necessary piping, but since the steam is used at a low pressure, the piping need not be perfectly tight and the lightest weight pipe obtainable may be used. Steam should be allowed to escape within the enclosure to provide moisture in the air and on the surface of the concrete. The running of such heating pipe is a simple matter, and if the succeeding floors are symmetrical, as is the case, no additional pipe cutting will be required for upper floors. It is well to provide several risers so that one or more of them can be shut off while the heating pipe is being moved up, or turned on immediately after casting a section of a floor. Since the steam pressure is low, neither a high pressure nor a new boiler is required. An old boiler of 20 to 30 horsepower will furnish sufficient steam for the cold weather construction of a building of 5000 sq. ft. floor area.

Heating aggregates with steam is best accomplished by the use of grillages of pipes over which the aggregates are piled. During the time when aggregates are not being unloaded onto the grillages, the piles of aggregates should be enclosed or covered so as to retain the heat. It is usually possible to so locate these grillages that the aggregates can be shoveled from the bottom of the pile practically under cover and transported to a mixer located in the basement of the building, so that comparatively little heat will be lost.

A convenient method of heating water is by means of a steam pipe passed into a tank of water from which the mixing water is drawn.

The forms must be free from snow, ice and frost and should be reasonably warm. Live steam is an effective agent for cleaning and heating forms.

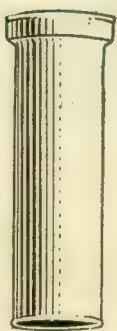
Large masses of fresh concrete are obviously better able to withstand low temperatures than thin slabs or beams. Thus, for bridge abutments and piers it is often sufficient to place the concrete at a temperature of 60 to 70 degrees F. and cover the work to reduce heat loss. If the hardening process attains a normal rate and the work is covered, the heat generated by the chemical action will be sufficient to hold up the temperature for several days. How-

ever, in buildings where relatively thin members only are used, the heat generated by the hardening process should never be depended upon as sufficient.

It is to be regretted that so much gambling with the weather has been indulged in in the past. Especially so, when the methods of cold weather concreting are so simple and so well understood by experienced contractors. It is possible that some contractors have been moved to take chances by the fact that reinforced concrete buildings have been successfully constructed during cold weather without any protection whatever. Many cases have been reported in which concrete has been frozen for a considerable length of time and has thoroughly hardened on thawing out. The assumption that this fortunate result will always follow should never be made. It has resulted in some very unfortunate collapses. The additional expense necessary to make sure and certain that cold weather will not affect the strength or safety of the building, either during or after its construction, is so insignificant that contractors who desire to protect their reputation and the lives of their workmen as well as save themselves from loss, should never neglect to provide the simple equipment required.

#### PRACTICAL POINTS FOR COLD WEATHER WORK

1. Always be prepared to enclose the work and supply heat whenever work that may run into cold weather, is begun.
2. Aggregates are heated to best advantage by 1½-inch steam pipes laid as a grill under the piles or by a 6-ft length of perforated steam pipe, inserted into the pile.
3. Water is heated by running a 1½-inch steam pipe into the water barrel.
4. A 50-horsepower boiler, carrying 50 to 60 pounds of steam is required for a large job, but an 18 to 25-horsepower boiler is sufficient for jobs of not more than 5000 square feet of floor area.
5. One salamander is usually sufficient for 300 square feet of floor area and a heat hole should be provided for each salamander.
6. Columns should be concreted at the same time as the floor and column tamping continued for an hour or more after the floor is concreted.
7. Bases of exterior columns are most difficult to protect and in extremely cold weather a salamander should be placed on each of two sides of exterior columns.
8. For unusual speed or cold weather, or when monolithic walls are carried up, the lower floor should be curtained and salamanders placed at exterior columns.
9. Apply fuel to salamanders frequently and in small quantities, to minimize smoke and provide uniform temperature.



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10. Water barrels should be provided to extinguish fires and care taken to keep canvas from blowing against salamanders.

11. A detailed temperature record should be kept showing date, hour, outside temperature, temperature at bottoms of columns, underside of slab, under the canvas over the slab, temperature of concrete as deposited and, especially, temperature at bases of exterior columns on windward side of building.

12. Aim at a minimum temperature of 60 degrees F. within the enclosure for five days. During protracted cold weather keep the tarpaulins up and maintain a temperature of not less than 40 degrees F. for ten days additional.

13. Do not remove permanent shores until the strength is shown to be three-fourths the design-strength of the concrete.

14. Do not depend on anti-freezing compounds instead of *protection and heat*. Accelerators do not furnish heat to start the hardening process, but once started, accelerators will cause the concrete to gain strength faster *if it is kept warm*. No accelerators or anti-freezing compounds should be used that will decrease the final strength of the concrete, promote rusting of reinforcement or produce efflorescence.

#### THE TRUTH ABOUT THE INFLUENCE OF COPPER ON THE CORROSION OF STEEL

Of late years a great deal of publicity has been given to the special qualities of expanded metal lath made from what are generally known as special analysis steels, that is steels having a chemical analysis different from the regular Open-Hearth steel from which lath is customarily cut. These special analysis steels, no matter what particular trade-mark name the products of individual manufacturers may go under, are Pure Iron and Copper-Bearing steels.

On account of the above mentioned publicity some authentic information is very desirable. The so-called Pure Iron is not really iron at all in any true sense of the word, that is it is not made by the puddling process, but is merely steel which has been put through an extra refining process, sometimes with the addition of other components. Some Pure Iron made in this way is sold under widely advertised trade-mark names, but any other manufacturers who do not advertise a trade-mark and do not exact a premium for their product, can supply material in every way equal.

The additional refining process makes the steel weaker and of less stiffness than the original material, whereas Copper-Bearing steel has all the strength, toughness and stiffness of the original steel, and, furthermore, costs less than Pure Iron. Therefore, if Copper-Bearing steel

is equal to Pure Iron in the one detail used as the basis for promoting the sale of Pure Iron, namely resistance to corrosion, then Copper-Bearing steel has everything in its favor and nothing against it.

Fortunately there is absolutely unquestionable evidence available to the effect that Copper-Bearing steel, from the point of view of resistance to corrosion, is not only equal to Pure Iron but actually very greatly superior. This evidence is found in Volume 23, Proceedings of the American Society for Testing Materials for the year 1923, and Volume 22 of the Proceedings of the same Society for the year 1922. The American Society for Testing Materials is an absolutely impartial body not interested in promoting any one material, but merely in ascertaining facts and establishing standards. The complete findings above referred to made by sub-committee III of committee A-5 of the Society on the corrosion of iron and steel, cover more than 100 closely printed pages with numerous exhaustive tabulations. Anyone wishing to go into the subject in great detail will find the printed proceedings of the Society in any technical library, and, no doubt, in many city libraries. The high spots of the findings, however, are abstracted below.

A large number of sheets of steel of various compositions, including ordinary steel, both basic and Open-Hearth, also Pure Iron and Copper-Bearing steels have been exposed to atmospheric action at Fort Sheridan, Illinois, Pittsburgh, Pa., and Annapolis, Md., thus giving results typical of conditions in pure country air, manufacturing city air, and salt laden air on the seashore. The exposure has been for 6 or 7 years with observations taken at frequent intervals throughout the period, and the progressive corrosion of the sheets reported. In all cases the tests are continued until the sheets have failed by corrosion, so that the failure of a sheet is nothing against it except with respect to the time required for such failure as compared with other sheets.

Quoting from the 1923 Proceedings of the Society.

Page 145. "Sub-Committee III has completed its work at the Pittsburgh location, these tests being abandoned as having served their full usefulness at the close of the inspection of March 9, 1923. Attention is directed to the summary presenting in condensed form the order of resistance to corrosion for the various types of metal exposed at Pittsburgh. *It will be observed that the presence of copper in all of the various types of metal has greatly increased their resistance to corrosion under atmospheric exposure.*"

Page 150. "At the time of the March 8, 1923, inspection representing an exposure period of 71 months, 42 out of

a total of 83 of the No. 22 ga. non-copper-bearing metal sheets have been recorded as failures, whereas during the same period of exposure no single failure has been recorded for the copper-bearing metal sheet, indicating conclusively that *copper-bearing metal in the Fort Sheridan location shows marked superiority and rust-resisting properties as compared with non-copper bearing metal of the same general composition.*

Page 152. "At the close of approximately 6 years observations of these tests the sub-committee would again direct attention to the fact that the failures reported at the Pittsburgh and Fort Sheridan locations point definitely to the conclusion that *Copper-Bearing metal shows marked superiority in rust-resisting properties as compared with the non-copper bearing metal of substantially the same general composition under atmospheric exposure.*"

Due to the fact that these tests have extended over a period of years, and naturally come to a close for each group of sheets as it fails, some information in volume 22 for the 1922 meeting is also of interest. It is given herewith.

Page 153. "These failures are entirely confined to the non-copper-bearing light gauge sheets, the same groups of sheets being among the first failures at the Pittsburgh location. The light gauge sheets at the Pittsburgh locations with the notable exceptions of the copper-bearing Bessemer steel with no failures, and the copper-bearing acid Open-Hearth steel with only four failures, have completed their history, and, as might be anticipated, the heavier sheets are failing in substantially the same order as the light sheets, 70% of the non-copper-bearing sheets showing failure at the end of 64 months exposure, while no failures have occurred in the copper-bearing sheets at this time.

Page 168. "Figures 45 and 46 represent groups of copper-bearing and non-copper-bearing Bessemer steel sheets as now appearing on the Pittsburgh test rack. *It will be noted that these two groups of sheets have substantially the same general composition with the exception of the copper content.* However, the light gauge copper-bearing sheets have no failures after 64 months exposure, whereas the heavier gauge, non-copper-bearing sheets of approximately twice the thickness of the light gauge copper-bearing sheets, all failed after 24 months' exposure."

Page 168. "The table also shows the failures present in each group of sheets at all inspections, from which it will be observed that the sheets failing first at this location are confined to the non-copper-bearing metals, and belong to the same groups that failed at Pittsburgh, which development indicates that the two



different atmospheric conditions are showing the same general tendencies, only with varying rates of corrosion."

Page 170. "Table VIII, plate II, is presented as a continuation of the same general plan of grouping the sheets at Pittsburgh as shown in table XIII of the 1921 report, recording such additional failures as have occurred during the past year. It will be observed that practically all of the light gauge non-copper-bearing sheets failed after 20 months of exposure whereas only 6 of the 146 copper-bearing sheets failed at that time. *At the end of 64 months' exposure there still remains two full groups of copper-bearing sheet as well as 18 other scattered copper-bearing sheets with no failures.* The heavy gauge non-copper bearing sheet now show 87 of the total 126 sheet failed, five groups showing entire failures whereas none of the 132 copper bearing sheets have failed at this time. This information continues to bear out the conclusion of the 1921 report that *copper bearing metal in the Pittsburgh location shows marked superiority in rust-resisting properties as compared to non-copper bearing metal of the same general composition.*"

In this same volume there is a table on page 168 showing 13 failures out of 14 sheets of low copper, pure iron, made by a Rolling Mill located in Ohio and whose product is more widely advertised than any other so-called Pure Iron. The source of sheet supply is fully mentioned in the above named report.

The home owner and architect are always anxious to put up dwellings of the highest possible quality consistent with the amount of money available. One of the objects sought for has been the removal of the fire menace. The home owner can protect the actual money value of his home by insurance, but he cannot in that way, cover the inconvenience and expense of finding other living quarters during the period of rebuilding, nor can any money value be placed on the loss of treasured heirlooms or keepsakes, or on even more appalling disaster of death or injury to a member of the family.

Strictly fireproof construction, as employed in large downtown buildings, is out of the question on account of the cost. The typical American wooden frame construction will for a long time continue to be the method employed for the great majority of dwellings because of its comparatively low cost, and the familiarity gained in the use of it by builders, together with its flexibility in design and freedom from any necessity for preparing elaborate engineering drawings in advance.

A long step forward was taken when expanded metal lath was placed on the market. This metal lath consists of

sheets 2 feet by 8 feet of a steel mesh containing some 15,000 small holes or meshes to the sheet. When plaster is applied over it the mortar penetrates the mesh, bulges out on the far side, thus anchoring the plaster so securely that it cannot be dislodged. The strands of steel forming the mesh run through and through the plaster in all directions, reinforcing it and eliminating cracks. An incidental advantage gained in uniformity of color, that is freedom from the dark streaks that are so generally observable in plaster where metal lath is not used.

The Underwriters' Laboratories, Inc., whose findings are very largely used by insurance companies in establishing their rates, became interested in the matter, and after a series of tests gave what is known as a one hour rating to wood frame construction where the plastering was done over expanded metal lath. In order to gain an idea of just what this means, it may be well to say that the Underwriters' Laboratories test on which this rating is based, consists of exposing the construction for one hour and a half to a temperature of 1700, which is not enough to make the plaster glow. At the end of the hour and a half test period, a fire hose is played over the surface. The strength of the wood frame construction behind the plaster must not be dangerously impaired. For conditions as they exist in a dwelling, such a rating is to all intents and purposes fireproof. Another way to gain an idea of the improvement secured by the use of metal lath is to consider that wood lath gives protection for only four or five minutes, and several other popular types of construction only for 10 or 15 minutes.

Although the older types of expanded metal lath, thus provided the home owner with a fireproof construction without making any radical changes in the general design of a building, and at a really reasonable cost, it was still somewhat, although not a great deal more expensive than a wood lath job.

A new type of expanded metal lath known as Plasta-Saver has recently been placed on the market. In principle it adheres to the fundamentally correct idea behind the older types of lath, namely, small meshes formed by inter-connecting steel strands, but while such advantages are retained, an improvement is made by introducing flat ribs or strips of unexpanded steel sheets at frequent intervals so that instead of the entire 2 feet by 8 feet sheet of lath consisting of meshes, something less than 60% of Plasta-Saver is mesh, and the remaining 40% being a nearly flat surface through which the mortar does not pass. This brings about a great saving in the amount of mortar required to cover the lath, with a consequent reduction in the cost of the com-

plete job. Enough meshes are left to provide the firm hold on the plaster that has always been characteristic of expanded metal lath, and enough flat surface introduced to avoid unnecessary use of mortar.

The claims made by the manufacturers of Plasta-Saver seem to be substantiated by letters received from contractors actually using it, possibly the most striking one being a case involving about 3300 sq. yd. of work for which the usual quantity of plaster was ordered. 7 tons were left over when the job was finished. Other testimonials received are more general in character, but all of them in general bearing out the manufacturer's claims of economy of material and saving of labor.

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**There is not a business one can think of, which is not full of little temples where one can curse or pray. Every business that one knows has its host of light in it, fighting against its host of darkness; one set of men conducting the business as if they and the public were engaged in a sort of mutual enthusiasm and daily service, with permanent success as the goal; and another set of men whose success is ruining the business to which they belong, and the public besides—and themselves.**

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The other day a prominent local architect called up to inquire regarding a concern that has not advertised with us for two years. "I saw their ad. some years ago in the Guide," said the architect, "and am unable to recall just where they are located." We gave him the address and learned subsequently that as a result the firm bagged a big order. How many similar orders, from architects who wouldn't take the trouble to look them up, that same concern has missed in the course of the past two years it would interest us to know.

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**Man and the giraffe are the only two living things that can't swim naturally. Throw a day-old kitten into the Mississippi and it will paddle its way to shore. The giraffe can't swim because he's not built that way. Man can't swim, just because he is afraid. The chances are that the reason you are not in the swim—financially or otherwise—is because you are afraid.—Glen Buck.**

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America stands supreme in the development and use of advertising, and advertising is the seed which by implanting desire produces the fruit of social advancement. Education promotes efficiency and efficiency in turn makes possible higher earning power, higher purchasing power and improved living conditions.

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**Many a man would do a better job if he didn't know about putty.—Ex.**



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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 47  
November 19, 1924

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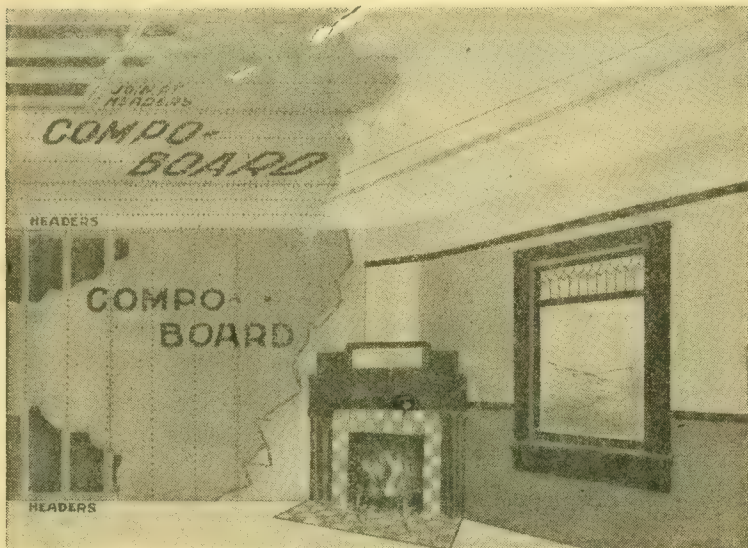
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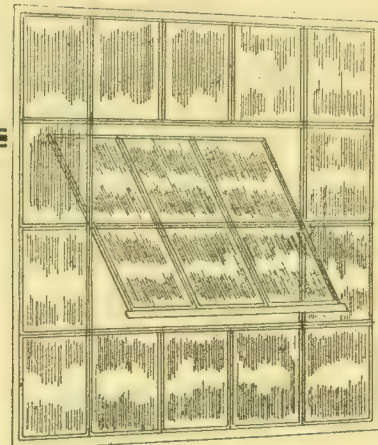
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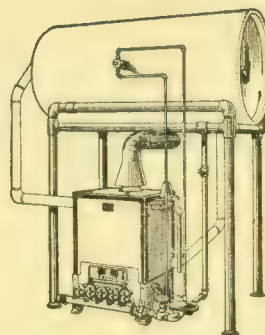
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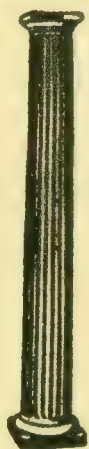
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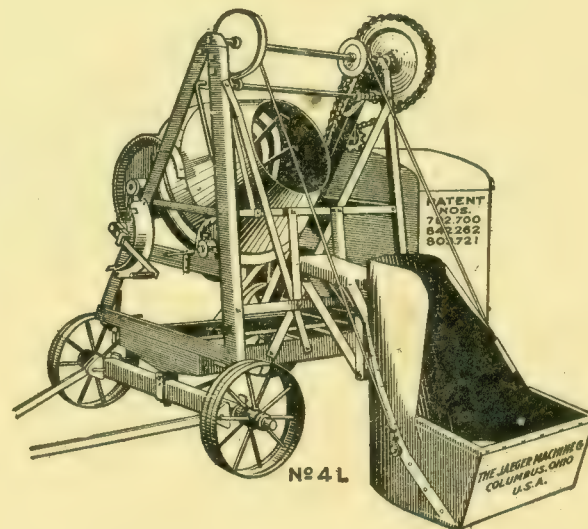
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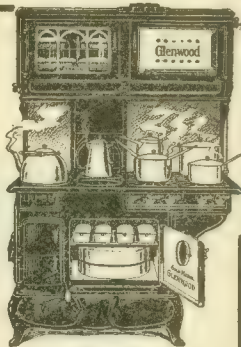


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Makes a perfect connection  
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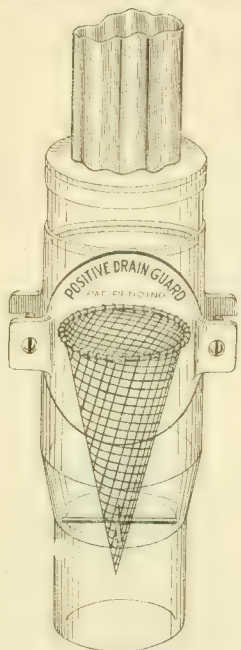
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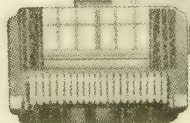
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 47

PHILADELPHIA  
November 19, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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BY

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## As The Editor Sees It



A new record in construction activity for the month of October was established this year, when the volume of work under way exceeded that of the same month in 1923 by some twelve per cent., according to statistics compiled by the Associated General Contractors of America. Present indications are that the total volume for 1924 will exceed the total of last year which itself registered the greatest construction output on record.

In this continued abnormal demand, which has sustained the construction equipment and material markets and utilized probably the entire supply of skilled labor since 1922, may be found an answer to the continued abnormal cost of construction. This cost during October was 101 per cent. above the 1913 average, approximately where it stood at the close of last year.

Labor rates in the principal construction centers throughout the country averaged 122 per cent. and material prices 89 per cent. above the 1913 level, indicating how much more readily the material supply may be increased to meet an abnormal program of building than can the supply of construction labor.

The present rate of construction is not only keeping pace with the demands of an increasing annual normal demand, but is also steadily wiping out the enormous post war shortage. As this shortage is finally overcome, and the construction industry moves into balance with the pres-

ent day normal, construction costs should logically move into line with the trend of costs in other industries.

Though the public has frequently been discouraged by one agency or another during the past few years from hoping that construction costs would decline, yet there is ample evidence to indicate that a gradual depression of these costs is likely. It is doubtless true that no sudden decline can result without some sort of a general business calamity, but with adjustment of the industry to its new normal annual volume, a gradual downward trend over future years seems inevitable.

### SEASONAL HOLIDAY

SO far in these columns, we have studiously avoided references to all holidays. But this month we are going to deviate from that course a bit, and ask you to consider seriously the great national holiday of Thanksgiving.

From the very nature of the word, compounded of two other very expressive words, it is readily seen that a religious significance attaches to it. At least, a religious atmosphere obtained in the early observance of the day. Just how far we have departed from the original meaning of the day is something that only the individual can answer. We are a people of many creeds and beliefs and each of us tinctures his idea of Thanksgiving with his own conception of the

meaning of the day, and so we observe it in many different fashions.

Because of these variances, many of the original features of Thanksgiving have sunk into obsolescence, and their loss has not improved the day at all.

Taking most of us as an example, it is fair to state that we're not thankful enough, not gracious enough, not courteous enough, in our daily contact with each other. We are engaged in a mighty race to capture the elusive dollar, and we thrust our way on and on with a "devil take the hindmost" air. We are too busy and too active to give much consideration to the other fellow. True, we do stop a moment and unlimber our check books for the Community Fund, but the people we help are unknown to us. We do not come in contact with them, and to thousands of our citizens the Community Fund functions like a foreign missionary society. Some few of us take a few days off, and go 'round prying others loose from cash, but it is given only to a few to come in actual contact with the people our money helps.

But because there are organizations to care for the needy, there is no excuse for us to be ungrateful, impolite, ungracious and discourteous to the immediate circle of folk with whom we come in contact. Most of us think Thanksgiving day should commemorate some huge indefinite gift for which we should be grateful, and being unable to place our finger

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PRINTS**



upon any huge thing that happened to us during the year, we say we haven't anything to be thankful for.

But listen to how one man solved his Thanksgiving. He reviewed in his mind the fine times he'd had with his friends during the year—luncheons, parties, golf games, theatres, dances, or evenings spent before an open fire in some one's home. Then he sat down and wrote a cheerful letter to his hosts and companions recalling the particular occasions, and expressing his appreciation for having been included in such pleasurable companionship. This gave him considerable pleasure, but can you imagine the grateful glow of appreciation that would well up in you, if, on Thanksgiving morn, a special delivery letter from a friend, expressed his joyous sentiments for the fun you and he had had during the year?

Some people, he called up, instead of writing, and he said he'd had the best Thanksgiving ever, for the people he remembered seemed so genuinely pleased to be thought of.

Contrast this with the usual experience. Thanksgiving Eve is often the scene of festive parties, from which we return in the small hours. We rise late, grumbling, and with a "rubber-boot" taste. We go to the football game, and hurry home for dinner, eat too much, play bridge all afternoon, eat again, and go to the theatre. Next day we look and feel as though we were at the wrong end of a misspent life, and look back with no satisfaction on the previous day.

Try something different this year. Think over the good things that happened to you this past year, and be thankful. If you've had a run of hard luck, be glad it wasn't worse. If election doesn't suit you, be glad it wasn't the third party that got in. Remember the old lady who got up in experience meeting and said, "I've only got two teeth, but, thank God, they hit!"

—Building Industry.

## DULL TIMES SHOW THE VALUE OF ADVERTISING

*Building Material Field Demonstrates  
How Impetus From Publicity Will  
Carry Through Period of Calm*

BY WHARTON CLAY

*Commissioner, Associated Metal Lath  
Manufacturers, Chicago.*

**T**HERE is no greater danger to an industry than to ride on the tide of prosperity. There will be a calm. In that case it can do little else than remain stationary. Unless the industry can thrive under adverse conditions, it cannot endure in a healthy state. There must be a momentum behind it that pushes it ahead even during a calm.

The old sea captain solved the problem of getting through a calm in a most natural way—by putting out more sail. If some of our industries would follow his example, dull seasons and hard times would not be so noticeable. Their method of putting out more sail would be in the form of sales promotion and advertising. To be prosperous when times are good is no small accomplishment, but to be prosperous when times are bad is quite an achievement. A vigorous advertising and sales promotion program will stabilize an industry and will work up in it a positive inertia which carries the industry forward at an ever-increasing speed, even through a dull period, in the same way that a wind-mill keeps on turning after the wind has momentarily died down.

For an industry to carry on a sales promotion campaign just before it enters into a slump is very prudent, especially if it is continued through the dull period, for when the slump is on, the industry is in a better position to command the market, and when prosperity again sets in, it is in still better position by reason of having a head start.

The year 1921 furnished an excellent example of a business calm. Business was practically at a standstill, mills were shut down, production was curtailed,

(Continued on page 751)

## KETCHAM CLAY PRODUCTS

**Are Nationally Known  
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Face Brick  
Hollow Tile  
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Roofing Tile

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Mastic Flooring

Paving

Waterproofing

## RALPH V. RULON

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BELL PHONE, PRESTON 3493



# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:

CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Home (add.),** 4011 Aspen street, Philadelphia. Architect, Franklin D. Edmunds, Real Estate Trust Building, Philadelphia. Owners, Friends' Home for Children, on premises. Brick, 1 story. Architect taking bids due November 22nd.

**Club House (alts. and add.),** Greene street above Cheltenham avenue, Philadelphia. Architect, E. A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Germantown Square Club, I. S. Grindrod, 10 South Eighteenth street, Philadelphia. Sketches in progress. Too early for details.

**Alterations to Residence into Apartment and New Auto Sales Room,** 122 West Cheltenham avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, E. A. Havens Co., Land Title Building, Philadelphia. General alterations of residence into apartments, terra cotta, brick, limestone, 1 story and basement, 50x65 feet. New plans in progress.

**Stores and Apartment,** 122 West Cheltenham avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, E. A. Havens Co., Land Title Building, Philadelphia. Revised plans in progress.

**Bank,** Eighth and Christian streets, Philadelphia. Architect, A. F. Amodio, 2304 Atlantic avenue, Atlantic City, N. J. Owners, Roma Brothers, on premises. Brick, 2 stories, 50x64 feet. Plans in progress.

**Residence and Garage, Mt. Airy,** Philadelphia. Architect, Charles Barton Keen, 338 South Smedley street, Philadelphia. Owner, G. E. Nichols, care of architect. Stone, 2½ stories, slate roof, hardwood floors, electric light, tile work. Plans about completed. Ready for bids in a few days.

**Store and Office (alts. and add.),** 1109-11 Walnut street, Philadelphia. Architect, Sol Kaplan, 10 South Eighteenth street, Philadelphia. Owner, name withheld. Brick, limestone, 3 stories, 50x21 feet, 1 story, 83x21 feet, slate roof, pine floors, steam heat, electric light, hollow metal skylights, metal bulks. Plans in progress. Ready for bids in two weeks.

**Residence (alts.) to Convent,** Nineteenth and Wallace streets, Philadelphia. Architects, Hoffman-Henon Co., Finance Building, Philadelphia. Owners, Community, care of Monsignor F. X. Wastl, 21 South Thirteenth street,

Philadelphia. General interior alterations. Architects will build and are sub-letting.

**Residences (changed to Store and Apartment),** 334-36 South Sixth street, Philadelphia. Architect, A. H. Mueller, Ninth and Walnut streets, Philadelphia. Owner, Mr. W. Lucas, 708 South Sixth street, Philadelphia. General renovations of 4 story buildings, new partitions, lumber, mill work, hot water heat, electric light, plumbing, plastering, painting, iron work. Plans in progress. Owner will take bids.

**Store (alts.),** 513 South street, Philadelphia. Architect, A. H. Mueller, 901 Walnut street, Philadelphia. Owners, People's Talking Machine Co., 502 South Fifth street, Philadelphia. Interior alterations, brick work, steel work, tin roof, hollow metal skylights, metal ceilings, plastering, stair work (plumbing, painting and electric reserved). Owners taking bids.

**Maternity Building,** York and Tabor Road, Philadelphia. Architect, H. W. Castor, Stephen Girard Building, Philadelphia. Owners, Jewish Hospital, care of A. Fleisher, Twenty-fifth and Reed streets, Philadelphia. Stone, cut stone, brick, steel, 1 story, 37x42 feet, tin roof, cement floors, hollow tile, plumbing, roof ventilators, ornamental iron work, copper skylights, tile and marble work, metal lath, steam heat, electric light, waterproofing, Bond. Architect taking bids (revised).

**Grading and Paving, etc.,** Philadelphia. Owners, Department of Public Works, Bureau of Highways, 216 City Hall. Owners taking bids due November 24th at noon. Grading, asphalt paving, redress granite block repaving, air compressor.

**Coal Bunker (Naval Home),** Twenty-fourth and Gray's Ferry Road, Philadelphia. Owners, Bureau of Yards and Docks, Navy Department, C. L. E. Gregory, Washington, D. C. Steel and reinforced concrete deck, strengthening present concrete wall. Coal bunker, 29x44 feet, iron work. Owners taking bids due November 28th at 11 A. M.

**Office Building,** 41 West Cheltenham avenue, Philadelphia. Architect, John Molitor, Bankers' Trust Building, Philadelphia. Owner, Samuel Emlen, Jr., 5600 Germantown avenue, Philadelphia. Brick, cut stone, steel, 2 stories and basement, 100x41 feet (heating, electric

reserved), slag roof, cement and composition floors, metal lath, tile and marble work, plumbing, waterproofing, ornamental iron work, wrought iron pipe, dumb waiters, sidewalk elevator. Architect taking bids due November 20th.

**Church Building, Sunday School Building (alts. and add.),** Edge Hill Road and Limekiln Pike, Philadelphia. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owners, Carmel Presbyterian Church, on premises. Stone, cut stone, 1 story and basement, 112x72 feet (heating reserved), slate roof, maple floors, electric light, metal lath, tile work, ornamental iron work, damp-proofing, plastering, carpentry and mill work, painting and glazing, tile work, plumbing, hardware, cut stone, bond, dewideon doors. Architects taking bids due November 25th, 4 P. M.

**Stores and Dwellings,** 4812-14 North Broad street, Philadelphia. Architect, Frank E. Hahn, 629 Chestnut street, Philadelphia. Owner, Isaac Grossman, care of Atlas Realty Co., Front and Dauphin streets, Philadelphia. Brick, cut stone, 3 stories and basement, 68x40 feet, slag roof, oak and cement, maple floors, roof ventilators, shoring, damp-proofing, ornamental iron work, floor hardener, metal bulks, bond, hollow metal skylights, tile and marble work, metal lath, cold water painting, ornamental plaster. Architect taking bids due November 20th.

**Garage and Stable,** Northwest Corner of Ludlow, East of Forty-eighth street, Philadelphia. Architect, William Lowenthal, 1208 Chestnut street, Philadelphia. Owners, Quaker City Laundry, on premises. Brick, slow burning and steel girders, 1 story, 42x100 feet, 35x51 feet, slag roof, cement and pine floors, steam heat, electric light, hollow metal skylights. Architect taking bids due November 25th at noon.

**Residence,** Chestnut Hill, Pa. Architect, Robert Rodes McGoodwin, 1600 Walnut street, Philadelphia. Owner, Dr. George Woodward (Mrs. W. G. Lowe, Jr.), Chestnut Hill, Pa. Stone, 2½ stories, slate roof, pine and oak floors, hot water heat, electric light, tile work. Architect taking bids due November 20th.

**Stores (5), Apartments (7),** Fifty-second and Brown streets, Philadelphia. Architect,

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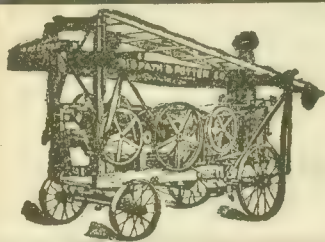
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William F. B. Koelle, Otis Building, Philadelphia. Owner, name withheld. Brick, stucco work, 3 stories, 21x140 feet, hot water heat, tile work, electric lighting, slag and Spanish tile roof, hardwood floors, plate glass, flush bulks. Architect taking bids due November 20th.

**Store, Residence and Garage,** Richmond and Allegheny avenue, Philadelphia. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, B. Lit, on premises. Brick, 2 stories, 11x100 feet, slag roof, oak and pine floors, hot water heat, electric light, metal bulks, ornamental iron work. Architect taking bids due as soon as possible.

**Show Room and Warehouse, Garage,** Roosevelt Boulevard and Sixth street, Philadelphia. Architects, Webber & Wurster, 1520 Locust street, Philadelphia. Owners, Wright & Wright, 2215 North Broad street, Philadelphia. Note following changes in plans and specifications: Building 1 and 2 stories, 242x80 feet, limestone base to terra cotta, Pilaster caps and bases to terra cotta, wood bulk frames, terra cotta copings instead of limestone, stone cornice to galvanized iron cornice, iron grills to subway grating, wood entrance doors instead of stone, exposed wall in building dashed, omit rubber tile and linoleum floors, omit oil burning system, metal lath and plaster in boiler room, monolithic floors, omit tile floors in toilets, change to terrazzo, with cast terrazzo base or composition floors. Architects taking bids due as soon as possible.

**Factory (add.),** West side Orianna, South side Willow street, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, E. Hubschman & Sons, Inc., on premises. Brick and concrete, 4 stories addition, 62x112 feet, wing 20x21 feet, new building, 1 story and basement, 40x115 feet (heating, plumbing and electric, elevators reserved), concrete floors, slag roof, roof ventilators, waterproofing, ornamental iron work, bond, fire doors, rolling steel sash and skylights. Architects taking bids due November 20th.

**Shelter Building,** Weccacoe, Catherine, between Fourth and Fifth streets, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Shelter building, regrading and resurfacing, brick work, iron work, iron fences and gates, carpentry and mill work (plumbing, drainage and electric separate), cement work. Owners taking bids due November 25th at noon.

**Residences (19),** Vaux, Bowman and Sunny-side streets, \$92,500. Architect, private plans. Owner, Joseph P. Tyrdell, 6144 McCallum street, Philadelphia. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors,

hot water heat, electric light. Owner will build.

**Residences (2),** South side Flamingo street, West of Ridge avenue, \$7,000 each. Architect, private plans. Owners, G. L. and J. K. Callahan, 542 Fairthorne avenue, Philadelphia. Stone and frame, 2 stories, 16x16 feet, 20x16 feet, hardwood and pine floors, electric light, tile work. Owners will build.

**Manufacturing Building (add.),** 3959 Elser street (rear), \$5,000. Architect, private plans. Owners, Kane Brothers, on premises. Brick, 1 story add., 40x50 feet, slag roof, pine floors. Owners will build.

**Residences (2),** West side Bingham street, South of St. Vincent street, \$5,000 each. Architect, private plans. Owner, Harry Goreback, 2427 Douglass street, Philadelphia. Frame, 2 stories, 14x40 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. -Owner will build.

**Residence and Garage,** East side Marshall street, North of Roosevelt Boulevard, \$5,200. Architect, private plans. Owner, B. Liebman, 717 Butler street, Philadelphia. Brick, 2 stories, 15x30 feet, 12x10 feet, slag roof, hardwood, pine and cement floors, hot water heat, electric light. Owner will build.

**Residences (2),** North side Dicks avenue, East of Seventy-sixth street, \$3,600 each. Architect, private plans. Owners, Bianchi & Co., 414 South Second street, Colwyn, Pa. Brick, 2 stories, 16x40 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Moving Picture Theatre (alts.),** Southeast Corner Forty-ninth and Yocum streets, \$5,000. Architect, private plans. Owner, J. J. Miller, 620 South Fifty-first street, Philadelphia. General alterations. Permit granted.

**Residences (11),** South side Geneva avenue, East of Westford Road. Architect, private plans. Owner, Carl Metz, 315 West Rockland street, Philadelphia. Brick, 2 stories, 15x39 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence,** South side Shelmire street, North of Verree Road, \$5,000. Architect, private plans. Owner, A. Irving Knickerbocker, 9508 Montour street, Philadelphia. Frame, 1 story, 25x33 feet, shingle roof, hot air heat, electric light, hardwood and pine floors. Owner will build.

**Garage,** North side Atlantic street, East of F street, Philadelphia, \$10,000. Architect, private plans. Owners, A. E. Barnes & Co., 2044 East Clementine street, Philadelphia. Brick, 1 story, 128x36 feet, slag roof, cement floors, electric lighting. Owners will build.

**Residences (2),** North side Granite street, West of Jackson street, \$3,800. Architect, private plans. Owner, John Elser, 1966 Bridge street, Philadelphia. Brick, 2 stories, 16 feet

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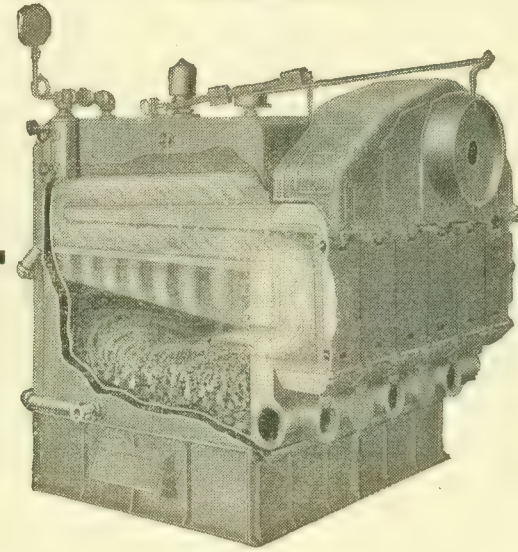




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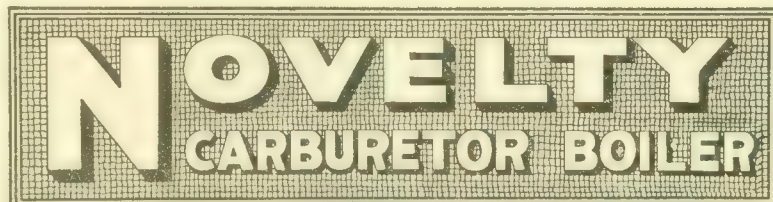
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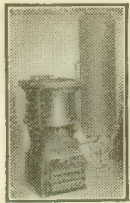
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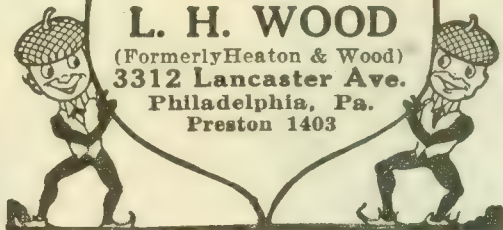
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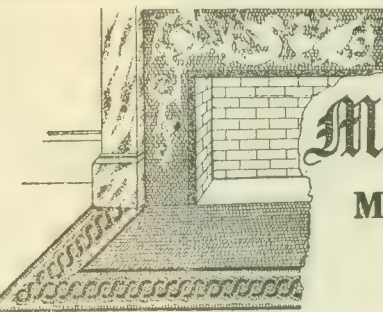
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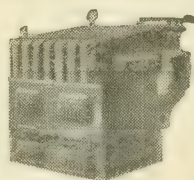
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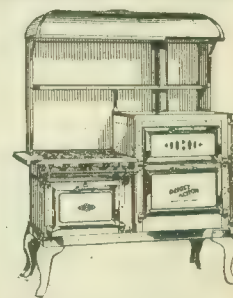
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**Garage**, 332 East Sharpnack street, Philadelphia, \$3,000. Architect, private plans. Owner, William Boyd, 6601 Ross street, Philadelphia. Stone, 1 story, 60x20 feet, slate roof, cement floors. Owner will build.

**Residences (19)**, West side Berbo Street, north of Chelwynde Avenue, Philadelphia, \$86,000. Architect, private plans. Owner, Joseph Halbert, 6550 Paschall Avenue, Philadelphia. Brick, 2 stories, 16x36 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, South side Glenn Street, east of Academy Road, \$4,000 each. Architect, private plans. Owner, A. Corney, 5722 Frankford Avenue, Philadelphia. Frame, 2 stories, 27x24 feet, slag roof, pine floors, hot air heat, electric light. Owner will build.

**Residence**, South side Shelmire Avenue, east of Verree Road, \$5,000. Architect, private plans. Owner, A. Irving Knickerbocker, 7508 Montour Street, Philadelphia. Frame, 2 stories, 25x33 feet, shingle roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

Philadelphia. Owners, Radnor Realty Co., Commercial Trust Building, Philadelphia. Concrete block, steel trusses, 1 story, 159x64 feet, steel columns, gypsum and slag roof, cement and concrete floors, steam heat, electric light, steel sash. Contract awarded Thompson & Lockhart, 6 South Fortieth street, Philadelphia.

**Manufacturing Building (repairs)**, West side Second street, North of Bristol street, Philadelphia, \$34,000. Architect, private plans. Owners, Bird-Ancher Co., Second and Bristol streets, Philadelphia. General fire repairs, steel sash, slag roof, steam heat, electric work, maple floors. Contract awarded to Harry Gill, Jr., 2515 Germantown avenue.

**Residences**, American street, Grange to Calvert, \$171,400. Architect, private plans. Owner, Warren B. Light, 1614 Dwyer street, Philadelphia. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to William Branagan, 1739 Bridge street, Philadelphia.

**Residences (8)**, South side Walnut Lane, East of Mitchell street, \$41,000 total. Architect, private plans. Owner, Charles Bennett, 5632 Ridge avenue, Philadelphia. Brick, 2 stories, (1) 20x40 feet, (7) 16x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to E. L. Cuthbertson, 334 Roxboro avenue, Philadelphia.

**Retaining and Fence Wall**, Southwest Corner Sixty-sixth avenue and York Road, \$40,000. Architect, private plans. Owners, Carmelite Convent, on premises. Stone. Contract awarded to M. Melody & Son, 1322 Race street, Philadelphia.

**Residence**, North side Meadowbrook avenue, East of Stroud street, \$18,500. Architect, private plans. Owner, S. B. Bowen, Jr., 3401 North Fourth street, Philadelphia. Brick and tile, 3 stories, 32x31 feet, 20x26 feet, hardwood and pine floors, tile work, steam heating, electric lighting. Contract awarded to John R. Erbe, 2551 North Sixth street, Philadelphia.

**Boiler House**, 4348-50 Leiper street, Philadelphia, \$7,700. Architect, private plans. Owners, Sylvania Dyeing Co., 4351 Elizabeth street, Philadelphia. Brick, 1 story, 27x13 feet, 25x42 feet, slag roof, electric work. Contract awarded to Schaeffer & Co., Otis Building, Philadelphia.

**Manufacturing Building (add.)**, East side Stokley, North of Westmoreland street, Philadelphia, \$5,000. Architect, private plans. Owners, Budd Wheel Mfg. Co., Twenty-fifth and Hunting Park avenue, Philadelphia. Steel, brick and concrete, 1 story add., 30x60 feet. Contract awarded to Wark Co., 1600 Walnut street, Philadelphia.

**Store (add.)**, Southeast Corner Twelfth and

## Contracts Awarded

### Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Residence (alts. and add.) to Store and Apartments**, 2127 Walnut street, Philadelphia. Architect, John Charles Norton, Ardmore, Pa. Owner, Viola Moeshlin, Belgravia Apartments, Philadelphia. General alts. to residence, 4 stories, plumbing, heating, hardwood floors, sheet rock partitions, folding beds, kitchen equipment, tile work, metal bulks. Contract awarded to E. M. Canny, Sixty-first and Sansom streets, Philadelphia.

**Building**, 4927 Stenton avenue, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Atwater Kent Co., on premises. Brick, concrete and steel, 1 story and basement, 480x80 feet, triangle, steam heat, electric light, saw-tooth gypsum slab roof, concrete and plank floors, plumbing, ornamental terra cotta, rolling steel sash and shutters, sprinklers. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia.

**William Cullen Bryant School**, Sixtieth and Cedar avenue, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Contract awarded Bowden Const. Co., 1935 Chestnut street, \$195,900. Plumbing, Bullman Brothers, 2124 East Cumberland street, Philadelphia, \$8,596. Heating, F. J. Mellon, 5845 Beaumont street, Philadelphia, \$24,947. Electric, E. F. Goldhahn, 4335 Chestnut St., Philadelphia, \$5,234. Ventilating, Gerbrick & Kaufman, 44 North Second street, Philadelphia, \$1,448.

**Elevator Shaft (alts.)**, Eighth and Market streets, Philadelphia. Architects, Simon & Simon, 248 South Juniper street, Philadelphia. Owners, Messrs. Lit Brothers, on premises. Ornamental metal fronts and doors, skylights, Barrett's Specification roof, brick work, composition floors, cement work, hard-

ware, painting and glazing, shoring, structural steel, marble work, plastering (plumbing, heating and electric and sprinkler system reserved). Contract awarded William Linker Co., 735 Cherry street, Philadelphia.

**Factory Building**, Eighteenth and Wagner avenue, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, A. H. Fox Gun Co., Eighteenth and Windrim avenue, Philadelphia. Brick and mill construction, 1 story, 162½x90 feet, plank and concrete cement floors, steam heat, electric light, rolling steel sash, plumbing and terra cotta work. Contract awarded to W. S. Van Asdlen, 620 Wynnewood Road, Philadelphia.

**Building (alts. and add.)**, Sixty-eighth avenue and York Road, \$28,000. Architect, Edwin L. Rothschild, 1420 Chestnut street, Philadelphia. Owner, David Nierenberg, 2217 Chestnut street, Philadelphia. Brick, 1 story, 27x80 feet and 16x36 feet, cut stone, steel, plastering, metal lath, tile and marble work, painting, glazing, hot water heat, electric light, ornamental iron work. Contract awarded to Geiger & Son, 4657 James street, Philadelphia.

**Alterations and Additions**, 254 West Walnut Lane, Germantown, Philadelphia. Architect, Addison H. Savery, 1309 Locust street, Philadelphia. Owner, Thomas C. Potts, on premises. Carpentry and mill work, oak floors, cement work, tin roof, plastering, hardware, painting and glazing, plumbing, tile work, electric work (heating reserved). Contract awarded William C. Wright & Son, 22 Harvey street, Philadelphia, Pa.

**Garage Building and Repairs to Old Building**, Water and Dickinson streets, \$40,000. Engineer, John Meigs, 1001 Chestnut street,



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Cambria streets, Philadelphia, \$2,500. Owner, Charles Reichert, Southeast Corner Twelfth and Cambria streets, Philadelphia. Brick, 1 story add., 15x21 feet, slag roof, pine floors, electric work. Contract awarded to Louish Swaah, 1129 Indiana avenue, Philadelphia.

**Garage and Shop**, 3102 Van Kirk street (rear), Philadelphia, \$4,000. Architect, private plans. Owner, James McBanon, on premises. Brick, 1 story, 50x35 feet, slag roof, cement floors, electric work. Contract awarded to Charles S. A. Booth, 4355 Frankford avenue, Philadelphia.

**Residence (alts. and add.)**, 1006 South Nineteenth street, Philadelphia, \$4,665. Architect, private plans. Owner, Peter Lewis, 719 South Smedley street, Philadelphia. Brick, 2 stories, 13x14 feet, third story, 13x24 feet, general alterations. Contract awarded to J. G. Patterson, 2114 Lombard street, Philadelphia.

**Residences (3)**, North side Kingsley street, East of Mitchell, \$5,000 each. Architect, private plans. Owner, Charles B. Bennett, 5632 Ridge avenue, Philadelphia. Brick, 2 stories, (1) 20x31 feet, (2) 16x40 feet, slag roof, hardwood and pine floors, electric lighting. Contract awarded to E. L. Cuthbertson, 334 Roxborough avenue, Philadelphia.

**Residence (alts.)**, 3909 Haverford avenue, Philadelphia, \$3,000. Architect, private plans. Owner, P. Bralow, Bankers' Trust Building, Philadelphia. General alterations. Contract awarded to A. Bass, 1117 North Seventeenth street, Philadelphia.

**Storage Building**, Northeast Corner Tioga and Cedar streets, Philadelphia, \$2,000. Architect, private plans. Owners, Glenwood Distillery Co., on premises. Iron, 1 story, 36x65 feet, corrugated iron roof, cement work. Contract awarded to A. Laib, 812 West Wyoming avenue, Philadelphia.

**Business Building (alts. and add.)**, Northeast Corner Twenty-second and Oxford streets, \$3,400. Architect, private plans. Owner, Benj. Berd, on premises. Brick, 1 story add., 14x15 feet, general alterations. Contract awarded to A. Frank, 1522 South Sixth street, Philadelphia.

**Shop (add.)**, 1544 Frankford avenue, Philadelphia, \$2,000. Owner, B. Cohen, 1542 Frankford avenue, Philadelphia. Brick, 1 story add., 16x58 feet, slag roof, pine floors. Contract awarded to Fleischer Brothers, 1531 North Eighth street, Philadelphia.

**Post Office (alts.)**, 5224 Market street, Philadelphia, \$3,000. Architect, private plans. Owner, P. Gelber, 4743 Sansom street, Philadelphia. General alterations. Contract awarded to A. Gorelick, 3876 Wyalusing avenue, Philadelphia.

ed to A. Gorelick, 3876 Wyalusing avenue, Philadelphia.

**Garage**, East side Wister street, South of Godfrey avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Bertha S. Holcomb, 1309 Dyre street, Philadelphia. Brick, 1 story, 17x90 feet, slag roof, cement floors. Contract awarded to Edward B. Miller, 3945 North Marshall street.

**Manufacturing Building (alts.)**, Southeast Corner Sedgley and Lawrence streets, \$3,000. Owners, Joseph and T. Baker, on premises. General alterations. Contract awarded to John N. Gill Const. Co., 121 North Broad street.

**Bakery (add. and alts.)**, Northeast Corner Third and Nedro avenue, \$2,500. Architect, private plans. Owner, Harry W. Mill, 4118 York Road, Philadelphia. Brick, 1 story add., 16x10 feet, general alterations. Contract awarded to Otto Malz & Son, 2002 North Fourth street, Philadelphia.

**Garage**, 6225-27 Girard avenue, Philadelphia, \$2,500. Architect, private plans. Owner, Mrs. Anna S. Esleph, on premises. Brick, 1 story, 17x62 feet, 31x17 feet, slag roof, cement floors. Contract awarded to W. R. Smithwick, 1409 North Allison street, Philadelphia.

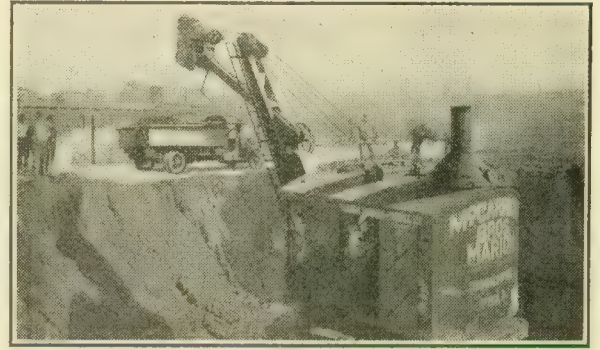
## Pennsylvania Construction News

**Residence**, Whitewood Park, Elkins Park, Pa. Architect, Eugene A. Stopper, 10 South Eighteenth street, Philadelphia. Owner, Charles Kahn, Morris Building, Philadelphia. Stone, hollow tile, cut stone, steel, 2½ stories, 22x65 feet, tile and slag roof, oak and pine floors, hollow tile, plumbing, hot water heat, electric light, metal lath, tile and marble work, ornamental iron work. Architect taking bids due November 22nd.

**Residences (16)**, Wayne, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Karl Litchenfeld, care of architect. Concrete block, 2½ stories, 16x37 feet, asphalt slate shingle roof, hardwood floors, hot water heat, electric light, tile work, septic tanks or wells. Architect taking sub-bids.

**Residences (4)**, Martin avenue, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, John Charles Norton, Ardmore, Pa. Concrete block, 2½ stories, 16x37 feet, asphalt slate shingle roof, hardwood floors, tile work, hot water heat, electric light, septic tanks or wells. Architect taking sub-bids.

**Stores (4), Apartments (4)**, County Line Road, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Louis



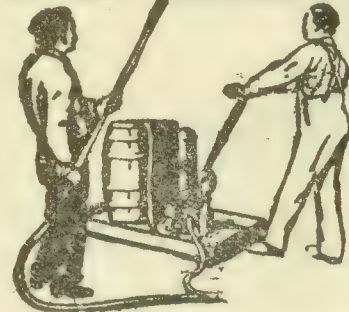
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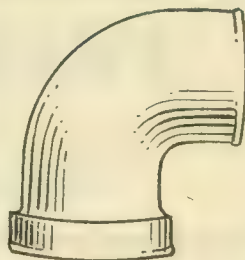
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and Philip Harrison, Bryn Mawr, Pa. Brick, concrete block, 3 stories, 16x53 feet each, hot water heat, electric light, slag roof, hardwood floors, tile work, metal ceilings, metal bulks. Plans in progress. Architect taking sub-bids.

**Residences (2)**, Crickett avenue, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Thomas Walsh, Ardmore, Pa. Brick, 3 stories, 16 feet 44 inches x 36 feet, hot water heat, electric light, slate roof, hardwood floors, electric light, tile work. Plans in progress. Owner will take sub-bids in a week.

**Residence and Garage**, Powell Road, Ardmore, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Andrew Calhoun, Wyoming avenue, Ardmore, Pa. Brick, 3 stories, 26x40 feet, 1 story, 18x22 feet, hot water heat, electric light, slate roof, hardwood floors, tile work and tile walks, copper spouting, cement work. Architect taking sub-bids.

**Garage**, Lancaster avenue, Haverford, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Len Zengel, Haverford, Pa. Brick, steel, 2 stories, 99x132 feet, asbestos built-up roof, reinforced cement and composition floors, hot water heat, electric light, tile

work, steel rolling doors, metal bulks. Revised plans in progress.

**Nurses' Home**, Pottstown, Pa. Architect, Fred A. Muhlenberg, Ganster Building, Reading, Pa. Owners, Pottstown Hospital, Pottstown, Pa. Too early for details.

**Store and Apartment (alts. and add.)**, Shenandoah, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owner, Leonard Davison, 113 North Main street, Shenandoah, Pa. Steel, brick, frame, 4 stories, 73x34 feet, composition roof, yellow pine floors, elevators, metal ceilings, plate glass, new store front (copper), tile work, steam heat, electric light. Plans in progress.

**Office and Warehouse**, Eighteenth and Ruder streets, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, W. J. Preston, care of architects. Brick, steel, 2 stories, 50x105 feet, slag roof, concrete floors, electric light, rolled steel sash, fire doors, floor hardener, waterproofing, dampproofing. Plans in progress.

**Garage and Sales Room**, Bradford, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Star Garage Co., Bradford, Pa. Fireproof, 2 stories, 250x150 feet, composition roof, concrete floors, steam heat, electric light, metal lath, dampproofing, floor hardener. Plans in progress.

**Philips Memorial Auditorium**, West Chester, Pa., \$300,000. Architects, Price & Walton, 119 South Fourth street, Philadelphia. Owners, West Chester Normal School, Robert Anderson, West Chester, Pa. Stone, steel, concrete, 1 and 2 stories, 64x162 feet. Sketches drawn. Held up until spring, 1925.

**Bank**, George street, York, Pa., \$100,000. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owners, Drovers' & Mechanics' Bank, York, Pa. Stone, steel, marble, 1 story, 29x150 feet, Barrett roof, marble and cork floors, metal window guards, waterproofing and dampproofing, cut stone, ornamental iron work, iron stairs, bond, bank fixtures, bronze work, tile and marble work, metal lath, steam heat, electric light. Architects ready for bids due December 15th.

**Art Building**, Chambersburg, Pa., \$175,000. Architect, R. A. Stair, Guardian Trust Building, York, Pa. Owners, Penn Hall School, Chambersburg, Pa. Brick, 3 stories, 159x107 feet, slate roof, pine floors, tile and marble work, electric light, W. Webster heating,

plastering (ornamental). Charles E. Cump, Chambersburg, taking sub-bids.

**Residence (alts. and add.)**, Ephrata, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owner, Iven Mentzer, Ephrata, Pa. Brick, 2½ stories, 18x25 feet, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids.

**Barn**, Spring City, Pa. Architects, Department of Architecture, Mr. J. Uhler, Harrisburg, Pa. Owners, Pennhurst State Hospital, care of Pennsylvania State Department of Property and Supplies, Harrisburg, Pa. Local stone, 1 story, 31x66 feet. Architects will take bids in 10 days.

**Feed Barn**, Spring City, Pa. Architects, Department of Architecture, J. Uhler, Harrisburg, Pa. Owners, Pennhurst State Hospital, care of State Department of Property and Supplies, Harrisburg, Pa. Local stone, 1 story, 33x44 feet. Architects will be ready for bids in ten days.

**Residence (alts.)**, Fort Washington, Pa. Architects, Rankin, Kellogg & Crane, 1805 Walnut street, Philadelphia. Owner, Charles Hunsicker, Fort Washington, Pa. General alterations. Preliminary plans in progress. Architect taking approximate sub-bids.

**Houses (18)**, Elkins Park, Pa. Owner, Guirnsye Stevenson, 503 Fox Building, Philadelphia. Various types, 2 stories and basement, 26x42 feet, hot water heat, electric light, tile and slate roof, hardwood floors, tile work. Plans in progress. J. B. Stevenson and owner, Fox Bldg., Phila., taking sub-bids.

**School**, Elkins Park, Pa. Architects, Paul A. Davis, 3rd, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, School Board of Cheltenham Township, Pa. Plans about completed, will be ready for bids two weeks.

**Women's Building, Almshouse**, Nazareth, Pa., \$100,000. Architect, E. H. Wenzelberger, 224 Northampton street, Easton, Pa. Owners, Northampton County Directors of the Poor, Stewart Houck, president, 2126 Freemasonsburg avenue, Easton, Pa. Brick, 2 stories. Too early for details. Owners will take bids about January 15th, 1925.

**Storehouse**, Fort Mifflin, Pa. Architect, U. S. Engr., War Department, 1307 Schaff Building, Philadelphia. Owners, U. S. War Department, care of Col. F. G. Boggs, Dist. Engr., 1307 Schaff Building, Philadelphia. Reinforced concrete, hollow tile, steel, 1 story, 50x200 feet, asbestos shingle roof, cement floors, roof ventilators, rolling steel doors. Owners ready for bids due December 15th at noon.

**Church (alts.) and Parish House**, Easton, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. Paul's Lutheran Church, A. J. Price, secretary, Building Committee, Easton, Pa., Hollow tile and stucco, brick trim, 2 stories, 49x73 feet, built-up slate roof, hollow tile, hardwood floors, vapor heat, electric light, tile work. Owners ready for revised bids.

**High School**, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, Harrisburg School Board, 121 Chestnut street, Harrisburg, Pa. Interior finish, maple floors, tile and marble work, lavatories (heating and ventilating separate), electric fixtures. Owners will be ready for bids in about ten days.

**Apartment House**, West Chester Road and Brief avenue, Upper Darby, Pa. Architect, Clarence E. Wunder, 1520 Locust street,

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Philadelphia. Owner, Maxwell P. Levy, Upper Darby, Pa. Brick, cut stone, steel, 4 stories and basement, size irregular, slate, slag and tin roof (elevators, electric, plumbing, heating and dumb waiters reserved), cement and oak floors, metal lath, tile and marble work, hollow metal sash, rolling steel skylights, fire and kalamein doors, bond, metal bulks, ornamental iron work, waterproofing and dampproofing, metal weather strip, roof ventilators, architectural terra cotta, travertine, steel casements, stand pipe system, metal lockers, clothes dryers, ash hoists, kernator, ornamental plaster. Architect taking bids due November 25th at noon.

**Manufacturing Building**, Kennett Square, Pa. Engineers, William Steele & Son, 219 North Broad street, Philadelphia. Owners, American Road Machinery Co., Commercial Trust Building, Philadelphia. Brick, concrete, 1 story and basement, 158x132 feet (heating and electric reserved), slag roof, cement floors, plumbing, slate glazed terra cotta, steel rolling doors, wrought iron pipe, ornamental iron work, bond, tin-lined doors, rolling steel sash and skylights. Engineers taking bids due November 24th at noon.

**Residence**, Elkins Park, Pa. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, S. Weiler, care of architect. Stone, cut stone, brick, 2½ stories, 66x38 feet, shingle and slag roof, oak and pine floors, plumbing, hot water heat, electric light, tile work, ornamental iron work, flagstone, wrought iron work, rubber tile floors. Architect taking bids due November 21st.

**Yard Office Building**, Bethlehem, Pa. Architect, private plans. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Brick and concrete, cut stone, steel, 1 story, 18x24 feet, slag roof, cement floors, electric light, metal lath, plumbing, bond, ornamental iron work, dampproofing. Owners taking bids due November 20th.

**Store and Apartments (2), Garage and Filling Station**, Glenside, Pa. Architect, Philip S. Tyre, 1505 Arch street, Philadelphia. Owner, Lloyd B. Ely, Glenside, Pa. Brick, stucco, 2 stories, 2 wings, 50x100 feet. Architect taking bids.

**Residence and Garage**, Lot No. 5, Duell Tract, Meadowbrook, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, name withheld. Stone, 2½ stories, 32x83 feet, 1 story, 23x43 feet, slate roof, hardwood floors, hot water heat, electric light, tile work, cement work. Architect taking bids due November 24th.

**Residence and Garage**, Ithan, Pa. Architect, G. Edwin Brumbaugh, Real Estate Trust Building, Philadelphia. Owner, P. H. Stull, care of architect. Stone, frame, 2½ stories. Architect taking bids due November 21st.

**Sheridan School**, Sixth Ward, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. Low bidders on heating and ventilating, plumbing and electric work. Heating and ventilating: J. August Miller, 425 Turner street, Allentown, Pa., \$19,650. Plumbing, J. August Miller, 425 Turner street, Allentown, Pa., \$15,535. Electric work, William H. Taylor & Co., 256 Hamilton street, Allentown, Pa., \$5,245.

**Roosevelt School (add.)**, Allentown, Pa. Architect, E. H. Pickin, Hunsicker Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. Brick, steel, 2 stories, 270x100 feet and 50x100 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators, waterproofing, dampproofing, metal lath, tile work, rolled steel sash and skylights, kalamein doors, bond, iron stairs, ornamental iron work. Lowest bidders: Butz & Clader, Ainey Building, Allentown, Pa., \$234,055; H. E. Stoudt & Son, 424 Avenue C, Bethlehem, Pa., \$239,000.

## Pennsylvania

### Contracts Awarded

**Stores (2), Apartments (2)**, County Line Road, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Andrew Marmar, Bryn Mawr, Pa. Brick and concrete block, 2 stories, 36x62 feet, slag roof, pine floor, hot water heat, electric light, tile work, metal ceilings, metal bulks. Contract awarded Carmine Mattia, Sixty-fifth and Vine streets, Philadelphia.

**Residence**, Conshohocken, Pa. Architects, Karcher & Smith, 34 South Seventeenth street, Philadelphia. Owner, Miss Marion B. Wood, care of architect. Brick, cut stone, steel, stone, 2½ stories, 104x48 feet, slate roof, oak, pine and cement floors, hot water heat, electric light, metal lath, tile and marble work, waterproofing, bond, ornamental iron work, flagstone, vacuum cleaning system. Contract awarded E. Allen Reeves, Abington, Pa.

**Store Building**, Pottsville, Pa. Architect, William D. Hill, 207 North Centre street, Pottsville, Pa. Owners, Freedline Brothers, Pottsville, Pa. Remodeling store front and interior, copper work, glazing, steel girders, copper cornice, cellar hoist, steel sidewalk doors, tile work, plate glass. Contract awarded to W. J. Messersmith & Son, Pottsville, Pa.

**Branch Bank (alts. and add.)**, Cynwyd, Pa. Architects, Savery & Scheetz, Stephen Girard Building, Philadelphia. Owners, Merion Title & Trust Co., Ardmore, Pa. Brick, stone, concrete (heating, electric work reserved), slag roof, rubber and cement floors, metal lath, terrazzo work, ornamental iron work, architectural terra cotta, plumbing, cast iron pipe. Contract awarded Franklin M. Harris Co., 1520 Parrish street, Philadelphia.

**Residence**, Haverford, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, Mrs. V. T. Moore, care of architects. Hollow tile, stucco, 2½ stories, 82x24 feet, shingle roof, oak and pine floors, vapor heat, electric light. Contract awarded H. A. Zeis, Brookline, Pa.

## New Jersey Construction News

**School**, Pennington, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, Hopewell Township School Board, Hopewell, N. J. Brick, 2 stories, 10 rooms. Architect selected.

**Factory (alts. and add.)**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, E. H. Freeman Electric Co., Prince and Mead streets, Trenton, N. J. Brick, steel, 2 stories. Preliminary plans in progress. Too early for details.

**School**, Hopewell, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, Hopewell Township School Board, Hopewell, N. J. Brick, 2 stories, 12 rooms. Preliminary plans in progress.

**Residence**, Morris Heights, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Otto Wetzel, care of architects. Brick, 2½ stories, 24x58 feet, tile roof, hardwood floors, vapor heat, electric light, tile and marble work. Plans in progress.

**Residence**, Beach Haven, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owner, Mr. Pennington Way, 4107 Spruce street, Philadelphia. Timber, 2 sto-

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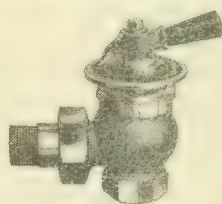
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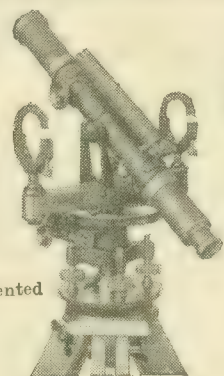
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ries, 34x28 feet, shingle roof, yellow pine floors, hot water heat, electric light, tile work. Plans in progress.

**Hospital**, Mt. Ephraim avenue, Camden, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owners, West Jersey Homeopathic Hospital, Dr. C. F. Hadley, Mt. Ephraim and Atlantic avenues, Camden, N. J. Fireproof, 5 stories, 64x68 feet, slag roof, composition roof, cinder block, elevators, safety treads, roof ventilators, waterproofing, dampproofing, heating extension, electric light, metal lath, tile, marble and terrazzo work, rolled steel sash and skylights, fire doors, iron stairs, ornamental iron work. Plans in progress.

**Stores and Office (alts. and add.)**, 544-46 Federal street, Camden. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owner, Mr. S. Schoenagle, Federal and Hudson streets, Camden, N. J. Brick, stone, steel, concrete, 3 stories, 40x120 feet, slag roof, hardwood floors, cinder block, steam heat, electric light, metal lath, rolled steel sash, fire doors, copper work, dampproofing, iron stairs, ornamental iron work. Plans in progress.

**High School**, Hammonton, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owners, Hammonton School Board, W. R. Seely, secretary, Hammonton, N. J. Fireproof, 2 stories and basement, 260x34 feet, 64x100 feet, slag roof, cinder block, safety treads, roof ventilators, waterproofing, dampproofing (heating, electric and plumbing separate), metal lath, rolled steel sash and skylights, fire doors, bond, iron stairs, ornamental iron work. Plans in progress.

**Group of Buildings**, Trenton Junction, N. J. Architects, Guilbert & Betelle, Newark, N. J., and Arnold H. Moses, Temple Building, Camden, N. J. Owners, New Jersey School for the Deaf, State Board of Education, Trenton, N. J. Owners will be ready for revised bids next week.

**Residence**, Atlantic City, N. J. Architect, H. A. Stout, Guarantee Trust Building, Atlantic City, N. J. Owner, Joseph Chambers, 539 North New Jersey avenue, Atlantic City. Frame, stucco, 1½ stories, 28x44 feet, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Church (alts. and add.)**, Camden, N. J. Architect, J. C. Jefferis, 312 Market street, Camden, N. J. Owners, Union Methodist Episcopal Church, care of architect. Brick, 1 and 2 stories, various sizes, tile and slag roof, maple floors, steam heat, electric light, cut stone. Architect about ready for bids.

**High School**, Roselle, near Newark, N. J. Architects, Rassmussen & Wayland, 36 West Forty-seventh street, New York City. Owners, Board of Education, Borough of Roselle, N. J. Brick, steel, cut stone, 2 stories and basement, 354x65 feet (plumbing, heating and electric reserved), slag roof, maple floors, roof ventilators, ornamental iron work, rolling steel skylights, kalamein doors, tile, marble and terrazzo work, metal lath. Grade school, 2 stories and basement, 147x76 feet. Owners taking bids due December 11th.

**Residence**, Clearfield Estates, Mt. Ephraim, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owner, Antonio Di Paola, care of architects. Cinder block, 2½ stories, 18x60 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Architects taking bids due November 24th.

**Store and Offices (alts.)**, 209-11 South Tennessee avenue, Atlantic City. Architect, D. A. Rsenstein, Humphreys Building, Atlantic City, N. J. Owner, J. J. Cassady, on premises. General alterations, partitions, tile and marble work, skylights. Architect taking bids.

**Stores (7), Offices (6) and Lodge Building**, Wildwood, N. J. Architect, private plans. Owners, Fraternal Order of Eagles, J. Donaldson, president, Wildwood, N. J. Brick, veneer and steel, 3 stories and roof garden, 90x100 feet, steam heat, electric light, tile work, hardwood floors. Owners about ready for sub-bids.

**Open Shed**, Front and Mechanic streets, Camden, N. J., \$2,500. Architect, private plans. Owners, Reading Railway Co., Twelfth and Market streets, Philadelphia. Frame, 1 story, 31x39 feet 88 inches, built-up asbestos roof, pine floors. Owners will build.

## New Jersey Contracts Awarded

**Building (add.)**, 1100 South Second street, Camden, N. J., \$2,350. Architect, private plans. Owner, Morris Greenberg, on premises. Brick, 2 stories add., 12x23 feet, slag roof, pine floors. Contract awarded to John C. O'Donnell, 342 Sycamore street, Camden, N. J.

**Ice Plant (add.)**, Wildwood, N. J. Architect, Mark B. Reeves, Wildwood, N. J. Owners, Otten's Harbor & Cold Storage Co., Wildwood, N. J. Concrete and frame, 1 story, 80x100 feet, slag roof. Contract awarded to Mark B. Reeves, Wildwood, N. J.

**Hotel**, Spicer and Atlantic avenues, Wildwood, N. J. Architect, Mark B. Reeves, Wildwood, N. J. Owners, Mahoney & McNichol, care of architect. Brick, concrete and frame, 60 rooms. Contract awarded to Mark B. Reeves, Wildwood, N. J.

**Residences (10)**, 1121-39 North Twentieth street, Camden, N. J., \$35,000. Architect, private plans. Owners, Riverview Const. Co., 229 Market street, Camden, N. J. Frame and stucco, 2 stories, 14x36 feet, slag roof, pine floors, warm air heat, electric light. Contract awarded to S. L. Kindick, Westville, N. J.

**Detention Home**, Pensauken, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owners, Camden County Board of Chosen Freeholders, J. Riggins, Court House, Camden, N. J. Fireproof, 2 stories, 50x200 feet, slate roof, tile and composition floors, cement block, safety treads, metal window guards, waterproofing, dampproofing, ornamental iron work, iron stairs, fire doors, rolled steel sash, tile work, metal lath, electric light, vapor heat (heating, ventilating, plumbing, electric separate bids). Contract awarded to George W. Shaner & Son, Palmyra, N. J., \$157,563. Heating and ventilating awarded to C. W. Cramer's Sons, 11 Haddon avenue, Camden, N. J., \$9,300. Plumbing awarded to W. J. Kelly, 675 Ferry avenue, Camden, N. J., \$9,850. Electric work awarded to Merit Electric Co., 630 Race street, Philadelphia, \$6,290.

**Store (alts.)**, Brooklawn, N. J. Architects, J. Leibroth, 2210 Bath avenue, Brooklawn, N. J., and D. A. Rosenstein, Humphreys Building, Atlantic City, N. J. Owners, Silver & Bros. Co., 130 Fifth avenue, New York. General alterations to building, 2 stories and basement, 150x100 feet, copper work, plate glass, tile and marble work, elevators, safety treads, ornamental iron work. Contract awarded to National Woodworking Co., New York City, care of owners.

**Residence**, Hamilton Township, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, H. L. Mack, 296 Hamilton avenue, Trenton, N. J. Frame, 2 stories, 22x36 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Contract awarded to William C. Aker, 215 Hollywood street, Trenton, N. J.

**Residence**, 56 Westfield avenue, Merchantville, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owner, Nicolo

Bernardo, 20 Haddon avenue, Camden, N. J. Brick, 2 stories, 28x30 feet, slate roof, pine floors, hot water heat. Contract awarded to W. J. Harden, 862 Haddon avenue, Camden, N. J.

**Bridge**, South of Middleton, N. J. Owners, Philadelphia & Reading R. R. Co., Twelfth and Market streets, Philadelphia. Steel beam, 5 span, reinforced concrete, waterproofed paved floor. Contracts awarded: Excavation and masonry, H. Denberger, Bethlehem, Pa. Waterproofing, Minwax Co., Harrison Building, Philadelphia.

**Residences (7)**, 1111 to 1123 North Twenty-fourth street, Camden, N. J., \$25,000. Architect, private plans. Owners, Riverview Const. Co., 229 Market street, Camden, N. J. Cinder block, 2 stories, 14x28 feet, slag roof, pine floors, warm air heat, electric light. Contract awarded to James S. Furman, 110 Chestnut avenue, Woodlynne, N. J.

**Building (alts. and add.)**, 1801-3 South Fourth street, Camden, N. J., \$2,600. Architect, private plans. Owner, G. D. Annunzio, 1801-03 South Fourth street, Camden, N. J. Block and frame, 2 stories, 14x14 feet, and 1 story, 10x10 feet, slag roof, pine floors, electric light. Contract awarded to Ernest Ferrozzi, 329 Clinton street, Camden, N. J.

## Miscellaneous Construction News

**Residence**, Lakeland, Fla. Architect, A. C. Borzner, 717 Walnut street, Philadelphia. Owner, James Wylie Passmore, Lakeland, Fla. Preliminary plans in progress. Too early for details.

**Residence**, Frederick, Md. Architect, Edward Leber, Hay Building, York, Pa. Owner, Benjamin F. Reich, Frederick, Md. Brick, 1½ stories, 40x60 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress.

**Kitchen Building**, Maggie, West Va. Architects, Davis, 3rd, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, Hospital for Insane, care of State Board of Control, J. S. Larkin, chairman, Charlestown, W. Va. All bids exceeded appropriation. Subject to future appropriation.

## Proposal

TREASURY DEPARTMENT, Office of the Supervising Architect, Washington, D. C., Nov. 15, 1924.—SEALED PROPOSALS will be opened in this office at 3 P. M., Dec. 16, 1924, for new mezzanine floor, extension and alteration to lookouts, miscellaneous 1st floor changes and incidental changes in mechanical equipment, at the U. S. Post Office and Court House, Philadelphia, Pa. Drawings and specifications may be obtained from Custodian of the building, or at this office in the discretion of the Supervising Architect. Jas. A. Wetmore, Acting Supervising Architect.

## PROPOSALS

Sealed proposals will be received by the School District of the City of Easton, Pa., at the office of the Secretary, 30 North Second Street, until Monday, December 8th, 1924, 8 P. M., for the construction of a Gymnasium at the Senior High School Building and for necessary paving at the Senior High School Building at Northampton, Twelfth and Spring Garden Streets, City of Easton, Pa., in accordance with plans and specifications prepared by Messrs. Michler and Sny-



der, Easton, Pa., and on file at their office, 610 Drake Building.

Separate bids will be received for the following:

- (a) General Contract.
- (b) Heating and Ventilating.
- (c) Plumbing.
- (d) Electrical.
- (e) Paving.

Plans and specifications for the above can be obtained at the office of William M. Michler, 610 Drake Building, Easton, Pa. A deposit of fifty (\$50) dollars will be required for the use of plans, specifications, etc. Plans and specifications to be returned in good condition with bid when deposit will be refunded. All bids to be accompanied by a certified check payable to the order of the Easton School District for an amount equal to 2 per cent. of the amount of the bid submitted. Certified checks to be returned to all excepting the two lowest bidders immediately after the award of the contract. Checks of the lowest bidders to be retained until contract is signed and satisfactory bond furnished.

Proposals to be made on form provided by the architects for that purpose and addressed to the Easton School District, Attention R. E. Peifer, Secretary, 2nd and Church Streets, Easton, Pa. All bids to be sealed and marked on outside as follows: "Proposal for Construction of Gymnasium Senior High School," "Proposals for Paving at Senior High School."

The Easton School District reserves the right to reject any or all bids or part of any bid submitted.

EASTON SCHOOL DISTRICT,  
T. A. Mellon, President.

Attest:

R. E. Peifer, Secretary.

(Continued from page 740)

large stocks were unsold, inventories were high, spirits were low. In short, those were the dog-days.

They were the dog-days, however, only to those who permitted them to be. Some industries followed the example of the old sea captain and put out more sail. Their business forged ahead as though nothing had happened. Many thought this procedure would be ruinous and would prove to be a case of throwing good money after bad. Some manufacturers followed the tactics of the old seaman and profited accordingly. Some were prevented by lack of finances. Others preferred to let things take their course, hoping that some good fairy would lend a helping hand.

Let us consider how these various conditions acted with regard to building materials. From 1917 to 1921 there was a deplorable slump in building operations, with a temporary respite toward the end of 1919. The sale of building materials continued to diminish in the same proportion as building abated. There were a few exceptions, however. It is indeed a surprise to find that while the building industry was suffering adversity, two or three products not only held their own, but actually increased in sale. Conditions like this do not occur accidentally and without cause.

Charting the activities of several of

the important materials used in building, taking 1919 as a starting point, because it was the first year of domestic consumption after the war, and because towards the end of that year building operations approached nearest to normal, we find that the curves of most products are on the upward grade, with the exception of face brick. During the next year, when the slump was resumed and while other products were decidedly affected and were on the down-grade, bathroom tile and face brick were actually increasing in sales and Portland cement was not affected.

Then in 1922 and 1923, when building recommenced, the curves of these same three materials, with the addition of metal lath, shot upward in a more pronounced fashion than other materials. After due reflection and considering all the facts, this course of events is neither miraculous or unnatural. The cause is simply this—the manufacturers of these materials merely threw out more sail during the calm and stuck to the wheel. They had previously inaugurated aggressive advertising campaigns, and continued them through the dull period. Consequently their respective industries were being carried forward by the stored-up force and inertia generated by the advertising and sales promotion campaign.

They had refused to let conditions delay their progress. Instead of waiting for business to get better, they redoubled their efforts and made it better. The Portland Cement Association, the Face Brick Association and the Associated Tile Manufacturers performed wonders for their particular branches of the building industry. Excellent promotional work and increased advertising brought increased sales. This increase was by no means temporary, as the cumulative effect of their promotional work figured considerably in harvesting sales in an ever-increasing proportion after prosperity again set in.

Portland cement, considering that it is a basic commodity similar to lumber, and would therefore be greatly affected by the fluctuations of building operations, proved the best example of the benefits of trade association advertising. Ordinarily, if left alone, the sales of this product would have dropped in the same proportion as lumber, but because of its vigorous promotion by the Portland Cement Association, sales were kept from slumping. What the Portland Cement Association has accomplished is a tribute to the product. It is no wonder that the Portland cement industry, as well as other successful industries, continues to appropriate large sums for the purpose of putting out more sail to the wind.

The American Face Brick Association also has a very remarkable record. With an advertising appropriation of \$125,000 a year, the industry has shown an in-

crease of production from four per cent. below the 1913 level to seventy per cent. above this level. Although the increase in consumption may be due to the increased building after the war period, much of the credit should be given to the publicity by the association. It has been demonstrated that in many communities the building of brick houses has been increased from 100 to 300 per cent.

Of particular interest is the amazing progress of metal lath. The increased sale of this product is another example of the increasing demand for better construction, but unlike the associations mentioned above, the Associated Metal Lath Manufacturers have no definite advertising program. This kind of work is done principally by the member companies. The work of the association is of a promotional and research character. It gathers data and statistics, inaugurates tests, and in general offers material to the member companies for advertising and selling purposes. Another important function of this association is following up building codes throughout the country, for the purpose of incorporating requirements involving the use of metal lath. Thus with a small organization and a small budget, it must be given a great deal of credit for the wonderful results shown thus far.

At present the automobile industry is experiencing a dull season. However, some manufacturers are enjoying excellent business. Upon closer examination we find that the manufacturers who are least affected are those who have increased their sales effort to meet this emergency. They have succeeded in making business good for themselves. But their aggressive methods cannot make business good for the entire industry. If the industry is to benefit, it must exert itself and follow the same tactics without exception. Failure to do this invariably results in disappointment to those who lag behind, while it broadens the field to those who push themselves ahead.

The case of the metal lath industry is just another example of the same condition. Despite the rapid and steady increase in sales which was largely due to the promotional work of the Metal Lath Association and to the advertising of the separate companies, it suffered possibly the worst slump in the building field. The promotional work bore wonderful fruit when times were good, but once the slump set in there was a decisive drop in sales. The only reasonable explanation of this action is failure to stabilize industry through a vigorous advertising campaign by the industry as a whole. Promotional work is not sufficient. The lack of a well-defined advertising policy for the industry as a unit was decidedly manifest.

The advantages of trade association advertising is clearly demonstrated in the case of the common brick industry. Their



own words are more expressive in this connection than any we can think of:

"It is no secret that the common brick manufacturer stood just about knee-deep in the mud of his clay bank at the time we began advertising. He has at least climbed out onto dry land, polished his shoes and put on a collar and a cravat, and is beginning to sneak up into the front line of American business men."

The manufacturers admit that it is the wonderful stimulus they received from merely seeing "the name of common brick printed in high and expensive places" that enabled them to go after business in a more aggressive fashion. This is one lesson that has been given us by an industry that has sunk from the heights of prosperity to the depths of negligence, and is now climbing higher and higher by honest and clear-sighted endeavor toward that position in which it rightfully belongs.

The idea that business and prosperity cannot be regulated is unfounded. In many cases the so-called bad times are merely a condition of the mind. Business men strong enough to overcome this weakness are assured of success. It has been demonstrated that with the employment of proper sales and advertising policies conditions can be regulated to work to the best advantage. Perhaps it would be better for all concerned if more of our industries would follow the example of the old sea captain and put more sail to the wind.

—Class.

#### PAINT KEEPS LIME PLASTER FROM SETTING

*Should Not be Applied When Plaster is Fresh, Bureau of Standards Finds*

That oil paint applied to the surface of fresh lime plaster has a decided tendency to hinder the setting of such plaster is one of the conclusions drawn from a series of tests made by the Commerce Department's Bureau of Standards. The setting of the plaster results from the absorption of carbon dioxide from the air and the resulting change of the hydroxide, or slaked lime, into limestone.

This absorption of carbon dioxide is very greatly hampered by the paint film, the bureau finds. It is retarded, but not seriously, by a finish coat, and takes place more rapidly in lean mortars than in rich. The combination of a finish coat with a film of oil paint on top of it was subsequently tried, and was found to prevent the absorption of carbon dioxide almost entirely, cubes of plaster in this way showing no appreciable penetration of carbon dioxide after a period of six months.

In all, 144 two inch cubes were made for the test. Four different types of

lime were used, and the mortars were made in three different proportions of sand and lime. Twelve cubes were made from each mortar, of which four were left as molded, four were covered with a white finish coat and four were covered with an oil paint. One-fourth of the cubes were tested each month to determine the condition of the lime and the amount of carbon dioxide absorbed.

#### WINTER CONSTRUCTION IDEA RECEIVES BOOST FROM BUILDING MATERIAL INDUSTRY

The campaign for more building and repair work during the winter months, aimed at reducing unemployment and giving the public greater returns for the money it spends on construction, is finding much of its most energetic support from manufacturers and distributors of building materials, according to the Division of Building and Housing of the Department of Commerce. Many of the most prominent concerns in the country, as well as organizations doing a smaller business and retailers, have called attention in various ways to the advantages of winter building.

The usual let down in construction during the winter has in the past cut down retail sales, and consumption of practically all building materials, to a fraction of summer business. The uneven demand extends back to the raw products from which materials are made, and results in irregular employment and decrease in purchasing power on the part of a large section of the community. The seasonal fluctuations in railroad traffic are increased, and there is a generally upsetting influence on business and employment. The vigorous campaign for a more even building year is therefore being supported by manufacturers who are not only contributing to public education on the subject, but are working on the technical problems which concern builders in making winter work easy and economical.

The basic idea in the campaign is that all persons planning new construction or the employment of building trades workers for repairs or other purposes should take into account probable employment conditions in determining when to start the work. In this way the unemployment of building trades workers and of building material producing organizations during several months of the year is being reduced and the public is profiting.

#### HOLLOW TILE WALLS GIVEN FIRE TEST

Hollow building tile having double shells on the two exposed sides give very good results from the point of view of fire protection, the Bureau of Stand-

ards finds. The exposed shell serves as a protection for the rest of the tile, and in order to distribute the stresses properly, the webs connecting this outer shell with the inner wall of the tile should be thinner or less in number than the webs back of the inner wall.

Gypsum and Portland cement plaster coatings over hollow tile will stay in place during ordinary fire exposure and will give about the same protection from fire as the addition of one wall and cell to the thickness of the tile.

The addition of a combustible filler, such as sawdust, to the clay in amounts from 5 to 15 per cent. by volume, decreases the cracking of the burnt tile when exposed to fire, but has the disadvantage of producing a decrease in strength for the larger amounts of filler, thus lessening the ability of the tile to carry load under fire exposure.

More than 100 tests of small tile panels have been made, the panels forming one side of a special furnace. Eight tests have been made on walls 11 by 16 feet, and these are the first of a series of 50 fire tests to be conducted on hollow tile walls in the near future. Some of these walls will be tested restrained by the heavy panel frame as they would be if supported by cross walls during an actual fire. Others will be unrestrained, being supported only at the bottom. In some of the tests the walls will carry their normal working load.

Other points found to add the quality of tile are sufficiently fine grinding of the raw material, the even burning of the clay to normal hardness for that particular clay, the provision of sufficiently heavy shells and webs, and the use of ample fillets where the webs join the shell.

**Just remember this: Give out courtesy, kindness, patience and good-will, and you'll get them all back with compound interest. The men who deserve to rank in Class A do not chew the lint and fuss about the small misfits of life. To take what comes and forget the rest is wisdom. Let Braggo give the janitor the call, and the Hall Boys have it out with the Ashbox Inspector—you can't afford to soil your soul with small scraps. Fight on a big scale, or not at all. The folks who have trouble with ushers are always looking for trouble—and find it. Smile, old boy, smile!**

When you stop to consider that the Guide reaches every week and is read by architects, builders, building owners, contractors and sub-bidders in every branch of building construction, you must perceive its unique importance as a medium for advertising with an appeal to that class. Every copy reaches a live prospect.

**Many a man would do a better job if he didn't know about putty.—Ex.**



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop. ....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop. ....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Weil, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK.

Cox, Janeway, & Co. Real Estate Trust Bldg., Phila.

## BRICK (Face, Common, Paving).

Holloway Corporation. ....105-107 S. Third St., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News. ....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE (Insulation and Covering)

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

Lee T. Ward Co. ....617 Filbert St., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ....Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger. ....829 N. 3rd St., Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories. ....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## ELECTRICAL SUPPLIES.

Cass, Philip, & Co. ....40 N. 5th St., Phila.

## EXCAVATING.

McCarrick Bros. ....3138 N. 24th St., Phila.

McCool, John. ....Broad St. and Passyunk Ave., Phila.

McDevitt, John F. ....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ....Erie Ave. and "D" St., Phila.

Reisbord, Wolf. ....4437-43 Ludlow St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

## FLOOR HARDENER.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.

Truscon Laboratories. ....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## HARDWOOD FLOORS.

Wood, L. H. ....3312 Lancaster Ave., Phila.

## HAULING CONTRACTORS.

Dooley, John J. ....39 S. 19th St., Phila.

McCarrick Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford. ....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson. ....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

Cox, Janeway, & Co. Real Estate Trust Bldg., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ....19th and Washington Ave., Phila.

Potts, Horace T., & Co. ....Erie Ave. and D St., Phila.

Reisbord, Wolf. ....4437-43 Ludlow St., Phila.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W., Co.,  
S. E. Cor. 21st and Market Sts., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Weil, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.

Gillingham Co. ....Norris and Richmond Sts., Phila.

Ketcham, Howard. ....3rd and Girard Ave., Phila.

Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Penna. Tile & Mosaic Co. ....1637 Wood St., Phila.

Roman Mosaic & Tile Co. ....435 Green St., Phila.

## MASON BUILDER.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

## MASTIC FLOORING.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ....Norris and Richmond Sts., Phila.

Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## ORNAMENTAL IRON.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Reisbord, Wolf. ....4437-43 Ludlow St., Phila.

## PAINTS AND VARNISHES.

Barnett Bingswanger. ....829 N. 3rd St., Phila.

Truscon Laboratories. ....1505 Race St., Phila.

## PAVING BRICKS.

Ketcham, O. W. ....121 N. 18th St., Phila.

## PHOTOSTATS.

Weber, F., Co. ....125 S. 12th St., Phila.

## PLUMBING FIXTURES.

Fleck Bros. Co. ....44 N. 5th St., Phila.

## PORCH ENCLOSURES.

Malia, Thomas. ....226 W. Mentor St., Phila.

## RADIATOR CABINETS.

Radiator Cabinet Co. ....Drexel Bldg., Phila.

## RANGES.

Borden Stove Co. ....1026 Arch St., Phila.

Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REFRIGERATORS.

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Entered at the Philadelphia Post Office as Second-Class Matter

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November 26, 1924

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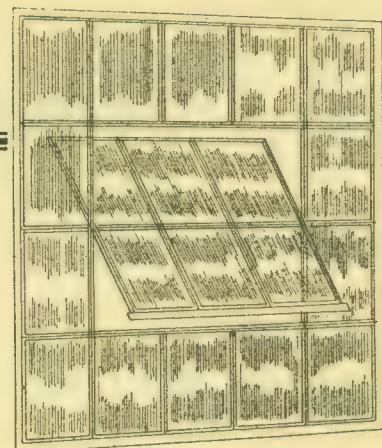
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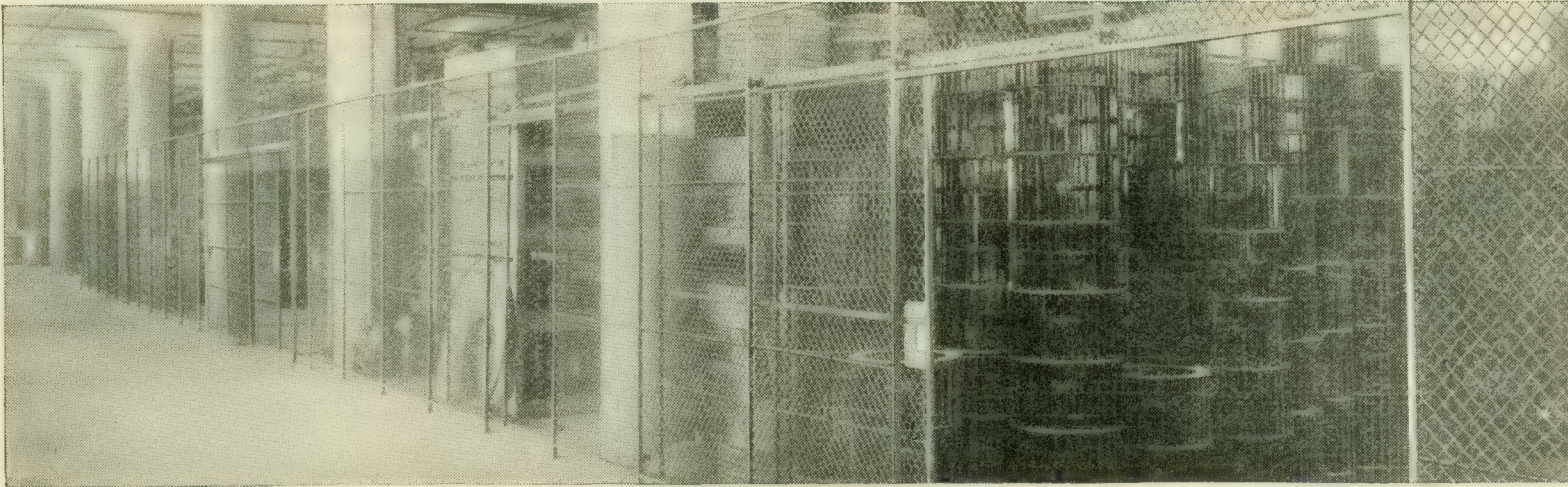
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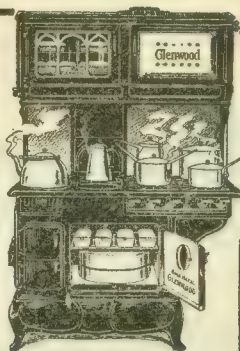


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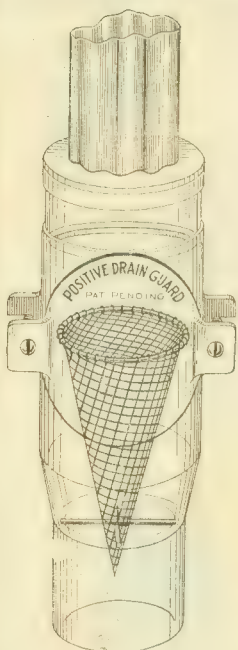
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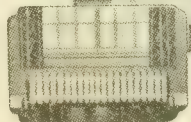
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Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 48

PHILADELPHIA  
November 26, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### KEEPING BUILDINGS DRY

By CECIL FIDLER

There is no doubt that in the past the importance of flashing in building construction has not been fully recognized. It has long been the custom to flash gutters and to use flashing at the junction of roofs and parapets, but it is only recently that designers and owners of buildings have begun to realize the necessity for flashing the entire upper and rear surfaces of exposed architectural features. It is now becoming evident that more attention must be paid to the protection of parapets and copings, the top or cornices and the floors of balconies.

An extensive examination of buildings erected in the last thirty years shows conclusively that the saturation of cornices and parapets is a very prevalent condition. In some cases the water enters at the mortar joints in the top of the coping. In other cases rain beats in and soaks in at the joints in the back of the parapet wall. Very frequently the mortar joints in the wash of the cornice are so cracked and porous that water that runs down the parapet or falls on the top of the cornice finds its way into the interior of the wall.

Many architects and owners find that they have been placing too much reliance on the mortar joints. Having procured weatherproof building materials, such as terra cotta or hard stone, and having specified mortar of tested ingredients and approved mixture, they supposed that

their buildings would be water-tight when erected. They are now finding that a great many buildings are not water-tight and on searching for the cause, they usually discover that the water is getting in at the mortar joints in the wash of the cornice and parapet coping.

At first glance it might appear that by carefully caulking or grouting the joints in the wash of cornices, parapets and balconies, it should not be very difficult to make them water-tight, but the present condition of a great many of these features proves that for one reason or another, water-tight joints are not being obtained. This condition may be attributed to a variety of reasons, as for instance, poor workmanship, poor mortar, disintegration by frost, or cracking of joints due to thermal expansion and uneven settlement.

Many kinds of elastic cement and various caulking compounds for the protection of mortar joints are on the market and some of them remain impervious and somewhat elastic for several years, but none of them appears to retain its original qualities indefinitely. Protection by means of caulking compounds involves periodical examination and considerable maintenance.

The results of poor joints are far reaching. The most common visible damage due to leaky joints in washes is unsightly staining and streaking on the face of the building. This staining and streaking is often extensive enough to destroy

the beauty of a costly building. Frequently the streaks and discolorations clearly indicate that soluble portions of the mortar are seeping out of the beds and joints and are being deposited on the face of the building. Such a condition as this, if allowed to continue, will rapidly bring about the disintegration of portions of buildings on which it occurs.

Another serious result of leakage at joints is damage to plaster ceilings and walls within the building. Cases have been known where water entering at leaky joints in the washes of cornices and parapets has penetrated the walls to the depth of several stories below, causing considerable damage to the paint and plaster on the inside of the walls.

A still more serious condition, worse because it is out of sight, is the effect of dampness on steel framework within cornices, balconies and balustrades. The presence of moisture leads to rapid corrosion of the steel members and may eventually render projecting features unsafe.

Architects and owners of buildings have also to consider the damage that is caused by the freezing of water that collects in pockets and open spaces in the interior of walls and structural features. The expansion of ice repeated through a number of winters may finally rupture the masonry.

As impervious joints are difficult to obtain and expensive to maintain and as neglected leaks result in damage to valu-

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ale buildings, it is advisable to cover wash surfaces with an impervious and permanent coating. Sheet metal is a suitable material for this purpose.

Flashing should be carried entirely over the top of cornices and in most cases should be turned down over the nib far enough to form a drip and allow the water that runs down the wash to fall clear of the moldings. In this way the face of cornices may be kept clean and free from stains of any kind. When the top of a cornice is flashed, it is advisable to carry the flashing entirely through the base of the parapet and connect it with the cap flashing at the back of the wall. In this way water which enters at the top of the parapet is prevented from getting down behind the flashing at the back of the wall and is also prevented from getting underneath the flashing on the top of the cornice. The backs of the parapets should be flashed whenever possible and the flashing should be carried over the top of the wall, laying it in the bed joint immediately below the coping. Then, if there is any leakage at the joints in the wash of the coping, the water cannot get behind the flashing, as it often does when the flashing is applied only to the back of the wall.

The unsightly discoloration that is so much in evidence on the underside of balconies indicates the necessity for better protection of these features. It is almost impossible to make the deck of a balcony water-tight by means of a cement or tile finish. A covering of sheet metal should be used in all cases. In flashing the tops of balcony slabs with sheet metal it is necessary to run the flashing out to the nib if the best results are to be obtained. Quite frequently the floor of a balcony is properly flashed, but the flashing terminates in raglets in the base of the balustrade. This practice almost invariably results in the saturation of the balcony slab by water which finds its way in at the joints in the balustrade and runs down behind and underneath the flashing. By carrying the flashing underneath the base course, water that enters at the joints of the balustrade cannot penetrate to the balcony slab, and the soffit of the balcony is kept dry and unstained.

The washes of pediments and dormers should be completely flashed if staining and other evils of saturation are to be avoided.

While the use of sheet metal for the protection of mortar joints in washes may entail some slight additional expense at the time of the erection of the building, it will be found more economical in the end because the cost of maintenance will be avoided. Moreover, a building that is properly protected at the beginning will retain its original beauty and value.

—*Architecture and Building.*

## THE RELATION OF TILE TO ARCHITECTURE\*

Any durable material which lends itself to surface enrichment ought to be of interest to the architect.

Unfortunately many designers have not fully appreciated the possibilities of beautifying walls and surfaces. Light and shade and color and texture, it would seem, have not been fully understood. This is accounted for, at least in part, by the suggestion of a tradition that the cold gray of granite has greater dignity than a material which lends itself to warmth and sympathy and color.

For something more than a generation our architecture has been greatly influenced by the French school. Our students have returned from the Beaux Arts filled with enthusiasm and with a knowledge of planning and a freedom of expression which in earlier years was difficult to acquire in our American schools of architecture. Our own schools, however, have made great strides. Several of them now have courses which compare very favorably with the Paris school.

But our architects have, I think, been unfortunate in using the accepted French style, which is appropriate for monumental buildings, in the design of our tall commercial buildings. The architecture of New York City is, however, undergoing rapid changes. The law regulating the height of buildings, which requires set backs in the tall fronts, has already had its effect and it is destined to create the most profound changes in the appearance of this city. This, however, is only one of the forces at work. There is evidence of a new vision on the part of certain of our architects which is of even greater importance.

It is therefore possible that in the re-adjusting of architectural design there will be a gain in the feeling for color and for a decoration other than the present day architectural forms.

The manufacturers of brick have done much to meet this growing demand, in producing many beautiful shades of brick of different shapes, sizes and textures. A large number of admirable buildings may be seen all over town in which the architect has depended entirely for his effect upon the color, texture and bond of the brick to the exclusion of the usual architectural motives and ornament.

Brickwork, however, has become so expensive that owners turn to other materials. Concrete may be built more cheaply. Now, concrete, fresh from the forms, is an unlovely material but if the work

\*Abstract from an address delivered to the Tile Manufacturers Representatives Club of New York by S. J. Vickers, architect for the Transit Commission.

(Continued on Page 765)

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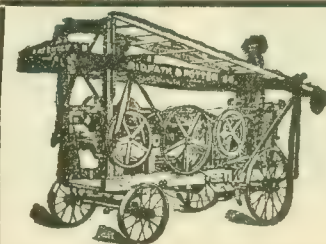
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**Store and Apartment**, 122 West Cheltenham avenue, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owners, E. A. Havens Co., Land Title Building, Philadelphia. Repair to roof, carpentry and mill work, hardware, plastering, electric light, painting, plumbing, glazing (heating reserved), bond. Architect ready for revised bids.

**Residence and Garage**, Mt. Airy, Philadelphia. Architect, Charles Barton Keen, 338 South Smedley street, Philadelphia. Owner, G. Richard Nichols, care of architect. Stone, 2½ stories, slate roof, hardwood floors (heating, electric, plumbing and tile work reserved). Architect taking bids due December 2nd at noon.

**Residences (14)**, North side Buist avenue, West of Sixty-fourth street, \$4,500. Architect, private plans. Owners, Mench & Manley, Fifty-ninth and Cedar avenue, Philadelphia. Brick, 2 stories, 15x27 feet, 11x11 feet, slag roof, hardwood and pine floors, electric lighting. Owners will build.

**Library**, Nineteenth to Twentieth, Vine to Wood streets, Philadelphia. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owners, City of Philadelphia, care of Librarian, Thirteenth and Locust streets, Philadelphia. Library, completion. Plans in progress.

**Grading and Paving**, Philadelphia. Owners, Department of Public Works, Bureau of Highways, City Hall. Asphalt paving, grading, country road improving, asphalt sand, crushed pebbles, asphaltic concrete. Owners taking bids December 2nd at noon.

**Building**, Northeast Corner Nineteenth and Arch streets, Philadelphia. Architect, not yet selected. Owner, J. C. Kahn, Morris Building, Philadelphia. Reinforced concrete, steel, 15 stories. Work contemplated.

**Sales and Service Station**, 4630 North Broad street, Philadelphia. Architect, Edward A. Roth, Drexel Building, Philadelphia. Owners, Logan Motor Co., care of J. J. Kaufman, 4632 North Broad street, Philadelphia. Brick, 2 stories, 20x100 feet, steam heat, electric light, slag roof, cement and plank floors. Plans in progress.

**Senior High School**, Fifty-ninth and Lancaster avenue, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Reinforced concrete,

brick, steel. Plans completed. Owner ready for bids in 2 weeks.

**Store and Apartment (alts. and add.)**, 2922 Ridge avenue, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, Harry Schwartz, on premises. Brick, 3 stories, 16x70 feet, electric light, metal lath, tile work, store fixtures, bond, metal bulks. Architect taking bids.

**Garage**, 19-21-23 Bittenhouse street, Philadelphia. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Brick, 1 story, 60x170 feet, slag roof, cement floors, electric light. Plans in progress.

**Garage**, Lombard street, East of Twenty-first street, Philadelphia. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Brick, steel, 3 stories, 68x162 feet, slag roof, cement floors, plank floors, steam heat, electric light, rolling steel sash, concrete ramps. Plans about completed.

**Factory**, 4841 Lancaster avenue, Philadelphia. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Brooks Brothers, on premises. Brick, slow burning, 3 stories and basement, 60x100 feet, slag roof, maple floors, steam heat, electric light. Plans in progress. Architect will be ready for bids in two weeks.

**Residence**, Seventh and Cheltenham avenue, Oak Lane, Philadelphia. Architect, Conrad F. Neff, Twelfth and Locust streets, Philadelphia. Owner, H. E. Brooks, Huntingdon and Hancock streets, Philadelphia. Stone, 2½ stories, 27x50 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress. Ready for bids in two weeks.

**Garage**, Master and Wellington streets, Philadelphia. Architects, Newbauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, M. Kirschner, 4930 Brown street, Philadelphia. Brick, 2 stories, 50x200 feet, slag roof, cement floors, steam heat, electric light. Owner will build.

**Garage**, 2831 West Susquehanna avenue, Philadelphia. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, J. Powell, care of J. J. Fisher, Fourth and Morris streets, Philadelphia. Brick, 1 story. 70x120 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash, flush bulks, plate glass. Owner taking sub-bids.

**Apartment Buildings (5)**, Germantown, Pa. Architect, Louis J. Tunis, 1423 Locust street, Philadelphia. Owner, Weiss Kaplin, Bankers' Trust Building, Philadelphia. Stone, 2 stories and basement, 38x63 feet each, slag and sheet metal roof, hot water heat, electric light, metal lath, tile and marble work, mill work, hardwood floors, cement, concrete work, garages in basement. Architect and owner taking sub-bids due as soon as possible.

**Residences (23)**, Hunting Park avenue and N street, Philadelphia. Architect, J. J. Carroll, 1619 Chestnut street, Philadelphia. Owner, F. P. Dougherty, 1936 East Passyunk avenue, Philadelphia. Brick, 2 stories, 17x36 feet, slag roof, hardwood and pine floors, cement work, hot water heat, electric light, metal lath, tile, garages in basement. Owner ready for sub-bids in ten days.

**Warehouse (fire repairs)**, Swanson and Catherine streets, Philadelphia. Architects, Stuckert & Co., Crozer Building, Philadelphia. Owner, Mrs. Matildia Baizley, care of Baizley Iron Works, 514 South Delaware avenue. Carpentry and brick work, slag roof, elevators, hollow metal sash, fire escapes. Architects taking sub-bids.

**Two-Family Apartment (2)**, Cresheim Road and Mt. Pleasant avenue, Philadelphia. Architect, S. Abramson, 2313 Walnut street, Philadelphia. Owners, Coplin & Bernstein, care of architect. Brick, 2 stories, 18x60 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress. Architect will be ready for sub-bids in two weeks.

**Store and Office (alts.)**, 1823-25 Chestnut street, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, Westney & Buckley, care of architect. Brick work, cut stone, 4 stories and basement, 1 story arcade, cast stone, concrete and cement work, slag roof, iron work, metal store fronts, carpentry and mill work, metal lath, plastering, tile, marble and terrazzo work, hardware, plumbing, painting and glazing, flagstone. Architects taking bids due December 2nd at noon.

**Stable and Delivery Station**, Washington avenue and Forrest avenue, Philadelphia. Architect, C. B. Comstock, 110-12 West Forty-ninth street, New York City. Owners, Freihofer Baking Co., Twentieth and Indiana avenue, Philadelphia. Brick, reinforced con-

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**Post Office (alts.)**, Ninth and Chestnut streets, Philadelphia. Architect, James A. Wetmore, Washington, D. C. Owners, Custodian of Post Office, United States Government, Ninth and Chestnut streets, Philadelphia. Concrete, brick work, structural steel, iron work, metal lath, plastering, wood work, painting and glazing, hardware, electric work, heating (alts.), dumb waiter. Owner taking bids due December 16th, 3 P. M.

**Twin Residences**, 622 Kingsley street, Germantown, Philadelphia. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Hollow tile stucco, 2½ stories, 20x50 feet, slag and tile roof, hardwood floors, hot water heat, electric light, tile work. Architect taking bids due as soon as possible.

**Parish House**, Broad and Tioga streets, Philadelphia. Architect, Robert Gill, 159 East Tulpehocken street, Philadelphia. Owners, Church of the Resurrection Protestant Episcopal Church, on premises. Architect taking revised bids due as soon as possible.

**Equipment**, Philadelphia. Owners, Department of City Transit, 1211 Chestnut street, Philadelphia. Owners taking bids due December 2nd at 10 A. M. Surveyors' transits, levels, equipment for engineers and draftsmen, office furniture, equipment, tracing cloth and paper, drawing paper, blue print paper. Certified check for 5 per cent. of bid must accompany each bid.

**Garages (2)**, (1) Northeast Corner Chew and Slocum streets, and (1) Northwest Corner Nineteenth and Courtland streets, Philadelphia, \$30,000 each. Owner, J. Prosper Eckert, 815 Commercial Trust Building, Philadelphia. Brick, (1) 1 story, 97x140 feet, and (1) 1 story, irregular shape, slag roof, cement floors, electric work, steel sash. Owner will build.

**Residence and Store (alts. and add.)**, 5142 Master street, \$7,500. Architect, private plans. Owner, Robert N. Grice, 255 North Fifty-second street, Philadelphia. Brick, 2 stories add. 15x24 feet, general alterations. Owner will build.

**Garages (2)**, West side Seventh street, North of Russell street, Philadelphia, \$5,800. Architect, private plans. Owner, W. F. Chapman, 1805 West Venango street, Philadelphia. Brick, 1 story, 65x34 feet, slag roof, cement floors, electric light. Also brick, 1 story, 16x41 feet 8 inches. Owner will build.

**Residences (9)**, North side Hartel street, West of Barnes street, \$5,000 each. Architect, private plans. Owner, Gus Weber, 7159

Lawndale avenue, Philadelphia. Brick and frame, 2 stories, 32x32 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (3)**, West side Burholme street, North of Hartel, \$5,000 each. Owner, Gus Weber, 7159 Lawndale avenue, Philadelphia. Brick, frame, 2 stories, 19 feet 6 inches x 48 feet 6 inches, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (4)**, North side Conshohocken avenue, East of Forty-ninth street, Philadelphia, \$6,500 each. Architect, private plans. Owner, John H. McClatchey, 848 Land Title Building, Philadelphia. Brick, 2 stories, 16x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Hartel street, West of Verree Road, \$5,000. Architect, private plans. Owner, Edward Davis, 7301 Oxford Pike, Philadelphia. Frame, 2 stories, 26x41 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence and Store (alts. and add.)**, 6010 Lansdowne avenue, \$4,000. Architect, private plans. Owner, Frank A. Fitzpatrick, 1541 North Sixtieth street, Philadelphia. Brick, 2 stories add., 21x16 feet 6 inches, general alterations. Owner will build.

**Residences (2)**, (1) Oakmont street, West of Bingham street, and (1) Tyson street, West of Bingham street, Philadelphia, \$6,800 total. Architect, private plans. Owner, George Betz, 6915 Rising Sun avenue, Philadelphia. (1) Brick, 1 story, 24x35 feet, (1) frame, 1 story, 24x35 feet, hardwood and pine floors, electric work. Owner will build.

**Residence and Store (add.)**, 5105 Market street, Philadelphia, \$3,500. Architect, private plans. Owners, J. Tollin & Co., 5103 Market street, Philadelphia. Brick, second and third stories add., 16x12 feet, slag roof, pine floors, electric lighting. Owners will build.

**Residence**, Northwest Corner Eighty-sixth and Guyer avenue, Philadelphia, \$4,500. Architect, private plans. Owner, Charles Palmer, Eighty-second and Buist avenue, Philadelphia. Brick, 2 stories, 15x36 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Bath House (alts. and add.)**, 741 Porter street, Philadelphia, \$4,000. Owner, I. Rossman, 729 Jackson street, Philadelphia. Brick, 2 stories add., 14x27 feet, general alterations. Owner will build.

**Residence**, Southwest Corner Eighty-fourth and Brewster avenue, Philadelphia, \$3,200. Architect, private plans. Owner, I. W. Thompson, 8406 Brewster avenue, Philadelphia. Brick, 2 stories, 16x37 feet, pine floors, hot air heat, electric light. Owner will build.

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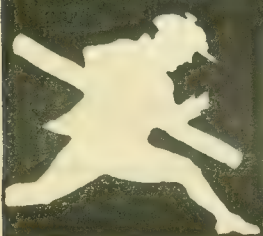
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## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Industrial Railway**, Washington avenue and Philadelphia & Reading R. R., Philadelphia. Architect, Addison H. Savery, 1309 Locust street, Philadelphia. Owner, Edward F. Bennis, on premises. Concrete, steel, timber, 125 feet long. Contract awarded J. Roman, 414 East Brighthurst, Philadelphia.

**Sewer**, Pennypack Creek, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, Philadelphia. Pennypack Creek, Northwest of Welch Road to Northwest of Gilmore street, Philadelphia. Contract awarded to Ryan Const. Co., \$255,000.

**Residence and Bakery (alts. and add.)**, 837 North Forty-fourth street, \$3,000. Architect, private plans. Owner, John Koble, on premises. Brick, second story add., 16x33 feet, slag roof, pine floors, general alterations, electric light. Contract awarded to George Milne, 3219 Baring street, Philadelphia.

**Alterations and Additions**, 1211-23 Locust street, Philadelphia. Architect, William Woodburn Potter, Real Estate Trust Building, Philadelphia. Owners, Princeton Club, on premises. Brick work, carpentry and mill work, plastering, iron work, tile and slate, plumbing, hardware, painting and glazing, electric work, copper skylights, John Mansville roof (heating reserved). Contract awarded Thomas C. Trafford, 1613 Sansom street, Philadelphia.

**Residence**, East Walnut Lane, Roxborough, Pa. Architect, G. Edwin Brumbaugh, Real Estate Trust Building, Philadelphia. Owner, William Miller, care of architect. Cement block, 1½ stories, 66x400 feet, slate roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Contract awarded Heavner & Guthridge, Norristown, Pa.

**Garage**, Foulkrod and Duffield streets, Philadelphia. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, Eli Merwish, 739 South Sixtieth street, Philadelphia. Brick, 1 story, 75x201 feet, gypsum and rubberoid roof, steam heat, electric light, rolled steel sash and skylights, ornamental iron work. Contract awarded J. D. Fischer, 5414 Thompson street, Philadelphia.

**Building (alts.)**, 216 Lombard street, Philadelphia. Architect, W. H. Smedley, Stephen Girard Building, Philadelphia. Owners, Abbott's Alderney Dairies, on premises. Terrazzo work, brick work, iron work, steel work, steel sash, reinforced concrete work, plumbing, slag roof, carpentry work. Contract

awarded Turner Const. Co., 1713 Sansom street, Philadelphia.

**Warehouse (alts.)**, American and Willow streets, Philadelphia, \$5,000. Architect, private plans. Owners, Oehrle Brothers & Co., on premises. Mill work, rolled steel sash, brick work, concrete work. Contract awarded Evans Steele, 2217 Chestnut street, Philadelphia.

**Factory**, West side Nixon street, North of Fountain street, Philadelphia, \$78,000. Architect, private plans. Owners, Philadelphia Paper Mfg. Co., on premises. Fireproof, brick and steel, 1 story, 120x200 feet, slag roof, cement floors, electric light. Also 1 story add., 22x50 feet. Contract awarded to Hughes-Foulkrod Co., Commonwealth Building.

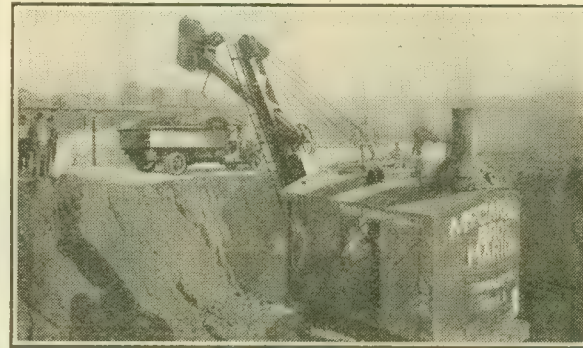
**Residence (2-family)**, Northwest Corner Eleventh and Fairmount avenue, \$14,000. Architect, private plans. Owner, H. Baberian, on premises. Brick, 3 stories, 16x25 feet, 18x34 feet, slag roof, hardwood and pine floors, electric lighting. Contract awarded to Joseph S. Alaherde, 2625 North Jessup street, Philadelphia.

**Garage**, Northwest Corner Sixty-sixth avenue and Wyncotte avenue, Philadelphia, \$40,000. Architect, private plans. Owners, Satz & Milner, 200 Drexel Building, Philadelphia. Brick, 1 story, 75x200 feet, slag roof, cement floors, electric work. Contract awarded to M. A. Yoskin, 5934 Baltimore avenue, Philadelphia.

**Store**, 2009 Chestnut street, Philadelphia, \$25,000. Architect, private plans. Owner, Dr. Joseph M. Reeves, 1916 Spruce street, Philadelphia. Brick, 2 stories, 21 feet 8 inches x 1644 feet 5 inches, slag roof, steam heat, electric light, hardwood and pine floors. Contract awarded to Edward Cunningham, 2220 Chestnut street, Philadelphia.

**Garage**, 227-29 Locust street, Philadelphia, \$15,000. Architect, private plans. Owners, Chabrow Brothers, Third and Locust streets, Philadelphia. Brick, 1 story, 48x105 feet, slag roof, cement floors, steam heat, electric light. Contract awarded to David Lutz & Co., Twenty-third and Chestnut streets.

**Apartment House (add.)**, 4529-31 Walnut street, Philadelphia, \$10,000. Architect, E. E. Bratton, 4527 Walnut street, Philadelphia. Owners, Brierhurst Realty Corp., 4527 Walnut street, Philadelphia. Brick, 4 stories add., irregular shape, slag roof, hardwood and pine floors, heating extension, electric lighting.

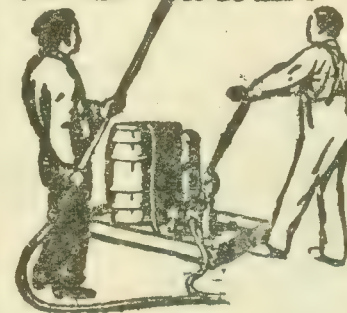


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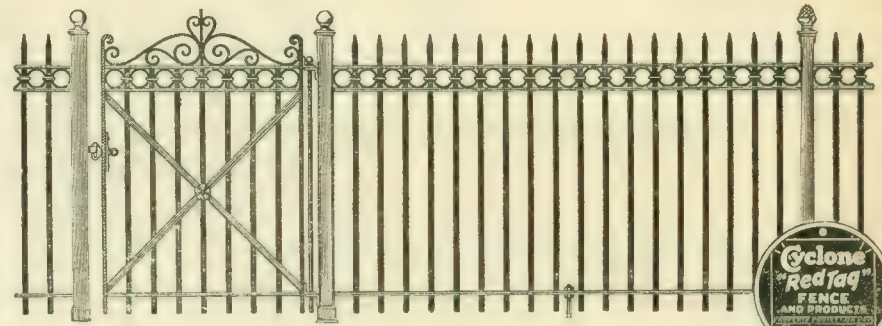
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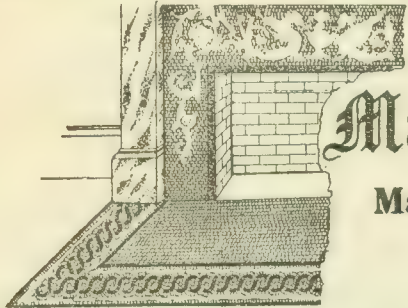
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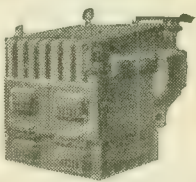
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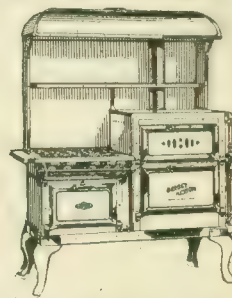
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Contract awarded to Bratton & Co., 4527 Walnut street, Philadelphia.

**South Second Street Market**, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Works, Bureau of City Property, City Hall. General construction. Contract awarded Curtis Grindrod Co., 10 South Eighth street, Philadelphia.

**Garage**, Northeast Corner Twelfth and Brown streets, Philadelphia. Architect, J. E. Fieldstein, Otis Building, Philadelphia. Owner, A. Shotz, 1324 Walnut street, Philadelphia. Brick, 1 story, 90x136 feet, gypsum roof, cement floors, steam heat, electric light, hollow metal skylights. Contract awarded Schachter & Levitt, Sixth and Sixty-sixth avenue, Oak Lane, Philadelphia.

**Apartment (alts. and add.)**, 1034 Spruce street, Philadelphia, \$75,000. Architect, Benjamin F. Betts, 1723 Sansom street, Philadelphia. Owners, Kamak Co., Inc., on premises. Brick, 4 stories add., 25x90 feet, general alterations. Contract awarded to Benjamin A. Kaplan, 6140 Pine street, Philadelphia.

**Garage**, 1234-40 Bainbridge street, Philadelphia, \$16,000. Architect, private plans. Owner, A. Steinberg, Camden, N. J. Brick, 1 story, 66x100 feet, slag roof, cement floors, electric work. Contract awarded to J. M. Rosenberg, 6025 Irving street, Philadelphia.

**Garage**, 905-09 South Fifth street, Philadelphia, \$14,000. Architect, private plans. Owners, Mitchell & Shapiro, 302 South Sixth street. Brick, 2 stories, 41x126 feet, slag roof, cement floors, electric work. Contract awarded to Morris Shapiro, 1155 South Ruby street, Philadelphia.

**Residences (3)**, West side Fifth street, South of Tabor Road, \$7,000 each. Architect, private plans. Owner, David B. McKimm, Fourth and Market streets, Philadelphia. Brick, 2 stories, 15 feet 6 inches x 31 feet, 12 feet 6 inches x 16 feet 11 inches, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Charles R. Davis & Son, 1500 Ellsworth street.

**Church**, Southwest Corner Eighteenth and Pollock streets, Philadelphia, \$6,000. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Richard's Roman Catholic Church, care of D. Cardinal Dougherty, Eighteenth and Race streets, Philadelphia. Frame, 1 story, 45x94 feet, electric lighting, pine floors. Contract awarded to Shir & King Const. Co., 6318 City Line, Philadelphia.

**Apartment House**, Southwest Corner Forty-sixth and Spruce streets, Philadelphia, \$75,000. Owner, Herman Coane, 504 Bailey Building, Philadelphia. Brick, 4 stories, 55x22 feet, 47x60 feet, slag roof, hardwood and pine floors, steam heat, electric light, tile work. Contract awarded to S. H. Levin, 1631 South Fifth street, Philadelphia.

**Residences (2)**, East side Sixty-first street, North of Wynnefield avenue, Philadelphia, \$15,000 each. Architect, private plans. Owner, Bessie Frankel, 3028 Berks street, Philadelphia. Brick, 3 stories, 16x28 feet, 20x20 feet, 16x12 feet, slag roof, hardwood and pine floors, steam heat, electric light, tile work.

Contract awarded to J. Getzick, 1918 North Park avenue, Philadelphia.

**Warehouse**, 2908 North Sixteenth street, Philadelphia, \$5,800. Architect, private plans. Owner, I. Lampert, Northwest Corner Sixteenth and Indiana avenue, Philadelphia. Brick, 1 story, 34x169 feet, slag roof, electric lighting. Contract awarded to Harry Goldberg, 2419 South Fairhill street.

**Garage**, 1655 Brill street, Philadelphia, \$3,500. Architect, private plans. Owner, Charles Keller, on premises. Brick, 1 story, 80x16 feet, 16x22 feet, slag roof, cement floors. Contract awarded to Samuel Clark, 825 East Tioga street, Philadelphia.

**Office and Store (alts.)**, Southwest Corner Broad and Melon streets, \$3,500. Architect, private plans. Owners, Cahall Motor Supply Co., Broad and Parrish streets, Philadelphia. General alterations. Contract awarded to A. R. Raff Cont. Co., 1635 Thompson street, Philadelphia.

**Garages (2)**, 226-28 North Fiftieth street, Philadelphia, \$3,000. Architect, private plans. Owner, J. MacCorkell, on premises. Brick, 1 story, 19 feet 6 inches x 17 feet 6 inches, slag roof, cement floors. Contract awarded to Albert N. Londer, 734 South Fiftieth street, Philadelphia.

**Residence (alts.) and Garage**, 4763 North Ninth street, Philadelphia, \$2,900. Architect, private plans. Owner, M. Schiff, on premises. Garage, brick, 1 story, 16x18 feet, general alterations to residence. Contract awarded to S. Malkin, 425 Poplar street, Philadelphia.

**Residence and Store (alts. and add.)**, 1602 South Tenth street, \$4,500. Architect, private plans. Owner, Joseph Barluto, on premises. Brick, second story, 14x18 feet and 16x20 feet, general alterations. Contract awarded to Nick DePalmo, 1443 South Ninth street, Philadelphia.

**Shop (add.)**, Northwest Corner Tulip and Somerset streets, Philadelphia, \$3,500. Architect, private plans. Owners, John D. Grover & Sons, on premises. Brick, 1 story add., 20x57 feet, slag roof, pine floors. Contract awarded to John F. Welsh, Tulip and Somerset streets.

**Open Shed**, North side Westmoreland street, East of Richmond street, \$3,000. Architect, private plans. Owners, General Smelting Co., Stock Exchange Building, Philadelphia. Iron, 1 story, 60x40 feet, corrugated iron roof. Contract awarded to H. E. Baton, 1713 Sansom street, Philadelphia.

**Storage Building (add.)**, Northwest Corner Seventh and Kenilworth avenue, \$2,650. Architect, private plans. Owner, Mrs. Laura C. Day, on premises. Brick, second story add., 21x21 feet, slag roof, electric work. Contract awarded to J. Frank Grant, 1625 North Thirtieth street, Philadelphia.

**Store and Garage (add. and alts.)**, 2927 Gaul street, Philadelphia, \$2,500. Architect, private plans. Owner, Harry Sack, 1231 Colona street, Philadelphia. Brick, 2 stories add., 164x75 feet, general alterations. Contract awarded to S. Lazarus, 2914 Parkside avenue, Philadelphia.

**Residence (alts. and add.)**, 1125 North Sixty-third street, \$3,000. Architect, private plans. Owner, Joseph Greenberg, 1230 Atwood Road, Philadelphia. Brick, 1 story add., 15x11

feet, general alterations. Contract awarded to Shechtman Brothers, 1924 North Marshall street, Philadelphia.

**Residence (add.)**, 6135 Columbia avenue, Philadelphia, \$2,000. Architect, private plans. Owner, Joseph E. Dunlap, on premises. Brick, 2 stories add., 16x9 feet, slag roof, pine floors. Contract awarded to George W. Loffin, 659 North Sixty-third street, Philadelphia.

**Store and Residence (add.)**, 150 West Wyoming avenue, Philadelphia, \$2,000. Architect, private plans. Owner, Frank S. Dykes, 426 Roosevelt Boulevard, Philadelphia. Brick, 2 stories add., 15 feet 6 inches x 14 feet. Contract awarded to Northern Const. Co., Northwest Corner Fifth and Fisher's avenue.

**Store (alts.)**, 1625-27 South street, Philadelphia, \$2,000. Architect, private plans. Owner, George W. Long, on premises. General alterations. Contract awarded to Joseph Cichiny, 2231 Green street, Philadelphia.

**Garage**, 4357 Fleming street, Philadelphia, \$2,000. Architect, private plans. Owner, Edward S. Clark, Monastery avenue and Dexter street, Philadelphia. Brick, 1 story, 28x28 feet, 18x17 feet, slag roof, cement floors. Contract awarded to Charles H. S. Zebley, 340 Quince street, Philadelphia.

## Pennsylvania Construction News

**Residences (2)**, Melrose Park, Pa. Architect, H. H. Kline, Bulletin Building, Philadelphia. Owner, name withheld. Stone, 2½ stories, 42x50 feet, Spanish tile and slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress. Work contemplated.

**Apartment House**, Bala, Pa., \$350,000. Architect, Roy G. Pratt, Franklin Trust Building, Philadelphia. Owners, Apartment Building Co., Franklin Trust Building, Philadelphia. Hollow tile and stucco, 3 stories and basement, 54 apartments, tile roof, hardwood floors, vapor heat, electric light, tile work. Plans in progress. Will take bids about January 15th, 1925.

**Hall Building**, near Norristown, Pa. Architect, H. Gordon McMurtrie, 1012 Walnut street, Philadelphia. Owner, name withheld. Brick, 2 stories, 40x66 feet, composition shingle roof, pine floors. Preliminary plans in progress.

**One Pair Twin Residences**, Penfield, Pa. Architect, H. Gordon McMurtrie, 1012 Walnut street, Philadelphia. Owner, name withheld. Stone, 2½ stories, slate roof. Preliminary plans in progress. Too early for details.

**Garage**, Huntingdon, Pa. Architect, Henry L. Reinhold, Jr., 1513 Walnut street, Philadelphia. Owner, C. H. Miller, Huntingdon, Pa. Preliminary plans in progress.

**Residence**, Nazareth, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, Fred Mather, Nazareth, Pa. Brick, 2½ stories. Preliminary plans in progress.

**Office Building**, Scranton, Pa. Architects, Edward H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Scranton Times, Spruce street, Scranton, Pa. Fireproof construction. Too early for details.

**Church**, McKeesport, Pa. Architects, C. W. Bolton & Son, 1505 Race street, Philadelphia.

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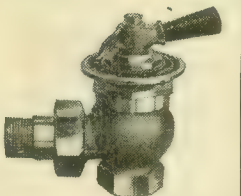
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Owners, First Methodist Episcopal Church, McKeesport, Pa. Probably stone. Sketches drawn.

**Car Shop, Yard, Y. M. C. A. Building, etc.,** Reading, Pa., \$3,500,000. Architect, private plans. Owners, Philadelphia & Reading Railway, Twelfth and Market streets, Philadelphia. Work contemplated. Plans in progress. Will take bids in spring of 1925.

**Residence,** Narberth, Pa. Architect, A. C. Borzner, 717 Walnut street, Philadelphia. Owner, E. R. Starn, Rockland street, Narberth, Pa. Hollow tile and stucco, 2½ stories, 34x26 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Ready for revised bids in a few days.

**Bank,** Old Forge, Pa. Architect, James A. Barrett, Bowman Building, Scranton, Pa. Owners, Miners' & Merchants' Bank, Old Forge, Pa. Stone, brick, 1 story, 50x60 feet, slag roof, rubber tile roof, hollow tile (heating, plumbing and electric work reserved). Owners ready for bids.

**School Building,** Wayne, Pa. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Wayne School Board, C. H. Wilfe, Philadelphia National Bank, Philadelphia. Brick, 2 stories and basement, 210x250 feet. Plans in progress. Will be ready for bids in a month.

**Church,** West Chester, Pa. Architects, Henry D. Dagit & Son, 34 South Seventeenth street, Philadelphia. Owners, St. Agnes' Roman Catholic Church, Rev. H. C. Schuyler, West Chester, Pa. Stone, 1 story, basement and gallery, 71x120 feet, slate roof. Plans in progress. Ready for bids in a month.

**Bakery,** Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, Antonio Roma, Greenleaf street, Allentown, Pa. Brick, 1 story, 20x50 feet, slag roof, concrete floors, electric light, baking equipment, roof ventilators, rolled steel sash, iron stairs. Plans in progress. Owner will take bids.

**Bank Building,** Bloomsburg, Pa. Architects, Simon, Brittain & English, 929 Chestnut street, Philadelphia. Owners, Bloomsburg National Bank, A. Z. Schoch, Bloomsburg, Pa. Brick, limestone, 1 story and basement, 42x66 feet. Architects taking bids.

**Community Garage,** Wilkes-Barre, Pa. Architect, H. A. Maier, Coal Exchange Building, Wilkes-Barre, Pa. Owner, H. Cohen, care of architect. Concrete block, 1 story, 45x28 feet, slag roof, concrete floors, electric light. Owner and architect will take bids.

**School,** Coal Township, Northumberland County, Pa. Architect, Austin Reilly, Bennett Building, Wilkes-Barre, Pa. Owners, Coal Township School Board, care of architect. Brick, steel, 2 stories, 83x142 feet, slag roof, pine floors, roof ventilators, cut stone, ornamental iron work, iron stairs, tile and marble work, metal lath (heating, plumbing and electric work reserved). Architect will be ready for bids in three weeks.

**Office Building,** Wilkes-Barre, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Sanitary Cleaning & Dyeing Co., 66 South Washington street, Wilkes-Barre, Pa. Steel, brick, 3 stories, 36x80 feet, built-up roof, pine floors, hollow tile, roof ventilators, electric light, metal lath, rolled steel sash and skylights, fire doors, floor hardener. Architects will be ready for bids next week.

**Cleaning and Dyeing Building (add.),**

Wilkes-Barre, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Sanitary Cleaning & Dyeing Co., 66 South Washington street, Wilkes-Barre, Pa. Steel, brick, concrete, 2 stories, 36x175 feet, built-up roof, concrete floors, roof ventilators, electric light, metal lath, rolled steel sash, skylights, fire doors, floor hardener, iron stairs. Architects will be ready for bids next week.

**Residence,** Georgetown, Pa. Architects, Schroeder & Schmitt, Weitzenkorn Building, Wilkes-Barre. Owner, J. Shannon, Georgetown, Pa. Frame, 2 stories, 26x26 feet, slate roof, hardwood floors, steam heat, electric light. Architects ready for bids due as soon as possible.

**Eagles' Home,** Wilkes-Barre, Pa. Architects, Schroeder & Schmitt, Weitzenkorn Building, Wilkes-Barre. Owners, Order of Eagles, care of architects. Semi-fireproof, 3 stories, 100x110 feet, built-up roof, hardwood floors, hollow tile, dumb waiters, roof ventilators, waterproofing, steam heat, electric light, tile and marble work, rolled steel sash, fire doors, iron stairs, ornamental iron work. Architects taking bids due December 9th.

**Residence,** Edgeboro, Pa. Architect, H. J. Wiegner, Bethlehem Trust Building, Bethlehem, Pa. Owner, William Derr, care of architect. Brick, timber, 2 stories, 20x40 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Architect taking bids due December 10th.

**Residence and Garage,** Swarthmore, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, E. O. Thompson, care of architect. Hollow tile and stucco, 2½ stories, 30x60 feet. Architects taking bids due December 1st.

**Bungalow,** St. David's Road, St. David's, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Mrs. George Taylor, 1719 North Sixteenth street, Philadelphia. Concrete foundations and clapboard, 1½ stories, 48x32 feet, hot water heat, electric light, tile work, asbestos shingle roof, hardwood floors. Owner taking bids.

**Church,** Luzerne, Pa. Architects, Schroeder & Schmitt, Weitzenkorn Building, Wilkes-Barre, Pa. Owners, Lithuanian Church, Rev. J. Kundrerkes, Luzerne, Pa. Stone, brick veneer, 1 story and basement, 48x110 feet, slate roof, pine floors, steam heat, electric light. Owners taking bids due November 28th.

**Gymnasium,** Twelfth and Spring Garden streets, Easton, Pa. Architects, Michler & Shnyder, 610 Drake Building, Easton, Pa. Owners, Easton School District, R. E. Peifer, secretary, and T. A. Mellon, president, Second and Church streets, Easton, Pa. Bond (heating, plumbing, electrical work and paving separate bids). Owners taking bids due De-

cember 8th at 8 P. M. Plans may be obtained from William M. Michler, architect, 610 Drake Building, Easton, Pa. Deposit of \$50. (Refunded.)

**Store and Apartments (2), Garage and Filling Station,** Wharton avenue and Easton Road, Glenside, Pa. Architect, Philip S. Tyre, 1505 Arch street, Philadelphia. Owner, Lloyd B. Ely, Glenside, Pa. Architect taking bids due November 28th at noon.

## Pennsylvania

### Contracts Awarded

**Colonial Theatre, Stores (2), Dance Hall,** Easton, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Wilmer & Vincent, 1451 Broadway, New York. Brick, cut stone, steel, cast stone, 1 story and mezzanine, balcony and basement, 220x101 feet, asbestos asphalt roof, concrete and composition floors, hollow tile, plumbing, roof ventilators, ornamental iron work, floor hardener, rolling steel skylights and sash, tile, marble and terrazzo work, electric light, steam heat, ornamental plastering. Contract awarded to Chase Const. Co., Allentown, Pa.

**Lancaster County Memorial Home,** Elizabethtown, Pa. Architect, Edgar A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Masonic Homes, R. W. Grand Lodge, Elizabethtown, Pa. Stone, cut stone, limestone, brick, steel, 2 stories and basement, 108x43 feet (plumbing, heating, electric, granite for face stone work reserved), slate roof, cement, maple, composition floors, metal weather strip, ornamental iron work, floor hardener, bond, tile work, metal lath. Contract awarded Ray S. Shoemaker, Harrisburg, Pa.

**Wilkes-Barre Hospital (add.),** Wilkes-Barre, Pa. Architect, T. A. Foster, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Wilkes-Barre City Hospital, S. C. Chase, Wilkes-Barre. Fireproof, steel, brick, 4 stories and basement, 159x38 feet, flat roof, terrazzo and linoleum floors, hollow tile, roof ventilators, waterproofing and dampproofing (heating, plumbing, electric reserved), metal lath, tile work, fire and kalamein doors, iron stairs. Contract awarded to J. Curtis & Co., 1 Hickory street, Wilkes-Barre, Pa.

**School,** Ashley, Pa. Architect, T. H. Atherton, Coal Exchange Building, Wilkes-Barre. Owners, Ashley School Board, care of architect. Brick, hollow tile and steel, 2 stories, 35x103 feet, slate roof, hardwood and pine floors, roof ventilators, steam heat, electric light, rolled steel skylights. Contract awarded to E. J. Donohue, Ashley, Pa.

**Residence and Garage,** Ogontz, Pa. Architects, Druckenmiller & Williams, 1537 Chest-

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nut street, Philadelphia. Owner, Mrs. E. C. Dickenson, care of Louis Burk, Third and Girard avenue, Philadelphia. Brick, hollow tile and stucco, 2½ stories and 1 story, 82x37 feet, garage 37x26 feet, tile and slag roof, oak, pine and cement floors, hollow tile, painting and glazing, dampproofing, brass pipe, ornamental iron work, floor hardener, bond, tile and marble work, electric light (heating reserved), plumbing, refrigeration. Contract awarded William J. Gruhler, 219 East High street, Philadelphia.

**Residence**, No. 553, Haverford, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, name withheld. Brick, stone, cinder concrete block, 2½ stories, shingle roof, oak and pine floors, vapor heat, electric light, metal lath, tile work, metal weather strip, bond, dampproofing, ornamental iron work. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**Residence**, Bryn Mawr, Pa. Architect, private plans. Owner, Walter Snyder, care of architect. Stone, 2½ stories, 37x67 feet, shingle roof, oak and pine floors, plumbing, tile work (heating and electric lighting reserved), ornamental iron work. Contract awarded Powell Const. Co., Ardmore, Pa.

**Residence**, Wynnewood, Pa. Architect, E. Nelson Edwards, 1012 Walnut street, Philadelphia. Owner, name withheld. Brick, cut stone, stone, 2½ stories and 2 stories, 74x29 feet, garage 21x23 feet (plumbing, heating and electric reserved), shingle roof, oak, pine and cement floors, metal lath, steel casement sash, bond, ornamental iron work. Contract awarded A. W. Hopeman & Son, Ardmore, Pa.

**Residence (alts.)**, Cynwyd, Pa. Architect, Norman Hulme, 1524 Chestnut street, Philadelphia. Owner, Frank E. Baker, on premises. Brick work, carpentry and mill work, painting and glazing, electric work, hardware, hot water heat, plastering, slate roof repairs. Contract awarded Rudolph Lukens, Cynwyd, Pa.

**Residence**, No. 559, Haverford, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, name withheld. Brick, stone, cinder concrete block, 2½ stories, shingle roof, oak and pine floors, vapor heat, electric light, metal lath, tile work, metal weather strips, bond, dampproofing, ornamental iron work, iron pipe. Contract awarded Metzger, Fisher & White, Otis Building, Philadelphia.

**Garage**, 161 Greenwood avenue, Wyncote, Pa. Architect, private plans. Owner, Horace Beck, on premises. Stone, 1 story, 20x20 feet, shingle roof, cement floors, heating and lighting extensions. Contract awarded Hood & Gross, 1613 Chestnut street, Philadelphia.

**Residence (alts.)**, 211 East Third street, Lewistown, Pa. Architect, George S. Idell, 1705 Chestnut street, Philadelphia. Owner, P. F. Lytle, Lewistown, Pa. Alterations to front, frame, brick work, wood shingle roof, mill work. Contract awarded W. D. Steinbach, Smith Building, Lewistown, Pa.

**Factory**, Ninth street, between Pike and Amuta streets, Reading, Pa. Architect, private plans. Owners, Dye Casting Co., Reading, Pa. Brick, steel, frame, 1 story, 60x150

feet, slag roof, cement floors, wood blocks. Contract awarded H. E. Baton, 1713 Sansom street, Philadelphia.

## New Jersey Construction News

**Bank Building**, Hammonton, N. J., \$85,000. Architects, Simons, Brittain & English, 929 Chestnut street, Philadelphia. Owners, People's Bank of Hammonton, W. J. Smith, Hammonton, N. J. Probably brick, 1 story. Plans in progress.

**Residence and Garage**, Bridgeton, N. J. Architect, Thomas Edward Ash, 1012 Walnut street, Philadelphia. Owner, Robert Moore, Jr., 214 North Pearl street, Bridgeton, N. J. Hollow tile and stucco, 2½ stories, 45x50 feet, tile roof, hardwood floors, vapor vacuum heat, electric light, tile and marble work. Plans in progress.

**Store and Apartments (4)**, Collingswood, N. J. Architect, R. R. Neely, 2301 Spruce street, Philadelphia. Owners, R. R. Neely and Corson M. Shallcross, Windrim and York Road, Philadelphia. Brick, limestone fronts, cement blocks, 2 stories, 16x60 feet, slag roof, hardwood floors, hot water heat, electric light, tile work. Architect taking sub-bids due at once.

**Residences (2)**, Parkway avenue, Trenton, N. J., \$12,000. Architect, private plans. Owner, H. J. Barnett, 109 West Hanover street, Trenton, N. J. Brick, 2½ stories, 20x30 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

## New Jersey Contracts Awarded

**Buildings**, Delair, N. J. Architect, private plans. Owners, Kierfhefer Container Co., Delair, N. J. Brick, steel, slag roof, gypsum roof, beater building, 2 stories, 80x90 feet, machinery room, 1 story and basement, 334x45 feet, concrete floors, rolling steel sash, monitor skylights. Contract awarded Irwin & Leighton, 126 North Twelfth street, Philadelphia.

**Church**, Millville, N. J. Architect, Thomas Edward Ash, 1012 Walnut street, Philadelphia. Owners, Trinity A. M. E. Church, Millville, N. J. Frame, 1 and 2 stories, 28x60 feet, slate roof, pine floors, mill work, hot air heat, electric light. Contract awarded George Maier & Son, Bridgeton, N. J.

**Residence**, Virginia avenue, Trenton, N. J., \$27,000. Architect, private plans. Owner, George W. Briel, 76 Liberty street, Trenton, N. J. Brick, frame, 2½ stories, 28x34 feet, hardwood and pine floors, electric light, hot water heat, tile work. Contract awarded to G. Roman, 108 Virginia avenue, Trenton, N. J.

**Residences (2)**, Genesee street, Trenton, N. J., \$8,550. Architect, private plans. Owner, Samuel Rednor, 22 Roebbling street, Trenton, N. J. Brick, frame, 2½ stories, 22x41 feet, hardwood and pine floors, electric lighting.

Contract awarded to J. R. Longevin, 358 Brunswick street, Trenton.

**Residence**, Parkside avenue, Trenton, N. J., \$7,000. Architect, private plans. Owner, Caroline Bebbington, 866 Parkside avenue, Trenton, N. J. Frame, 2½ stories, 22x23 feet, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to H. Bebbington, 866 Parkside avenue, Trenton.

**Residence**, Kirkbride street, Trenton, N. J., \$4,750. Architect, private plans. Owner, Albert Pepsyok, care of builder. Frame, 2½ stories, 16x42 feet, electric lighting, hardwood and pine floors, hot water heating. Contract awarded to W. Pace, 1200 Prospect street, Trenton, N. J.

**Store (alts. and add.)**, 14 Pennington street, Trenton, N. J., \$3,500. Architect, private plans. Owner, Isadore Levin, Princeton and Pennington streets, Trenton, N. J. Brick, 1 story add., 16x16 feet, general alterations. Contract awarded to Gemaro Panne, 744 Roebbling street, Trenton.

**Garage**, Market street, Trenton, N. J., \$3,000. Architect, private plans. Owner, Dora Cooper, care of builders. Concrete block, 1 story, 40x50 feet, slag roof, concrete floors. Contract awarded to Ungaro & Shindel, 121 Jackson street, Trenton.

**Residence**, 361 North Thirty-fourth street, Camden, N. J., \$3,800. Architect, private plans. Owner, Mrs. Drucella Brown, 360 North Thirty-fourth street, Camden, N. J. Frame, 1½ stories, 24x30 feet, slate surface roof, hardwood and pine floors, warm air heat, electric light. Contract awarded to Thomas C. Tolbert, 99 North Forty-sixth street, Pensauken, N. J.

**Service Station**, Southwest Corner Ferry and Atlantic avenues, Camden, \$1,600. Owners, Garden State Oil Co., 1500 Broadway, Camden, N. J. Concrete block, 1 story, 12x20 feet, slate surface roof, cement floors. Contract awarded to J. D. Hill, 117 Chestmont avenue, Collingswood, N. J.

## Miscellaneous Construction News

**Residence**, Winston Salem, N. C. Architect, Charles Barton Keen, 338 South Smedley street, Philadelphia. Owner, Carl W. Harris, Winston Salem, N. C. Hollow tile and stucco, brick and whitewashed, 3 and 2½ stories, tile roof, hardwood floors, electric light. Plans in progress. Ready for bids in two weeks.

**Bakery**, Brooklyn, N. Y. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Drake Bakeries, Inc., Brooklyn, N. Y. Reinforced concrete steel, 5 stories, 80x84 feet, slag roof, cement floors, steam heat, electric light, elevators, rolling steel sash. Architect taking bids due November 29th.

**Stores and Offices**, Jane street and Crescent street, Long Island City, N. Y. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, N. S. Holding Corp., New York City, N. Y. Brick, granite, concrete steel, terra cotta, 5 stories, 100½x80½ feet, steam heat, electric light, tile work, slag roof, concrete floors, elevators, kitchen equipment, ornamental iron work. Architects taking bids at the New York Office, due November 28th.

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**Church and Sunday School and Parsonage,** Ondonta, N. Y. Architects, C. W. Bolton & Son, 1505 Race street, Philadelphia. Owners, Methodist Episcopal Church, Ondonta, N. Y. Stone. Architect taking bids.

**Residences (2),** 8 and 10 East Twenty-fifth street, Wilmington, Del., \$4,000 each. Architect, private plans. Owner, S. Howard McCoy, 2213 Washington street, Wilmington. Brick, 2 stories, 18x31 feet, slag roof, hot water heat, electric work. Owner will build.

**Residence,** 737 South Broome street, Wilmington, Del., \$5,700. Architect, private plans. Owner, A. S. Schultz, 223 Maryland avenue, Wilmington, Del. Brick, 2 stories, 26x58 feet, slag roof, hot water heat, electric light. Owner will build.

**Police Department Headquarters,** Baltimore, Md. Architect, J. Pennington Pleasants Pennington, 330 South Charles street, Baltimore, Md. Owners, Board of Awards, F. Dolfield, City Hall, Baltimore, Md. Low bidder: Sinclair & Griggs, Medical Arts Building, Philadelphia, \$998,800.

## Miscellaneous Contracts Awarded

**Stores (alts. and add.),** Northwest Corner Seventh and King streets, Wilmington. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, Israel Eisman, 226 King street, Wilmington, Del. Brick, structural steel, reinforced concrete, 1 story, 77x30 feet, parquet floors, electric light, metal lath, plate glass, copper work. Contract awarded to H. & H. Co., 603 Shipley street, Wilmington.

**Hotel,** Daytona, Fla. (Inlet Terrace.) Architects, Magaziner, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, R. B. Pacetti, Inlet Terrace, Daytona, Fla. Contract awarded J. E. Shaw, Atlanta, Ga.

(Continued from Page 756)

is done with care and the surface properly treated, good looking structures may be produced.

The use of the usual architectural embellishments such as cornices, quoins, lintels and keystones are meaningless in concrete. If the designer is tempted to use them the present high cost due to the difficult form work should have a corrective influence.

"But," you are saying, "what has the design of office buildings got to do with the selling of tile?" Just this: certain of the more original architects, in throwing overboard the old forms, will be on the outlook for color; and another class of architects, a little less bold, may perhaps be persuaded to use color if the matter is properly presented.

Your men may say to these architects: "If you will use this material, you can get any color you want. You may have your color in large effective areas or you may

arrange it in fine delicate patterns. You may have a rich line of color to take the place of your overworked cornice, or a plaque to replace the cartouche. If you wish the effect of shadow, here is a black tile. If you wish to express gayety, here are bright yellows, blues, greens and reds. If you wish to decorate your concrete building, here is an appropriate material."

If the architects tell you your tile have not sufficient brightness or depth of color then go to the chemists in your factories and demand the colors the architects want. But if you take your dust pressed or your machine made tile to the architect and persuade him to use them in exterior work here in our rigorous climate, then you will have done him and the tile business a wrong and your sins will be on your own head.

I have spoken of the exteriors of our buildings rather than the interiors. A certain simplicity is, however, noted in the interiors designed by our better architects. One notices with great pleasure large simple rooms with stuccoed walls, beamed ceilings and graceful arched openings devoid of trim. In these fine new houses, your beautiful hand made tile need not be restricted to the bath. It is eminently fitting and proper that semi-exterior adjuncts which add so much charm and comfort to the home, the sun rooms, verandas, pergolas, be furnished forth in tile. I can imagine no more beautiful or appropriate floor for the main hall of a large house than one executed in well designed hand made, colored tile.

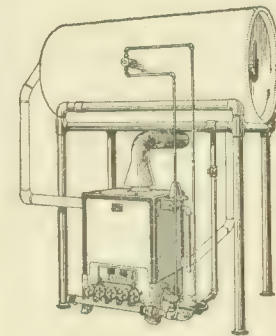
The same principle of simplicity is, I think, applicable to the use of faience. The danger in the use of this material lies in the fact that it is possible to imitate the usual forms of wood or stone. Designers in faience would do well to work with greater freedom and depend upon color and modelling in low relief rather than employ the familiar architectural motives and details.

I have held forth on the appropriateness of hand made clay products as a surface decoration and I have suggested the possibility of its wider acceptance by the more progressive architects. To assure yourselves of larger business, each producer of tile should be certain that he has a product which will resist disintegration. Every now and then a tile man presents himself at my office with a machine made or dust pressed tile and assures me that it is weatherproof and, of course, I have to tell him that it cannot be approved. This is bad business

because one must conclude that the man is either dishonest or grossly ignorant of his own product. My experience leads me to believe that the best results are obtained from hand made, wet pressed bodies which have but a slight porosity. Each of those factories which have not already done so, should make the necessary tests to be absolutely sure that its product will stand up under extreme conditions; and the best test, in my opinion, is to set the tile in a wall where it will be exposed to the winter's wet and cold. I have but little faith in laboratory tests.

There has been difficulty in the past in getting bright reds, yellows and oranges. Some years ago a man brought me an elaborate palate of mosaic samples neatly set up on a board. On examining them, I found that he had every shade of lavender, violet and purple known to the world and little else. When I asked him about his reds, yellows, oranges, blues and greens, like the "rich young man" of the scriptures, "he went away sorrowing." Certain of the factories, I am glad to say, are now giving us much better color than we were able to get a few years ago.

I mention these incidents, to which I could add many more, as examples of bad salesmanship which does the tile business an incredible amount of harm. The salesman must know his material, he



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must represent it honestly and he must give the architect what he wants if he would serve the tile business well and adequately.

Our artists and architects, caring less for cold, formal representation, seek rather power in mass, significance in line and joy in color; if the producers of burnt clay are able to catch the spirit of the time, they may place in the hands of the architect a product which will bring joy and color and beauty to the shop and offices and to the hearth and home.

—*Architecture and Building.*

## QUANTITY TAKE OFF IN THE PLUMBING TRADE

By ARCHIE F. BOYD, of *Granite City*

A correct method of estimating will greatly increase the efficiency, also the profit of builders in the industry, and eventually lower the cost of building to the public.

In estimating Plumbing, there are various methods of estimating and it is not for me to state which of these methods is the best, but I do know that, any one method of those available, is based on somebody's experience and is a far better method than that of guessing; furthermore, it you will get accustomed to one particular method, you become thoroughly familiar with it and then you will have less opportunity of forgetting various items, which has been proven so disastrous to contractors in this phase of contracting.

In estimating quantities, I find from experience that, it helps me to have what I term a "Quantity Sheet" this being a blank sheet with lines on the top for the name and address of the owner, name of architect, date, job number, scale, depth of basement, depth of sewer in alley. It is proper to scale off the basement, first floor and second floor, showing the basement work on the basement plan, including the sewer and showing the locations of the fixtures on the others; then in a rough way draw a diagram of the various bends and fittings, you can describe the various stacks separately and take off this quantity of all material going into the wastes and vents, including all soil pipe, soil fittings, lead, solder, joints, ferrules, caulking lead, etc.

After this the various amounts should be transferred to the tabulating sheet.

These are ruled on top the same as on the Quantity sheets, providing space for name and address of owner, architect, number of sheet and such other items as for instance, water pipe, flashings, drum traps, gasoline, candles, lead, oakum, and in fact all items that enter into this phase; then transfer these totals to your estimating sheet; the next proceeding, of course, is the pricing up of the various articles including the fixtures.

The question of estimating labor is undoubtedly an uncertain item. Without fear of contradiction—that item has caused more failures and the greatest losses, in not only the plumbing trade but in all the building trades. It represents a serious hazard that is not sufficiently appreciated. Some estimate labor according to the accomplishments of their best men; some according to their fastest men; some according to the time they themselves could install the work. In the first place, during a busy season, you find it necessary to employ extra men; naturally, they will not perform the same amount of work your regular men perform; neither can you expect the men you hire to work as honestly and diligently for you, as you would for yourself. Therefore, you are not fair with yourself. You are giving the owner more than he is entitled to and more than he expects. Owners want you to make a fair and reasonable profit. If you underestimate the labor on his job and that becomes evident on your record sheet as the job progresses, naturally, it will have a tendency to cheapen your work or avoid some items in order to permit you to break even. No one willingly shoulders a loss if it can be avoided. Therefore, it is essential that some standard of estimating labor should be used.

Now gentlemen, here is the labor formula I use after a careful study of same. I cannot, of course, vouch for its accuracy in the various sections, but I found it a great help to me.

Sewer work up to and including—  
5 ft. deep, 8 cu. yds. per day.  
6 ft. deep, 7½ cu. yds. per day.  
7 ft. deep, 7 cu. yds. per day.  
8 ft. deep, 6½ cu. yds. per day.  
9 ft. deep, 6 cu. yds. per day.  
10 ft. deep, 5½ cu. yds. per day.  
11 ft. deep, 5 cu. yds. per day.  
12 ft. deep, 4½ cu. yds. per day.

## Water Pipe

¾ to ½ inch 100 ft., installed per day.  
¾ inch, 90 feet installed per day.  
1 inch, 75 feet installed per day.  
1¼ inch, 60 feet installed per day.  
1½ inch, 60 feet installed per day.  
2 inch, 60 feet installed per day.  
Larger, 50 feet, installed per day.

The cost of fittings equals 30 per cent. of the cost of the pipe, either black or galvanized.

Soil pipe work will vary but the average journeyman will run and caulk 50 lbs. of lead per day, so in determining the amount of lead required on the entire job, divide by 50 and that will give you a very good estimate on the labor. However, I have also used on ordinary jobs.

35 feet of 4 inch per 8 hour day.  
50 feet of 2 inch per 8 hour day.

On lead work—1 joint per hour.

Gasoline is 1 gallon to 5 wiped joints.

Gasoline is 1 gallon to 25 lbs. of caulk lead.

Solder—1 lb. to the joint up to 2 inches.  
Over two inches—1 lb. to the inch.

Pipe Covering—75 ft., per 8 hour day including fittings up to 2 inches, and 60 ft., per day from 2 to 4 inches; 40 ft., per day from 4 inches to 6 inches.

Durham Work by hand: 4-6 inch Cuts and Threads made up; 5-5, 6-4, 7-3, 10-2, 12-1½, 15-1¼. Twice this amount if power utilized.

On Durham Vent Work: 1¼-1½-2 inch, 60 ft., per day installed. Larger, 50 ft., per day installed.

This also includes Fire Lines for setting hose racks, one hour each. Setting fixtures, considering that waste and vents have been run through walls and floors, ordinary fixtures 4 to 8 hour day; large fixtures over 300 pounds, require helpers according to their weight. It is false economy to try and think a man can lift and handle all fixtures by himself, as quite often, regardless of how careful he may be, an accident may happen which spells only one thing—"EXPENSE."

Another item of expense is truck service and I find it will cost you 50 cents every time your truck delivers anything to a job, provided it is not over two miles; therefore, it is good practice to educate your men to either phone in or give the foreman or wagon man their order in the evening and at noon. This will eliminate numerous unnecessary trips that spell—"EXPENSE."

Now, I do not say this is the best system nor do I claim this is guaranteed perfect in your own locality, but, I do claim, this is about the best I can find from experience of 18 years in my locality, of course, the contractor will also have to be governed by judgment as well as conditions vary, but if you will adopt the above



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rule and check same with your actual jobs, and in case you have any variations, change and apply your figures to fit your condition, I am confident, it will greatly increase and enlarge the little word that appears on the bottom of your estimate slip with but six letters in it, namely—"PROFIT."—*Associated Building Contractors of Illinois.*

## ESTIMATING HEATING INSTALLATION

By WM. BERGNER of Granite City.

Many factors enter into compiling labor costs on the installation of Heating systems and the various systems, such as One Pipe Steam; Two Pipe Steam; Vapor; Gravity Hot Water; Pressure or Closed Hot Water Systems; One Pipe Hot Water System; Fan System, etc., each present their individual problems.

The system specified in the plan and specification in this program is that of Vapor System and I will of course confine my entire analysis of estimating to that system. The quantity of materials entering into this heating plant, I will not discuss because of lack of time.

Before proceeding in stating the actual time required for this job, it is necessary to explain how we can determine what is the correct amount of time to estimate. Obviously of course, we cannot, accurately, state the exact time that will be required, but I will present what conditions and experiences have taught us to consider in determining as nearly as possible, the time that will be required.

In estimating work, the time is based on a number of conditions; the period of year in which the work will be installed—the efficiency and capacity of the organization employed—the condition of the market, relative to the amount of construction work under headway—and the amount of heating business contracted for.

There are times when it is necessary to figure 14 hours per radiator for a particular kind of installation, and other times, when but eight hours estimate is sufficient for the same installation. With a regularly employed force of Steam Fitters and with sufficient business to keep them steadily employed, the contractor can figure nearly correctly so far as labor time is concerned. If your working force fluctuates during the various seasons of the year, and half the year you employ ten or twelve teams, and the balance of the year but three fitters, it is essential that that be taken into consideration.

These conditions exist throughout the country. In one territory you will find it requires 25% to 50% more time to perform a given amount of work than in another territory. It entirely depends on the various labor agreements entered

into, the working rules in effect, also the efficiency of labor in the various territories.

It is poor policy and should be guarded against, to estimate labor on the basis of time a rapid man in your organization can perform it. If you secure contracts that will occupy the time of your best laborer and require the employment of additional labor, you will find that the time estimated will not be sufficient. The additional cost of labor may more than just wipe out your entire margin of profit expected.

It is always a sane and safe rule to estimate labor on what experience shows to you to be an average labor requirement. This really is insurance against loss on jobs where more time is required than was estimated.

Why should the contractor be the sole gambler on a job? It is but proper that the owner should be required to shoulder, to assume part of the risk. When a contractor estimates labor on a basis of average time required for a given performance, each of the principals assumes his share of the risk and responsibility.

As to the time required on the particular job considered in connection with this program, we find a total of 26 radiators plus 3 radiators on the third floor to be roughed in. We have 3 ceiling radiators in the basement 11 leg and 1 small wall radiator on the first floor, 9 leg and 1 wall radiator on the second floor, and 1 wall radiator in the garage set a distance of 18 feet from the boiler room.

With my present organization, considering the season of the year and the volume of business on hand my estimate of labor for the installation of these radiators aggregates a total of 304 hours or 38 days for a steam fitter and helper. Plus one day's time for digging trench to garage. Following is my tabulation of time that will be required based on cutting all pipe on the job:

20 leg radiators, 10 hours each—200 hours.

3 wall radiators, 12 hours each—36 hours.

3 ceiling radiators, 13 hours each—39 hours.

3 radiators (Roughed), 8 hours each—24 hours.

Additional piping in trench to garage. 5 hours.

One day time for labor, digging trench, refilling and installing split tile.

For buildings of different construction, the time as estimated, probably would not be sufficient. For instance, reinforced concrete job with large size wall or ceiling radiators. Such a job would require added consideration for the assembling and installing of hangers, drilling walls for expansion bolts, working on scaffolding, setting sleeves and in-

sets, or having more or larger size pipe to handle per radiator.

The size of boiler and the boiler room equipment must all be estimated separately.

The study of labor cost on heating installations, has not been considered to the extent that it should have been. If it had, we would not have the million and one complaints from contractors, whose grief was that not sufficient time of labor had been figured on. **THIS ONE POINT SHOULD BE DEEPLY IMPRESSED ON YOUR MIND.**

Who really is responsible for the high cost of labor? Is it the journeyman? From my point of experience, I am satisfied that 50 per cent. of the blame falls to the heating contractor himself. You inquire how I arrive at this conclusion? I'll tell you.

Labor is frequently inefficient because too many of their employers are inefficient.

Employers fail to supply the proper class of supervision on jobs.

Employers provide poor grade of tools; wrong materials or insufficient material, and generally, poor co-operation.

### A Remedy

Contractors can remedy and avoid many of the labor difficulties if they will endeavor to right conditions on their side.—*Associated Building Contractors of Illinois.*

Examples of noteworthy architectural achievements on the part of Trenton members of the architectural profession as well as displays placed by Trenton dealers in building materials made up the first architectural and building exposition which was held at the Stacy-Trent Hotel in Trenton last week.

Through this exposition as well as through many others that the architects of Trenton are planning to hold, the architects hope to familiarize the public with the advantage of having an architect design and superintend construction of properties and to make clear to the public the reasons why an architect's service is essential to the best interests of builders.

The displays at the exposition included photographs and drawings showing Trenton buildings either erected or contemplated.

Plans for the proposed Soldier's and Sailor's Building at Trenton, designs for the new Masonic Temple, new schools and many beautiful homes planned by Trenton architects were exhibited. A model of the State Hospital for Insane at Morris Plains, N. J., was an attractive feature of the exposition.



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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 49  
December 3, 1924

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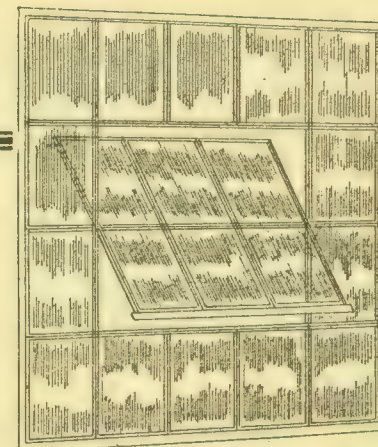
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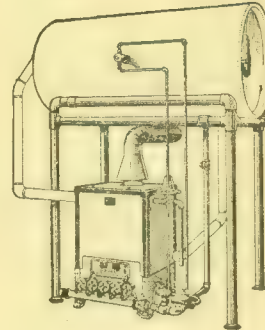
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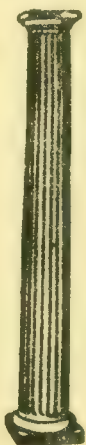
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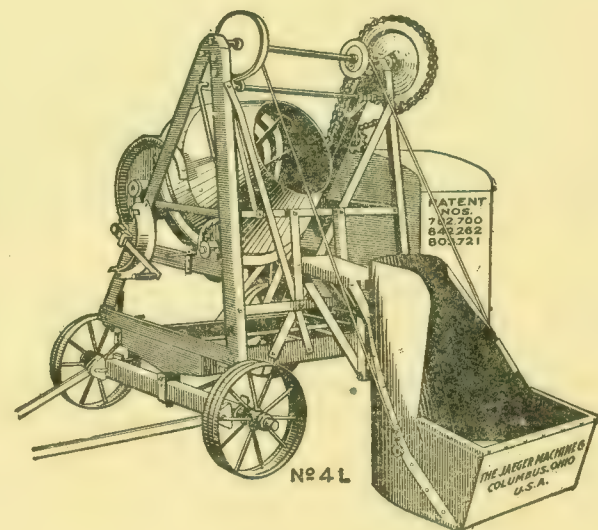
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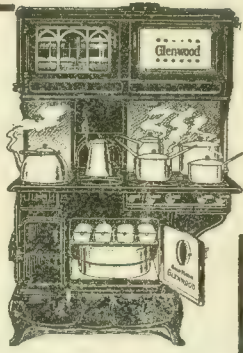


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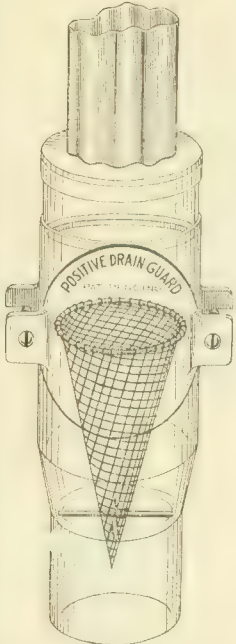
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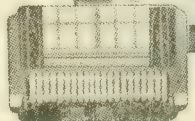
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Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 49

PHILADELPHIA  
December 3, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
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## As The Editor Sees It



### DUTIES OF EACH CONSTRUCTION ELEMENT

BY CHARLES T. MAIN,  
*Engineer, Boston, Mass.*

IN discussing this subject, I shall refer only to engineers, and to work customarily designed by engineers, leaving out the word "architect." The same general principles should apply to work customarily designed by architects.

The more important elements which make up the construction industry are the owner; the engineer and his organization; the constructor and his organization of superintendents, engineers, accountants, etc.; the workmen, skilled and unskilled; and the group supplying materials, which also is made up of complex organizations. For the purposes of construction, these groups are interdependent, and their interests are the same, since the depression or expansion of the industry affects them all in the long run.

#### *The Owner's Control*

The owner group is the only element of the construction industry which has within its power much control over the volume and regularity of construction. As a whole, it has control over the volume of construction and the time when it is undertaken. The owner group includes individuals, and private and public corporations. This group is primarily responsible for the regulation of the activities of the building industry.

It has been shown conclusively that an

increase in the volume of construction in any community is immediately followed by an increase in the cost of construction, both materials and labor increasing, and it must not be forgotten that about 90% of materials represents labor in some form; and that a decrease in volume is followed by a decrease in cost. Wide fluctuations in cost bring reactions in turn on the volume of construction and affect the employment problem.

This condition is probably not clearly realized, and when it is realized by all the elements of the industry, greater stability will result. Statistics which show the facts should be of great help in this respect. In almost every walk of life, people are apt to follow each other like sheep. If one builds, another thinks that he must build.

As a general rule, the owner element may be classed as the least skilled element of the building industry, since it has usually had little contact with the details of the industry itself. It is, therefore, doubly important to make clear to this group some of the fundamental problems which it affects.

The owner who undertakes a piece of engineering construction is responsible for the selection of the engineer to translate his general requirements into definite plans and specifications so that the constructor and his forces may do the construction. In selecting his engineer, the owner should give consideration to the engineer's breadth of experience, quali-

fications of the engineer and his organization for the particular type of work, reputation for fair dealing with both owners and constructors, and his ability to get his work done expeditiously. If possible the engineer should be called in the initial stages for general advice on the feasibility of the undertaking.

The owner or the engineer, or usually both, is responsible for the selection of the constructor or the list of bidders. In making such selection, consideration should be given to the skill, integrity and responsibility of the constructor and his organization, his experience for the particular type of work, reputation for fair dealing, and his ability to complete the work on time.

If these precautions are followed, a list of bidders will be selected who will be on about the same footing, and fair competition can be secured. No constructor should be asked to bid because of friendship only, or as a matter of expediency.

Owners should realize that there is considerable variation possible in the character and cost of construction, even under the most definite plans and specifications and careful inspection, due to the attitude and ability of the constructing organization.

Owners of large experience in building place greater stress on having their work done by engineers and constructors of good reputation than do owners of less experience.

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The owner should carefully study the general plans and specifications and agree with the engineer on the general features of the work. It is important that all changes should be made on paper and as few changes as possible made after the contract has been let, as they are costly in both time and money.

Payments should be made when due, so that the constructor may not be obliged to carry more financial responsibility than he anticipated.

The owner's responsibility does not cease with the selection of engineer and constructor. The results of his undertaking, if it is any more than of a private nature, may be far reaching. If it be properly for rental, the rents may have to be excessive if the cost is too great; or if it is a manufacturing enterprise, fixed charges may be too high; or if it be a public building, the general public must pay more taxes. Also, if he can do anything to stabilize the building industry, he will be helping the workmen and the community.

#### *The Engineer's Role*

Some of the important responsibilities of the engineer have been mentioned in the foregoing. He should be familiar with the conditions surrounding his problems. If it is a manufacturing plant he is designing, he must familiarize himself with the manufacturing processes so as to suitably arrange the machinery and processes for economical installation and operation, and make the structure fit them as simply as possible. He must be familiar with the physical properties of building materials, their availability and cost. In these days of large complicated jobs involving several different branches of engineering, it is important that an engineer who is carrying on such general work should have an experienced organization qualified to cover the several branches.

The plans and specifications of the engineer should be clear and complete and fully describe the work to be done and all the known conditions surrounding it.

There is a wide variation in the amount of service rendered in this respect. Ambiguity and incompleteness in plans lead to higher construction costs and less satisfactory results. The engineer should not expect the various sub-contractors to make plans which should be made by him.

The contracts should be carefully drawn and a type of contract selected which will be fairly applicable to the work to be done. Not all jobs may advantageously be done under a lump sum contract. When the extent of the work is not definite, or when the risks are uncertain, or the time required will be long, the work can generally be more advantageously done under some other form of contract. In some cases lump sum contracts should not be used.

The movement to get a uniform set of contract documents drawn by the several elements of the industry, adopted for general use, is a good one, and deserves to succeed.

In dealing with the constructor, the engineer should be careful not to interfere with the functioning of the constructor's organization on that part of the work where the constructor is solely responsible, but he should be as helpful as possible without becoming involved in what is properly the function of the constructor.

#### *Often Arbitrator*

The engineer will frequently find himself in the position of an arbitrator between the owner and the constructor, and sometimes his own work may be subject to criticism. On such occasions he must be fair and courageous and just in his decisions, even though he himself may suffer.

The engineer should be willing to discuss methods or details with the constructor whose experience in certain lines may be more extensive than the engineer's. He can adopt suggestions or not, as may seem wise.

#### *The Constructor's Work*

The qualifications and responsibilities  
(Continued on Page 783)

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**Residences (10),** North side Clarkson avenue, West of Rising Sun avenue, \$5,000 each. Architect, private plans. Owners, P. and G. J. Hermann, 420 Duncannon avenue, Philadelphia. Brick, 2 stories, 15x30 feet, 12x11 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2),** 8712-14 Laycock avenue, Philadelphia, \$4,500 each. Architect, private plans. Owner, L. Pitchford, 8716 Laycock avenue, Philadelphia. Brick, 2 stories, 14x40 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Apartment House,** Center Philadelphia. Architects, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owner, name withheld. Brick, concrete steel, cast stone, 15 stories, 60x100 feet, will contain 120 apartments. Work contemplated.

**Apartment House,** Germantown, Philadelphia. Architects, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owner, name withheld. Brick, 4 stories, 200x150 feet. Will contain 90 apartments. Work contemplated.

**Navy Y. M. C. A. Building,** center of city, Philadelphia. Architect, not yet selected. Owners, Young Men's Christian Association, J. Steele, president, on premises. Concrete, steel, limestone, 10 stories, 80x150 feet, slag roof, cement floors. Sketches being drawn.

**Apartment House (Windemere Annex Courts),** Northwest Corner Forty-eighth and Locust streets, Philadelphia. Architects, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owners, Walnut Const. Co., Forty-eighth and Walnut streets, Philadelphia. Brick, steel, cast stone, 4 stories, 130x200 feet, will contain 85 apartments, slag roof, hardwood, composition, concrete floors, elevators, oil burning equipment, ornamental iron work, kalamein doors, rolling steel sash, tile work, steam heat, electric light. Plans in progress.

**Men's Dormitory,** First Unit, site withheld, Philadelphia. Architects, Stewardson & Page,

315 South Fifteenth street, Philadelphia. Owners, University of Pennsylvania, Thirty-fourth and Spruce streets, Philadelphia. Brick, limestone, 4 stories, 50x50 feet. Sketches in progress. Bids will be taken on the first unit in about 6 months.

**Y. M. C. A. Building (add.),** 1421-25 Cherry street, Arch street, Philadelphia. Architect, not yet selected. Owners, Young Men's Christian Association, J. M. Steele, president, on premises. Limestone, 1 story add., 135x170 feet, 4 stories add., 30x40 feet, 12 story building at 1424 Cherry street, 60x64 feet. Sketches being drawn.

**Apartment House,** Chestnut, between Fortieth and Forty-first, Philadelphia. Architect, The Watson Co., 4614 Prospect avenue, Cleveland, Ohio. Owners, Branson Bond & Mortgage Co., Stock Exchange Building, Philadelphia. Brick, steel, concrete, 5 stories and basement, 30x130 feet, slag roof, hardwood floors, elevators, electric light, tile work. Details undecided. Owners taking sub-bids.

**Bungalow (alts.),** Stenton and Hillcrest avenues, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, name withheld. Stone, frame add., 43x6 feet, porch, 10x50 feet, hot water heat, electric light, general alterations. Architect ready for general bids.

**Residences (9),** Sixty-sixth and Chester avenue, Philadelphia. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owners, Hall & Selpzer, care of S. H. Hall, Seventeenth and Sansom streets, Philadelphia. Brick, 2 stories, (5) 16x38 feet, (4) 18x30 feet, slag and tin roof, hardwood floors, hot water heat, electric light, metal lath, tile work, cement work, metal bulks, (8) garages in basement, (1) store in basement. Owners taking sub-bids.

**Factory (add.),** 1015-17 Vine street, Philadelphia. Architect, F. N. Gresler, 1035 Walnut street, Philadelphia. Owner, name withheld. Brick, concrete, 2 stories, 40x80 feet, slag roof, general alts. Plans about completed. Architect will be ready for bids in a week.

**Warehouse,** Kensington, Philadelphia, \$60,000. Architect, John Emlen Bullock, 34 South Seventeenth street, Philadelphia. Owner, name withheld. Brick and mill construction, 3 stories and basement, 65x107 feet, slag roof, wood and maple floors, (2) elevators, safety treads, waterproofing, floor hardener, bond,

fire and kalamein doors, rolling steel sash, electric lighting (plumbing, heating and lighting reserved). Ready for bids December 15th.

**Store (1), Residences (38),** Roosevelt Boulevard and Herkness street, Philadelphia. Architects, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owner, Joseph Bobb, Sixty-third and City Line, Philadelphia. Brick, 2 stories, 16x42 feet, slag and tin roof, hardwood and pine floors, hot water heat, electric light, tile work. Garages in basement. Owner taking sub-bids.

**Larchwood Apartment House,** Southwest Corner Forty-seventh and Larchwood avenue, Philadelphia. Architects, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owner, name withheld. Brick, steel, cast stone, 4 stories, 73x90 feet, (32 apartments), slag roof, hardwood, composition and concrete floors, oil burning equipment, elevators, ornamental iron work, kalamein doors, rolling steel sash, tile work, steam heat, electric light. Plans in progress. Architects will take sub-bids.

**Office and Garage,** Northeast Corner Twelfth and Locust streets, Philadelphia. Architect, A. H. Mueller, Ninth and Walnut streets, Philadelphia. Owner, name withheld. Limestone, terra cotta, 2 stories, 30x100 feet, 1 story, 75x100 feet, slag roof, maple and cement floors, steam heat, electric light, metal lath, rolling steel sash, copper bulks. Plans about completed. Ready for bids in a few days.

**Spruce Courts (apartment house),** Northwest Corner Forty-third and Spruce streets, Philadelphia. Architects, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owner, Samuel Schlosberg, 5446 Locust street, Philadelphia. Brick, steel, cast stone, 4 stories, 75x150 feet, will contain 54 apartments, slag roof, hardwood, composition, concrete floors, elevators, oil burning equipment, kalamein doors, ornamental iron work, rolling steel sash, tile work, steam heat, electric light. Plans about completed. Architects will be ready for sub-bids in a week.

**Warehouse,** North side of Walnut, West of Fortieth street, Philadelphia. Architect, George S. Kingsley, 109 North Dearborn street, Chicago, and New York. Owners, Atlas Storage Co., Walter E. Sweeting, Thirty-seventh and Market streets, Philadelphia. Reinforced concrete, steel, 8 stories and base-

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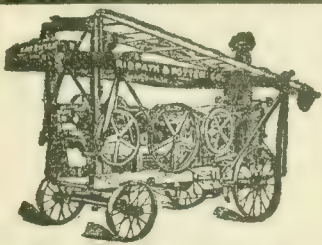
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ment and mezzanine, 60x200 feet, rolling steel sash, elevators, concrete floors, electric light. Sketches about completed. Working plans about to be started. Ready for bids January 16th, 1925.

**Garage**, Lombard street, East of Twenty-first street, Philadelphia. Architect, J. Ethan Fieldstein, Otis Building. Owner, name withheld. Brick, steel, 3 stories, 68x162 feet, slag roof, cement floors, plank floors, steam heat, electric light, rolling steel sash, concrete ramps. Architect taking bids.

**Store and Office (alts. and add.)**, 1109-11 Walnut street, Philadelphia. Architect, Sol. Kaplan, 10 South Eighteenth street, Philadelphia. Owner, name withheld. Brick, limestone, 3 stories, 50x21 feet, 1 story, 83x21 feet, slate roof, pine floors, steam heat, electric light, hollow metal skylights, metal bulks. Architect taking bids due December 6th.

**Apartment House**, Germantown avenue, Philadelphia. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, M. Kirschner, 2930 Brown street, Philadelphia. Brick, stone, steel, concrete, 3 stories and basement, will contain 40 apartments, steam heat, electric light, tile work, hardwood floors. Owner taking sub-bids.

**Contract No. 20**, Camden Approach, Third street, East of Fifth street, Philadelphia. Owners, Delaware River Bridge Joint Commission, 806 Widener Building, Philadelphia. Construction of concrete foundations on concrete piles and on spread foundations. Construction of concrete masonry and granite footings and structural metal work for the approach. Construction of sewers in adjacent streets. Contract time for work 11 months. Unit price on bids are asked. Deposit, \$25. Refunded. Certified check for \$25,000 must accompany each bid. Bond 50 per cent. required of successful contractor. Owners taking bids due December 17th, 2:30 P. M.

**Truck Garage**, Northeast Sewage Treatment, Wheatshaf Lane, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Brick, steel, 1 story, 124x69 feet (plumbing, heating, electric separate), granolithic floors, roof ventilators, rolling steel sash. Owners taking bids due December 4th.

**Shelter Building**, Weccacoe, Catherine, between Fourth and Fifth streets, Philadelphia. City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, City Hall. Low bidders: McCormick-Lenham Co., 2403 South Broad street, Philadelphia, Item A, \$11,573; Item B, \$5,737. J. E. Houseworth, 2512 North Twenty-seventh street, Philadelphia, Item A, \$12,219; Item B, \$5,449. Plumb-

ing, G. W. Sandmann, 404 South Twentieth street, Philadelphia, Item A, \$1,645; Item B, \$645. Electric, Eastern Elec. Const. Co., 1936 South College avenue, Philadelphia, \$597.

**Residences (32)**, South side Warrington avenue, West of Fifty-ninth street, \$154,000. Architect, private plans. Owner, Harry Pepper, 5318 Berks street, Philadelphia. Brick, 2 stories, (2) 18x45 feet, (32) 16x34 feet, 12x11 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (21), Stores (2)**, Eighteenth, Pollock and Moyamensing streets, \$81,500. Architect, private plans. Owner, Charles M. Weild, 2737 South Sixteenth street, Philadelphia. Brick, 2 stories, various sizes, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, East side Thompson street, North of Westmoreland street, \$15,000. Architect, private plans. Owner, S. Pietrykowski, 3416 Richmond street, Philadelphia. Brick, 1 story, 48x80 feet, slag roof, cement floors, electric lighting. Owner will build.

**Water Basin (retaining wall)**, North side Scott's Lane, West of Philadelphia & Reading R. R., Philadelphia, \$10,000. Owners, J. & J. Dobson, 809 Chestnut street, Philadelphia. Stone, 60x80 feet. Owners will build.

**Residences (4)**, East side Henry street, South of Rector street, \$8,500 each. Architect, private plans. Owners, C. M. Swartley & Son, 6835 Ridge avenue, Philadelphia. Brick, 2 stories, 16x45 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Residence**, South side Wellington street, West of Loretta avenue, \$7,000. Architect, private plans. Owner, A. M. Hoppwood, 1726 Howarth street, Philadelphia. Frame, 2 stories, 28x28 feet, 24x4 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Residences (7)**, South side Devereaux street, West of Jackson, \$4,500 each. Architect, private plans. Owner, F. Deitrich, 1823 East Hilton street, Philadelphia. Brick, 2 stories, 16x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (12)**, 2411-33 Passyunk avenue, Philadelphia, \$4,200 each. Architect, private plans. Owner, Burton C. Simon, Twentieth and Passyunk avenue, Philadelphia. Brick, 2 stories, 16x37 feet, 10x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, 8403 Erwig avenue, Philadelphia, \$4,500. Architect, private plans. Owner, Frank Thompson, Eighty-fourth and Tinicum avenue, Philadelphia. Brick, 2 stories, 16x38

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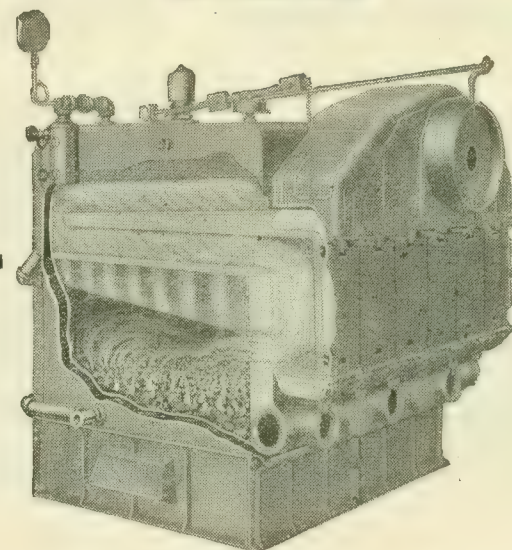




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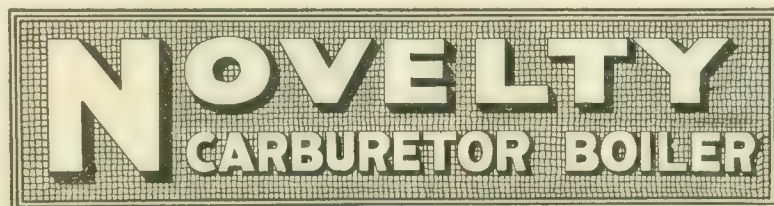
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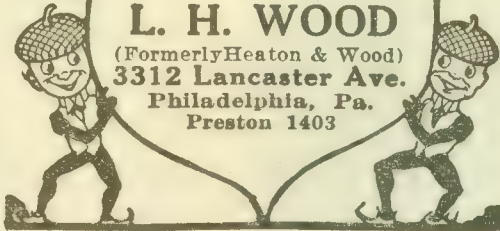
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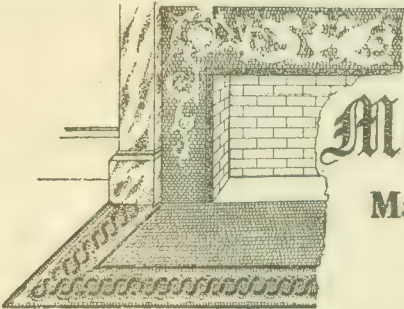
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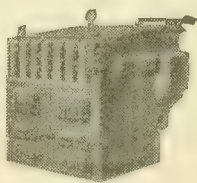
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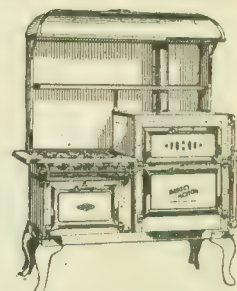
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feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Residences (4)**, West side Montague street, South of Benner, \$4,000 each. Architect, private plans. Owner, Fred W. Deitrich, Northeast Corner Frankford avenue and Devereaux street. Brick, 2 stories, 15 feet 10 inches x 38 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Residences (6)**, West side Montague street, South of Benner, \$4,000 each. Architect, private plans. Owner, Lewis Deitrich, 3016 Comly street, Philadelphia. Brick, 2 stories,

15 feet 10 inches x 38 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Apartment (alts.)**, 3312 Baring street, Philadelphia, \$3,000. Architect, private plans. Owner, John A. List, 3412 Powelton avenue, Philadelphia. General alterations. Owner will build.

**Garages (2)**, South side Overington street, West of Oakland street, \$2,000 each. Architect, private plans. Owner, Winfield Robinson, 4666 Oakland street, Philadelphia. Brick, 1 story, 20x76 feet each, slag roof, cement floors, electric light. Owner will build.

3 stories and basement, 40x36 feet, slate roof, hardwood floors, vapor heat, electric light, tile work, 3 baths, cement porches and terraces, copper gutters and flashings. Contract awarded R. M. Peterson, 16 West Queen Lane, Philadelphia.

**Store Building (alts. and add.)**, 5241 Market street, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owner, E. M. Cook, on premises. Shoring, brick work, concrete and cement work, slag roof, plastering, painting and glazing, steam heat, 1 story add., 20x18 feet. Contract awarded William B. Lane, 5209 Chancellor street, Philadelphia.

**Mill Building (alts.)**, Sixteenth and Reed streets, Philadelphia. Architect, Frank E. Hahn, 629 Chestnut street, Philadelphia. Owner, J. Miller, on premises. Tin-clad doors, brick work, painting and glazing, carpentry and mill work, hardware, galvanized iron skylights, macite partitions. Contract awarded Kober Const. Co., 34 South Seventeenth street, Philadelphia.

**Garage and Service Station**, 4817-21 Marvane street, Philadelphia, \$19,000. Architect, A. B. Lacey, 1012 Walnut street, Philadelphia. Owner, William Fields, 1700 Master street, Philadelphia. Stone, 1 story, 75x86 feet 6 inches, cement floors, electric lighting. Contract awarded to John DePaul, 80 East Sharpnack street, Philadelphia.

**Elevator Shaft Enclosure**, Fuller Building, 10 South Eighteenth street, \$8,000. Architects, Norman Hulme and John H. Dull, 1524 Chestnut street, Philadelphia. Owner, J. Cutler Fuller, 10 South Eighteenth street, Philadelphia. Brick, 5 stories, 10x8 feet, concrete work, iron work, carpentry, mill work, plastering, tile and terrazzo work, painting, glazing, metal doors, galvanized iron skylights. Contract awarded to Lam Building Co., 1001 Wood street, Philadelphia.

**Alterations**, Fifty-second and Warren avenue, Philadelphia. Architect, Henry C. Dagit, 34 South Seventeenth street, Philadelphia. Owners, St. Gregory's Church, Rev. Monsignor H. T. Drumgoole, on premises. Metal lath, plastering, carpentry and mill work, steel, brick work. Contract awarded Sheridan Brothers, 34 South Seventeenth street, Philadelphia.

**Open Shed**, North side Venango street, West of Front street, \$15,000. Architect, Morris Fruchtbaum, 6100 Spruce street, Philadelphia. Owners, Duffey Bros., Inc., 3255 North Front street, Philadelphia. Frame, 1 story, 90x84 feet. Contract awarded to T. A. Stoutenburgh, 446 North American street.

**Garage**, Southwest Corner Somerset and Sedgley avenue, Philadelphia, \$7,000. Architect, private plans. Owner, Joseph Haney, care of builder. Brick, 1 story, irregular

## Contracts Awarded

### Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Residence**, West side Ridge avenue, North of Summit avenue, \$9,000. Architect, Robert L. Stevenson, 101 Tremont street, Boston, Mass. Owner, Robert Lowry, 8130 Ridge avenue, Philadelphia. Stone, 3 stories, 35x25 feet, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Adam Wilkinson, 439 Harmon road, Philadelphia.

**Residence**, South side Cheltenham avenue, West of Oakland street, \$6,300. Architect, private plans. Owner, Joseph A. Discher, care of builder. Brick, 2 stories, 14x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Joseph W. Bradley, 4516 Paul street, Philadelphia.

**Theatre, Restaurant and Office Building**, Northwest Corner Broad and Locust streets, Philadelphia. Architect, A. H. Gilbert, 80 Maiden Lane, New York City. Owners, Corporation, care of builders. Stone, brick, steel, limestone, 20 stories, steam heat, electric light, tile and marble, metal lath, hollow tile, elevators. Contract awarded to Lynch Const. Co., 100 East Forty-second street, New York City, who will take sub-bids.

**Store and Apartment**, 45 West Cheltenham avenue, Philadelphia. Architect, John Molitor, Bankers' Trust Building, Philadelphia. Owner, Samuel Emlen, Jr., 5600 Germantown avenue, Philadelphia. Brick, cut stone, steel, 2 stories and basement, 100x41 feet (heating and electric reserved), slag roof, cement and composition floors, metal lath, tile and marble work, plumbing, waterproofing, ornamental iron work, wrought iron pipe, dumb waiters, sidewalk elevators. Contract awarded W. J.

Grahler Co., 219 High street, Germantown, Philadelphia.

**School**, Ninth and Pierce streets, Philadelphia, \$103,000. Architect, F. Ferdinand Durang, 1220 Locust street, Philadelphia. Owners, St. Nicholas of Tolentino, Rev. A. Baldassarre, on premises. Stone, brick, concrete, cut stone, steel, 3 stories and basement, 111x32 feet (plumbing, heating and electric reserved), slag roof, cement and maple floors, hollow tile, waterproofing, architectural terra cotta, bond, kalamein and hollow metal doors, rolling steel sash, terrazzo work, metal lath, bluestone, flortyle. Contract awarded Felix Claro, Pennsylvania Building, Philadelphia, who is taking sub-bids. (Note change in contractor.)

**Home (alts.)**, 700 Church Lane, Germantown, Philadelphia. Architect, Ralph L. Goldberg, 10 South Eighteenth street, Philadelphia. Owners, Jewish Foster Home, on premises. Plastering, composition floors, tile and marble work, carpentry and mill work, painting and glazing, hardware, plumbing, heating (alts.). Contract awarded J. M. Yardley, 1730 Sansom street, Philadelphia.

**Moving Picture Theatre (alts.)**, Forty-ninth and Yocum streets, Philadelphia, \$30,000. Architect, private plans. Owners, Quaker City Amusement Co., Forty-ninth and Yocum streets, Philadelphia. Metal lath, painting, carpentry and mill work, sheet metal work, tile work, plastering. Contract awarded Murphy Quigley Co., 1524 Sansom street, Philadelphia.

**Residence**, 5219 Wayne avenue, Philadelphia. Architect, Benjamin R. Stevens, 1827 Arch street, Philadelphia. Owner, John Water, on premises. Brick, stone foundations,



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shape, slag roof, cement floors. Contract awarded to L. Rosengarten, 4742 Market street, Philadelphia.

**Store and Rooming House (alts. and add.),** 117 South Twentieth street, \$6,000. Architect, J. Rogers Ulrich, Highland Park, Pa. Owner, A. J. Randall, 422 Walnut street, Philadelphia. Brick, 3 stories add., 14x14 feet, general alterations. Contract awarded to Staines Brothers, Bywood, Pa.

**Business Building (alts. and add.),** 455 North Sixth street, \$5,000. Architect, private plans. Owners, Linton & Michelson, 5822 Beaumont avenue, Philadelphia. Brick, 1 story add., 40x18 feet, general alterations. Contract awarded to Charles A. Bannett, 1633 South Fifty-ninth street, Philadelphia.

**Residences (5), Store (1),** Rhaun and Palmetto streets, and Bingham, Rhawn and Stanwood streets, Philadelphia, \$57,300. Architect, private plans. Owner, George T. Sale, 1002 Liberty Building, Philadelphia. Brick, 2 stories, various sizes, (3) stone and frame, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Rush Brothers, 4682 Darrah street, Philadelphia.

**Garage,** East side Jasper street, South of Madison streets, Philadelphia, \$8,200. Architect, private plans. Owner, Charles M. Wasson, Kensington avenue and Wishart street, Philadelphia. Brick, 1 story, irregular shape, slag roof, cement floors. Contract awarded to Edward Morrow, 4693 Castor road, Philadelphia.

**Manufacturing Building (fire repairs),** 227 Church street, \$8,000. Architect, private plans. Owners, Pennsylvania Company, Packard Building, Philadelphia. General fire repairs. Contract awarded to John Duncan, 920 Walnut street, Philadelphia.

**Garage,** East side Sixth street, North of Loudon street, Philadelphia, \$5,400. Architect, private plans. Owner, Anna Nilroy, 557 West Loudon street, Philadelphia. Brick, 1 story, 35x18 feet, 20x75 feet, slag roof, cement floor. Contract awarded to G. Salvavto, 2211 Toronto street, Philadelphia.

**Residence and Store (alts. and add.),** 1859 North Van Pelt street, \$5,000. Architect, private plans. Owner, Philip Green, 4018 West Girard avenue, Philadelphia. Brick, 1 story add., 18x22 feet, general alterations. Contract awarded to Samuel Saidel, 5749 Walnut street, Philadelphia.

**Store and Residence (alts. and add.),** Northeast Corner Forty-sixth and Fairmount avenue, Philadelphia, \$4,000. Architect, private plans. Owner, S. Stone, on premises. Brick, 3 stories add., 5 feet 6 inches x 17

feet, general alterations. Contract awarded to D. Rosenberg, 2510 South Eighth street, Philadelphia.

**Garage,** 4333 Leiper street, Philadelphia, \$4,000. Architect, private plans. Owner, L. De Christophro, on premises. Brick, 1 story, 18x17 feet, 16x67 feet and 38x16 feet, slag roof. Contract awarded to Alfred Batty, 4362 Leiper street, Philadelphia.

**Store and Residence (alts. and add.),** Southeast Corner Kensington avenue and Cambria street, Philadelphia, \$3,000. Owner, Morris Bobman, 2111 Kensington avenue, Philadelphia. Brick, 1 story add., 16x11 feet, general alterations. Contract awarded to Gold & Brill, 1036 Wolf street, Philadelphia.

**Residences (2),** East side Almond street, North of Fillmore street, \$4,000 each. Architect, private plans. Owner, B. Rogalski, 4472 Livingston street, Philadelphia. Brick, 2 stories, 15 feet 6 inches x 49 feet, slag roof, pine floors, hot water heat, electric light. Contract awarded to Felix Tatko, care of owner.

**Church,** Southeast Corner Ripley and Loretta streets, Philadelphia, \$11,000. Architect, private plans. Owners, Northeast Methodist Episcopal Church, Seventeenth and Arch streets, Philadelphia. Frame, 1 story, 24 feet 6 inches x 47 feet 6 inches, shingle roof, electric lighting. Contract awarded to Charles M. Sinn, 5518 North American street.

**Apartment (alts.),** 1432 Pine street, Philadelphia, \$8,800. Architect, private plans. Owner, Lewis Moffett, 1420 Pine street, Philadelphia. General alterations. Contract awarded to William L. Bushnell, 2146 East Norris street, Philadelphia.

**Garage,** Southeast Corner Belgrade and Dauphin streets, Philadelphia, \$7,500. Architect, private plans. Owner, A. Lapato, 815 New Market street, Philadelphia. Brick, 1 story, 27x52 feet, 55x24 feet, slag roof, cement floors. Contract awarded to Edward C. Sherry, 188 West Girard avenue, Philadelphia.

**Mill (alts.),** North side Oxford avenue, West of Frankford avenue, \$5,400. Architect, private plans. Owner, George Birkman, 1021 Harrison street, Philadelphia. General alterations. Contract awarded to Rush Brothers, 4682 Darrah street, Philadelphia.

**Store and Shop,** 4248 Girard avenue, Philadelphia, \$3,300. Architect, private plans. Owner, Harry T. Welch, on premises. Brick, 1 story, 7x37 feet 6 inches x 61 feet, slag roof, pine floors. Contract awarded to Herman Shalcowitz, 3933 Brown street, Philadelphia.

**Store and Residence (alts.),** 730 South Fifth street, Philadelphia, \$2,000. Architect, private plans. Owner, Nathan Gross, 734



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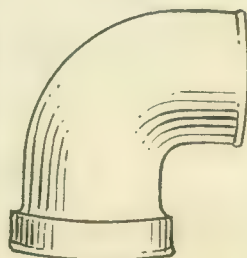
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## PENNSYLVANIA

## Construction News

South Fifth street, Philadelphia. General alterations. Contract awarded to I. Rubin, 4043 North Hutchinson street, Philadelphia.

**Residences (2) (alts.),** 2940-42 North Reese street, Philadelphia, \$2,000 each. Architect, private plans. Owner, John M. Beidler, 2940 North Fifth street, Philadelphia. General alterations. Contract awarded to A. N. Tatro, 6305 Saybrook avenue, Philadelphia.

**Store and Residence (alts. and add.),** 4340½ Lancaster avenue, \$4,000. Architect, private plans. Owner, Charles F. Eggerston, 1701 Arch street, Philadelphia. Brick, 3 stories add., 17x8 feet, general alterations. Contract awarded to D. Goldstein, 1533 South Sixth street, Philadelphia.

**Laundry (alts.),** 4809 Aspen street, Philadelphia, \$3,000. Architect, private plans. Owners, New Way Laundry Co., on premises. General alterations. Contract awarded to John N. Gill Const. Co., 121 North Broad street.

**Residence and Store (alts. and add.),** 2925 North Park avenue, Philadelphia, \$2,500. Architect, private plans. Owner, E. F. Rafferty, on premises. Brick, 2 stories add., 18x14 feet, general alterations. Contract awarded to L. M. Seely, 1504 Locust street, Philadelphia.

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**Garage,** Haverford, Pa. Architects, McIlvain & Roberts, Otis Building, Philadelphia. Owner, Rodman E. Griscom, Haverford, Pa. Stone, 1 story, 23x49 feet, wing 12x14 feet, slate roof, cement floors. Architects taking bids due December 27th at noon.

**Residence and Garage,** Rose Lane, Haverford, Pa. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, Morgan Lister, care of architects. Stone, hollow tile and frame, 2½ stories, 120x40 feet, vapor heat, electric light, tile work, shingle roof, hardwood, composition and cement floors. Architects will build.

**Residence and Garage,** Ithan, Pa. Architects, De Armond, Ashmead & Bickley, 20 South Fifteenth street, Philadelphia. Owner, Frisco Valdes, care of architects. Brick and frame, 2½ stories, 50x40 feet, shingle roof, hardwood floors, vapor heat, electric light, tile work. Architects building.

**Twin Residences (100),** Lawndale, Pa. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owners, Lawndale Estate Co., care of Isaacs & Meyers, 215 South Broad street, Philadelphia. Cement block, 2 stories, 16x34 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owners taking sub-bids.

**Club (alts. and add.),** York County, Pa. Architect, H. Y. Shaub, Imperial Building, York, Pa. Owners, Blockstonian Club, care of architect. Frame, 2 stories, 25x40 feet, shingle roof, hardwood floors, pipeless heat, electric light. Plans in progress.

**Gym and Auditorium,** Y. M. C. A. Building, Ardmore, Pa. Architect, not yet selected. Owners, Young Men's Christian Association, J. Steele, president, on premises. Concrete, steel, limestone, 4 stories and basement, 160x160 feet, slag roof, cement floors. Sketches being drawn.

**Theatre,** Williamsport, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Chamberlain Amusement Enterprise, L. J. Chamberlain, Shamokin, Pa. Seating capacity 2,150, size of lot 85x189 feet. Pre-

liminary sketches started. Too early for details.

**Store and Apartment,** 70-72-74 Fayette street, Conshohocken, Pa. Architect, Hoffman-Henon, Finance Building, Philadelphia. Owner, Harry C. Schwalbe, Riant Theatre, Conshohocken, Pa. Plans in progress.

**Residence,** Merion, Pa. Architect, J. L. Conarro, 225 South Sydenham street, Philadelphia. Owner, name withheld. Brick, 2½ stories add., 20x30 feet. Plans in progress. Will take bids in spring 1925.

**Residence,** Drexel Hill, Pa. Architect, J. L. Conarro, 225 South Sydenham street, Philadelphia. Owner, name withheld. Hollow tile, stucco. Plans in progress. Will take bids in spring 1925.

**Hotel,** Sixth and Edgemont avenue, Chester, Pa. Architect, William Woodburn Potter, Real Estate Trust Building, Philadelphia. Owner, John G. Pappas, on premises. Brick and steel, 6 stories, 50x100 feet. Plans in progress.

**Y. M. C. A. Building,** Reading, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad, Twelfth and Market streets, Philadelphia. Owners will take bids in spring 1925. Plans in progress.

**Church,** Lititz, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Church of the Brethren, G. Merrieh, secretary Building Committee, Lititz, Pa. Brick, 1 story and basement. Architects selected.

**Grade School,** Thirteenth and Exeter streets, Reading, Pa. Architects, Muhlenberg Brothers, 513 Penn street, Reading, Pa. Owners, Reading School Board, George Beggs, Eighth and Washington streets, Reading, Pa. Brick, 2 stories and basement. Preliminary plans in progress.

**Grade School,** Reading, Pa. Architect, F. A. Muhlenberg, Ganster Building, Reading, Pa. Owners, Reading School Board, George Beggs, Eighth and Washington streets, Reading, Pa. Brick, 2 stories. Preliminary plans in progress.

**Grade School (add.),** Fifth and Spring streets, Reading, Pa. Architect, Miles B. Dechant, 652 Washington street, Reading, Pa. Owners, Reading School Board, George Beggs, Eighth and Washington streets, Reading, Pa. Brick, 2 stories and basement. Preliminary plans in progress.

**Residence and Garage,** Lemoyne, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owner, Bertha L. Lilly, 20 North Fourth street, Harrisburg, Pa. Stone (local), 2 stories, 40x30 feet, 1 story, 18x20 feet, slate or tile roof, hardwood floors, hot water heat, electric light. Plans in progress.

**Hotel,** Stroudsburg, Monroe County, Pa., \$300,000. Architect, John Emlen Bullock, 34 South Seventeenth street, Philadelphia. Owner, name withheld. Fireproof, brick, concrete, steel, 4 stories, 260x175 feet, slate roof, concrete and wood floors, elevators, safety treads, metal weather strip, iron stairs, floor hardener, bond, fire and kalamein doors, rolling steel and hollow metal sash, tile work, metal lath, electric light, vapor heat. Plans in progress.

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**Apartment House**, Merion, Pa. Architects, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owner, name withheld. Brick, 150x100 feet. Work contemplated.

**Twin Residences (16)**, Upper Darby, Delaware County, Pa. Architects, J. L. Stetler and H. M. Deysher, 1015 Chestnut street, Philadelphia. Owner, J. C. Calhoun, Upper Darby, Pa. Hollow tile, cinder block, 2½ stories, 18x36 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Factory**, Lancaster, Pa. Architect, H. Y. Shaub, Imperial Building, Lancaster, Pa. Owner, W. W. Kaeffer, care of architect. Concrete block or brick, steel, 1 story and basement, 40x160 feet, slag roof, concrete floors, roof ventilators, vapor heat, electric light, rolled steel sash, fire doors. Plans in progress.

**John Harris High School**, Twenty-fifth and Market streets, Harrisburg, Pa. Architects, Lappley & Hornbostel, Ebner Building, Harrisburg, Pa. Owners, Harrisburg School Board, 121 Chestnut street, Harrisburg, Pa. Possibly stone exterior, 1 and 2 stories, 60x350 feet, 60x310 feet, 70x140 feet, 80x240 feet and 200x250 feet, composition roof, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing, terra cotta, ornamental iron work, iron stairs, fire doors, skylights, tile and marble work, metal lath, vapor heat, electric light. Preliminary plans in progress. Will be ready for bids in about 60 days.

**Department Store**, Market street near Fourth, Harrisburg, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, I. H. Doutrich, Market street, Harrisburg, Pa. Architectural terra cotta, 4 and 6 stories, 266 feet 3 inches x 210 feet, composition roof, elevators, waterproofing and dampproofing, vapor heat, electric light. Working drawings started.

**Museum**, Reading, Pa. Architect, Alexander Smith, Berks County Trust Building, Reading, Pa. Owners, Reading School Board, George Beggs, Eighth and Washington streets, Reading, Pa. Brick or stone, steel, 2 stories, 300x62 feet, skylight roof, composition floors, hollow tile, freight elevators, safety treads, waterproofing and dampproofing, terra cotta, ornamental iron work, iron stairs, tile and marble work, metal lath, steam heat, electric light. Plans in progress. Will take bids about January 1st.

**Church and Sunday School**, St. Clair, Pa.

Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. John's Reformed Church, Rev. H. A. Behrens, St. Clair, Pa. Brick, steel, 1 story, 96x60 feet, slate roof, hardwood floors, hollow tile, waterproofing and dampproofing, cast stone, vapor heat, electric light, metal lath. Owners ready for bids on Sunday School.

**Garage and Sales Room**, Bradford, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Star Garage Co., Bradford, Pa. Fireproof, 2 stories, 250x150 feet, composition roof, concrete floors, steam heat, electric light, metal lath, floor hardener. Plans in progress. Owners will take bids on steel this week.

**Residences (10)**, Glenolden, Pa. Architect, private plans. Owners, Home Builders of Pennsylvania, 606 Real Estate Trust Building. Frame and stucco, 2½ stories, 32x34 feet, slate roof, hardwood floors, hot water heat, elevators, tile work. Plans in progress. Owners will take sub-bids in ten days.

**Church, Sunday School and Parsonage**, Lancaster, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Covenant United Brethren Church, Lancaster, Pa. Brick and hollow tile, 1 story and basement, 80x106 feet, slate roof, hardwood floors, hollow tile, waterproofing and dampproofing, plumbing, metal lath, vapor heat, electric light. Architects and owners taking bids due December 20th.

**Office and Warehouse**, Eighteenth and Rudder streets, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owner, W. J. Preston, Harrisburg, Pa. Brick, steel, 2 stories, 50x105 feet, slag roof, concrete floors, waterproofing, dampproofing, electric light, rolled steel sash, floor hardener. Owner taking sub-bids.

**Stores (2), Apartments (2)**, Gettysburg, Pa. Architects, Starr & Johnson, Spooner Building, Harrisburg, Pa. Owner, J. L. Lippy, Gettysburg, Pa. Brick, steel, 3 stories, 38x54 feet, slag roof, pine floors, vapor heat, electric light, tile and marble work. Owner sub-letting.

**Sunday School (add.)**, Camp Hill, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Camp Hill Methodist Episcopal Church, G. Larson, chairman Building Committee, Camp Hill, Pa. Brick, 2 stories, 40x70 feet, built-up roof, composition floors, steam heat, electric light. Architects taking bids due December 10th.

**Church**, New Freedom, Pa. Architects, Hamme & Witman, City Bank Building, York, Pa. Owners, St. John's Lutheran Church,

care of architects. Brick, Indiana limestone, 1 story and basement, 112x75 feet, slag roof, hardwood floors. Architects taking bids.

**Residence**, Academy Manor, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owner, A. G. Eden, 925 North Front street, Harrisburg, Pa. Brick, cinder block, cut stone, stucco, 2 stories, 63x38 feet, hardwood floors, Spanish tile roof, steam heat, electric light, tile and marble work. Architect taking bids.

**Theatre, Store and Hotel**, Carlisle, Pa. Architect, C. J. Lappley, Cotterel-Ebner Building, Harrisburg, Pa. Owners, Belehas & Hemawel, William Penn Hotel, 327 Market street, Harrisburg, Pa. Brick, stone, steel, 3 stories, 60x160 feet, slag roof, hardwood and composition floors, hollow tile, ornamental iron work, iron stairs, tile work, metal lath, steam heat, electric light. Architect taking bids.

**Residences (6)**, 1225-33 Robeson street, Reading, Pa., \$22,700. Architect, private plans. Owner, D. F. Haupt, 612 Court street,

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Reading, Pa. Brick, 2 stories, slag roof, pine floors, hot water heat, electric work. Owner will build.

**Hotel (alts. and add.),** Sixth and Cherry streets, Reading, \$40,000. Architect, private plans. Owner, M. G. Albert, 608 Court street, Reading, Pa. General alterations, electric fixtures, 30 additional rooms. Owner will build.

## Pennsylvania Contracts Awarded

**Residence,** Chestnut Hill, Pa. Architect, Robert Rhodes McGoodwin, 1600 Walnut street, Philadelphia. Owner, Dr. George Woodward, Chestnut Hill, Pa. (Mrs. W. G. Lowe, Jr.). Stone, 2½ stories, slate roof, pine and oak floors, hot water heat, electric light, tile work. Contract awarded John E. Walt, 204 East Willow Grove avenue, Philadelphia.

**Hotel Building,** Green and Northampton streets, Easton, Pa. Architects, Thomas, Martin & Kirkpatrick, Otis Building, Philadelphia. Owners, Easton Hotel Corp., Asher Seor, Northampton Bank, Easton, Pa. Brick, steel, stone, cut stone, reinforced concrete, granite, 7 stories, main, mezzanine and basement, 136x112 feet, slate and Barrett's specification roof, composition, cement, oak floors, hollow tile, elevators, safety treads, painting and glazing, ornamental iron work, iron stairs, floor hardener, bond, kalamein and hollow metal doors, copper skylights, hollow metal sash, tile, marble and terrazzo work, shoring, waterproofing, metal lumber, limestone, bronze work, artificial granite, cinder concrete block, cut cast stone, vacuum cleaning system, mail chutes, ornamental plaster. Contract awarded Moore & Co., Schaff Building, Philadelphia, not yet signed.

**United States Post Office,** Pittston, Pa., \$66,700. Architect, James A. Wetmore, Treasury Department, Washington, D. C. Owners, United States Government, Treasury Department, Washington, D. C. Brick, precast cement stone, steel, limestone, 1 story, 98x76 feet, composition roof, cement and composition floors, hollow tile, safety treads, roof ventilators, plumbing, ornamental iron work, floor hardener, rolling steel sash, steam heat, electric light, granite. Contract awarded to W. L. Morrison Const. Co., Washington, D. C.

**Newspaper Plant,** Scranton, Pa. Architects, Edward H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Scranton Times, Spruce street, Scranton, Pa. Limestone, steel, concrete, 4 or 8 stories, slag roof, cement floors, steam heating, electric lighting. Contract awarded to Dwight P. Robinson Co., 125 East Forty-sixth street, New York.

**Dormitory,** Harrisburg Academy, Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Harrisburg Academy, Dr. Brown, 2900 North Second street, Harrisburg, Pa. Brick, stucco, reinforced concrete, 3 stories and basement, 33x111 feet, slate roof, hardwood and composition floors, cinder block, vapor heat, electric light, metal lath, rolled steel sash. Contract awarded to W. E. Bushey, Lemoyne, Pa.

**Residence,** Harrisburg, Pa. Architects, Johnson & Starr, Spooner Building, Harrisburg, Pa. Owners, Harrisburg Academy, Dr. Brown, 2900 North Second street, Harrisburg, Pa. Brick, stone trim, 2½ stories, 30x50 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to W. E. Bushey, Lemoyne, Pa.

**Rectory,** Pottstown, Pa. Architect, G. C. Freeman, Liberty Bank Building, Reading, Pa. Owners, Holy Trinity Roman Catholic Church, Rev. Aboyovsky, Pottstown, Pa. Brick, 3 stories, 42x32 feet, slate roof, hard-

wood floors, electric work. Contract awarded to I. F. Hull, Pottstown, Pa.

**Residence,** Devon, Pa. Architect, Arthur Brockie, 254 South Fifteenth street, Philadelphia. Owner, Mrs. Louis Audenreed, care of architect. Brick, cut stone, 2½ stories, 66x25 feet, slate, canvas and slag roof, linotile, oak, pine and cement floors, hollow tile, plumbing, metal weather strip, hot water heat, electric light, marble work. Contract awarded Gray Brothers, Rosemont, Pa.

**Residence and Garage,** Rydal, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Frank B. Putt, 1318 Wakefield street, Philadelphia. Stone, 2½ stories, 85x34 feet, shingle roof, oak and pine floors, hot water heat, electric light, tile work, ornamental iron work. Contract awarded A. L. Fretz & Son, Heed Building, Philadelphia.

**Residence (alts. and add.),** Elkins Park, Pa. Architects, Magazine, Eberhard & Harris, 603 Chestnut street, Philadelphia. Owner, Howard A. Loeb, 431 Chestnut street, Philadelphia. Tile work, tin roof, oak and pine floors, plastering, painting and glazing, carpentry and mill work. Contract awarded E. Allen Reeves, Abington, Pa.

**Sleeping Hall,** Malvern, Pa. Architect, private plans. Owners, Catholic Laymen's Retreat Association, J. J. Cabrey, 157 North Fifteenth street. Brick, 3 stories, 60x30 feet, shingle roof, pine floors, electric. Contract awarded Henry Johnson, Bailey Building, Philadelphia.

**Manufacturing Plant,** Robeson and Weiser streets, Reading, Pa. Architect, private plans. Owners, Parrish Manufacturing Co., C. A. Dana, president, Seventh and Chestnut streets, Reading, Pa. Brick, steel, concrete, 1 story, 200x600 feet, 40x80 feet, slag roof, cement floors, steam heat, electric light, rolled steel sash. Contract awarded to L. H. Focht & Sons, Baer Building, Reading, Pa.

**Residence and Garage,** Narberth, Pa. Architect, Carl M. Heffer, Jr., 225 South Sixth street, Philadelphia. Owner, R. L. Miller, care of architect. Cinder block, stuccoed, frame, 2½ stories, 25x30 feet, 1 story, 12x18 feet, hot water heat, electric light, tile work, shingle roof, hardwood, pine and cement. Contract awarded Pasquale Beccia, Lansdowne, Pa.

**Bank (add.),** Ardmore, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owners, Merion Title & Trust Co., Ardmore, Pa. Indiana limestone, steel, 2 stories add., 46x200 feet, slag roof, concrete cork floors, steam heat, electric light, metal lath, marble work, rolling steel sash, elevator, iron stairs, iron work. Contract awarded F. H. Mahon, Ardmore, Pa.

**Store and Apartment,** Brookline, Pa. Architect, Lloyd Gross, Nineteenth and Hamilton, Philadelphia. Owner, G. McGahan, Manoa road and Haverford avenue, Brookline, Manoa, Pa. Contract awarded J. Allen, Woodbury, N. J.

**Apartment Building, Dining Hall and Dormitory Building,** Holtwood, Pa., \$64,000. Architect, Lucius R. White, American Casualty Tower, Baltimore, Md. Owners, Pennsylvania Water & Power Company, Baltimore, Md. Contract awarded to L. W. Wohlsen, Brene-man Building, Lancaster, Pa.

## New Jersey Construction News

**Buildings,** Ocean City, N. J. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Abbott's Alderney Dairies, Thirty-first and Chestnut streets, Philadelphia. Brick, steel, office, 1 story, 69x27 feet, garage, 2 stories, 65x54 feet, stable, 1 story, 65x30 feet, shed, 1 story, 20x30 feet, slag roof, cement and pine floors, rolling steel

sash, architectural terra cotta. Architects taking bids due December 3rd.

**High School,** Delanco, N. J. Architect, H. Ziegler, 17 Washington street, Riverside, N. J. Owners, School District of Beverly Township, W. C. Pratt, Clerk, Delanco, N. J. Brick, 1 story, 104x240 feet (heating, electric work and plumbing reserved). Owners ready for bids due December 22nd.

**Church,** Pleasantville, N. J. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City. Owners, First Baptist Church, Pleasantville, N. J. Stone, 1 story and basement, 48x100 feet. Plans in progress.

**Apartment and Store,** Florida and Atlantic avenues, Atlantic City. Architect, W. S. Hewitt, Guarantee Trust Building, Atlantic City, N. J. Owner, M. D. Augustine, on premises. Brick, steel, 3 stories, 26x62 feet, slag roof, pine floors, metal ceilings, iron stairs, plate glass, tile work, metal lath, hot water heat, electric light. Plans in progress.

**Apartment Building,** North Tennessee avenue, Atlantic City, N. J. Architect, Frank Larson, 10 South Tennessee avenue, Atlantic City. Owners, Gilbert T. Harris Corp., care of architect. Brick and steel, 4 stories, 75x75 feet, slag roof, pine floors, electric light. Architect taking sub-bids.

**Apartment,** North New York avenue, Atlantic City, N. J. Architect, Frank Larson, 10 South Tennessee avenue, Atlantic City. Owner, Mr. Cozart, care of architect. Brick, 2 and 3 stories, 25x60 feet, 25x70 feet, slag roof, pine floors, electric light, tile work. Architect taking sub-bids.

**Apartments (6),** 19 South Massachusetts avenue, Atlantic City, N. J. Architect, Benjamin Brown, Guarantee Trust Building, Atlantic City. Owner, I. Gulkin, 700 North Ohio avenue, Atlantic City, N. J. Brick, steel, 3 stories, 16x100 feet, slag roof, hardwood floors, hollow tile, roof ventilators, ornamental iron work, iron stairs, tile and marble work, metal lath, hot water heat, electric light. Architect taking sub-bids.

**Residence,** Margate Park, N. J. Architect, C. H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owner, Captain Cranston, 110 Lincoln avenue, Atlantic City. Cinder block, 2½ stories, 22x36 feet, asphalt shingle roof, pine floors, hot water heat, electric light, tile work. Architect taking bids due December 10th.

**Residence,** Margate Park, N. J. Architect, C. H. Adams, Chelsea Bank Building, Atlantic City, N. J. Owner, Charles Rosevear, 3603 Winchester avenue, Atlantic City. Cinder block, 2½ stories, 22x36 feet, asphalt shingle roof, pine floors, hot water heat, electric light, tile work. Architect taking bids due December 10th.

**Apartment Building,** 3508 Ventnor avenue, Atlantic City. Architect, Frank Larson, 10 South Tennessee avenue, Atlantic City. Owner, Benj. Tolin, 3509 Ventnor avenue, Atlantic City. Limestone, brick, 5 stories, 40x80 feet, slag roof, hardwood floors, elevators, waterproofing, dampproofing, hot water heat, electric light, tile work, ornamental iron work. Architect will take sub-bids and owner will take general bids.

**Residence,** 843 Lois avenue, Camden, N. J., \$4,500. Architect, private plans. Owner, William Townsend, 2929 Westfield avenue, Camden, N. J. Frame, 2½ stories, 24x34 feet, slate surface shingle roof, hardwood and pine floors, warm air heat, electric light. Owner will build.

**Residence,** 852 North Thirtieth street, Camden, N. J., \$4,500. Architect, private plans. Owner, William Townsend, 2929 Westfield avenue, Camden, N. J. Frame, 1½ stories, 24x34 feet, slate surface shingle roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

**Building,** head of Pine street, Camden, N. J., \$2,500. Architect, private plans. Owners,



Meehling Brothers, on premises. Concrete block, 1 story, 49 feet 6 inches x 70 feet, slag roof, electric work. Owners will build.

**J. Henchman Public School**, Woodland Manor, Delaware Township, N. J. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owners, Board of Education, Camden County, N. J. Brick, cast stone, steel, cut stone, 2 stories and basement, 107x22 feet (plumbing, heating, electric, ventilating separate bids), John Mansville roof, maple floors, hollow tile, damp-proofing, metal lath, kalamein doors, bond, ornamental iron work, wrought iron pipe, painting and glazing. Architect taking bids due December 4th, 9 P. M.

**Convent Building**, Atlantic City, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, St. Nicholas' Roman Catholic Church, Rev. J. T. Sheehan, on premises. Low bidder: John McShain, 1713 Sansom street, Philadelphia.

## New Jersey

### Contracts Awarded

**Community House**, Moorestown, N. J. Architects, Karcher & Smith, 34 South Seventeenth street, Philadelphia. Owners, Moorestown Community House, E. K. Johnson, Moorestown, N. J. Brick, cut stone, steel, 2 stories and basement, 120x60 feet, wing 75x45 feet, slate roof, maple and cement floors, hollow tile, plumbing, architectural terra cotta, metal casement sash, tile work, steam heat, electric light, dumb waiter, wrought iron pipe. Contract awarded Moore & Co., Schaff Building, Philadelphia, not yet signed.

**Private Hospital**, McClellan avenue, West of Broad street, Pitman, N. J. Architect, C. E. Schermerhorn, 213 South Fifth street, Philadelphia. Owner, Dr. H. Bailey Chalfant, Pitman, N. J. Cinder block, stuccoed, 1 story and basement, 42x67 feet, slag roof, hardwood and tile floors, plumbing, electric light, hot water heat, hospital equipment. Contract awarded to Mr. A. S. Denny, Pitman, N. J.

**Stores (5), Apartments (21)**, Boardwalk and Seaside avenue, Atlantic City, N. J. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Brick, 3 stories and basement, 65x80 feet, slag roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded Morrell Bowen, Atlantic City, N. J.

**Residence**, 22 Stewart avenue, Camden, N. J., \$4,500. Architect, private plans. Owner, M. E. Gleason, 25 North Twenty-first street, Camden, N. J. Brick, 2 stories, 16x36 feet, slag roof, hardwood and pine floors, warm air heating, electric lighting. Contract awarded to William Dreese, 330 North Tenth street, Camden, N. J.

**Residences (2)**, 844-46 Lois avenue, Camden, N. J., \$4,000 each. Architect, private plans. Owners, James Wagner and Harry Lee, 553 Stevens street, Camden, N. J. Frame, 1½ stories, 26x32 feet, slate surface roof, hardwood and pine floors, warm air heat, electric light. Contract awarded to Joseph Munger, 1180 Bergen avenue, Camden, N. J.

**Building (add.)**, 350 Newton avenue, Camden, N. J., \$2,800. Architect, private plans. Owners, Public Service Railway Co., 350 Newton avenue, Camden, N. J. Brick, 1 story, 11 feet 8 inches x 57 feet, slag roof, steam heat, electric light. Contract awarded to Bennett-McLaughlin Co., 3260 Ludlow street, Philadelphia.

**Garages (8)**, Southwest Corner Locust and Liberty streets, Camden, N. J., \$2,400. Architect, private plans. Owner, W. H. Branin, 211 Kaighn avenue, Camden, N. J. Concrete block, 1 story, 8 feet 6 inches x 16 feet, slag roof, cement floors. Contract awarded to A. D. Stewart, 437 Winslow street, Camden, N. J.

**Foot Tunnel**, Oaklyn, N. J. Owners, Atlantic City Railroad, care of Philadelphia and Reading Railroad, Twelfth and Market streets, Philadelphia. Contracts awarded: Excavation and masonry, Craven Co., care of owner. Waterproofing, Martin & Breen, Inc., 1613 Sansom street, Philadelphia.

### Miscellaneous Contracts Awarded

**Residence**, Highpoint, Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington, Del. Owner, Samuel Handler, care of architect. Stone, 2½ stories, 40x49 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to Michael Capaldo, 3508 Market street, Wilmington, Del.

**Chapel**, Wilmington, Del. Architects, Gleason, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owners, St. Anthony De Padua, Rev. J. Francis Tucker, Wilmington. Frame, 1 story, 45x60 feet, slag roof, pine floors, steam heat, electric light. Contract awarded Joyce & Kerrigan, Wilmington, Del.

**Church Building (superstructure)**, Thirtieth avenue, between Fifty-seventh and Fifty-eighth, Brooklyn, N. Y. Architect, E. G. Perrot, 1211 Arch street, Philadelphia. Owners, St. Francis De Chantel, Brooklyn, N. Y. Brick, 61x157 feet, heating and lighting extensions, copper roof, wood floors. Contract awarded P. J. Hoey Co., 166 Montague street, Brooklyn, N. Y.

(Continued from Page 772)

of the constructor have been fairly well covered in the remarks. His organization and plant should be suitable for the job and he should not be so loaded up with work that any job cannot be given proper attention by himself or his experienced assistants. His organization should be sufficient to satisfactorily cover a job and should possess the necessary team work to push it to completion.

He should have a good cost system so as to insure himself of reasonable prospects of a fair profit and so that the owner might, if necessary, obtain information that may seem important.

A constructor noted for fairness to his men will have good men and keep them, which is to his advantage and theirs, and the engineer's and the owner's.

The constructor should study the plans not only for his own uses, but also with a view of catching mistakes, for engineers are only human and sometimes make them.

There are some things which the constructor should not be called upon to be responsible for.

There are some clauses in common use in engineering specifications which disclaim responsibility on the part of the owner or engineer for information imparted to the constructor. In some cases these clauses apply to subsoil exploration made under the direction of the engineer or owner, and the constructor should not be expected to doubt their reliability.

Another clause applies to the checking of sub-contractor's details by the de-

signer. It has happened that the detailed design was wrong and not corrected in the checking. The constructor had nothing to do with the checking, but a literal reading of the contract and specifications would put the responsibility on him.

Such and similar clauses should not be written into the specifications and contract. The courts have held in several cases that they are contrary to common sense and are invalid.

#### *About the Workman*

Much of the success of a job depends on the skill, industry, and pride in their work of the men on the job. It is probably true that in the past a greater proportion of the men in the industry had this pride in their work than have it now. This is unfortunate, for it detracts from the quality and amount of work accomplished, as well as from the happiness of the men in their work.

The lack of pride in their work, of a part of the men at least, is probably due to the fact that they have never been given proper training in which they could acquire skill and learn the pleasure of being able to do something well.

Speaking in broad terms, the industry has been without an operative apprentice system for years, and as a result many men have come into the crafts without an opportunity to acquire the thorough training and skill which would make their work a pleasure instead of something to be avoided, as some seem to regard it.

A good system of apprentice training in actual operation and producing skilled workmen throughout the country is a necessity. The details of method or uniformity of methods in various parts of the country are not so important as it is that the training shall be thorough, shall produce a skilled workman who will have pride in the quality and quantity of work which he does and in his ability to do it.

A part of the responsibility for the lack of a properly operating apprentice system must be placed on organized labor, but a greater part of it must be placed on the constructors. The engineers and the owners must also bear their share of this responsibility. It is time for all the elements to get together and meet this crying need of the industry.

The important things which labor can contribute to the industry are the abolition of restrictive rules which prohibit a workman from doing something outside of the arbitrary limits now fixed, and the rules which limit the output of a man, active assistance in the establishment of an apprentice system, and what has so often been said as to be almost commonplace, but still of great importance—"an honest day's work for a good day's pay."



### *The Materials Group*

From 1914 to the depression of 1922, material prices were higher, and during the peak much higher in proportion, than labor rates, indicating a pyramiding of prices or profits. In 1923 they were again higher relatively than labor. They are now about on the same basis as labor.

The materials group can be of assistance in stabilizing prices, so far as possible, and keeping them as low as is consistent with the price of labor.

They can reduce the cost and reduce delay, which means increased cost, by standardization of products, thus making it easier for the constructor to fit in the various elements of construction. A great variety of product always means increased cost.

They can assist in the delivery of materials promptly and in the order in which they are needed.

Statistics seem to show that the materials group can do as much or more than labor towards stabilization of costs.

### *The General Situation*

Engineering construction is one of the principal industries and is too complex to be treated in the same manner as the buying and selling of goods, where the finished product may be examined before the purchase. The best results will be assured only when the work of designing and construction is placed with men of skill, competence and experience.

Even when work is so placed, the financial risks are considerable, particularly in late years when construction costs have varied so widely. Prior to the war, costs did not vary more than a few per cent. from year to year, and estimates could be expected to closely approximate actual costs. During and since the war, the construction industry has been subject to wide fluctuations in costs, which has greatly increased the risk to everyone concerned. A manufacturing building which would have cost \$88,000 in 1908 and \$100,000 in 1914, would have cost \$280,000 in 1920, \$160,000 in 1921, and about \$210,000 today.

This is an indication of the greatly increased risk introduced into the industry by such wide fluctuations in cost in these short periods.

These changes were induced by changes in the general business situation and are superimposed on the usual risks incident to all engineering construction.

Bids on complete plans and definite specifications frequently vary now as much as 40%, whereas, prior to the war, a variation of less than 10% was not uncommon.

One of the causes of the great fluctuation in prices is due to variation in the amount of work going on at a given time. During the war all other kinds of construction were curtailed on account of

war work, and now, for a period of a few years, the accumulated shortage of the war period is being overcome, together with the normal yearly amount. When this shortage has been practically made good, prices may come down and be more stabilized.

If too much construction is attempted and costs advance, the Owner is threatened with excessive costs and with having to mark off a portion of such cost later. When the inevitable reaction comes, all the other elements are threatened with a slacking off of business and unemployment occurs. An example of this occurred in the slump after the 1920 boom. During a period of reaction all the elements suffer from less business and unemployment and by loss of profits and savings which may have been accumulated during good times.

Everyone would be better off and would be able to conduct his business more safely if the industry could be more stabilized so as to get away from these wide swings in cost and volume of work.

### *A Serious Handicap*

One of the serious handicaps of the construction industry is the seasonal peaks which occur in volume of work. These same peaks greatly aggravate the problems in regard to apprentice training. In the years before the war, the higher cost of winter over summer work got the whole industry into the habit of avoiding winter work where possible. Some surveys have indicated that in northern climates at any rate this seasonal variation causes the workmen to be out of employment about a quarter of the time. For some kinds of construction it is more important to avoid the season of peak employment in the industry than it is to avoid winter weather. Many of the repairs and upkeep jobs can be done independent of the season. It will add materially in flattening the seasonal peaks in employment, and in material distribution, if as much of this work as possible is transferred to the off-peak seasons for the different crafts.

It is the duty of each of the various elements to work for a more uniform volume of construction.

The responsibilities each to the other of the various elements are the same as they are among all of the people with whom we maintain contact in everyday life, and will be met if we respect our own rights and those of the other fellow.

The professional men have attempted to define these rights in codes of ethics for their different groups. General business has not adopted written codes except in the form of laws, statutes and regulations which express the minimum standard of conduct which will be permitted. Business men of integrity have adopted for themselves much higher standards than those established by law.

The man who intends to live just within the law is not highly regarded.

### *A Deed of Service*

If the owner could be made to see the importance of deferring construction which is not absolutely needed to a period when the building program is fairly normal or low, he would be serving himself and the public well.

The engineer should be posted as to the amount of construction under way and proposed and be in a position to advise the owners as to the proper time to let his contract.

—The Constructor.

## Proposal

### ADVERTISEMENT FOR MECHANICAL EQUIPMENT FOR THE CAMDEN COUNTY CENTRAL POWER PLANT

Public notice is hereby given that sealed proposal for furnishing labor and material to construct, install and equip all apparatus in the Central Power Plant on grounds known as the County Farm near Asyla, Camden County, New Jersey, for the County of Camden, will be received and opened by the chairman of the committee on Central Plant in the meeting room of the Board of Chosen Freeholders, in the Court House, Camden, New Jersey, on the 9th day of December, 1924, at 2 P. M.

The work for which proposals are hereby invited, and for which bids will be received, includes all labor and material necessary to properly construct and install the following: boiler feed and condensate pumps, general power plant piping, valves, fittings, etc.

The right is reserved to accept or reject any or all proposals or to waive any informality in any proposal presented. All bids must be in sealed envelopes endorsed "Proposal for Central Plant" and stating the branch of work covered. (No bid will be considered unless accompanied by a certified check to the order of the County of Camden, or cash in the amount of 10% of the bid, the certified check or cash to accompany the bids. In case the bid is less than \$5,000.00, said check or cash must not be less than \$500.00), and also a statement from a Surety Company that it will provide the contractor with a bond, binding the bidder to execute a contract if awarded to him. The terms of the proposal with surety required are fixed by the specifications.

Copies of the drawings and specifications will be on file in the office of the Engineer for the purpose of estimating. A limited number of copies of the plans and specifications will be loaned to prospective bidders on deposit of a certified check to the Engineer's order for fifty dollars (\$50.00). The plans and specifications may be obtained by application to Frank H. Schaefer, Engineer, 306 Temple Building, Camden, New Jersey.

Check will be returned at time of returning plans and specifications, but should they not be returned, the deposit may become forfeited.

County of Camden a municipal corporation of New Jersey by the Committee of the Board of Chosen Freeholders on Central Plant.

ELMER E. STAFFORD,  
Chairman.

FRANK H. SCHAEFER,  
Engineer.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK.

Cox, Janeway, & Co. Real Estate Trust Bldg., Phila.

## BRICK (Face, Common, Paving).

Holloway Corporation....105-107 S. Third St., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.  
Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE (Insulation and Covering)

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

Lee T. Ward Co. ....617 Filbert St., Phila.

## CORK FLOORING

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

## CUT STONE.

Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Barnett Bingswanger.....829 N. 3rd St., Phila.  
Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## ELECTRICAL SUPPLIES.

Cass, Philip, & Co. ....40 N. 5th St., Phila.

## EXCAVATING.

McCarriek Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.  
Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ....Erie Ave. and "D" St., Phila.  
Reisbord, Wolf.....4437-43 Ludlow St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

## FLOOR HARDENER.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## FLOOR PLATES.

Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.  
Borden Stove Co. ....1026 Arch St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## HARDWOOD FLOORS.

Wood, L. H. ....3312 Lancaster Ave., Phila.

## HAULING CONTRACTORS.

Dooley, John J. ....39 S. 19th St., Phila.  
McCarriek Bros. ....3138 N. 24th St., Phila.  
Frank A. Stafford.....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.  
Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.

## HOLLOW METAL WINDOWS.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.  
Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## HOLLOW TILE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.  
Cox, Janeway, & Co. Real Estate Trust Bldg., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## HOT WATER GENERATORS.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## HOT WATER STORAGE SYSTEMS

Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

## INSURANCE.

Insurance Co. of North America,  
3rd and Walnut Sts., Phila.  
Patton, Edward W. ....400 Lincoln Bldg., Phila.  
Philadelphia Fire & Marine Ins. Co.,  
1711 Chestnut St., Phila.

## IRON AND STEEL BARS AND PLATES.

Lukens, Lewis N. ....19th and Washington Ave., Phila.  
Potts, Horace T., & Co. ....Erie Ave. and D St., Phila.  
Reisbord, Wolf.....4437-43 Ludlow St., Phila.  
Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

## KITCHEN CABINETS.

Housel, J. W., Co.,  
S. E. Cor. 21st and Market Sts., Phila.

## LEVELS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## LIGHT IRON CONSTRUCTION.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

## LINOTILE.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## LUMBER.

Felin, Chas. F., & Co.,  
Old York Road, above Butler St., Phila.  
Gillingham Co. ...Norris and Richmond Sts., Phila.  
Ketcham, Howard.....3rd and Girard Ave., Phila.  
Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## MARBLE AND MOSAIC.

Belfi Bros. Co. ....1923 Market St., Phila.  
Cosenza Albert,  
N. E. Cor. 16th and Ellsworth Sts., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.  
Penna. Tile & Mosaic Co. ....1637 Wood St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

## MASON BUILDER.

D'Lauro, John .....55 E. Mermaid Lane, Phila.

## MASTIC FLOORING.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## METAL LATH.

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

## METERS.

Phila. Meter Co. ....Real Estate Trust Bldg., Phila.

## MILLWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.  
Thos. Sipple & Son,  
Quarry St. and B. & O. R. R., Darby, Pa.

## ORNAMENTAL IRON.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.  
Reisbord, Wolf.....4437-43 Ludlow St., Phila.

## PAINTS AND VARNISHES.

Barnett Bingswanger.....829 N. 3rd St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## PAVING BRICKS.

Ketcham, O. W. ....121 N. 18th St., Phila.

## PHOTOSTATS.

Weber, F., Co. ....125 S. 12th St., Phila.

## PLUMBING FIXTURES.

Fleck Bros. Co. ....44 N. 5th St., Phila.

## PORCH ENCLOSURES.

Malia, Thomas.....226 W. Mentor St., Phila.

## RADIATOR CABINETS.

Radiator Cabinet Co. ....Drexel Bldg., Phila.

## RANGES.

Borden Stove Co. ....1026 Arch St., Phila.  
Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REFRIGERATORS.

Borden Stove Co. ....1026 Arch St., Phila.  
Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## REINFORCING BARS.

Lukens, Lewis N. ....19th and Washington Ave., Phila.  
H. T. Potts & Co. ....Erie Ave. and "D" St., Phila.

## ROAD MACHINERY.

Lee T. Ward Co. ....617 Filbert St., Phila.

## ROOFING

Warren-Ehret Co. ....253 S. 15th St., Phila.

## ROOFING MATERIALS.

Warren-Ehret Co. ....253 S. 15th St., Phila.

## ROOFING SLATE.

Chapman Slate Co. ....Bethlehem, Pa

## ROOFING TILE.

Ketcham, O. W. ....121 N. 18th St., Phila.

## SAFETY GUARDS.

Cyclone Fence Co. ....20 S. 15th St., Phila.  
Potts, Horace T., & Co. ....Erie Ave. and D St., Phila.

## SAND AND GRAVEL.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.  
West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## SCAFFOLDING.

Patent Scaffolding Co. ....2835 Bridge St., Phila.

## SCREENS.

Malia, Thomas.....226 W. Mentor St., Phila.

## SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## SHEET METAL AND ROOFING.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.  
Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## SHEETROCK (Wall Board).

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.  
Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## SHORING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## SOUNDINGS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## STEAM SHOVEL CONTRACTORS.

McCarriek Bros. ....3138 N. 24th St., Phila.  
McCool, John...Broad St. and Passyunk Ave., Phila.  
McDevitt, John F. ....1403 N. 20th St., Phila.  
Morrissey Bros. ....4345 N. 7th St., Phila.

## STEAM SPECIALTIES.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## STEEL DOORS

Bur-Vett Mfg. Co. ....929 Chestnut St., Phila.

## STEEL SASH.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

## STONE.

St. Martin's Building Stone, 55 E. Mermaid Lane.

## STUCCO.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## TERRA COTTA (Architectural).

Conkling-Armstrong Terra Cotta Co.,  
Denekla Bldg., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## TERRA COTTA SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## TILE AND TERRAZZO WORK.

Belfi Bros. Co. ....1923 Market St., Phila.  
Italian Marble Mosaic Co. ....433 Spruce St., Phila.  
Carroll, Thos. A. ....2315 Walnut St., Phila.  
Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.  
Roman Mosaic & Tile Co. ....435 Green St., Phila.

## TRANSITS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## UNDERPINNING.

Stevens & Weed, Inc. ....3036 Chestnut St., Phila.

## WALL BOARD, COMPO BOARD

Ketcham, Howard .....3rd and Girard Ave., Phila.

## WALL BOARD (Sheetrock).

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.  
Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## WALL COPING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## WATER HEATERS.

Borden Stove Co. ....1026 Arch St., Phila.  
Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.  
Fleck Bros. ....44 N. 5th St., Phila.

## WATER PAINT.

Southern, Wm. B. ....1522 Bainbridge St., Phila.

## WATERPROOFING.

Anti-Hydro Waterproofing Co., 24th and Parkway.  
Concrete Waterproof Paint Co. ....829 N. 3rd St., Phila.  
Rulon, Ralph V. ....239 N. 30th St., Phila.  
Truscon Laboratories.....1505 Race St., Phila.

## WEATHERSTRIPPING (Metal).

Malia, Thomas.....226 W. Mentor St., Phila.

## WHITENESSING.

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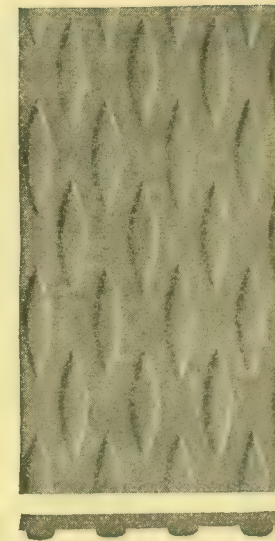


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# Builders' Guide

Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 50  
December 10, 1924

Issued Weekly in the Interests of Architects, Structural Engineers, Contractors  
and the Material and Equipment Trades

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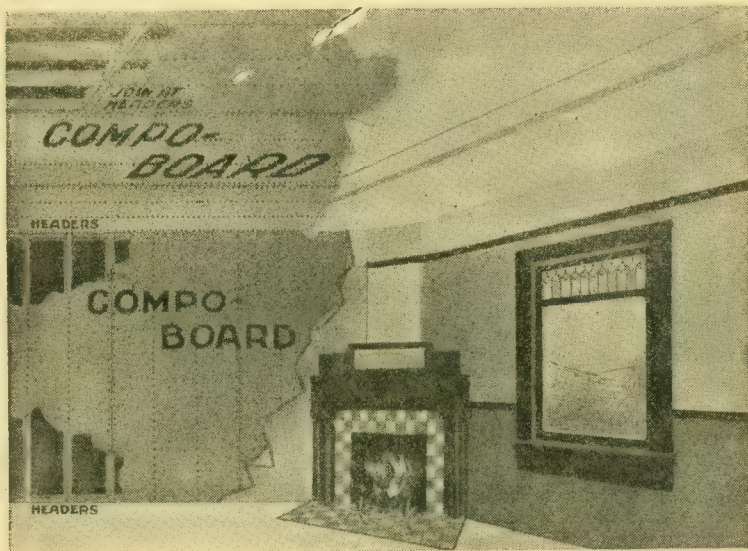
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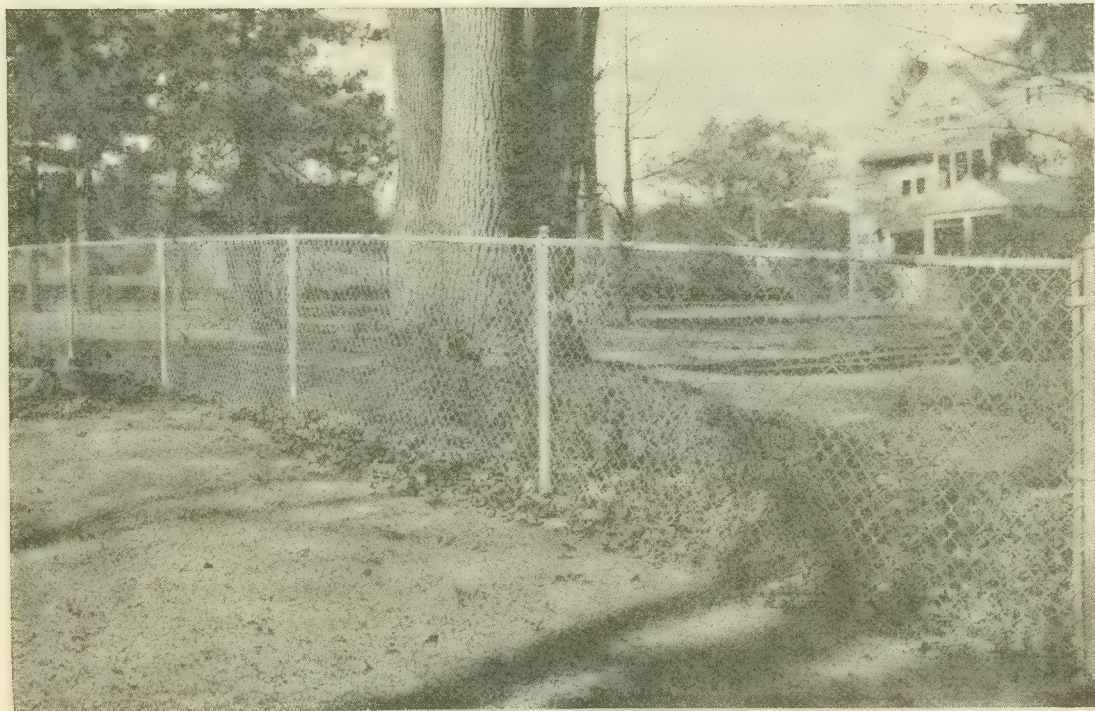
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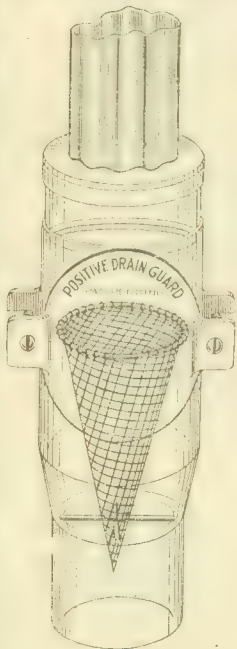
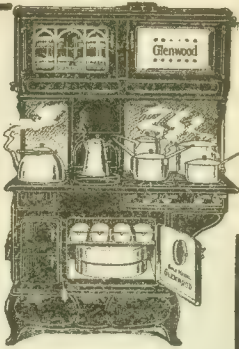


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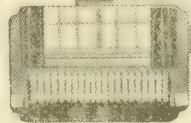
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural

VOLUME XXXIX

Number 50

Engineering and the Building Trades

PHILADELPHIA

December 10, 1924

## BUILDERS' GUIDE

OFFICES, PERRY BUILDING (Suite 824-825-826)  
Sixteenth and Chestnut Sts., Philadelphia, Pa.

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## As The Editor Sees It



### The Selection of General Contractors and Sub-Contractors

*Issued by the Philadelphia Building Congress for the Information of Owners, Architects and Engineers, in the interest of the Building Industry, and the efficient, economical and workmanlike execution of Contracts*

*This Statement is identical in wording with that of the Boston Building Congress, issue of April, 1924, and has been formally adopted by the Executive Committee of the Philadelphia Building Congress*

#### Desirable Procedure

In the interest of the building industry and the efficient, economical, and workmanlike execution of contracts, the Philadelphia Building Congress urges upon Owners, Architects and Engineers, the adoption of the following practices in securing estimates and awarding contracts.

(1) Do not ask for competitive approximate estimates unless adequately paid for.

(2) Furnish complete, clear and accurate plans and specifications when asking for bids.

(3) Invite only a limited number of Contractors to compete, six generally providing adequate competition.

(4) Invite for a given piece of work Contractors of substantially equal ability and standing.

(5) Invite only Contractors to whom you are willing to award the contract.

(6) Having invited bids as provided above, award the work to the low bidder, unless other considerations than price are

to enter into the award, in which case make this fact perfectly clear in the notice to bidders.

(7) Where the time for the completion of the work is important, name a definite time, on which all bids shall be based. Do not invite bidders to name their own time limits as well as their prices.

(8) Eliminate as far as possible Unit Prices, Alternate Estimates and Secondary Estimates when asking for bids.

(9) Do not award a General Contract without determining in advance the Sub-Contractors to be used on the principal portions of the work.

(10) In order to determine Sub-Contractors in advance follow one of the following methods or a combination: (a) provide that the General Bidders shall name the principal Sub-Contractors they intend to use in their proposals; (b) submit to the General Bidders a list of approved Contractors for such important sub-contracts; (c) secure principal sub-bids and send a list of designated

names and amounts to all General Bidders to be incorporated in their bids.

(11) Where work is covered by allowances to be adjusted after the General Contract has been awarded, reduce such items to the practicable minimum, and do not include under "Allowances" Sub-Contracts of major importance.

(12) In selecting bidders for designated bids, or allowances, or for separate contracts, give due consideration to their labor policy, according to the policy adopted for the General Contract.

In explanation of the foregoing statement the Philadelphia Building Congress submits for the careful consideration of Owners, Architects and Engineers, the following comments on current practices in securing estimates and awarding lump sum contracts for private building operations. Contracts for public work involve other considerations and are not referred to in these comments.

#### (1) Approximate Estimates

Before actual bids are asked for, approximate estimates are frequently desired

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ed. A Contractor's detailed knowledge of actual costs is of value to supplement and check an Architect's or Engineer's judgment.

In asking for approximate estimates from Contractors, for the preliminary guidance of an Owner, the cost of making up such an estimate should be borne in mind, and if excessive should be paid for. A single responsible Contractor, familiar with the character of work involved and with the standard of work desired by the Architect or Engineer, can prepare an estimate which will have real value to the Owner.

The Architect or Engineer should give the Contractor as complete information, plans and instructions as possible. Approximate Estimates which are carelessly made are misleading to the Owner at the time when he most needs accurate information, and will react as unfavorably on the Architect, Engineer and Contractor as they may be annoying and expensive to the Owner.

#### (2) Plans, Specifications and Forms of Contract

In asking for definite bids, complete plans and specifications are of course a first essential. Incompleteness, inaccuracy or conflicts in the drawings and specifications increase the cost of preparing the estimates and generally also add to the amount of the bids unless, through confusion or error, they result in mistakes that improperly reduce the estimate below a reasonable figure. In either case, the result is unfortunate.

The method of handling a contract differs with the practice of the Architect or Engineer, or with the special conditions of a particular building operation, being generally one of the following:

(1) A General Contract, including all trades.

(2) A General Contract, including all trades except Plumbing, Electric, Elevators and Heating.

(3) No General Contract, each trade being let separately and handled through the office of the Architect or Engineer.

The last method is seldom used in this part of the country, though it is the rule in some cities.

In either of the first two methods there will be a large number of sub-trades handled by the General Contractor, and the method by which estimates are secured and General Contractors and Sub-Contractors selected for the work is important to all concerned, no less to the owner and his Architect or Engineer, than to the Contractors themselves.

#### (3) Limited Number of Bidders

The cost of estimating is an overhead charge on the industry which has to be paid and it enters into the estimates for all buildings. It is desirable to reduce it

to a minimum, and the first step is to limit the number of bidders invited. Five or six bidders will give the ample competition which the Owner desires to assure himself of the reasonableness of the Contract price. To invite ten or fifteen merely adds to the cost of estimating without adequate return.

#### (4) Selection of General Bidders

The careful selection of the General Contractors to be invited to figure is of the first importance and it must be recognized that all grades of ability are to be found in the list from which one must choose. It is at this point that the Owner, through his Architect or Engineer, must determine whether price alone shall control the selection or whether and to what degree quality of performance is desired.

Assuming, for example, five grades of ability, it is undesirable as well as futile to ask Contractors of Grade A to figure in competition with Contractors of Grade E. This is too frequently done. If the A man becomes aware of it he generally either refuses to figure or submits a "safe" bid so high as to put him out of consideration. In either case, the Owner loses the competition which he seeks, and the A man, if he consents to bid, wastes his time.

The character of work expected should be determined and a limited group of bidders invited who are as nearly as possible of equivalent ability, and of the general calibre desired.

In selecting any but thoroughly skilled and efficient Contractors, it must be acknowledged in advance that something less than first quality work is expected and must be accepted. This applies as well to the administrative functions of the General Contractor as it does to the craftsmanship of the mechanics whom he and his Sub-Contractors employ. You cannot secure a grade of work higher than the ability of the man who performs it.

#### (5) Pacemakers

Sometimes a group of high grade Contractors are invited together with one of a lower grade, who is looked upon as a sort of "pacemaker." This is an undesirable and unreasonable practice. No one should be invited to bid to whom the Owner is unwilling to award the work. When a "pacemaker" is invited, either his time or that of the other bidders is being wasted.

#### (6) Award to Low Bidder Unless Otherwise Specially Provided

Having invited a selected group of substantially equal ability, to anyone of whom an award would be satisfactory, then under normal conditions, the Contract should be awarded to the low bid-

(Continued on page 798)

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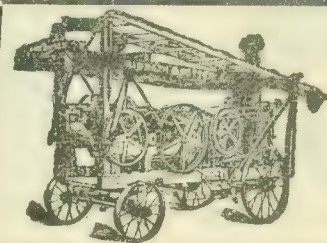
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CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Factory (add.)**, site not yet selected, Philadelphia. Architect, Gabriel B. Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Brick, slag roof, steam heat. Plans in progress.

**Warehouse**, Pike and D street, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, A. N. Taylor Co., 410-12 Commerce street, Philadelphia. Reinforced concrete and steel, 2 stories and basement. Sketches drawn. Plans about to be started.

**Office (alts.)**, Allegheny and Boudinot avenue, Philadelphia. Architect, Eugene A. Stopper, 10 South Eighteenth street, Philadelphia. Owners, Concordia Silk Mills, on premises. Interior alterations. Plans in progress.

**Convent**, Third and Wharton, Philadelphia. Architect, B. Schulman, 1722 Arch street, Philadelphia. Owners, St. Cassmir's Church, Rev. J. J. Kaulakis, 324 Wharton, Philadelphia. Brick, 3 stories, 45x150 feet, slag roof, hardwood and magnesite floors, hot water heat, electric light, tile work, oil burning equipment. Plans about completed.

**Store and Rooming House**, Northeast Corner Seventeenth and South streets, Philadelphia. Architect, E. B. Medoff, Fox Building, Philadelphia. Owners, Louis Goldberg, Seventeenth and South streets, Philadelphia. Brick, 3 stories, 45x60 feet, slag roof, pine floors, hot water heat, electric light, metal bulks. Architect ready for bids in a few days.

**Mill Creek Playground**, Forty-seventh and Aspen streets, Philadelphia, \$14,000. Shelter building. Belfield Playground, Twenty-first and Chew streets, \$16,300, grading, surfacing, resurfacing 2 sections, cement walks to old buildings. Owners, Department of Public Welfare, Bureau of Recreation, City Hall. Plans completed. Will be ready for bids in a few days.

**High School (Junior)**, Fifty-ninth and Lancaster street, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, reinforced concrete, cut stone, steel, 5 stories, basement and sub-basement, 317x222 feet (plumbing, heating, electric, elevators separate), gypsum tile, composition tile roof, cement, pine and oak floors, hollow tile, safety treads, waterproofing and damp-

proofing, ornamental iron work, floor hardener, bond, hollow metal doors, rolling steel sash and skylight, tile and marble work, metal lath, cold water painting. Owners taking bids due December 17th.

**Residences (53)**, Smylie avenue and Roosevelt Boulevard, Philadelphia. Architect, Charles F. Schaef, 11 South Sixteenth street, Philadelphia. Owners, H. Dinerman & M. Fineman, 5421 More street, Philadelphia. Brick, 2 stories, 16x66 feet, tile and slag roof, hardwood floors, hot water heat, electric light, metal lath, tile work, cement work, garages in basement. Owners ready for sub-bids.

**Building**, Sixty-eighth and Upland streets, Philadelphia. Architect, Edgar A. Wightman, Bankers' Trust Building, Philadelphia. Owners, Simplex Valve & Meter Co., 1112 North Broad street, Philadelphia. Brick, cut stone, steel, 1 story, 161x80 feet (heating, plumbing, electric reserved), hollow tile, waterproofing, ornamental iron work, bond, rolling steel sash, bluestone. Architect taking bids due December 16th at 10 A. M.

**Office and Garage**, Northeast Corner Twelfth and Locust streets, Philadelphia. Architect, A. H. Mueller, Ninth and Walnut streets, Philadelphia. Owner, L. Kolsky, Ninth and Walnut Streets, Philadelphia. Limestone, terra cotta, 2 stories, 40x100 feet, 1 story, 75x100 feet, slag roof, maple floors, cement work, steam heat, electric light, metal lath, rolling steel sash, copper bulks. Architect taking bids due December 12th.

**Alterations and Additions**, 2837 Germantown avenue, Philadelphia. Architect, private plans. Owner, George Eichenhofer, on premises. Plastering, metal ceilings, mill work, iron work, elevators, slag roof, marble work, steel sash, plumbing, ventilating. Owner taking bids due December 15th.

**Germantown Municipal Hall**, Haines street and Germantown avenue, Philadelphia. City architect, J. Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Works, Bureau of City Property. Completion of interior (miscellaneous items and electric fixtures). Owners taking bids due December 16th.

**Garage**, Jasper and Somerset streets, Philadelphia. Architect, E. B. Medoff, Fox Building, Philadelphia. Owner, Samuel S. Glass, 1240 North Tenth street, Philadelphia. Brick,

steel, 1 story, 38x145 feet, steam heat, electric light, slag roof, cement floors, (2) rolling steel sash, (3) rolling steel skylights, flush bulks, plate glass, plumbing. Architect and owner taking bids.

**Laboratory and Storage Building**, Forty-second and Ludlow streets, Philadelphia. Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owners, Stratford & Cookson Co., on premises. Brick, concrete, steel, 3 stories, 36x90 feet, slate roof, pine floors, heat, electric light, metal bulks. Architect taking bids due as soon as possible.

**Stores, Office and Apartment**, Northeast Corner Baynton and Armat streets, Philadelphia. Architect, Jacob Naschold, 5224 North Second street, Philadelphia. Owner, Dr. W. R. Henry, on premises. Stone and brick, 4 stories, 40x22 feet, slag roof, hardwood floors, hot water heat, electric light, metal lath, tile work. Also alterations to 3 story residence, 47x18 feet, same location. Architect taking bids due December 15th.

**Residences (24), Residences and Stores (2)**, Sixteenth street, Olney avenue and Chew street, Philadelphia, \$198,000. Architect, private plans. Owners, John Bateman & Sons, Seventeenth street and Sixty-eighth avenue, Philadelphia. Brick, (2) 3 stories, 16x51 feet, 1 story, 22x6 feet, (24) 2 stories, 16x32 feet, 13x18 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owners will build.

**Apartment Houses (3)**, Ardleigh street, North of Willow Grove avenue, \$65,000 total. Architect, private plans. Owners, Lorenzon Brothers, Winston road and Norwood avenue, Philadelphia. Brick, 3 stories, (2) 26 feet 10 inches x 67 feet 4 inches, (1) 26 feet 4 inches x 15 feet 8 inches, 41 feet 6 inches x 13 feet 4 inches, slag roof, hardwood and pine floors, steam heat, electric light, tile work. Owners will build.

**Miscellaneous Work**, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Various schools, wire screens and general repairs. Removing and relocating portable school buildings. Owners taking bids due December 17th at noon.

**Residence**, Southwest Corner Berbro and Buist avenue, Philadelphia, \$9,500. Architect, private plans. Owner, Joseph Halbert, 6550 Paschall avenue, Philadelphia. Brick, 2 stories, 16x47 feet, slag roof, hardwood and

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pine floors, hot water heat, electric light, tile work. Owner will build.

**Store (alts. and add.),** 525 South street, Philadelphia, \$8,000. Architect, private plans. Owner, B. Bornstein, 1318 Belfield avenue, Philadelphia. Brick, 2 stories add., 20x30 feet, general alterations. Owner will build.

**Apartment (alts. and add.),** 120 South Forty-first street, Philadelphia, \$5,000. Owner, Louis Elgart, 5318 Berks street, Philadelphia. Brick, 3 stories add., 16x17 feet, 2 stories, 15x11 feet, 1 story, 15x7 feet, general alterations. Owner will build.

**Residence,** 2842 East Thompson street, Philadelphia, \$4,500. Architect, private plans. Owner, A. De Antonio, 2645 Somerset street, Philadelphia. Brick, 2 stories, 22x39 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Workshop,** East side American street, North of Bristol street, Philadelphia, \$2,500. Architect, private plans. Owners, Acme Brass Foundry Co., Fox Chase, Philadelphia. Concrete block, 1 story, 51x60 feet, slag roof, cement floors, electric light. Owners will build.

**Workshop,** East side Tenth street, South of Venango street, Philadelphia, \$5,000. Architect, private plans. Owners, Frank C. Sned-

aker & Co., Ninth and Tioga streets, Philadelphia. Brick, 2 stories, 20x114 feet, slag roof, pine floors, electric work. Owners will build.

**Apartment (alts. and add.),** 5017 Springfield avenue, Philadelphia, \$2,000. Architect, private plans. Owner, Robert E. Entriiken, on premises. Brick, 3 stories add., 16x10 feet, general alterations. Owner will build.

**Truck Garage,** Northeast Sewage Treatment, Wheatsheaf Lane, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Low bidders: Robbins Cont. Co., 1137 North Front street, Philadelphia, \$51,370; Conneen Const. Co., 2313 Walnut street, Philadelphia, \$53,741. Electric, Merit Elec. Co., 630 Race street, Philadelphia, \$2,150. Plumbing, S. Faith Co., 2427 Pennsylvania avenue, Philadelphia, \$1,059. Heating, S. Faith Co., 2427 Pennsylvania avenue, Philadelphia, \$2,575.

**Sewers,** Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Low bidders: Schedule A, Packer avenue, C. A. Conan, 140 North Fifty-fifth street, Philadelphia, \$321,728.50. Schedule C, Penny-pack Creek, Intercepting Sewers. Low bidder, W. H. Yettman, Jr., Lincoln Building, Philadelphia, \$195,285.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Church (alts.),** West side Fourth street, South of Vine, Philadelphia, \$65,000. Architects, Folsom, Stanton & Graham, 10 South Eighteenth street, Philadelphia. Owners, St. Augustine's Church, Rev. J. Regnery, O. S. A., on premises. General alterations. Contract awarded to McCloskey Co., Inc., 1620 Thompson street.

**Residence,** East side Duncan street, North of Bleigh street, \$6,000. Architect, private plans. Owner, John Bans, Cottman and Rising Sun avenue, Philadelphia. Frame, 2 stories, 26x38 feet, shingle roof, hardwood and pine floors, electric light, tile work. Contract awarded to Harvey Miller, 7319 Palmetto street, Philadelphia.

**Residence (alts. and add.),** 419 Queen street, Germantown, Philadelphia, \$2,500. Architect, private plans. Owner, John Hilbert, on premises. Brick, 2 stories, 16x6 feet, general alterations. Contract awarded to William K. Dyer, 4929 Knox street, Philadelphia.

**Stable and Delivery Station,** Washington avenue and Forrest avenue, Philadelphia. Architect, C. B. Comstock, 110-12 West For-

ty-ninth street, New York City. Owners, Freihofer Baking Co., Twentieth and Indiana avenue, Philadelphia. Brick, reinforced concrete, steel, limestone, 1 story and basement, 174x134 feet, Barrett's Specification roof, cement and maple floors, plumbing, waterproofing, rolling steel sash, tin-clad doors, bond, wrought iron pipe. Contract awarded to P. Haibach Cont. Co., 1261 North Twenty-sixth street, Philadelphia.

**Apartment House,** 6236-38 North Broad street, Philadelphia, \$140,000. Architect, Edward A. Roth, Drexel Building, Philadelphia. Owner, D. Simpson, care of architect. Brick, stone, 2 stories and basement, 50x145 feet, slag roof, composition floors, elevators, plumbing, metal weather strip, waterproofing, bond, kalamein doors, tile and marble work, metal lath, electric light, Murphy door beds, medicine cabinets, laundry equipment, kitchen equipment, oil burning equipment. Contract awarded Alex. Laub, 812 West Wyoming avenue, Philadelphia.

**Car Barn (add.),** Fifteenth and Cumberland streets, Philadelphia. Architect, private

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plans. Owners, Philadelphia Rapid Transit Co., Eighth and Dauphin streets, Philadelphia. Brick work, cement work, 1 story, 178x495 feet, steel work, slag roof, rolling steel sash and shutters, changing into garage, general interior and exterior alterations. Contract awarded H. E. Baton, 1713 Sansom street, Philadelphia.

**Dispensary Building (add. and alts.)**, York road and Tabor road, Philadelphia. Architect, H. W. Castor, Stephen Girard Building, Philadelphia. Owners, Jewish Hospital, care of A. Fleisher, Twenty-fifth and Reed streets, Philadelphia. Stone, brick, steel, cut stone, 1 story, 37x42 feet, tin roof, cement floors, hollow tile, roof ventilators, plumbing, waterproofing, ornamental iron work, bond, copper skylights, tile, marble and terrazzo work, metal lath, steam heat, electric light. Contract awarded Fred A. Havens Co., 845 North Nineteenth street, Philadelphia.

**Garage**, 4024 Locust street, Philadelphia. Architect, Ralph Goldberg, 10 South Eighteenth street, Philadelphia. Owner, Barney F. Winkelman, on premises. Brick, hollow tile, steel, limestone, granite, 2 stories and basement, 100x60 feet, slag roof, cement floors, plumbing, shoring, salt glazed terra cotta, ornamental iron work, bond, rolling steel sash and skylights, steam heat, electric light. Contract awarded Monaghan & Losse, 3016 Chestnut street, Philadelphia.

**Residence (alts.)**, 5026 Spruce street, Philadelphia. Architect, N. R. Dalton, Medical Arts Building, Philadelphia. Owner, Dr. Jas. J. Cancelmo, 1411 Walnut street, Philadelphia. Brick, 3 stories, 18x80 feet, hot water heat, electric light, slag roof, hardwood floors, tile work. Contract awarded H. A. Stuebig, Jr., Bankers' Trust Building, Philadelphia.

**New Building**, 4812-14 North Broad street, Philadelphia. Architect, Frank E. Hahn, 629 Chestnut street, Philadelphia. Owner, Isaac Grossman, care of Atlas Realty Co., Front and Dauphin streets, Philadelphia. Brick, cut stone, 3 stories and basement, 68x40 feet, slag roof, oak and cement and maple floors, roof ventilators, shoring, dampproofing, ornamental iron work, floor hardener, metal bulks, bond, hollow metal skylights, tile and marble work, metal lath, cold water painting, ornamental plaster. Contract awarded George H. Evans, Inc., 105 North Thirteenth street, Philadelphia.

**Completion of Basement**, Camac and Wyoming avenue, Philadelphia, \$8,000. Architect, J. W. Neff, 2006 North Sixty-first street, Philadelphia. Owners, Third United Brethren Church, care of Mr. Smoke, Quaker Lane Co., Fourth and Lehigh avenue, Philadelphia. Carpentry and mill work, stair work, plastering, iron work, painting and glazing, electric work, plumbing, steam heat. Contract awarded

ed E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Store and Apartments**, 2922 Ridge avenue, Philadelphia. Architect, William L. Charr, 149 South Fourth street, Philadelphia. Owner, Harry Schwartz, care of architect. Iron work, brick work, 3 stories, 16x70 feet, slag roof, pine and hardwood floors, hot water heat, electric light, metal lath, tile and marble work, store fixtures, bond, metal bulks, ornamental iron work. Contract awarded I. Satler, 1408 North Marshall street, Philadelphia.

**Building**, 1230 Chestnut street, Philadelphia. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owners, Silverman & Cassidy, care of architect. Brick, cut stone, 4 stories and basement, 100x18 feet, slag roof, cement and pine floors, elevators, plumbing, metal lath, tile and marble work, steam heat, electric light, ornamental iron work. Contract awarded Murphy Quigley Co., 1524 Sansom street, Philadelphia.

**Pantry (add.)**, 4011 Aspen street, Philadelphia. Architect, Franklin D. Edmunds, Real Estate Trust Building, Philadelphia. Owners, Friends' Home for Children, on premises. Brick, 1 story, 14x12 feet, tin roof, pine floors, plumbing, metal lath, electric light, ornamental iron work, lit-o-sile floors. Contract awarded Mitchell Bros., 2125 Race street, Philadelphia.

**Garage and Stable**, Northwest Corner of Ludlow, East of Forty-eighth street, Philadelphia. Architect, William Lowenthal, 1208 Chestnut street, Philadelphia. Owners, Quaker City Laundry, on premises. Brick, slow burning and steel girders, 1 story, 42x100 feet, 35x51 feet, slag roof, cement and pine floors, steam heat, electric light, hollow metal skylights. Contract awarded to L. Rosengarten, 4742 Market street, Philadelphia.

**Store, Apartment, (2) Two-Family Apartment**, Southwest Corner Broad and Spark. **Store, Apartment (5) Two-Family Apartment**, Northwest Corner Broad and Spark. Architect, E. L. Rothschild, 1420 Chestnut street, Philadelphia. Owner, Charles R. Sykes, Seventh and Chestnut streets, Philadelphia. Brick, 3 stories, 19x70 feet, slag roof, hardwood floors, hot water heat, electric light, tile work, flush bulks. Contract awarded Harry Alterman, 2731 West Somerset street, Philadelphia.

**Market House**, West side Fifth street, North of Olney avenue, \$70,000. Architect, private plans. Owner, M. E. Felt, 220 South Sixteenth street, Philadelphia. Brick, 2 stories, 66x100 feet, slag roof, electric light, steam heat, cement and pine floors. Contract awarded to Charles R. Davis & Son, 1500 Ellsworth street, Philadelphia.

**Store (alts. and add.)**, 1726 Chestnut street, Philadelphia, \$12,000. Architects, McLanahan & Beneker, Bellevue Court Building, Philadelphia. Owners, George W. Jacobs & Co.,



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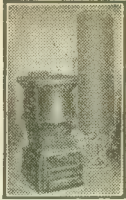
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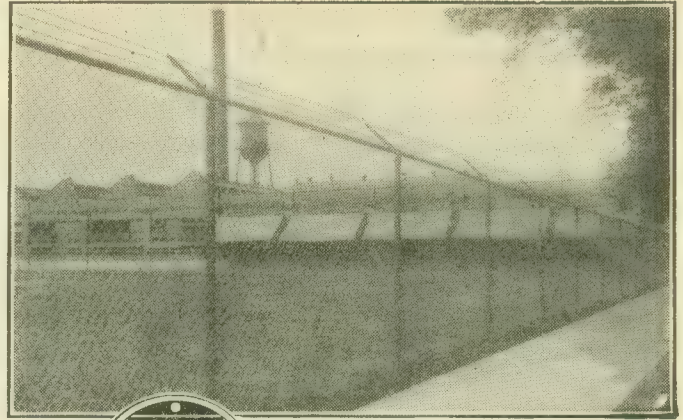
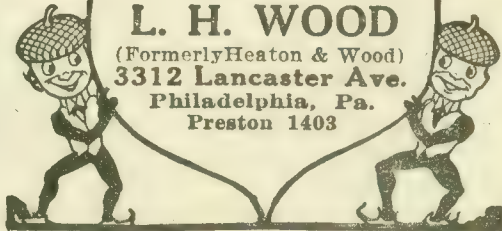
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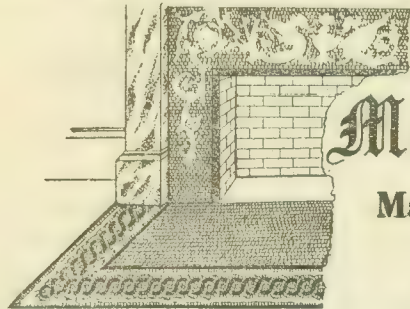
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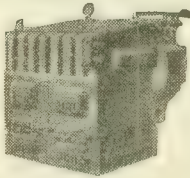
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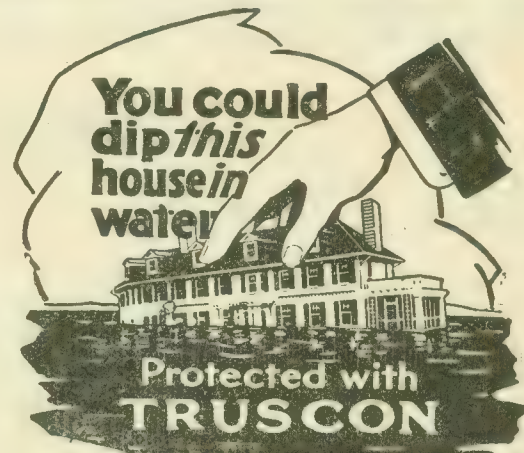
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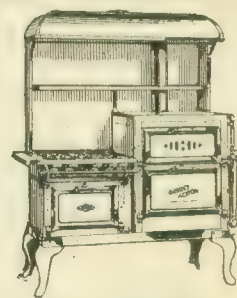
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1628 Chestnut street, Philadelphia. Brick, 3 stories and basement, 23x17 feet, iron and steel, marble and tile work, metal weather strips, hardware, dumb waiters, cement and concrete painting, glazing, plastering, slag roof, metal windows, electric work, plumbing, steam heat, wrought iron pipe. Contract awarded to H. E. Grau Co., 1707 Sansom street, Philadelphia.

**Store and Apartment (alts. and add.),** 2101 North Camac street, \$10,000. Architect, private plans. Owner, Sol. Stein, Northwest Corner Camac and Diamond streets, Philadelphia. Brick, 1 story add., 10x10 feet, hot water heat, electric light, general alterations. Contract awarded to Girard Realty & Cont. Co., 631 South Sixty-third street.

**Store and Residence (alts. and add.),** 2721 West Girard avenue, \$15,000. Owner, Samuel Nagelberg, 2723 Girard avenue, Philadelphia. Brick, 3 stories add., 18x13 feet 6 inches, maple floors, plastering, plate glass, copper work, tile and marble work, brick work, painting, plumbing alterations, hot water heat, slag roof, hardware. Contract awarded to Henry P. Schneider, 3713 Old York road.

**Store and Residence and Garage,** Front and Reed streets, Philadelphia. Architect, B. Schulman, 1722 Arch street, Philadelphia. Owner, J. Tolackla, on premises. Brick, 2 stories, 16x50 feet, steam heat, electric light, slag roof, pine floors, flush bulks. Contract awarded Cesare Ettore, 1533 South Twenty-first street, Philadelphia.

**Garage,** 1719 North Park avenue, Philadelphia. Architect, private plans. Owner, Oscar Vanselow, on premises. Brick, 1 story, 20x12 feet, slag roof, cement floors. Contract awarded Harry Brocklehurst, 512 West Norris street, Philadelphia.

**Garage,** Rittenhouse and Greene streets, Philadelphia, \$5,000. Architect, private plans. Owner, name withheld. Brick, 1 story (8 cars), slag roof, cement floors. Contract awarded William C. Wright, 22 Harvey street, Philadelphia.

**Factory Building, Boiler House, Dye and Bleach Building,** Butler and Jasper streets. Owners, Lehigh Silk Hosiery Mills, Inc., A and Ontario streets, Philadelphia. Contract awarded to William H. Walters & Son, 1314 North Carlisle street, Philadelphia, for plumbing, \$16,800.

**Garage,** 4755-59 Griscom street, Philadelphia, \$12,000. Architect, Charles J. Mitchell, 15 South Twenty-first street, Philadelphia. Owner, Charles J. McGough, on premises. Brick, 1 story, 40x102 feet, slag roof, cement floors, electric work. Contract awarded to E. E. Hollenback, 1804 Brandywine street, Philadelphia.

**Manufacturing Building (alts.),** 634-36 Washington avenue, \$10,000. Architect, private plans. Owners, Friedman & Belock, 1025 Morris street, Philadelphia. General alterations. Contract awarded to S. Friedman, 437 McKean street, Philadelphia.

**Residence,** West side American street, North of Sixty-sixth avenue, Philadelphia, \$9,000. Architect, private plans. Owner, M. B. Hartzell, Elkins Park, Pa. Brick, 3 stories, 18x40 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work.

Contract awarded to S. R. Krewson & Son, Elkins Park, Pa.

**Residence,** West side American street, North of Sixty-sixth avenue, \$9,000. Architect, private plans. Owner, J. Applegate, 822 Olney avenue, Philadelphia. Brick, 3 stories, 18x40 feet, hot water heat, electric light, slag roof, hardwood and pine floors, tile work. Contract awarded to S. R. Krewson & Son, Elkins Park, Pa.

**Residence,** Northeast Corner Sixteenth and Ellsworth streets, Philadelphia, \$14,000. Architect, private plans. Owner, A. Cosenza, Southeast Corner Juniper and Federal streets, Philadelphia. Brick, 3 stories, 16x71 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to H. M. Shandles, 617 Pine street, Philadelphia.

**Residence and Store,** Southeast Corner Eighteenth and Christian streets, \$11,200. Architect, private plans. Owner, S. Lubarsky, care of builders. Brick, 3 stories, 16x48 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to S. Yudofsky, 2023 South Eighth street, Philadelphia.

**Apartment (alts.),** Northeast Corner Thirteenth and Master streets, Philadelphia, \$9,500. Architect, private plans. Owner, L. Joffe, 3212 West Dauphin street, Philadelphia. General alterations. Contract awarded Frank Keyser, 150 South Sixth street, Philadelphia.

**Store and Residence (alts. and add.),** 2500 South Robinson street, \$7,000. Architect, private plans. Owner, P. Holtz, 2738 Woodland avenue, Philadelphia. Brick, 1 story, 16x13 feet and 16x6 feet, general alterations. Contract awarded to Joseph Marshall, 2323 South Marshall street, Philadelphia.

**Residence and Store,** Southwest Corner Eighty-second and Crothers avenue, Philadelphia, \$5,000. Architect, private plans. Owner, Rocco Franchette, 4404 South Eighty-second street, Philadelphia. Brick, 2 stories, 20x47 feet, slag roof, hot water heat, electric work. Contract awarded to G. Maiselli, 2507 Avenue E, Philadelphia.

**Garage (add.),** 121-23 West Rittenhouse street, Philadelphia, \$5,000. Owner, J. A. Sharp, Broad and Shunk streets, Philadelphia. Brick, 1 story add., 30x90 feet, slag roof, cement floors. Contract awarded to B. Wilensky, Broad and Shunk streets, Philadelphia.

**Garage,** 7105 Gray's avenue, Philadelphia, \$3,000. Architect, private plans. Owner, Adolph Chodakovechi, 7109 Gray's avenue, Philadelphia. Brick, 1 story, 40x48 feet, slag roof, cement floors, electric work. Contract awarded to Otto C. Hadlofki, 7109 Gray's avenue, Philadelphia.

**Garage and Store,** Northwest Corner Twenty-sixth and Sergeant streets, Philadelphia, \$9,000. Architect, private plans. Owner, George F. Smith, Southwest Corner Twenty-sixth and Huntingdon streets, Philadelphia. Brick, 2 stories, 20x76 feet 6 inches, slag roof, cement and pine floors. Contract awarded to H. E. Sweger, 4435 North Uber street, Philadelphia.

**Tank Tower and Tank,** 4709 Lancaster avenue, Philadelphia, \$5,000. Architect, private plans. Owners, Supplee, Wills, Jones Co., on

premises. Steel. Contract awarded to R. D. Cole, Newman, Georgia.

**Tank Tower and Tank,** 1523 North Twenty-sixth street, Philadelphia, \$5,000. Architect, private plans. Owners, Supplee, Wills, Jones Co., on premises. Steel. Contract awarded to R. D. Cole, Newman, Georgia.

**Residences (2),** East side Tabor road, South of Cottman street, \$5,000 each. Architect, private plans. Owner, Charles Otte, 7330 Claridge street, Philadelphia. Brick, 2 stories, 14 feet 6 inches x 40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Contract awarded to Charles Freeman, 7323 Claridge street, Philadelphia.

**Store and Residence (alts.),** 1635 Ridge avenue, Philadelphia, \$4,000. Architect, private plans. Owner, William H. Good, Land Title Building, Philadelphia. General alterations and steam heating. Contract awarded to Girard Realty & Const. Co., 631 South Sixty-third street.

**Shop and Storage House (alts. and add.),** 1801 South Eighth street, \$4,000. Architect, private plans. Owner, E. Del Golete, 1716 South Eighth street, Philadelphia. Brick, 1 story, 16x13 feet, 2 stories, 12x16 feet, general alterations. Contract awarded to P. Agnes, 2312 South Ninth street, Philadelphia.

**Office,** West side Napa street, South of Lehigh avenue, Philadelphia, \$2,500. Architect, private plans. Owner, John Bickel, on premises. Brick, 1 story, 21x18 feet, slag roof, pine floors, electric light. Contract awarded to F. Mark Cont. Co., Twenty-first and Somerset streets.

**Residence and Store,** 1014 South Second street, Philadelphia, \$7,000. Architect, private plans. Owners, Mrs. Nitzky and Mrs. Cohn, 909 Vine street, Philadelphia. Brick, 3 stories, 18x28 feet, 15x30 feet, slag roof, hot water heat, electric light. Contract awarded to Frank Cohen, 909 Vine street, Philadelphia.

**Store and Manufacturing Building (alts.),** Northeast Corner Thirteenth and Cherry streets, \$7,000. Architect, private plans. Owner, A. M. Davis, 145 North Thirteenth street, Philadelphia. General alterations. Contract awarded to A. G. Harrison Co., 1525 Cherry street, Philadelphia.

**Residence,** East side Bustleton avenue, South of County Line, \$6,000. Architect, private plans. Owner, Walter A. Sickel, Trevoise, Pa. Frame, 2 stories, 32x3 feet, shingle roof, hardwood and pine floors. Contract awarded to A. J. Sickel, Trevoise, Pa.

**Residences (6),** East side Mitchell street, North of Kingsley street, \$5,000 each. Architect, private plans. Owner, Charles B. Bennett, 5632 Ridge avenue, Philadelphia. Brick, 2 stories, 20x31 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to E. L. Cuthbertson, 334 Roxborough avenue, Philadelphia.

**Residence,** 628 North Thirty-fourth street, Philadelphia, \$3,500. Architect, private plans. Owner, E. Christopherson, care of builder. Frame, 1½ stories, 25x35 feet, slate surface roof, pine floors, hot air heat, electric light. Contract awarded to Wm. A. Hagan, 3519 Westfield avenue, Philadelphia.

**Store Front,** Northeast Corner Thirteenth and Cherry streets, Philadelphia. Architect, private plans. Owner, Albert Davis, 131 North Thirteenth street, Philadelphia. Excavating, underpinning, brick work, plastering, metal ceilings, metal bulks (heating, plumb-

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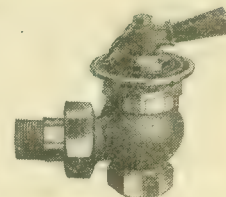
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ing and electric reserved). Contract awarded to A. G. Warren Co., 1525 Cherry street, Philadelphia.

**Store and Residence (alts.)**, 324 East Cambria street, Philadelphia, \$2,500. Architect, private plans. Owner, W. L. Winberg, 1519 South Fifth street, Philadelphia. General alterations. Contract awarded to A. Barsky, 3225 Arlington street, Philadelphia.

**Manufacturing Building (add.)**, Northwest Corner M and Kensington avenue. Architect, private plans. Owners, H. Brinton & Co., on premises. Brick, 1 story add., irregular shape, slag roof, electric work. Contract awarded to Wm. Steele & Sons Co., 219 North Broad street, Philadelphia.

**Bank (alts.)**, Southeast Corner Chestnut and Juniper streets, Philadelphia, \$5,000. Architect, private plans. Owners, First Penny Savings Bank, Broad and Chestnut streets, Philadelphia. General alterations. Contract

awarded to William Steele & Sons Co., 219 North Broad street.

**Engine and Boiler House**, West side Witte street, North of Clearfield street, \$3,400. Architect, private plans. Owners, Brehm & Stehle, Trenton and Allegheny avenues, Philadelphia. Brick, 1 story, 38x50 feet, slag roof, cement floors, electric work. Contract awarded to George H. Thirsk, 4305 Horrocks street, Philadelphia.

**Store and Residence (alts.)**, 1129 Wst Girard avenue, \$2,175. Architect, private plans. Owner, Mrs. Ella Stokley, et al., 2038 East Elkhart street, Philadelphia. General alterations. Contract awarded to George Poletis, 3072 Braddock street, Philadelphia.

**Store and Shop (add.)**, 1231 South Twentieth street, Philadelphia, \$2,000. Architect, private plans. Owner, U. Leone, on premises. Brick, 1 story, 20x16 feet, second story, 9x16 feet. Contract awarded to E. Mestrichelli, 1931 Fleron street, Philadelphia.

**Parochial School**, Priceburg, Pa., \$150,000. Architect, A. J. Pawdzik, 821 Moosic street, Scranton, Pa. Owners, Visitation of B. V. M. Parish, Rev. S. Szpatanski, Priceburg, Pa. Brick, hollow tile, 2½ stories, 125x130 feet, slag roof, wood floors, hollow tile, safety treads, roof ventilators, terra cotta, ornamental iron work, iron stairs, bond, rolled steel skylights, metal lath, vapor heat, electric light, metal lath. Plans in progress. Will be ready for bids about January 15th.

**Parochial School**, Olyphant, Pa., \$75,000. Architect, A. J. Pawdzik, 821 Moosic street, Scranton, Pa. Owners, St. Stanislaus' Parish, Rev. S. G. Wolf, Olyphant, Pa. Frame, stucco, 2½ stories, 52x100 feet, slag roof, wood floors, safety treads, roof ventilators, metal window guards, steam heat, electric light, metal lath, rolled steel sash, fire doors, iron stairs, ornamental iron work. Plans being revised. Will take bids in January.

**Stores (4), Apartments (8)**, Haverford avenue, Narberth, Pa. Architects, Boyd, Abel & Gugert, Otis Building, Philadelphia. Owners, W. D. & H. T. Smedley, Narberth, Pa. Brick, 3 stories, hot water heat, electric light, tile work, metal bulks, slag roof. Preliminary plans drawn. Owners will take sub-bids.

**Grade School**, Broad and Court streets, Doylestown, Pa. Architect, A. Osear Martin, Doylestown, Pa. Owners, School Board of Doylestown, Walter H. Carwithen, secretary, Doylestown, Pa. Brick, 1 story and basement, 64x58 feet, composition roof. Plans in progress. Will be ready for bids in a month.

**Twin Residences (10)**, Springfield and Elm road, Aldan, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owners, Gehring & Green & Cola, Aldan, Pa. Frame, 2½ stories, 18x38 feet, shingle roof, hardwood floors, hot water heat, electric light. Owners taking sub-bids.

**Twin Residences (10)**, Aldan, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, W. E. Yonkers, 722 South Fifty-first street, Philadelphia. Frame, stone, stucco, 2½ stories, 16x36 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner ready for bids. Will build in spring 1925.

**Residence and Garage Operation**, Strafford, Pa. Architect, N. R. Dalton, Medical Arts Building, Philadelphia. Owners, Stafford Realty Co., Strafford, Pa. Stone, stucco, clapboard, 2½ stories, 24x32 feet, slate roof, hardwood and cement floors, hot water heat, electric, tile work (6) to start at once and groups of (12) to follow. Total, 100 houses. Owners taking sub-bids and general bids.

**Apartment**, Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owners, Silverberg & Goldberg, 212 West Fourth street, Bethlehem, Pa. Brick, 3 stories, 38x70 feet, slag roof, pine floors, steam

## PENNSYLVANIA

# Construction News

**Residences (3)**, Llanerch Hills, Llanerch, Pa. Architect engineer, M. M. Boonin, Eighth and Porter streets, Philadelphia. Owners, Berman & Guberman, 6036 Market street, Philadelphia. Stone, frame, stucco, 2½ stories, 26x32 feet, shingle roof, oak and composition floors, hot water heat, electric light, tile baths. Owners taking sub-bids due as soon as possible.

**Apartment House**, West Chester road and Brief avenue, Upper Darby, Pa. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owner, Maxwell P. Levy, Upper Darby, Pa. Brick, cut stone, steel, 4 stories and basement, size irregular, slate, slag and tin roof (elevators, electric, plumbing, heating and dumb waiters reserved), cement and oak floors, metal lath, tile and marble work, hollow metal sash, rolling steel skylights, fire and kalamein doors, bond, metal bulks, ornamental iron work, waterproofing and dampproofing, metal weather strips, roof ventilators, architectural terra cotta, travertine, steel casements, stand pipe system, metal lockers, clothes driers, ash hoists, kernator, ornamental plaster. Architect taking revised bids due December 17th.

**Stores (9), Apartments (9), Offices and Apartments (3)**, Drexel Hill, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, name withheld. Brick, 2 stories, 205x42 feet, 60x30 feet, slate and tile roof, pine floors, vapor heat, electric light, tile work, metal bulks, plate glass. Architects taking bids due December 18th.

**Residence**, Elkins Park, Pa. Architect, not yet selected. Owner, J. Leof, care of National Bank of North Philadelphia, 3701 North Broad street, Philadelphia. Work contemplated.

**Bungalow**, Doylestown, Pa. Architect, A. Oscar Martin, Doylestown, Pa. Owner, Nathan Weiser, care of architect. Frame, shingle, 1 story, 30x50 feet, asphalt shingle roof, pine floors, electric light. Plans in progress.

**Stores and Apartments (12)**, Llanerch, Pa. Architect, E. Allen Wilson, 1208 Chestnut

street, Philadelphia. Owner, name withheld. Brick, 2 stories, 18x62 feet each, slate and slag roof, hardwood floors, hot water heat, electric light, metal lath, tile work, hollow metal sash and skylights, metal bulks, garages rear of first floor. Plans in progress.

**Residence and Garage**, State road, Drexel Hill, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, name withheld. Stone, frame, plaster, 2½ stories, 50x33 feet, 20x24 feet, shingle roof, hardwood and cement floors, hot water heat, electric light, tile work. Plans in progress.

**Bungalow**, Preston avenue, Haverford, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, name withheld. Frame, plaster, 1½ stories, 18x28 feet, shingle roof, pine floors, hot water heat, electric light, tile work. Plans in progress.

**Stores (4), Apartments (4)**, Manoa, Delaware County, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, Manoa Odd Fellows' Temple, care of architect. Brick, steel, 2 stories, 72x90 feet, slag roof, hardwood floors, hot water heat, electric light, tile work, metal bulks, metal ceilings, metal cornices. Plans completed. Architect will be ready for general bids in a week.

**Printing Establishment (alts. and add.)**, Cedar avenue, Scranton, Pa. Architect, A. J. Pawdzik, 821 Moosic street, Scranton, Pa. Owners, Republika-Gornik Publishing Co., Farr Building, Scranton. Brick and stone, 3 stories, 30x45 feet. Plans in progress.

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heat, electric light, metal lath, tile work. Owners will take revised bids.

**Almshouse**, Wescoesville, Pa. Architect, David Levy, 949 Hamilton street, Allentown, Pa. Owners, Lehigh County Almshouse, care of Mr. Seiger, Wescoesville, Pa. Brick, reinforced concrete, steel, 3 stories, 300x200 feet, slag roof, composition floors, (2) elevators, steam heat, electric light, steel sash, concrete work, waterproofing and dampproofing. Owners and architect will take bids in early part of January.

**High School**, Elkins Park, Pa. Architects, Davis, 3rd, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, School District of Cheltenham Township, Elkins Park, Pa. Reinforced concrete, cut stone, steel, brick, 3 stories and basement, 156x190 feet (plumbing, heating and electric work separate), slag roof, composition, cement and maple floors, terra cotta tile, roof ventilators, waterproofing, ornamental iron work, bond, kalamein and hollow metal doors, rolling steel sash and skylights, metal lath, tile, marble and terrazzo work, limestone, bluestone, granite. Owners taking bids due December 23rd.

**Alterations and Additions**, Windsor and Greyling avenue, Narberth, Pa. Architect, Osborne H. Graves, 112 Merion avenue, Narberth, Pa. Owners, Narberth Presbyterian Church, Narberth, Pa. Stone, brick, hollow tile, cut stone, 1½ stories, 78x74 feet, slate roof, cement and pine floors, carpentry and mill work, painting and glazing, hardware, shoring, waterproofing and dampproofing, ornamental iron work, iron stairs, steel casements, bluestone, limestone. Architect taking bids due December 18th. (Plumbing, sewage disposal, heating, electric, kitchen equipment, linoleum and composition floors reserved.)

**Bank Building**, Bloomsburg, Pa. Architects, Simon, Brittain & English, 929 Chestnut street, Philadelphia. Owners, Bloomsburg National Bank, A. Z. Schoch, Bloomsburg, Pa. Brick, limestone, 1 story and basement, 42x66 feet. Owners taking bids due December 29th at the bank.

**Residence**, Jenkintown Manor, Pa. Architect, private plans. Owner, Frank R. Fish, 1603 Mentor street, Philadelphia. Frame, 2½ stories, 40x26 feet, shingle roof, oak and pine floors, hot water heat, electric light. Owner taking bids due December 11th.

**Residence**, No. 62, Merion, Pa. Architect, Frank Seeburger, 1524 Chestnut street, Philadelphia. Owner, name withheld. Stone, 2½ stories, 28x70 feet, slate roof, pine and oak floors (plumbing, heating and electric reserved), tile work. Architect taking bids due as soon as possible.

**Comfort Station**, Bloomsburg, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, City of Bloomsburg, Pa. Stone, tile and marble, 18x35 feet, slate roof, terrazzo floors, electric light, plumbing, bronze work, limestone. Owners taking bids.

**Residences (2)**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, J. Snitzer, Allentown, Pa. Brick, 2 stories, 26x40 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Owner will build.

**Residences (2)**, Reading, Pa., \$9,600. Architect, private plans. Owners, George H. Geh-

ret Brothers, 524 Schuylkill avenue, Glenside, Pa. Brick, 2 stories, slate roof, pine floors, electric lighting. Owners will build.

## Pennsylvania Contracts Awarded

**Minooka State Bank**, Birney avenue, Minooka, Pa., \$25,000. Architect, A. J. Prawdzik, 821 Moosic street, Scranton, Pa. Owners, Minooka State Bank, Birney avenue, Minooka, Pa. Brick, hollow tile, 1½ stories, 24x45 feet, slag roof, hollow tile, metal window guards, metal ceilings, wire work, ornamental iron work, bond, bank fixtures, steel sash, steam heat, electric light. Contract awarded to Joseph Potoski, 3505 Birney avenue, Minooka, Pa.

**Residence and Garage**, Elkins Park, Pa. Architects, Neubauer & Supowitz, 929 Chestnut street, Philadelphia. Owner, S. Weiler, care of architect. Stone, cut stone, brick, 2½ stories, 65x38 feet, shingle and slag roof, oak and pine floors, plumbing, hot water heat, electric light, tile work, ornamental iron work, flagstone, wrought iron pipe, rubber tile floors. Contract awarded Roy Randall, Jenkintown, Pa.

**Stores (4), Apartments (4)**, County Line Road, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Louis & Philip Harrison, Bryn Mawr, Pa. Brick, concrete block, 3 stories, 16x53 feet, hot water heat, electric light, slag roof, hardwood floors, tile work, metal ceilings, metal bulks. Contract awarded Joseph Martinelli, Fern and Greenfield avenue, Ardmore.

**Store (alts. and add.)**, Roberts road and Lancaster Pike, Bryn Mawr. Architect, John Charles Norton, Ardmore, Pa. Owner, Michael Kelly, on premises. Brick, 1 story, irregular size, slag roof, maple floors, metal bulks. Contract awarded Carmine Mattia, Sixty-fifth and Vine streets, Philadelphia.

**Residence (alts.)**, Wynnewood, Pa. Architects, T. B. Lippincott and C. S. Schaef, 11 South Sixteenth street, Philadelphia. Owner, H. W. Chelton, Wynnewood, Pa. New porches, etc. Contract awarded W. J. Ryder, 1725 Sansom street, Philadelphia.

## New Jersey Construction News

**Bakery**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, General Baking Co., 564 Perry street, Trenton, N. J. Brick, steel, 1 story, 90x100 feet, slag roof, concrete floors, roof ventilators, steam heat, electric light, rolled steel sash. Plans in progress.

**Church**, Carteret, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, St. Agnes' Roman Catholic Church, care of architect. Stone, steel, 1 story, 42x126 feet, slate roof, composition floors, steam heat, electric light, metal lath, tile work, ornamental iron work, dampproofing. Plans in progress.

**Church**, Trenton, N. J. Architect, R. A. Schumann, 202 West State street, Trenton, N. J. Owners, Baptist Church, care of architect. Stone, steel, 1 story and basement, 45x100 feet, slate roof, composition floors, steam heat, electric light, metal lath, tile work, dampproofing, ornamental iron work. Plans in progress.

**School (add.)**, Hamilton Square, N. J. Architect, William A. Klemann, First National Bank Building, Trenton. Owners, Hamilton Township School District, care of architect. Brick, 2 stories, 12 rooms, slag roof, maple floors, steam heat, electric light, ornamental iron work. Plans in progress.

**Residence**, River Road, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owner, Dr. Samuel Sica, 309 South Clinton avenue, Trenton, N. J. Hollow tile and stucco, 2 stories, 32x108 feet, tile roof, hardwood floors, hot water heat, electric light, tile and marble work. Revised plans in progress.

**Hotel**, Boardwalk, Providence, Boston avenues, Atlantic City, N. J., \$10,000,000. Architects, Maynicke & Franke, 25 East Forty-sixth street, New York. Owners, Benjamin Franklin Hotel Co., care of Jos. Herzberg, New York. Brick, steel, concrete, 327x220 feet, 1,014 rooms, steam heat, electric light, metal lath, tile, marble and terrazzo work, cement and hardwood floors, hollow tile, elevators, terra cotta, floor hardener. Plans in progress.

**Convent**, Tennessee and Pacific avenue, Atlantic City, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, St. Nicholas' Roman Catholic Church, Rev. Dr. John T. Sheehan, on premises. Stone, brick, 4 stories, 26x126 feet, slag, tile and slate roof, copper dormers, hardwood and slate floors, electric light, hot water heat, metal lath, tile and marble work. Architect taking sub-bids due as soon as possible.

**Residences (5)**, Merchantville, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, A. W. Wetman, care of architect. Brick and cinder block, 2 stories, 20x30 feet, slag roof, pine floors, hot water heat, electric light. Architect taking sub-bids.

**Residences (4)**, Merchantville, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owner, Francis Ross, Merchantville, N. J. Brick and cinder block, 2 stories, 20x34 feet, slag roof, pine floors, hot water heat, electric light. Owner taking sub-bids.

**Warehouse**, Camden, N. J. Architect, A. B. Gill, 328 Market street, Camden, N. J. Owners, Mechling Brothers, Line street, Camden, N. J. Cinder block and wood, 1 story, 50x80 feet, slag roof, cement floors, electric light. Owners will build.

**Church and Parsonage**, White Horse Pike and Collings avenue, West Collingswood, N. J., \$130,000. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, West Collingswood Methodist Episcopal Congregation, Rev. W. W. Payne, care of Board of Trustees, W. W. Rehn, 525 Harrison street, West Collingswood, N. J. Stone, 40x88 feet, 56x38 feet. Will contain auditorium, class rooms, gymnasium, etc. Tower, 14 feet square. Plans completed. Will be ready for bids in a few days.

**School**, Delanco, N. J. Architect, H. Ziegler, 17 Washington street, Riverside, N. J. Owners, Heverly Township Board of Education, Delanco, N. J. Brick, cut stone, 1 story

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and basement, 239x103 feet, wing 76x67 feet, slag roof, cement and maple floors, metal lath, rolling steel sash and skylights, kalamein doors, bond, ornamental iron work, iron stairs (plumbing, heating, electric, pre-cast stone separate bids), alternate Johns Manville built-up asbestos roof. Owners taking bids due December 22nd, 8 P. M.

**High School**, Clinton avenue, Irvington, N. J. Architect, Donn Barber, 101 Park Ave., N. Y. Owners, Board of Education, W. A. Sherman, secretary, Irvington, Essex County, N. J. Contract No. 1, general construction, including masonry, steel and iron work, carpentry, roofing, painting, etc. Contract No. 2, plumbing and gas fittings. Contract No. 3, heating and ventilating. Contract No. 4, electric. Deposit \$50, refunded. Owners taking bids due December 29th at 8 P. M.

**Residences (37)**, Richey and Clay avenue, Collingswood, N. J. Architect, private plans. Owner, Charles D. Heavy, Mt. Ephraim and Ferry avenue, Camden, N. J. Brick, hot water heat, electric light, slag roof, tile work. Owner taking sub-bids.

**Residence**, 1107 Lois avenue, Camden, N. J., \$4,000. Owner, Denis J. Carroll, 1115 Lois avenue, Camden, N. J. Frame, 1½ stories, 25 feet 4 inches x 33 feet 4 inches, rubberoid shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Building (add.)**, Lois and Cleveland avenues, Camden, N. J., \$5,000. Architect, private plans. Owners, H. Hohnstann & Co., on premises. Frame, 1 story add., 44x87 feet, metal roof, electric lighting. Owners will build.

**Henchman School**, Woodland Manor, Delaware Township, N. J. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owners, School Board of Delaware Township, Woodland Manor, N. J. Low bidders: H. B. Miller, Edgewater Park, N. J., \$27,180; Wills Bill Co., 1706 Sansom street, \$28,328. Heating, Deckman Plumbing & Heating Co., Woodlynne, N. J., \$5,070. Plumbing, Mr. Leopold, Ferry avenue, Camden, N. J., \$338. Electric, Enterprise Elec. Co., 239 South Tenth street, Philadelphia, \$486.

## New Jersey Contracts Awarded

**Church**, Burlington, N. J. Architect, Clyde S. Adams, 2038 Spruce street, Philadelphia. Owners, St. Paul's Roman Catholic Church, Rev. Henry Russi, on premises. Cut stone, stone, steel, granite, 1 story, 65x120 feet, slate roof, marble, terrazzo and cement floors, steam heat, electric light, ventilating, painting and glazing, plumbing, architectural terra cotta, Ashler block, concrete block. Contract awarded J. P. Hallahan, 2315 Walnut street, Philadelphia.

**Office (add.)**, Trenton, N. J. Architect, W. A. Klemann, First National Bank Building, Trenton. Owners, Fitzgibbon & Crisp, Inc., Trenton, N. J. Brick, steel beam, 2 stories, 40x40 feet, slag roof, hardwood floors, roof ventilators, stone work, heating extension, electric light, rolled steel sash, steel stairs. Contract awarded to J. H. Morris & Co., 211 North Montgomery street, Trenton, N. J.

**Church (alts. and add.)**, Camden, N. J. Ar-

chitect, J. C. Jefferis, 312 Market street, Camden, N. J. Owners, Union Methodist Episcopal Church, care of architect. Brick, 1 and 2 stories, various sizes, tile and slag roof, maple floors, steam heat, electric light, cut stone. Contract awarded to J. W. Draper, 436 Haddon avenue, Camden, N. J.

**Residences (2)**, 1016-18 Reeves avenue, Camden, N. J., \$6,000. Architect, private plans. Owner, Harriet H. Clouser, 543 Vine street, Camden, N. J. Frame, 2 stories, 16x30 feet, slate surface roof, hardwood and pine floors, pipeless heat, electric light. Contract awarded to J. K. Clouser, 543 Vine street, Camden, N. J.

**Residences (4)**, 3402-04-06-08 Merrill avenue, Camden, N. J., \$4,000 each. Architect, private plans. Owner, Menotti Aristone, 3502 Westfield avenue, Camden, N. J. Brick and cement block, 2 stories, 16x44 feet, slag roof, warm air heat, electric light. Contract awarded to William T. Harker, 112 North Thirty-sixth street, Camden, N. J.

## Miscellaneous Contracts Awarded

**Stores and Offices**, Jane street, Crescent street, Long Island City, N. Y. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, N. S. Holding Corp., New York City, N. Y. Brick, granite, concrete, steel, terra cotta, 5 stories, 100½x80½ feet, steam heat, electric light, tile work, slag roof, concrete floors, elevators, kitchen equipment, ornamental iron work. Contract awarded White Const. Co., 95 Madison avenue, New York City.

**Residence and Garage**, Winston-Salem, N. C. Architect, Charles Barton Keen, 338 South Smedley street, Philadelphia. Owner, Themon Chatham, Winston Salem, N. C. Hollow tile and stucco, 2½ stories, 45x70 feet, 2 stories, 22x28 feet, tile roof, hardwood and cement floors, vapor heat, electric light, tile and marble work. Contract awarded McNeill Const. Co., Schaff Building, Philadelphia.

**Bakery**, Brooklyn, N. Y. Architects, Seeburger & Rabenold, 1524 Chestnut street, Philadelphia. Owners, Drake Bakeries, Inc., Brooklyn, N. Y. Reinforced concrete, steel, 5 stories, 80x84 feet, slag roof, cement floors, steam heat, electric light, elevators, rolling steel sash. Contract awarded Thompson Binger, care of owner in New York.

**Residence (alts.)**, 5311 Thirty-ninth street, N. W., Washington, D. C. Architect, Philip H. Johnson, 1713 Sansom street, Philadelphia. Owner, Dr. Jerome Crowley, on premises. Carpentry and mill work, brick work, cement and concrete work, painting and glazing, hardware. Contract awarded H. E. Grau Co., 1709 Sansom street, Philadelphia.

**Fire House**, Smyrna, Del. Architect, J. D. Thompson, Ford Building, Wilmington, Del. Owners, Citizens' Hose Co., Smyrna, Del. Brick and frame, 2 stories and tower, 45x55 feet, Johns Manville roof, concrete and hardwood floors, steam heat, electric light. Contract awarded to H. Clay Phillips, Middletown, Del.

The BUILDERS' GUIDE is in its thirty-eighth year of continuous publication.

## Proposal

### ADVERTISEMENT FOR THE CONSTRUCTION OF BUILDINGS FOR THE N. J. SCHOOL FOR THE DEAF, TRENTON JUNCTION, N. J.

Public notice is hereby given that sealed proposals for furnishing labor and materials to construct and equip ready for furnishing the following buildings for the School for the Deaf, will be received by the Architects at the State House, Trenton, New Jersey, on Monday, the 29th day of December, 1924, at 2.30 o'clock P. M., at which time all proposals submitted will be opened and publicly read. The buildings are as follows:

**ITEM "A"**—The Main School Building. This includes the School and Administration Building, Dining Hall and Kitchen, Auditorium, Gymnasium, and Locker rooms. This building to be constructed with concrete and brick walls and fireproof construction, and contains approximately 724,000 cu. ft.

**ITEM "B"**—The Shop Building. This building to be constructed of concrete and brick walls—fireproof construction and contains approximately 171,000 cu. ft.

**ITEM "C"**—The Laundry Building (addition to Boiler House). This building is to be constructed with concrete and brick walls and semi-fireproof construction, and contains approximately 64,000 cu. ft.

**ITEM "D"**—The Superintendent's House. This is an alteration to the old stone building, and a frame addition thereto, containing approximately 20,000 cu. ft.

These buildings are to be erected on the grounds of the School for the Deaf, Sullivan Way, near Trenton Junction.

Bids will be received as follows:

Base bids, including items A, B, C, D, will be received for,

General Construction  
Heating and Ventilating  
Plumbing Work  
Electric Work.

Separate bids for items A, B, C, D will be received for,

General Construction  
Heating and Ventilating  
Plumbing Work  
Electric Work.

Said Proposals must be on blank forms provided for that purpose, and must be enclosed in sealed envelopes endorsed "Proposals for the School for the Deaf," and must state the branch of work for which proposal is submitted.

No bid will be considered unless accompanied by a certified check to the amount of five per cent. of the bid, or if the amount of bid shall exceed \$200,000.00 in the amount of \$10,000.00 binding the bidder to execute a contract if awarded to him. The terms of the proposal with surety required are fixed by the specifications, to which reference may be had. The right is reserved to reject any or all bids submitted, also, to waive any informality in the same.

Copies of the drawings and specifications may be seen at the Architect's offices, and copies will be loaned to bidders by the Architects on deposit with them of a certified

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check to their order for the sum of \$50.00. Upon return of drawings and specifications the check will be returned. These drawings and specifications may be obtained by application to Arnold H. Moses, Architect, Temple Building, Camden, N. J.

GUILBERT & BETELLE,  
ARNOLD H. MOSES  
Associated Architects.

Dated December 6th, 1924.

**ADVERTISEMENT FOR MECHANICAL  
EQUIPMENT FOR THE CAMDEN  
COUNTY CENTRAL POWER  
PLANT**

Public notice is hereby given that sealed proposal for furnishing labor and material to construct, install and equip all apparatus in the Central Power Plant on grounds known as the County Farm near Asyla, Camden County, New Jersey, for the County of Camden, will be received and opened by the chairman of the committee on Central Plant in the meeting room of the Board of Chosen Freeholders, in the Court House, Camden, New Jersey, on the 19th day of December, 1924, at 2 P. M.

The work for which proposals are hereby invited, and for which bids will be received, includes all labor and material necessary to properly construct and install the following: boiler feed and condensate pumps, general power plant piping, valves, fittings, etc.

The right is reserved to accept or to reject any or all proposals or to waive any informality in any proposal presented. All bids must be in sealed envelopes endorsed "Proposal for Central Plant," and stating the branch of work covered. (No bid will be considered unless accompanied by a certified check to the order of the County of Camden, or cash in the amount of 10% of the bid, the certified check or cash to accompany the bids. In case the bid is less than \$5,000.00, said check or cash must not be less than \$500.00, and also a statement from a Surety Company that it will provide the contractor with a bond, binding the bidder to execute a contract if awarded to him. The terms of the proposal with surety required are fixed by the specifications.

Copies of the drawings and specifications will be on file in the office of the Engineer for the purpose of estimating. A limited number of copies of the plans and specifications will be loaned to prospective bidders on deposit of a certified check to the Engineer's order for fifty dollars (\$50.00). The plans and specifications may be obtained by application to Frank H. Schaefer, Engineer, 306 Temple Building, Camden, New Jersey.

Check will be returned at time of returning plans and specifications, but should they not be returned, the deposit may become forfeited.

County of Camden, a municipal corporation of New Jersey, by the Committee of the Board of Chosen Freeholders on Central Plant.

ELMER E. STAFFORD,  
Chairman.

FRANK H. SCHAEFER,  
Engineer.

Secretary of Commerce, Herbert Hoover, a few years ago had occasion to investigate conditions related to the slate industry, which revealed the rather astonishing fact that here was one branch of industry marketing a very practical and useful commodity that stood aloof from conventions and get-together affairs of all sorts which serve in these days to bring man face to face for the discussion of trade problems and the ironing out of misunderstandings, the cultivation of better feeling and the realization that, after all, men are just men and business is a human sort of enterprise if mutual understanding is developed.

Warner S. Hays, then secretary of the National Federation of Construction Industries, took counsel with Secretary Hoover and sent out a call to slate producers of the United States, suggesting a conference in New York to discuss the advisability of taking some action which might result in bringing the components of the industry together in an effective way. Eighty per cent. of the producers and leading distributors responded and a heart-to-heart conference resulted in a unanimous expression that an association was needed and Mr. Hays was commissioned to proceed with its organization.

That Mr. Hays' efforts have borne fruit is evidenced by the large and growing interest shown in the summer outings and the sectional meetings of slate men in various parts of the country and the increasing attendance at the Annual Conferences of the Slate Industry in New York, which are open to and attended by all who are in any way associated with the quarrying, sale or installation of slate and the converting of slate to the many useful and necessary purposes for which slate is used.

Don't crowd your space, Mr. Advertiser. Better play up one selling point at a time than to try to get everything into one ad and kill every possible chance for display. An ad. should stand out. It should be easily read. It should draw the attention of the reader. A carload of detail can't be crowded into a few inches of space and still retain the quality of sticking out as all good advertising should.

I make it a rule never to write a grouchy letter—I telephone.

(Continued from page 788)

der. It should be borne in mind, however, that competition based solely on price tends to reduce the character of service and quality of work estimated on and performed and therefore to reduce the standards of performance in the industry.

Frequently the character of the work may be such that it is impossible to select a group of bidders that are exactly of equal ability to handle it as desired, and that, up to a certain amount, a higher bid may be offset by some special qualifications of the bidder. If factors other than the amount of the bid are to be taken into consideration in making the award, this condition should be clearly stated in the notices to bidders. The usual clause reserving right to reject any or all bids and to accept any bid is a legal protection that is desirable and reasonable in all bidding, but if special conditions will enter into the award in addition to price, it is only fair to the bidders that this fact should be clearly stated in advance, in addition to the legal reservations above referred to.

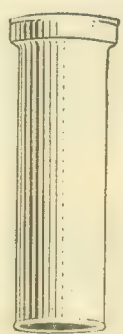
**(7) Time Limits**

Time is often of the essence of the Contract, and a time limit for the completion of the work involved in the making of estimates. Frequently the bidders are asked to state in their bids the time within which they will complete the work. This is an undesirable practice as it adds a second element of competition and confuses the award. If a time limit, with or without forfeit and bonus, is desired, a reasonable or the necessary time should be stated in the General Conditions of the Contract Form and all bidders required to submit their bids on this basis.

After bids are received, consideration of the effect of the time limit on the price may well be discussed with the successful bidder in order to determine how an earlier or later time would affect the cost, taking into consideration the use value of the completed building to the Owner. It should not, however, be taken up with other than the successful bidder as this would open up undesirable opportunities for cutting prices on the score of time in an attempt to defeat the legitimate advantage won by the successful bidder in the original estimating.

**(8) Unit Prices, Alternate Estimates and Secondary Estimates**

Unit prices required as part of a bid are confusing and very often fail of their purpose. Prices for units of work not carefully and accurately defined are frequently not properly applicable to the work as it later appears; and an elaborately itemized schedule of unit prices that will fit accurately all future contingencies is cumbersome and confusing. Unit prices on general building construc-



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tion should be used sparingly and with caution.

Inclusion of alternate estimates in a proposal sheet is an undesirable practice. Where many are required it adds greatly to the expense and the difficulty of preparing a bid, and injects an element of confusion into the determination of the successful bidder. The major items of cost should be analyzed by the Architect in advance, the plans prepared on a basis as nearly as possible meeting the financial requirements and any further adjustments determined in conference with the successful bidder.

Secondary estimates, after the bids are received, upon various items, usually small and often reductions, introduce the chance for bidders to revise their original bids by quoting new prices widely at variance with the value of the proposed changes. This opportunity is often taken, making in effect a second chance to bid upon the entire work. This practice is therefore faulty because it requires contractors to bid twice, the second bids carrying a greater element of gambling and price cutting, which lead to business instability. The practice should therefore be discontinued whenever possible, and changes should be handled only with the successful bidder.

#### (9) *Determine Sub-Contractors in Advance*

The reason for a General Contractor is his ability to administer the building operation affectively, executing with his own direct employees certain portions of the work and directing the various Sub-Contractors and correlating their work so that proper progress is secured. It cannot be denied that many who go by the designation of General Contractor are incompetent to perform these important functions properly. Their experience, organization and reputation based on performance, should be more carefully investigated than is frequently the case before they are invited to bid. The "separate contract" system under the Architect or Engineer is preferable to the General Contract system with an incompetent or dishonest General Contractor.

In any event, generally a large majority of the work will be done by "Sub-Contractors." Their ability to perform the work is of great importance to the Owner. It is not sufficient to rely solely on the reputation of the General Contractor for he cannot reproduce for the Owner work of a better quality than the abilities of his Sub-Contractors and their mechanics.

Therefore, wherever quality of work is to be considered and not merely price, it is important to select Sub-Contractors with as much care as General Contractors. Many General Contracts, however, are awarded on a lump sum without any reference to the Sub-Contractors to be

used in the work. Such a method is to be condemned. Unless the Sub-Contractors are known the quality of work figured on is not clear and the award is made in ignorance of this important fact. Such a method also encourages re-figuring of Sub-Contracts after the award for the purpose of securing lower prices merely to increase the profit of the General Contractor to the detriment of the Owner's interest.

All Sub-Contractors of importance should be determined before the General Contract is awarded and should constitute a factor in the award. This can be done in various ways.

#### (10) *Methods for Selecting Sub-Contractors*

##### (a) *Sub-Bidders Named in Proposal*

The simplest way is to require the General Bidders to name for the principal trades the Sub-Bidders whom they intend to employ. These names can be reviewed and any that are not satisfactory can be changed before an award is made. It should, in such case, be made clear in the notice to bidders that the character of the Sub-Bidders will be given consideration in making the award. The Owner will then be entitled to demand better Sub-Contractors of the low bidder, or to accept a higher bid if it is based on a better grade of Sub-Bidders. A General Bidder can easily produce a low bid by the use of a group of undesirable Sub-Bidders. If the General Bidders are to be justly compared on price, the groups of Sub-Bidders must be reasonably equal in ability.

##### (b) *List of Approved Sub-Contractors*

Instead of requiring the naming of Sub-Bidders in the proposal, the Architect or Engineer may submit to the General Bidders a limited list of Sub-Contractors in each trade, any of whom will be acceptable. In making up this list consultation with the General Bidders is often desirable. This will save the time of Sub-Bidders who might not be satisfactory and will simplify for the General Bidders the securing of estimates in these trades.

##### (c) *Designated Bids*

Another method that has been used to a considerable extent is to require Sub-Bids on certain designated portions of the work, from Sub-Contractors selected as set out in the preceding paragraph, to be delivered to the Architect some days in advance of the General Bids. A list of the selected Sub-Bidders and the amounts of their bids are sent to all General Bidders a day or two in advance of the date the General Bids are due. All General Bidders are instructed to base their General Bids on the use of this list of designated Sub-Bids.

The advantage of this system is that it permits the selection of a more satis-

factory list of Sub-Contractors and eliminates this often complicated problem when the General Bids are under consideration, thus expediting the selection of a General Contractor and the award of the Contract. Sub-Bidders can submit their net estimates in the assurance that they will get the Contract at the price they name if at all. It permits the General Bidders to know the Sub-Bidders on the principal parts of the work at least a day or two before their own bids are due instead of receiving them within a few hours of that time.

The objections raised to this system are that it may weaken the control of the General Contractor over the Sub-Contractors so selected; that the Architect and Owner assume certain responsibilities by such procedure not otherwise assumed; and that under this procedure a General Bidder may have to assume a Sub-Contractor that is not satisfactory to him either in ability or on personal grounds. In answer to these objections, those who have used this system testify that control over Sub-Contractors has not actually been reduced in such cases; that it is possible that some added responsibility for the Architect is involved, necessitating carefully drawn documents, but that since the Contractor has more time to survey these Sub-Bids he is in a better position to assure himself that all points are properly covered and so may reasonably be held for all contingencies. As to assumption of unsatisfactory Sub-Bids, a General Bidder is always at liberty to state that a designated Sub-Bidder is not satisfactory to him and that his bid is based on the use of another named Contractor for such work. This would always be considered if his bid was low and his objection to the Sub-Bidder reasonable. In spite of the objections cited it appears to be the best procedure to follow where a high grade of work is desired.

##### (d) *Above Systems Combined*

The above three systems may be used in combination arranging for "designated bids" on a limited number of items of major importance and providing for the naming by the General Bidders of Sub-Bidders in other less important branches of the work, or, in some cases, the naming by the Architect of an approved list of Sub-Contractors.

#### (11) *Specialties and Allowances*

Some branches of the work are of the nature of specialties on which real competition is not possible, or which involve service by cities, towns, or public service corporations not subject to estimate. In such cases, the Architect must secure such estimates as he can for the particular work desired,—in some cases only a single bid perhaps being obtainable. For all such work the "designated bid" is the natural method to pursue, and the Contractor ex-



pects to have such Sub-Bidders definitely selected by the Architect.

So far as practicable definite bids on these specialties should be obtained in advance of the General Bidding. Where not practicable to do so the work may be covered by an "allowance" and figured later. It is not desirable, however, to cover many important items in this way as it leaves the General Bidder in doubt, when submitting his bid, on matters that may have an important bearing on the progress of the work.

#### (12) Labor Policy

In a community where there is a general trade agreement in force it is wise for an Owner to determine definitely in advance whether his work shall proceed in accordance with such agreement, using organized labor, or ignoring such agreement using unorganized labor. All Contractors on a job should be of the same kind in order to prevent delays and labor disputes. An Architect or Engineer in selecting Sub-Bidders, on any of the above mentioned plans, should bear in mind the general labor policy adopted for the work.

### CASEMENT WINDOWS

BY EDNA KNOWLES KING

The prospective builder discovers that building a new home involves a thousand and one choices. First the lot is chosen, and then the style of architecture that will best suit his needs, express his taste, and suit the site. Then a thousand and one small choices are made in conference with the architect. He goes over the plan and specifications from the shingles on the roof to the basement floor. While the task is highly interesting, still it is with a sigh of relief that he discovers there are two types of windows from which he must make his choice: the double hung and the casement.

The double hung window is the "common ordinary garden variety" that slides up and down and is well known generally. It originated in Holland. The Pilgrims caught the idea of this sort of window during their sojourn in Holland and used it in their new homes in this country. During the intervening years the double hung window has been used over and over again without special consideration as to its beauty, convenience, or utility.

To begin with, casement windows admit twice as much air as the same size double hung windows, as the latter are never more than half open when they are opened their widest. Casement windows really bring the beauties of the outdoors indoors, for when they are flung wide open the loveliness of the flower garden, the strip of lawn; the distant hills are so plainly visible that there is no feeling of being shut up in a house away from it all.

Then there is a romance to the words "casement windows." They bring to mind quaint, thatched cottages in far-off England and France. A home that is so plain it is classed as ordinary may be given distinction by the use of casement windows. It is done time and time again. Sometimes the architect sees fit to use both casement and double hung windows in the same house to give an interesting variety to the exterior and a greater elasticity and convenience to the arrangement of rooms.

These questions are occasionally raised by prospective builders: Is it correct to use casement windows in a stone house, in a brick house, in a colonial, in a cement, in one of Spanish inspiration? "Yes," is the answer to all of these questions. Occasionally an architect is questioned as to whether it is advisable to use casement windows in a country where there are frequent storms. "Are they really weather-proof?" is the way the question is put generally. The answer to this question is: while there are casement windows on the market whose manufacturers have not yet succeeded in making them absolutely weather-proof, there are casement windows guaranteed in this respect and put out by reliable manufacturers that are absolutely weather-proof.

Other qualifications necessary to complete satisfaction have been fulfilled, also. Some of these are: a maximum or a minimum of ventilation without a draft is possible; the windows are so constructed that they work easily and quietly; windows and screens are planned so that there is no interference between them; windows are self-adjusting, so that the wind cannot rattle or slam them shut, thus enabling perfect control of the ventilation; and the windows are easily washed from the inside.

While the subject of how to successfully screen the casement window was a baffling one at first, this has now been solved in several practical ways. There are excellent adjusters on the market that make it possible to open or close the windows through the screen. Sliding screens that make the windows easily accessible placed next to the sash on the inside are used, too. The shades and draperies are then placed on the inside of the screen. This allows the operation of the shades without opening the screens each time, and in addition, the screen acts as a protection against the shades and drapes being blown out of the window when open.

To be really efficient, windows must shut out storms, operate freely, and stand up under varying weather conditions. Solid steel construction with strongly welded corners make an exceptionally durable window, one that has strength to remain true and rigid through many years of service.

Wooden casement windows are not made in stock sizes but are made to order for individuals. In most instances the hardware is furnished by a different firm from the one making the sash (special prices are made by the mills on orders for ten or more windows of a size), so there is a financial saving in using a great many windows of the same size.

The proper proportions for the best artistic effect should be observed in determining the size: a "square" casement window never has the beauty that a window planned on the same proportion as average doorway. When the casement windows swing out, the storm sash is on the inside, as are the screens. They may be either hinged or made to slide unless some form of casement operator is used that extends through or under the bottom rail of the storm sash. When the casement windows swing in, the storm sash is put on the outside in just the same manner as with the double hung windows.

Windows which fold together leaving a wide clear opening are very desirable, especially where a good view of the surrounding scenery is wanted. One of the leading manufacturers of hardware makes complete equipment for such windows.

Several sash are so connected in series and placed between an upper and lower track that they may be opened and slid to one side of the frame. The operation is smooth and the sash are water-tight when closed. They will also remain stationary in any position. It is possible to get a clear opening width of 16 ft. using this construction, but of course, this is extreme and in small homes an 8 ft. opening would be entirely satisfactory.

The return of the popularity of the casement window is most welcome to all architects and homebuilders who like to see the principles of beauty worked out so long ago, kept alive. It is encouraging after lapse during Victorian period.

—Keith's Magazine.

The forthcoming gathering, on January 19th and 20th, 1925, at the Hotel Commodore, New York, will find present members of every branch of the industry, from the man who quarries to the man who sets, from the slate roofer to the school slate man, all correlated and functioning under one head and sanction. A harmonious whole acting together on the problems of the industry. The men who pioneered the movement, the group who have worked so successfully for the expansion of the industry, the team workers, who have carried their standard to victory, they will all be there, intent on bringing slate and the consideration of its uses into its proper place in the sun of business competition.



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## CEMENT WORK.

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Potts, Horace T., & Co. ....Erie Ave. & "D" St., Phila.

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## FIREPROOFING.

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## FLOOR HARDENER.

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American and Dauphin Sts., Phila.

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Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

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## GAS RANGES.

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McCarrick Bros. ....3138 N. 24th St., Phila.

Frank A. Stafford. ....719 Cherry St., Phila.

## HEATING CONTRACTORS.

Bowers Bros. & Co. ....2015 Sansom St., Phila.

Fahy & Hudson. ....Columbia 5591

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Wood, Alan, Iron & Steel Co. Widener Bldg., Phila.

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Entered at the Philadelphia Post Office as Second-Class Matter

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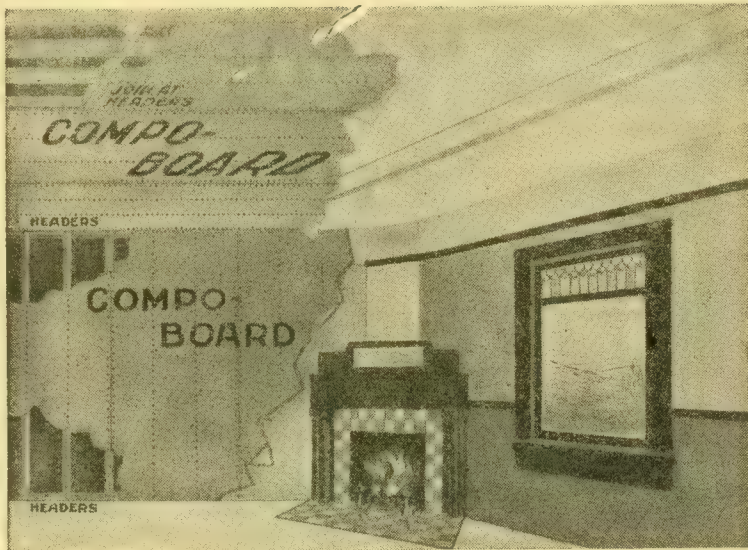
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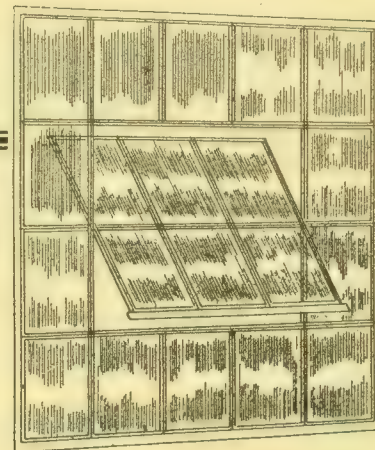
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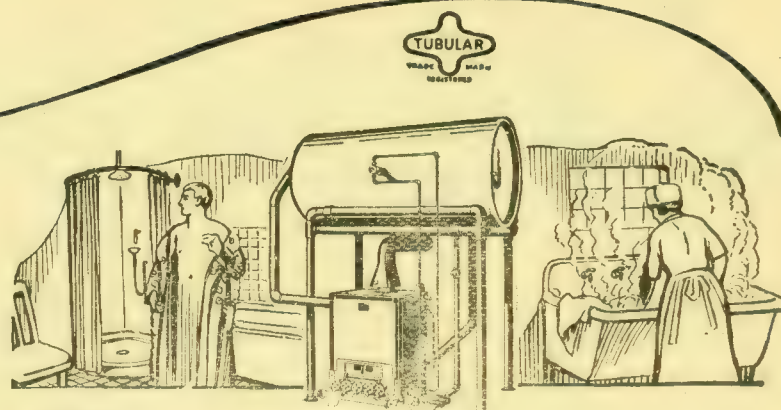
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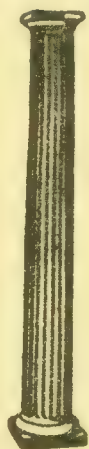
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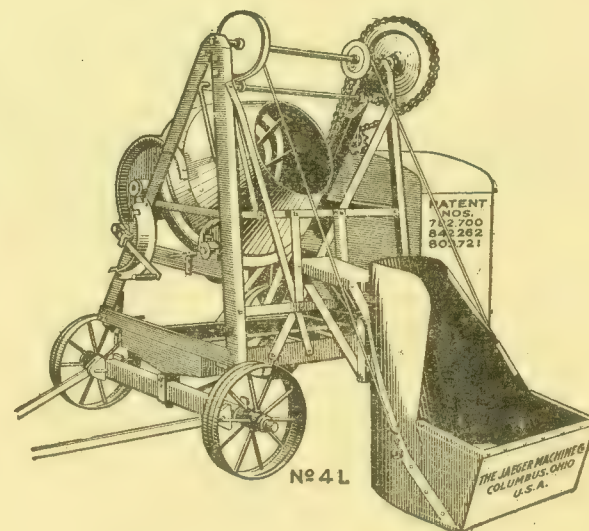
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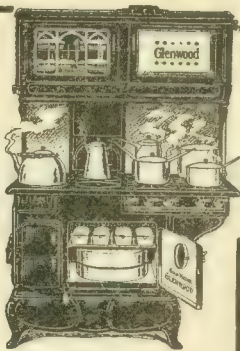


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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural

VOLUME XXXIX

Engineering and the Building Trades

PHILADELPHIA

Number 51

December 17, 1924

## BUILDERS' GUIDE

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## As The Editor Sees It



### CUTTING BUILDING COSTS BY SAVING LABOR AT THE SITE

BY MORGAN G. FARRELL

One of the big leaks in the payroll is the labor wasted through aimless placing of the material as it arrives at the site. A truck drives up—"Where do you want this?" The foreman, busy with something else, barely turns his head, "Dump it over there." And over there it goes—right where the house-sewer trench must be cut. Later a few laborers will spend two or three hours moving it somewhere else.

Or several loads of lumber arrive. They are also unloaded "over there," with the result that the sills go into the bottom of the pile, with the rafters on top. It does not take very long for the material to get out of control. Piles have to be moved, timber carried twice as far as might be, parts cannot be found and are reordered, material rusts and decays.

How much is lost through this cause depends on the competence of the man in charge of the work. There is some such loss on every job. Fore-handed planning alone can keep it down. Orders must be placed early with a definite schedule of quantities and dates of delivery. A copy of the schedule must be given the superintendent, who will then be able to plan, to receive and place each delivery so that it will be accessible and convenient to the work.

A method of scheduling the job is sug-

gested. It is simply a tabulation of the different operations (excavations, foundations, etc.) with the estimated dates when each will start and finish. A similar tabulation based on the operating schedule should show each order and the agreed dates of delivery. The orders covering not only material but sub-contracts as well. Of course, such a schedule must necessarily be approximate. Unfavorable weather and delays of one kind or another are inevitable. Every effort should nevertheless be made to adhere to it; and the contractor himself should lose no occasion for impressing on his force, that they are working against time and are expected to keep to the schedule.

The next important step is to lay out on the plot a place for all material to be received with special regard to the order in which it will be used, the part of the work into which it will be built, protection against the weather, checking it out of stock and accessibility.

This may appear, to those who never tried it, to involve too much system. They may be assured that experience has demonstrated that such system will more than pay for itself, in the actual waste and duplication it prevents.

The writer well recalls a lesson in this form of efficiency, he learned while in charge of army shops at the advanced depots for engineering material in France during the war. As it has a decided bearing upon the problem under

discussion, it may not be amiss to recount it.

Our own depots in the back areas were in an incredible state of disorganization at first. The working force was green. Plans were incomplete or unpublished. Material was coming in by the train-load and nobody knew what or how much to expect. Working shorthanded, the engineers could only keep at it day and night and get the stuff off the cars somehow or other. It seemed that every engineering material and equipment under the sun was piled up in mountains on both sides of the tracks. How it was checked in at all was a mystery. And then would come in the requisitions carefully detailed for 2 kegs 20d nails, 6—2x4—20, 16—2x8—18, 1—type-writer, 1 box blue carbon paper, etc.

"Try and find them," said the officers.

Of course the chaos was reduced to order, after a while, and those same depots became models of systematic arrangement and operation.

In the meantime, we took over the French sector around the St. Mihiel salient, including their engineer depots. These were organized in a way to gladden a builder's heart. They were all laid out on about the same plan. A driveway entered at the highway front, described a loop through the grounds and came out a hundred yards or so from the point of entrance.

A standard gauge spur bisected the

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space enclosed by the loop. At one side of it and thirty feet distant was a 24 inch gauge track with spurs leading to different parts of the yard.

Goods came in by standard gauge road and went out on truck trains or on the narrow gauge military railways.

Incoming material was neatly stacked in *small* piles with working space all around each pile. No attempt was made to bring all lumber to one spot. On the contrary there would be a pile of 2x6 inches here and another 200 ft. away and others scattered about the yard. This facilitated handling. It made unloading easy for the lumber in a car spotted in Section 5 could be unloaded right there instead of being carried some distance to a single section assigned to lumber.

It facilitated loading, for truck trains were divided into sections of about five trucks each, of which one truck, perhaps, in each section was to be loaded with 2x6 inch plank. As a train consisting of four to eight sections entered the yard it was strung out over 500 to 1000 ft. of driveway.

No matter where a lumber truck stopped it was not far from a pile of the material scheduled for it. Besides, these depots had knock-down buildings for covered storage and small machine, forge and carpenter shops.

Now the same system is applicable to any construction job. In placing the material for, say a school contract on the ground, there is no good reason for piling all the brick in one place, all the lumber in another, etc., as is generally done. The reverse is true. The brick should be placed in several piles about equidistant from one another, all around the building.

Thus the laborers draw from the pile nearest the section of the work they are serving. The same applies to any bulk material that is stored in the open. It may even be true of sand and gravel for concrete, under conditions where it can be shown that it is cheaper to move the mixer and shorten the barrow travel, than

to keep the mixer fixed with a corresponding increase of travel.

Naturally, what is to be said about the disposition of material on the site applies only to operations in which there is some working space around the building.

On a city job where plant and materials must be placed in the street, on the sidewalk platform or in the first floor of the structure, the method of procedure is quite different, though the same principles govern.

But where the lot is large enough to permit a fair amount of storage space, the following requirements must be met, for efficient handling:

- (a) A practical roadway to give access to the main portion of the material yard.
- (b) Open storage for bulk material in the order of use and in sufficient quantity to keep ahead of the demand.
- (c) Covered storage for such stock as must be protected from the weather.
- (d) Tool and equipment shed.
- (e) Office.
- (f) Sheds for sub-contractors, and
- (g) Shop space for fabricating on the ground.

Considering these in order:

The builder, anxious to get started on the work of construction, has little time or effort to give to the matter of a driveway. But even if the ground is dry and solid it will pay him to stake out a road in accordance with his yard plan and compel all vehicles to keep in the groove. As traffic wears ruts in the ground, he should fill them up with gravel. Thus the roadway will improve with use instead of becoming impassable.

In spring, wet weather or in soft ground, it is a good practice to dig two wheelways 9 inches deep and 18 inches wide and fill them with cinders or gravel. One yard of either will build 9 feet of road strips at a cost of 10 to 25 cents a foot. It will be money well spent. Very soft spots may be bridged by laying undressed timber stringers, four or five to the road width and spiking to them 2 or

(Continued on Page 815)

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**Sewers, Philadelphia.** Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Owners taking bids due December 22nd at noon. For further information apply Room 416. Schedule A, branch sewers. Schedule B, main sewers. Green Lane and Fairmount Park from Wissahickon Drive to Gerhard street, extension of Wissahickon low level intercepting sewer.

**Miscellaneous Work, Independence Hall, Philadelphia.** City architect, John Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Plumbing improvements, marble and slate work, boiler room vents, fire doors, ash hoists, miscellaneous items for mechanical equipment, lightning protection, exterior tower improvement. South Second Street Market, installing of new gas lighting fixtures. Owners taking bids due December 23rd at noon.

**Garage, Northwest Corner Tulip and Rush streets, Philadelphia, \$2,000.** Architect, private plans. Owner, D. J. Potter, 6932 Ditman street, Philadelphia. Brick, 1 story, 32x60 feet, slag roof, cement floors. Owner will build.

**Church (alts.), Roxborough, Philadelphia.** Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owners, Roxborough Baptist Church, J. Foster Wilcox, 467 Gerhard street. Sketches drawn.

**Store and Apartment (alts.), 1607 Pine street, Philadelphia.** Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Mrs. A. Reed, care of architect. Brick, 3 stories, alterations into store and 3 apartments. Plans in progress.

**Manufacturing Building and Office, Wissinoming street and Unruh street, Tacony, Philadelphia.** Architects, William Steele & Son, 219 North Broad street, Philadelphia. Owners, Henry Disston & Son, Inc., on premises. Brick, concrete steel, 6 stories and basement, slag roof, cement floors. Plans in progress.

**Manufacturing Building, Northwest Corner Thirtieth and Chestnut streets, Philadelphia.** Architect, E. L. Rothschild, Bankers' Trust Building, Philadelphia. Owners, Locust Corp., Fifteenth and Chestnut streets, Philadelphia. Reinforced concrete, steel, 10 stories, 120x199 feet. Sketches drawn. Work contemplated.

**Church (add.), Seventy-second and, Elm-**

**wood avenue, Philadelphia.** Architect, Adiel M. Stern, 413 North Thirty-eighth street, Philadelphia. Owners, Carmel Reformed Church, Rev. W. Weiss, 2434 South Seventy-second street, Philadelphia. Brick, 2 stories, 70x70 feet, slate roof, electric light, terra cotta trim. Preliminary plans in progress.

**Fraternity House (alts.), 3917 Spruce street, Philadelphia.** Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owners, Sigma Phi Sigma Fraternity, on premises. General alterations. Plans in progress.

**Apartments (6) (alts.), 427 East Cheltenham avenue, Philadelphia.** Architect, John Charles Norton, Ardmore, Pa. Associate architect, Guy B. Johnson, 5413 Media street, Philadelphia. Owner, name withheld. Brick, 3 stories, 22 feet x irregular, slate roof, tile, hardwood and cement floors, fire wall, hollow metal sash and skylight, tile work, hot water heat and electric light extensions. Plans in progress.

**Sales and Service Building, Broad at Locoming avenue, Philadelphia.** Architect, Philip S. Tyre, 1509 Arch street, Philadelphia. Owner, Reynold H. Greenberg, Morris Building, Philadelphia. Lessee, Preis-Nash Motor Co., 4228 North Broad street, Philadelphia. Terra cotta and brick, 60x146 feet. Plans in progress.

**Maternity Building, Broad and Wingohocking avenue, Philadelphia.** Architect, E. A. Wightman, Bankers' Trust Building, Philadelphia. Owners, St. Luke's Hospital, on premises. Preliminary sketches being drawn.

**Bank Building, 1104-06 West Lehigh avenue, Philadelphia.** Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owners, Excelsior Trust Co., William J. Nash, first vice-president, on premises. Stone, brick, concrete, steel. Architect selected. Plans about to be started.

**Babies' Home, 6950 Germantown avenue, Mt. Airy, Philadelphia.** Architect, Herman Miller, 1420 Chestnut street, Philadelphia. Owners, Lutheran Orphans' Home and Asylum for Aged, on premises. Stone, 2 stories, 66x68 feet, red shingle tile roof, pine and oak floors, ornamental iron work, hollow tile, hot water heat, electric light, tile work. Plans in progress. Will take bids on this building and entrance gates in four weeks.

**Store and Apartments (10), 6600-6618 Chew**

**street, Philadelphia.** Architect, J. Ethan Fieldstein, Otis Building, Philadelphia. Owner, name withheld. Brick, 2 stories, 16x60 feet, slag roof, hot water heat, electric light, hardwood floors, tile work. Philip Savar, 718 Snyder avenue, Philadelphia, taking sub-bids.

**Store and Apartment (alts.), 28-30-32 North 60th street, Philadelphia, \$3,000.** Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, Morris Gerson, 6060 Webster street, Philadelphia. Brick, 3 stories, 16x67 feet, general alterations. Owner taking sub-bids.

**Show Room, 1914-16 Callowhill street, Philadelphia, \$50,000.** Architect, John Charles Norton, Ardmore, Pa. Associate architect, Guy B. Johnson, 5413 Media street, Philadelphia. Owner, name withheld. Brick, terra cotta, 2 stories, 45x125 feet, slag roof, concrete and Stedman rubber floors, elevators, roof ventilators, ornamental plastering, rolling steel doors, hollow metal sash and skylights, steam heat, electric light. Plans in progress. Will be ready for bids in two weeks.

**Store and Apartment, Oxford Pike and Akron street, Philadelphia.** Architects, Murphy & Talley, Drexel Building, Philadelphia. Owner, George T. Sales, Liberty Building, Philadelphia. Brick, 3 stories, irregular in size, hot water heat, electric light, tile work, slag roof, hardwood floors, metal bulks. Plans about complete. Architects will be ready for general bids in one week.

**Store Building and Offices (alts. to second and third floors), 1211-15 Chestnut street, Philadelphia.** Architect, private plans. Owners, Mawson & DeMany, care of Mr. Walsh, 1215 Chestnut street, Philadelphia. Walnut paneling, refrigeration equipment, carpentry, mill work, painting and glazing. Owners taking sub-bids.

**Club House (alts. and add.), 1319 Locust street, Philadelphia.** Architect, G. Edwin Brumbaugh, Real Estate Trust Building, Philadelphia. Owners, Poor Richard Club, H. C. Story, 239 South Camac street, Philadelphia. Plans in progress. Will be ready for bids in two weeks.

**Factory (add.), West side Orianna street, South side Willows avenue, Philadelphia.** Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, E.

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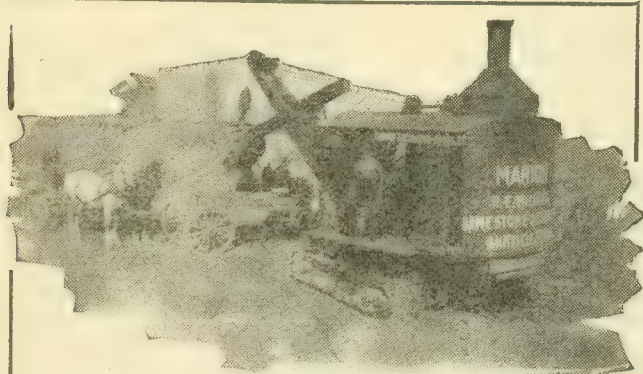
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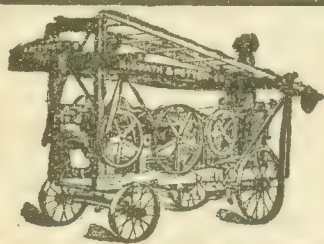
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Hubschman & Son, Inc., on premises. Architects taking supplementary bids on one story and basement building. Bids due as soon as possible.

**School**, Southwest Corner Tucker and Memphis streets, Philadelphia. Architect, Peter F. Getz, Victory Building, Philadelphia. Owners, St. Ann's Roman Catholic Church, Rev. M. A. Hand, on premises. Brick, cut stone, stone, limestone, 2 stories and basement, 135x61 feet, steam heat, electric light, metal lath, tile and marble work, rolling steel sash, bond, ornamental iron work, wrought iron pipe, plumbing, waterproofing and dampproofing, metal ceilings, plumbing, Georgia pine floors, asbestos shingle roof, composition treads, oil burning equipment (alternate). Architect taking bids due December 18th, 3 P. M.

**Apartment House**, 4035 Chestnut street, Philadelphia. Architects, Watson Engr. Co., Cleveland, Ohio. Owners, Apartment Homes, Inc., 518 Stock Exchange Building, Philadelphia. Brick, limestone, cut stone, steel, 5 stories and basement, 104x53 feet, Barrett's Specification roof, composition, oak, cement and pine floors, elevators, plumbing, architectural terra cotta, ornamental iron work, fire and tin clad and kalamein doors, rolling steel sash, tile and marble work, metal lath, steam heat, electric light. Owners taking bids due December 23rd.

**Mill Building (alts.)**, Allegheny avenue and Boudinot street, Philadelphia. Architect, E. A. Stopper, 10 South Eighteenth street, Philadelphia. Owners, Concordia Silk Mills, on premises. Equipment for main building (change from steam to electricity), pointing of entire building, new offices on first floor. Note change in plans. Architect will be ready for bids in about 3 weeks.

**Church**, Tacony, Philadelphia. Architect, L. E. Bennis, 5549 Germantown avenue, Philadelphia. Owners, Christian Alliance Mission, Walter Erb, 6628 Jackson street, Philadelphia. Work contemplated. Too early for details.

**Building**, Northwest Corner Fortieth and Market streets, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Thomas and William Kelly, care of architect. Brick, terra cotta trim, 2 stories and basement, 25x76 feet. Architect taking bids due December 23rd at noon.

**Residence (alts. into store)**, Garage in rear, 309 North Thirty-seventh street. Architect, E. L. Rothschild, Bankers' Trust Building, Philadelphia. Owner, name withheld. Architect taking bids due as soon as possible.

**Bank**, Eighth and Christian streets, Philadelphia. Architect, A. F. Amodio, 2304 Atlantic avenue, Atlantic City, N. J. Owners,

Roma Brothers, on premises. Brick, 2 stories, 50x67 feet. Architect taking bids early in January.

**Warehouse**, Allison and Market streets, Philadelphia. Architect, George S. Kingsley, 1452 Broadway, New York City. Owners, Advance Storage Co., 13 North Fifty-ninth street, Philadelphia. Reinforced concrete, steel, brick, 3 stories and basement, 125x38 feet, slag roof, cement floors, hollow tile, elevators, plumbing, steam heat, electric light, metal lath, marble and terrazzo work, rolling steel skylights, bond, ornamental iron work, wrought iron pipe, shoring, architectural terra cotta. Owners taking bids due December 19th.

**Equipment**, Philadelphia. Owners, Department of Public Welfare, Bureau of Water, 216 City Hall. Contract No. 676, installing super-heaters at Ladner Point Pumping Station. Contract No. 700, steam piping for Ladner Point Pumping Station. Contract No. 701, steel washed water troughs, Torresdale Filters. Contract No. 705, ash handling system, Ladners Point Pumping Station. Owners taking bids due December 23rd at noon. For further information apply Room 796.

**Residences (3)**, 6208-10-12 Germantown avenue, Philadelphia. Architects, Gleeson, Mulrooney & Burke, 404 South Broad street, Philadelphia. Owner, Russell Blood, 6202 Germantown avenue, Philadelphia. Brick, 2 stories, 14x31 feet, (2) brick and stone, 3 stories, 17x28 feet, 16x22 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Apartments (4)**, West side Bryn Mawr avenue, North of Wynnefield avenue, \$194,000. Owner, J. Edmund Enich, 1317 Widener Building, Philadelphia. Brick, 3 stories, 36x80 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Owner will build.

**Residences (5), Garages (10)**, South side Overington, West of Oakland street, Philadelphia, \$23,000 total. Architect, private plans. Owner, W. Robinson, 4666 Oakland street, Philadelphia. Brick, 2 stories, 20x28 feet, garages, 1 story, 8x17 feet, slag roof, pine and cement floors, hot water heat, electric light. Owner will build.

**Temporary Buildings (29)**, East side Delaware avenue, South of Pennsylvania Railroad, \$35,000. Architect, private plans. Owners, Philadelphia Electric Co., Tenth and Chestnut streets, Philadelphia. Brick, 1 story, irregular sizes. Owners will build.

**Playgrounds (2)**, Philadelphia. Mill Creek, Forty-eighth and Aspen streets, construction shelter building, cement, plumbing and electric work. Belfield, Twenty-first and Chew streets, cement, grading and surfacing. Own-

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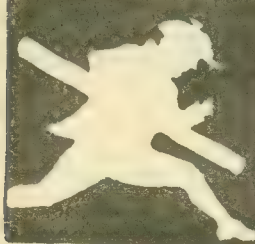
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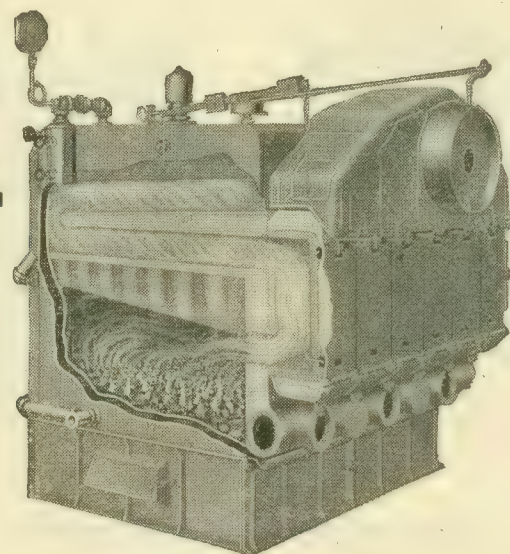






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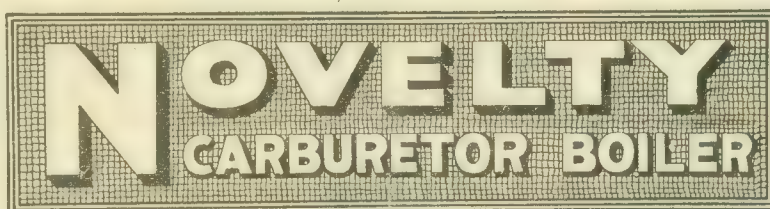
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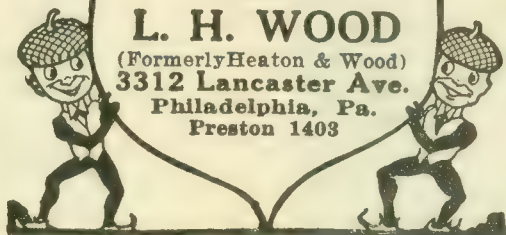
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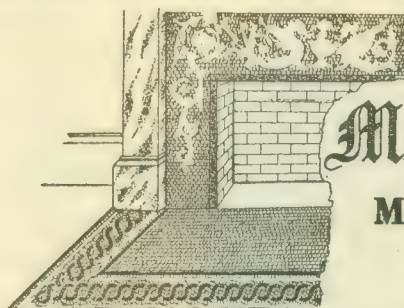
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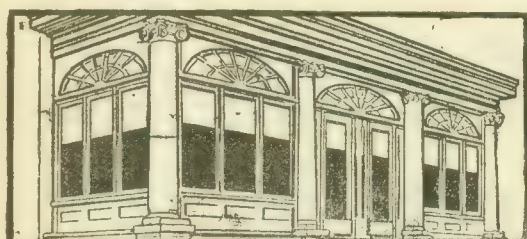
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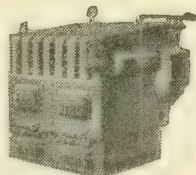
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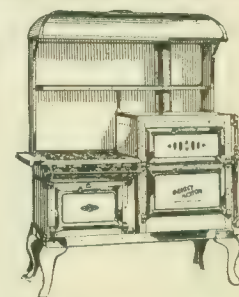
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ers, Department of Public Welfare, Bureau of Recreation, 595 City Hall. Owners taking bids due December 18th at noon.

**Apartment (add.),** 6 South Forty-third street, Philadelphia, \$5,000. Architect, private plans. Owner, Samuel Elgart, 5230 Parkside avenue, Philadelphia. Brick, 2 stories add., 16x61 feet, slag roof, hardwood floors, electric light, heating extension. Owner will build.

**Residences (2),** East side Bingham street, North of Shelmire street, \$4,500 each. Architect, private plans. Owner, Harry Glaser, 1235 Cottman street, Philadelphia. Frame, 2 stories, 15 feet 6 inches x 40 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Apartment (add.),** 3702 Hamilton street, Philadelphia, \$6,000. Architect, private plans. Owner, Samuel Edgart, et al., 5230 Parkside avenue, Philadelphia. Brick, 3 stories, irregular shape, slag roof, hardwood and pine floors,

electric light. Owner will build.

**Residences (18),** North side Beaumont avenue, West of Fifty-seventh street, \$4,000 each. Architect, private plans. Owner, Hyman Barkan, 1520 South Sixth street, Philadelphia. Brick, 2 stories, 16x32 feet, 13x11 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Garage,** 712 Alter street, Philadelphia, \$3,000. Architect, private plans. Owner, P. De Santo, 710 Alter street, Philadelphia. Brick, 1 story, 21x46 feet, 48x38 feet, slag roof, cement floors. Owner will build.

**Garage,** 3641 Lancaster avenue, Philadelphia, \$2,400. Owner, Martin Stout, on premises. Brick, 1 story, 24x60 feet. Owner will build.

**Lumber Shed (alts.),** 876 North Fifth street, Philadelphia, \$2,000. Architect, private plans. Owners, M. Zussman & Son, Southwest Corner Fifth and Poplar streets, Philadelphia. New roof. Owners will build.

street, Philadelphia. Owner, Harry Braverman, 1136 Glenwood avenue, Philadelphia. Brick, 2 stories, 129x79x105 feet, slag roof, cement floors, steel work, steam heat, electric light. Contract awarded to H. G. Walter, 412 North Fortieth street, Philadelphia.

**Stores (5), Apartments (7),** Fifty-second and Brown streets, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Mrs. Heston, care of architect. Brick, stucco, 3 stories, 21x140 feet, hot water heat, tile work, electric light, slag, Spanish tile roof, hardwood floors, plate glass flush bulks. Contract awarded T. S. Fetter, 1829 Filbert street, Philadelphia.

**Truck Garage,** Northeast Sewage Treatment, Wheatsheaf Lane, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Contract awarded to Robbins Cont. Co., 1137 North Front street, \$51,370. Electric, Merit Elec. Co., 630 Race street, Philadelphia, \$2,150. Plumbing, S. Faith Co., 2427 Pennsylvania avenue, Philadelphia, \$1,059. Heating, S. Faith Co., 2427 Pennsylvania avenue, Philadelphia, \$2,575.

**Store, Residence and Garage,** 3179 Richmond street, Philadelphia, \$17,100. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, B. Lit, 3177 Richmond street, Philadelphia. Brick, 2 stories, 21 feet 7 inches x 666 feet, slag roof, oak, pine and cement floors, hot water heat, electric light, metal bulks, ornamental iron work. Contract awarded to Jacob Bender, 1817 South Fourth street, Philadelphia.

**Manufacturing Building,** East side Main street, North of Sumac, \$15,000. Architect, E. S. Fitzmaurice, Pennsylvania Building, Philadelphia. Owners, Wissahickon Plush Mills, Ridge and Cresson streets, Philadelphia. Brick, 2 stories, 43x50 feet, 1 story, 24x48 feet, slag roof, cement work, pine floors, electric light. Contract awarded to Farrell-Roth Const. Co., 1624 Spruce street.

**Residences (2) (alts.) and Garages (2),** 3924-26 Locust street, \$15,000 total. Architect, private plans. Owner, Lena Goldman, 911 City Center Building, Philadelphia. General alterations to residences, garages, brick, 1 story, 40x16 feet, slag roof, cement floors, electric light. Contract awarded to Samuel Shapiro, City Center Building, Philadelphia.

**Manufacturing Building (alts.),** West side Main, opposite Walnut Lane, \$7,500. Architect, private plans. Owners, William Spink Co., Nixon and Umbria streets, Philadelphia. General alterations. Contract awarded to H. F. Brown, 6127 Ridge avenue, Philadelphia.

**Residences (16),** North side Harrison street, East of Roosevelt Boulevard, \$6,000 each. Architect, private plans. Owner, Edward F. McPeak, on premises. Brick, 2 stories, 16x39 feet, slag roof, hardwood and pine

## Contracts Awarded

### Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Warehouse and Office,** Forty-ninth and Gray's avenue, Philadelphia. Engineer, Wager Fisher, Otis Building, Philadelphia. Owners, H. B. Smith Co., Seventeenth and Arch streets, Philadelphia. Brick, steel, 1 story, 200x86 feet, office, 60x50 feet, slag roof, cement floors, plumbing (heating reserved), electric light, rolling steel sash. Contract awarded J. N. Gill Const. Co., City Center Building, Philadelphia.

**Store and Dwelling (alts.),** 3045 Kensington avenue, Philadelphia, \$3,200. Architect, private plans. Owner, Edward Neverti, on premises. General alterations. Contract awarded Joseph Sweet, 2549 North Spangler street, Philadelphia.

**Deanery, Faculty Houses (2), Improvement of Grounds,** Forty-second and Spruce streets, Philadelphia. Architects, Zantinger, Borie & Medary, Otis Building, Philadelphia. Owners, Protestant Episcopal Divinity School, Dr. G. C. Bartlett, 316 South Tenth street, Philadelphia. Reinforced concrete, stone, art cut stone, steel, bluestone, flagstone, 3 stories and 2½ stories, deanery, 64x42 feet, faculty, 76x39 feet, slate roof, pine and cement floors, hollow tile, painting and glazing, plumbing, steam heat, electric, metal lath, tile and marble and terrazzo work, hollow metal sash, bond, ornamental iron work. Contract awarded

ed H. G. Campion, Otis Building, Philadelphia.

**Store and Office (alts.),** 1823-25 Chestnut street, Philadelphia. Architects, The Balingier Co., Twelfth and Chestnut streets, Philadelphia. Owners, Westney & Buckley, care of architects. Brick work, cut stone, 4 stories and basement, 1 story arcade, cast stone, concrete and cement work, slag roof, iron work, metal store fronts, carpentry and mill work, metal lath, plastering, tile, marble and terrazzo work, hardware, plumbing, painting and glazing, flagstone. Contract awarded H. John Homan, Eighteenth and Cherry streets, Philadelphia.

**Store and Office Building,** Southwest Corner Twentieth and Chestnut streets, Philadelphia, \$25,000. Architect, Abraham Levy, 1208 Real Estate Trust Building, Philadelphia. Owners, Edelstein & Bernstein, 215 South Fifteenth street, Philadelphia. Brick, steel, 2 stories and basement, 40x67 feet, slag roof, oak, cement and maple floors, painting and glazing, ornamental iron work, artificial stone, tile and marble work, electric light, steam heat. Contract awarded S. H. Levin, 1631 South Fifth street, Philadelphia.

**Garage,** Northwest Corner Germantown and Glenwood avenues, Philadelphia, \$24,000. Architect, Ruben Beard, 2120 North Lambert



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floors, hot water heat, electric light. Contract awarded to Joseph P. McDevitt, 5240 Oxford avenue, Philadelphia.

**Coal Conveyor, Boiler House and Ash Tank,** Ridge avenue, South of Crawford street, Philadelphia, \$40,000. Owners, John and James Dobson, on premises. Concrete. Contract awarded to H. M. Wilson, 1101 Peoples Bank Building, Philadelphia.

**Warehouse,** East side Wissahickon avenue, North of Yelland street, \$35,000. Architect, private plans. Owner, Charles Irwin, 206 South Seventh street, Philadelphia. Brick, 1 story, 81x144 feet, slag roof, electric lighting. Contract awarded to George Kessler Cont. Co., 1733 North Marvine street.

**Manufacturing Building,** North side Westmoreland street, East of Richmond street, Philadelphia, \$15,000. Architect, private plans. Owners, General Smelting Co., Stock Exchange Building, Philadelphia. Brick, 2 stories, 38x32 feet, 1 story, 38x32 feet, slag roof, pine and cement floors, electric light, steam heat. Contract awarded to Henry E. Baton, 1713 Sansom street, Philadelphia.

**Post Office Building,** Southwest Corner Susquehanna avenue and Tulip street, \$18,000. Architect, private plans. Owner, M. Wolf, Morristown, N. J. Brick, 1 story, 50x100 feet, slag roof, electric work. Contract awarded to M. W. Cooperson Co., Sixth and Jackson streets, Camden, N. J.

**Dye House,** Northwest Corner Margaretta and Valley streets, Philadelphia, \$10,775. Architect, private plans. Owner, Lena Van Dusen, 4716 D street, Philadelphia. Brick, 1 story front, 40x96 feet, side 40x20 feet, slag roof, cement work, electric light. Contract awarded to George B. Mitchell, 6224 Limekiln Pike, Philadelphia.

**Residence,** East side Northumberland street, North of St. Vincent street, \$5,500. Architect, private plans. Owner, John Young, 1716 North Hope street, Philadelphia. Frame, 2 stories, 34x24 feet, shingle roof, hardwood and pine floors, hot air heat, electric light. Contract awarded to George B. Garrett, 2162 East York street, Philadelphia.

**Garage,** 1578 East Hewson street, Philadelphia, \$4,000. Architect, private plans. Owner, Charles Miller, 2341 East Fifth street, Philadelphia. Brick, 1 story, 45x18 feet, slag roof, cement floors, electric work. Contract awarded to Myer Wilson, 2129 North Tenth street, Philadelphia.

**Apartment (alts. and add.),** 1246 North Lawrence street, Philadelphia, \$4,000. Architect, private plans. Owner, J. Moretnick, 121 Fairmount avenue, Philadelphia. Brick, 1 story add., 16x12 feet, general alterations. Contract awarded to David Resnick, 1710

North Lindenwood street, Philadelphia.

**Residence and Store,** Southeast Corner Fifth and Pierce streets, Philadelphia, \$9,000. Architect, private plans. Owner, Samuel Sherdbie, 1719 South Fifth street, Philadelphia. Brick, 3 stories, 16x51 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to M. Glashoffer, 529 Morris street, Philadelphia.

**Manufacturing Building,** East side Collins street, North of Allegheny avenue, Philadelphia, \$6,700. Architect, private plans. Owners, Masland Durable Leather Company, on premises. Steel, 1 story, 32x72 feet. Steel contract awarded to Truscon Steel Co., 1505 Race street, Philadelphia.

**Garage,** Southeast Corner Sophia and Chango streets, Philadelphia, \$3,000. Architect, private plans. Owner, Robert Boajam, 529 West Erie avenue, Philadelphia. Brick, 1 story, 80x20 feet, slag roof, cement floors, electric work. Contract awarded to Edward Miller, care of owner.

**Shop,** 4827 Haverford avenue (rear), Philadelphia, \$3,000. Architect, private plans. Owner, Herman Jackson, 328 North Fifty-fifth street, Philadelphia. Brick, 1 story, 23 feet 9 inches x 65 feet, slag roof, pine floors, electric work. Contract awarded to A. J. Logan & Co., 5431 Wyalusing avenue, Philadelphia.

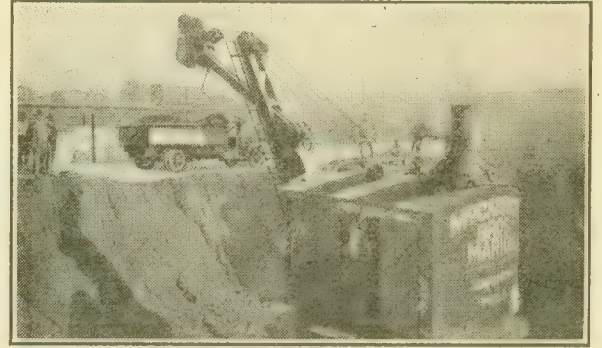
**Storage Building,** South side Erie avenue, West of Front street, \$3,000. Architect, private plans. Owners, Certainteed Products Co., on premises. Steel, 1 story, 28x50 feet. Steel contract awarded to Truscon Steel Co., 1505 Race street.

**Garage,** Southeast Corner Front and Luray streets, Philadelphia, \$2,740. Architect, private plans. Owner, Leo Connors, 2220 South Croskey street, Philadelphia. Brick, 1 story, 18x60 feet, slag roof, cement floors, electric light. Contract awarded to Geo. C. Good, Adams avenue, Oak Lane, Philadelphia.

**Residence and Store (alts.),** 3712 Lancaster avenue, \$2,000. Architect, private plans. Owner, A. J. Zeits, 4309 Lancaster avenue, Philadelphia. General alterations. Contract awarded to Leonard Will, 651 North Frazer street, Philadelphia.

**Shop and Storage (add.),** 509 North Marshall street, Philadelphia, \$2,500. Architect, private plans. Owner, A. Novak, 502 North Sixth street, Philadelphia. Brick, 2 stories add., 30x30 feet. Contract awarded to Acker Bros., 2945 Arizona street, Philadelphia.

**Garage,** 1723 North American street, Philadelphia, \$1,985. Architect, private plans. Owners, Philadelphia and Reading Railroad,



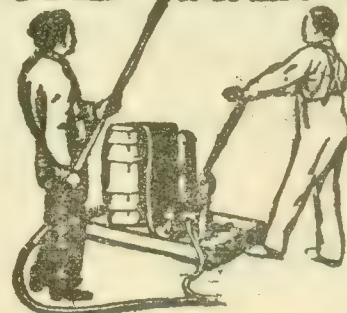
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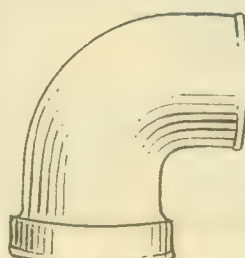
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Twelfth and Market streets, Philadelphia. Brick, 1 story, 18x41 feet, slag roof, cement

floors. Contract awarded to Dillon & Son, 1848 North Front street, Philadelphia.

## PENNSYLVANIA

# Construction News

**School**, near Fogelsville, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Upper Macungie Township School Board, Macungie, Pa. Owners taking bids due January 2nd, 1925, on heating, plumbing and electric work.

**Residence**, Allen's Lane, Chestnut Hill, Pa. Architect, Robert Rodes McGoodwin, 1600 Walnut street, Philadelphia. Owner, Joseph P. Button, care of architect. Stone, 2½ stories, irregular, vapor heat, electric light, tile work, slate roof, oak and pine floors. Architect taking bids due December 20th at noon.

**Apartment Buildings** (3), Lansdowne, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owner, name withheld. Hollow tile, brick, 3 stories, 30x350 feet each, slate

roof, hardwood floors, hot water or steam heat, electric light, tile work. Sketches drawn.

**Residences** (2), Glenside Gardens, Montgomery County, Pa. Architect, L. E. Bennis, 5549 Germantown avenue, Philadelphia. Owner, name withheld. Frame, stucco, 2 stories, creosote-dipped shingle roof, pine floors, hot air heat, electric light. Plans in progress.

**Residence**, Horsham Heights, Montgomery County, Pa. Architect, L. E. Bennis, 5549 Germantown avenue, Philadelphia. Owner, name withheld. Concrete tile and stucco, 2 stories, creosote-dipped shingle roof, pine floors, hot air heat, electric light. Plans in progress.

**School Building**, Downingtown, Pa. Architect, Andrew C. Borzner, 717 Walnut street, Philadelphia. Owners, Downingtown Industrial and Agricultural School, Downingtown, Pa. Stone, 3 stories, 50x50 feet. Plans in progress.

**Barn and Dairy Building**, Doylestown, Pa. Architects, A. J. Sauer & Co., Denckla Building, Philadelphia. Owners, National Farm School, Bernard Osterlenk, Doylestown, Pa. Concrete, cinder block, will accommodate 80 head of cattle. Plans in progress.

**Residences**, Garden City, Pa. Architect, Frank C. Watson, Wallingford, Pa. Owner, name withheld. Brick, frame, stucco, 2½ stories. Preliminary plans in progress.

**Residence**, Savex avenue, Springfield, Pa. Architect, Frank C. Watson, Wallingford, Pa. Owner, name withheld. Brick, stucco, 2½ stories. Plans in progress.

**Philips Memorial Auditorium**, West Chester, Pa. Architects, Price & Walton, 119 South Fourth street, Philadelphia. Owners, West Chester Normal School, Robert Anderson, West Chester. Stone, steel, concrete, 1 story and 2 stories, 64x162 feet. Working plans in progress.

**Bungalow**, Preston avenue, Haverford, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, John Taswell, Bryn Mawr, Pa. Frame, plaster, 1 story, 28x38 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Hospital**, Hanover, Pa., \$250,000. Architect, not yet selected. Owners, Shepherd & Myers, Hanover, Pa. Work contemplated.

**Office and Stores**, York, Pa. Architect, J.

A. Dempwolf, Cassatt Building, York, Pa. Owners, Mahlon N. Haines, York, Pa. Brick, steel, 5 stories, 40x90 feet, composition roof, composition and concrete floors, steam heat, electric light, rolled steel sash. Plans in progress.

**Factory** (add.), Gregg avenue, Reading, Pa. Architect, C. B. Mengel, 1122 Penn Building, Wyomissing, Pa. Owners, Reading Knob Works, Inc., C. L. Heinzman, president, on premises. Brick, 3 stories, 30x200 feet, mill work. Plans in progress.

**Office, Hotel, Dance Hall, Theatre and Stores**, Gettysburg, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Gettysburg Hotel, Gettysburg, Pa. Concrete, steel, hollow tile, brick, 2 stories, 100x150 feet, slag roof, cement and hardwood floors, plumbing, steam heat, electric light. Plans for superstructure about completed. Will be ready for general bids in one week.

**Twin Residence Operation** (number not determined), Drexel Hill Manor Tract, Drexel Hill, Pa. Architect, William C. Hick, Media, Pa. Owners, McManus & James, Drexel Hill, Pa. Stone, hollow tile, stucco, 2 and 2½ stories, 16x36 feet, 18x32 feet, slate and shingle roof, hardwood floors, hot water heat, electric light, tile work. Owners will take sub-bids about January 1st.

**Residence**, Villa Nova, Pa. Architect, John Charles Norton, Ardmore, Pa. Owner, John Charles Norton, Ardmore, Pa. Stone, tile, 2½ stories, 36x53 feet, slate roof, hardwood, rubber and composition floors, hot water heat, electric light, tile work, ornamental plastering. Plans in progress. Ready for sub-bids in two weeks.

**Residence and Garage**, Kent Road, Wynnewood, Pa., \$30,000. Architect, R. W. McCaskey, Otis Building, Philadelphia. Owners, H. Cosly and H. Vodges, 228 South Camac street, Philadelphia. Stone, cinder block, stucco, half-timber, 2½ stories, 30x45 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work, metal lath. Owners will build and will take sub-bids.

**Operation of Residences**, Upper Darby, Pa. Architect, Willis A. Hall, Post Office Building, Upper Darby, Delaware County, Pa. Owner, Edward T. Bartlett, Sixty-ninth Street Title & Trust Co., Upper Darby. Frame, stucco, 2½ stories, 36x30 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owner taking sub-bids on first ten.

**Bethlehem Theatre**, Bethlehem, Pa. Architects, Hoffman Henon, Finance Building, Philadelphia. Owner, Aaron Potruch, Bethlehem, Pa. Concrete work, iron work, carpentry, metal lath, plastering, slate roof, painting, kalamein doors, bond, structural steel, brick, terra cotta (architectural), pine floors, bronze work, ornamental dampproofing, composition floors, tin clad doors, art glass, electric light, plumbing, metal ceilings, tile and marble work. Owner will build.

**Stores and Apartments** (12), Llanerch, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Fred S. Fox, 1308 South Sixteenth street, Philadelphia. Brick, 2 stories, 18x62 feet, slate and slag roof, hardwood floors, hot water heat, electric light, metal lath, tile work, hollow metal sash and skylights, metal bulks, garages in rear of first floor. Ready for sub-bids.

**Residence and Garage**, Brook Haven Park, Pa. Architect, Frank C. Watson, Wallingford, Pa. Owner, name withheld. Brick, stucco, 2½ stories, 27x42 feet, shingle roof, hardwood and pine floors, hot water heat, electric light, tile work. Plans in progress. Ready for bids in one month.

**Factory**, Lancaster, Pa. Architect, H. Y. Shaub, 20½ North Queen street, Lancaster, Pa. Owner, W. W. Kaeffer, care of architect. Concrete block or brick, 1 story and basement, 40x160 feet, slag roof, concrete floors,

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**Store and Apartment Building**, Tamaqua, Pa., \$100,000. Architect, private plans. Owner, Alvin F. Graff, Tamaqua, Pa. Brick and stone, 4 stories, 50x150 feet, hardwood, pine and cement floors, electric light, tile work. Owner will take sub-bids in thirty days.

**Stores (13), Apartments (14)**, Northwest Corner Sunshine and West Chester Pike, Delaware County, Pa. Architect, Charles C. Schweiker, 29 Garfield avenue, Manoa Heights, Pa. Owner, Bernard Ruckdeschel, 6014-16 Market street, Philadelphia. Stone, cement block and brick, 2 and 3 stories, 17x51 feet, 20x68 feet, slag and tile roof, oak and pine floors, hot water heat, electric light, tile baths, copper cornices and bay windows, metal ceiling in stores, copper bulks, fire escapes. Owner taking bids.

**High School**, Harrisburg, Pa. Architect, C. H. Lloyd, Telegraph Building, Harrisburg, Pa. Owners, Harrisburg School Board, 121 Chestnut street, Harrisburg, Pa. Electric fixtures, tile and marble work, maple floors, interior finish (heating and ventilating separate bids). Owners taking bids due January 9th.

**School Auditorium and Convent**, Lenni Road, Lenni, Delaware County, Pa. Architects, F. V. Nickels and C. J. Mitchell, 15 South Twenty-first street, Philadelphia. Owners, St. Francis De Sales, care of D. Cardinal Dougherty, 1732 Race street. Brick, cut stone, steel, cement block, 2 stories and basement, 84x52 feet, convent, 2½ stories and basement, 33x36 feet, slag and slate roof, cement and pine, oak and maple floors, roof ventilators, leaded glass, ornamental iron work, bond, tile and marble work. Architects taking bids due December 18th.

**Church Building, Sunday School (alts. and add.)**, Edge Hill, Pa. Architects, Druckenmiller & Williams, 1537 Chestnut street, Philadelphia. Owners, Carmel Presbyterian Church, Edge Hill, Pa. Stone, cut stone, 1 story and basement, 112x72 feet (heating reserved), slate roof, maple floors, electric light, metal lath, tile work, ornamental iron work, dampproofing, plastering, carpentry and mill work, painting and glazing, tile work, plastering, carpentry and mill work, tile plumbing, hardware, bond. Architects taking revised bids due as soon as possible.

**Club House**, South Fourth street, Easton, Pa. Architects, Thomas, Martin & Kirkpatrick, 112 South Sixteenth street, Philadelphia. Owners, Loyal Order of Moose, East-

on, Pa. Brick, concrete, stone, cut stone, steel, 2 stories and basement, 158x60 feet, Barretts Specification roof, composition and cement floors, hollow tile, plumbing, roof ventilators, shoring, waterproofing, ornamental terra cotta, ornamental iron work, floor hardener, bond, rolling steel skylights, tile, marble and metal lath, steam heat, electric light, cast stone, wrought iron pipe, flagstone, granite, bronze work. Architects taking bids due December 23rd at noon.

**Residence**, Grand avenue, Bustleton, Pa. Architect, J. F. Bradley, 1121 Filmore street, Philadelphia. Owner, Harold Winer, Grand avenue, Bustleton, Pa. Frame and stucco, 2½ stories, 24x35 feet, asbestos shingle roof, oak and pine floors, hot water heat, electric, tile work. Owner will take bids January 1st, 1925.

**Farm Manager's Residence**, near New Centreville, Pa. Architect, H. Gordon McMurtre, Norristown, Pa. Owner, Jesse W. Walker, care of architect. Frame and plaster, 1½ stories, 28 feet 4 inches x 36 feet 10 inches, steam heat, electric light, shingle roof, pine floors, stone foundations. Architect taking bids due December 23rd at 3 P. M.

**Store Front**, Reading, Pa. Architect, F. A. Muhlenberg, Ganster Building, Reading, Pa. Owners, Lang Electric Co., 202 North Fifth street, Reading, Pa. Brick wall, 2 stories,

12x20 feet 6 inches, plate glass, copper work. Architect taking bids.

**Farm House (alts. and add.)**, Edge Hill Road, Rydal, Pa. Architect, C. A. Ziegler, 1309 Locust street, Philadelphia. Owner, Leslie J. Hall, Rydal, Pa. General alterations and additions. Architect taking bids due December 29th.

**Residence**, Elkins Park, Pa. Architect, private plans. Owner, Michael Garula, Mahoney City, Pa. Stone, 2½ stories, 40x60 feet, slate roof, oak and pine floors, hot water heat, electric light. Owner taking bids due December 23rd.

**House, No. 564**, Haverford, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, name withheld. Architects taking bids due December 22nd.

**Gymnasium**, Easton, Pa. Architects, Michler & Shnyder, 610 Drake Building, Easton, Pa. Owners, Easton School District, R. E. Peifer, Second and Church streets, Easton. Lowest bid submitted by Benjamin Rymon, Phillipsburg, N. J., \$61,990.

**Roosevelt School (add.)**, Allentown, Pa. Architect, E. M. Pickin, Hunsicker Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. All bids rejected.

## PENNSYLVANIA

### Contracts Awarded

**Residence (alts.)**, Drexel Hill, Pa. Architects, MacKenzie & Wiley, Bankers' Trust Building, Philadelphia. Owner, Dr. J. L. Engel, Drexel Hill, Pa. General alterations. Contract awarded Friel McLeister, Inc., 1615 Spruce street, Philadelphia.

**Poultry House**, Marple, Pa., \$3,000. Architect, Paul Monaghan, 1713 Sansom street, Philadelphia. Owners, Saints Peter's and Paul's Cemetery, Marple, Pa. Frame, 1 story, 20x60 feet, shingle roof. Contract awarded Doyle & Co., 1519 Sansom street, Philadelphia.

**Sunday School (add.)**, Camp Hill, Pa. Architects, Lawrie & Green, 116 Locust street, Harrisburg, Pa. Owners, Camp Hill Methodist Episcopal Church, G. Larson, chairman Building Committee, Camp Hill, Pa. Brick, 2 stories, 40x70 feet, built-up roof, composition

floors, steam heat, electric light. Contract awarded to Myers Const. Co., Mechanicsburg, Pa. Plumbing awarded to H. E. Foust & Bro., Harrisburg, Pa. Electric awarded to Enterline Electric Co., Lemoyne, Pa.

**Residence**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Wilbur P. Diefenderfer, 1130 Wyoming avenue, Allentown, Pa. Brick, 2 stories, 26x40 feet, slate roof, hardwood floors, vapor heat, electric light, tile work. Contract awarded to Ochs Const. Co., Allentown, Pa.

**Mill**, Reading, Pa., \$250,000. Architect, private plans. Owners, Parish Manufacturing Co., Seventh and Chestnut streets, Reading. Steel, reinforced concrete, 1 story, 270x580 feet, composition roof, wood block or composition floors (heating, electric work and

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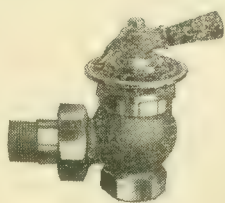
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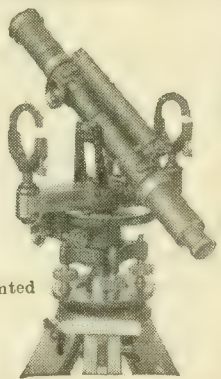
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plumbing reserved), rolled steel sash. Contract awarded to L. H. Focht & Son, Baer Building, Reading, Pa.

**Grade School**, Fifteenth Ward, Allentown, Pa., \$169,172. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Administration Building, Allentown, Pa. Fireproof, 2 stories, 172x124 feet, composition roof, composition and hardwood floors, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing, terra cotta or cast stone (heating, electric work and plumbing separate bids), metal lath, bond. Contract awarded to Friel-McLeister, Inc., 1615 Spruce street, Philadelphia.

**Manufacturing Building**, Scranton, Pa., \$150,000. Architect, private plans. Owners, Scranton Lace Co., Glenn and Meylert streets, Scranton. Reinforced concrete, 1 and 2 stories, 62x175 feet, 57x123 feet, slag roof, cement floors, steam heat, electric light, steel sash. Contract awarded to Morton C. Tuttle Co., 826 Park Square Building, Boston, Mass.

**Residence and Garage**, Merion, Pa. Architect, Paul Monaghan, 1713 Sansom street, Philadelphia. Owner, William Crane, care of architect. Hollow terra cotta, cut stone, plaster, 2½ stories, 53x28 feet, garage, 21x23 feet (heating and plumbing reserved), slate and canvas roof, oak and pine floors, electric light, metal lath, tile work, ornamental iron work, morene wall finish, leaded glass. Contract awarded John E. Kearney, Wynnewood, Pa.

**Nurses' Home**, Scranton, Pa. Architects, Duckworth Bros., 711 Lincoln street, Scranton, Pa. Owners, St. Mary's Keller Memorial Hospital, Rev. Peter Christ, 930 Hickory street, Scranton, Pa. Brick and hollow tile, 2 stories and basement, 96x32 feet, electric light, hardwood floors. Contract awarded to Beilman Bros., 220 Ash street, Scranton, Pa.

**Residence and Garage**, Reading, Pa. Architect, I. Demchick, 1701 Chestnut street, Philadelphia. Owner, M. Schwarth, care of architect. Stone, brick, stucco, 2½ stories, 62x50 feet, vapor heat, electric light, tile work, hardwood and cement floors, oil burning equipment, metal lath, marble work, plumbing, painting and glazing. Contract awarded D. Hunter, Reading, Pa.

**Manufacturing Building**, Kennett Square, Pa. Engineers, William Steele & Son, 219 North Broad street, Philadelphia. Owners, American Roads Machinery Co., Commercial Trust Building, Philadelphia. Brick, concrete, 1 story and basement, 158x132 feet (heating, electric reserved), slag roof, cement floors, plumbing, salt glazed terra cotta, steel rolling doors, wrought iron pipe, ornamental iron work, bond, tin-lined doors, rolling steel sash and skylights. Contract awarded W. D. Hadcock Co., Wilmington, Del.

**Store and Apartments (2), Garage and Filling Station**, Wharton avenue and Easton Road, Glenside, Pa. Architect, Philip S. Tyre, 1505 Arch street, Philadelphia. Owner, Lloyd B. Ely, Glenside, Pa. Brick, stucco, 2 stories, 2 wings, 50x100 feet. Contract awarded Roy Randall, Jenkintown, Pa.

**Church**, New Freedom, Pa. Architects, Hamme & Whitman, City Bank Building, York, Pa. Owners, St. John's Lutheran Church, care of architects. Brick, Indiana limestone, 1 story and basement, 112x75 feet, slag roof, hardwood floors, steam heat, electric light. Contract awarded to C. A. Boyer, York, Pa.

**Residence and Garage**, Swarthmore, Pa. Architects, Bailey & Bassett, 421 Chestnut street, Philadelphia. Owner, E. O. Thompson, care of architect. Hollow tile and stucco, 2½ stories, 30x60 feet. Contract awarded J. W. Worrlow, Media, Pa.

House, Trenton, N. J., December 29th, at 2.30 P. M. Certified check 5 per cent. of bid must accompany each bid. Plans may be obtained at A. H. Moses' office, Temple Building, Camden, N. J. Deposit of \$50 required (refunded).

**High School**, Irvington, N. J. Architect, Donn Barber, 101 Park avenue, New York City. Owners, Board of Education, City of Irvington, N. J. Brick, steel and stone, 3 stories, 218x170 feet, slag roof, cement and maple floors, metal weather strip, shoring, waterproofing, architectural terra cotta, ornamental iron work, kalamein doors, rolling steel skylights, tile, marble and terrazzo work, metal lath, bluestone, limestone (plumbing, heating, electric and ventilating reserved). Owners taking bids due December 29th, 8 P. M.

**Residence (alts.) to Apartment**, 33 Prospect street, Trenton. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Mrs. T. F. Fitzgerald, care of architects. New partitions, hardwood floors, electric work, general alterations to 3 story building, 20x35 feet. Architects taking bids.

**Bath House (add.)**, Ocean Grove, N. J. Architect, C. B. Cook, Asbury Park Trust Building, Asbury Park, N. J. Owners, Ocean Grove Association, Frank B. Smith, secretary, Ocean Grove, N. J. Frame, 1 story, 75x98 feet, shingle roof, cement floors, electric lighting. Owners taking bids.

**High School**, Elizabeth, N. J., \$600,000. Architect, H. B. Brady, 333 North Broad street, Elizabeth, N. J. Owners, Board of Education, Elizabeth, N. J. Brick, steel, 3 stories and basement, 259x172 feet, slag roof, cement and maple floors (plumbing, heating, electric separate bids). Owners taking bids due December 19th.

**Church**, Pleasantville, N. J. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City. Owners, First Baptist Church, Pleasantville, N. J. Stone, 1 story and basement, 48x100 feet, slate roof, hardwood floors, electric light. Architect ready for bids due December 29th.

**Residence**, 2812 Tuckahoe Road, Camden, N. J., \$3,500. Architect, private plans. Owner, John W. Danielson, 862 Fairview street, Camden, N. J. Cement block, 2 stories, 38x18 feet, asbestos shingle roof, pine floors, electric lighting. Owner will build.

## NEW JERSEY

# Construction News

**Factory**, Camden, N. J. Architect, H. B. Tobias, Otis Building, Philadelphia. Owner, Joseph W. Keller, care of architect. Brick, 1 story, 30x60 feet, slag roof, cement floors, steam heat, electric light, rolling steel sash. Architect taking general bids.

**Apartment**, Atlantic City, N. J. Architect, S. G. Dobbin, Segal Building, Atlantic City, N. J. Owner, L. Cades, 1691 Park avenue, Camden, N. J. Brick, stone, 3 stories, 70x95 feet, tile or slate roof, hardwood floors. Plans in progress.

**Residence**, Frederick avenue, Margate City, N. J. Architect, A. F. Amodio, 2304 Atlantic avenue, Atlantic City. Owner, V. D'Abrasia, Eighth and Fitzwater streets, Philadelphia. Brick, stucco, 3 stories, 45x33 feet, Spanish tile roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residence**, Margate City, N. J. Architect, L. C. Adams, Chelsea Bank Building, Atlantic City. Owner, name withheld. Hollow tile, stucco, 2 stories, 20x30 feet, 12x12 feet, tile roof, pine floors, hot water heat, electric light, tile work. Plans in progress.

**Poultry House**, Somers Point, N. J. Architect, Irvin E. Spirer, 1304 North Second street, Philadelphia. Owner, George S. Russell, Somers Point, N. J. Frame, 1 story, 30x90 feet, drop siding, rubberoid roof, cement floors, concrete foundations, electric pumps, canvas covers, wire fence, electric wiring. Architect will build.

**Borough Hall**, King's Highway, Haddonfield, N. J. Architect, W. C. Prichett, 225

South Sixth street, Philadelphia. Owners, Borough of Haddonfield, Allen Clymer, Haddonfield, N. J. Plans completed. Held up temporarily.

**Bakery**, Trenton, N. J. Architect, J. O. Hunt, Hunt Building, Trenton, N. J. Owners, General Baking Co., 564 Perry street, Trenton, N. J. Brick, steel, 1 story, 90x100 feet, slag roof, concrete floors, roof ventilators, steam heat, electric light, rolled steel sash, kalamein doors. Architect ready for bids in one week.

**Residence**, Plum street, Trenton, N. J., \$5,000. Architect, private plans. Owner, Edward M. Sayka, 1301 Brunswick avenue, Trenton, N. J. Frame, 2½ stories, 32x28 feet, slate roof, pine floors, electric lighting. Owner will build.

**Residence**, Trenton, N. J. Architect, private plans. Owner, Lorenza Veltro, 38 Daymond street, Trenton, N. J. Brick, 2½ stories, 14x45 feet, slate roof, pine floors, electric lighting. Owner will build.

**School for the Deaf**, Trenton Junction, N. J. Architects, Arnold H. Moses, Temple Building, Camden, N. J., and Guilbert & Betelle, Newark, N. J. Owners, School for the Deaf, Trenton Junction, N. J. Brick and concrete, bond (heating and ventilating, plumbing and electric work separate bids), main school building, brick and concrete, fireproof, 724,000 cubic feet, shop building, concrete, brick, fireproof, 171,000 cubic feet, laundry building (add. to boiler house), brick and concrete, semi-fireproof, 64,000 cubic feet. Architects taking bids due at State

## New Jersey Contracts Awarded

**Convent**, Tennessee and Pacific avenues, Atlantic City, N. J. Architect, Frank A. Berry, Real Estate Trust Building, Philadelphia. Owners, St. Nicholas' Roman Catholic Church, Rev. Dr. John T. Sheehan, on premises. Stone, brick, 4 stories, 26x126 feet, slag, tile and slate roof, copper dormers, hardwood and slate floors, electric light, hot water heat, metal lath, tile and marble work. Contract awarded John McShain, Inc., 1713 Sansom street, Philadelphia. Plumbing and heating, Mr. Hughes, Atlantic City, N. J. Electric, Frank Wright, Atlantic City, N. J.

**Service Station**, Delaware avenue and Arch street, Camden, N. J., \$3,000. Architect, private plans. Owner, W. W. Smith, Delaware avenue and Arch street, Camden, N. J. Cement block, 1 story, 30x60 feet, slag roof, cement floors. Contract awarded to John E. McVaugh, Riverton, N. J.

Kaufman Construction Company, formerly in the North American Building, has opened new offices at 820 Pennsylvania Building, Philadelphia.



## Delaware Construction News

**Parochial School**, Sixth and Tatnall streets, Wilmington, Del. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, St. Peter's Cathedral, Rev. J. J. Dougherty, Wilmington, Del. Brick, limestone, steel, 3 stories and basement, 105x50 feet, slag roof, cement and pine floors, waterproofing and dampproofing, ornamental iron work, bond, metal lath, tile work, hollow metal sash, pre-cast stone, metal partitions, cast iron pipe. Architect taking bids due December 24th at noon.

**Residence**, Wilmington, Del., \$7,000. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, L. R. Cantera, 1909 West Ninth street, Wilmington, Del. Brick, 2½ stories, slag roof, tapestry brick, artificial stone trim, tile floors, hot water heat, electric light, oak and pine floors. Owner will build.

**Residence**, Wilmington, Del., \$10,000. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, D. M. Fontana, 421 Orange street, Wilmington, Del. Stone, 2½ stories, 35x40 feet, slate roof, oak and pine floors, hot water heat, electric light. Owner will build.

## Delaware Contracts Awarded

**Residence**, 1819 Lincoln street, Wilmington, Del., \$7,000. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owners, Fagan Brothers, Seventeenth and Union streets, Wilmington, Del. Brick, 2½ stories, slag roof, tapestry brick, artificial stone trim, tile work, hot water heat, electric light, oak and pine floors. Contract awarded to P. W. Newell, Maple and Broome streets, Wilmington.

## Miscellaneous Construction News

**Parish House**, Petersburg, Va. Architect, Frank R. Watson, 1211 Walnut street, Philadelphia. Owners, Grace Church, Petersburg, Va. Brick, Indiana limestone trim, 2 stories and basement, slate roof, hardwood floors, electric light, tile work. Owners taking bids.

**Residence**, Winston Salem, N. C. Architect, C. Barton Keen, 338 South Smedley street, Philadelphia. Owner, Carl W. Harris, Winston Salem, N. C. Hollow tile, stucco, brick whitewashed. Architect taking bids due January 3rd, 1925.

**Bungalow**, Cape Charles, Virginia, \$5,000. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, care of C. C. Mammele, Fourth and King streets, Wilmington, Del. Frame, 1½ stories, 35x35 feet, shingle roof, pine and oak floors, electric light. Owner will build.

The valuable man in any business is the man who can and will co-operate with other men. The foreman who opposes the introduction of a new man into an institution and fights every innovation which he himself does not suggest, is doomed to a gradual and creeping defeat. Men succeed only as they utilize the services and ideas of other men. Co-operate!

## Proposal

### ADVERTISEMENT FOR THE CONSTRUCTION OF BUILDINGS FOR THE N. J. SCHOOL FOR THE DEAF, TRENTON JUNCTION, N. J.

Public notice is hereby given that sealed proposals for furnishing labor and materials to construct and equip ready for furnishing the following buildings for the School for the Deaf, will be received by the Architects at the State House, Trenton, New Jersey, on Monday, the 29th day of December, 1924, at 2.30 o'clock P. M., at which time all proposals submitted will be opened and publicly read. The buildings are as follows:

ITEM "A"—The Main School Building. This includes the School and Administration Building, Dining Hall and Kitchen, Auditorium, Gymnasium, and Locker rooms. This building to be constructed with concrete and brick walls and fireproof construction, and contains approximately 724,000 cu. ft.

ITEM "B"—The Shop Building. This building to be constructed of concrete and brick walls—fireproof construction and contains approximately 171,000 cu. ft.

ITEM "C"—The Laundry Building (addition to Boiler House). This building is to be constructed with concrete and brick walls and semi-fireproof construction, and contains approximately 64,000 cu. ft.

ITEM "D"—The Superintendent's House. This is an alteration to the old stone building, and a frame addition thereto, containing approximately 20,000 cu. ft.

These buildings are to be erected on the grounds of the School for the Deaf, Sullivan Way, near Trenton Junction.

Bids will be received as follows:

Base bids, including items A, B, C, D, will be received for,

General Construction  
Heating and Ventilating  
Plumbing Work  
Electric Work.

Separate bids for items A, B, C, D will be received for,

General Construction  
Heating and Ventilating  
Plumbing Work  
Electric Work.

Said Proposals must be on blank forms provided for that purpose, and must be enclosed in sealed envelopes endorsed "Proposals for the School for the Deaf," and must state the branch of work for which proposal is submitted.

No bid will be considered unless accompanied by a certified check to the amount of five per cent. of the bid, or if the amount of bid shall exceed \$200,000.00 in the amount of \$10,000.00 binding the bidder to execute a contract if awarded to him. The terms of the proposal with surety required are fixed by the specifications, to which reference may be had. The right is reserved to reject any or all bids submitted, also, to waive any informality in the same.

Copies of the drawings and specifications may be seen at the Architect's offices, and copies will be loaned to bidders by the Architects on deposit with them of a certified check to their order for the sum of \$50.00. Upon return of drawings and specifications the check will be returned. These drawings and specifications may be obtained by application to Arnold H. Moses, Architect, Temple Building, Camden, N. J.

GUILBERT & BETELLE,  
ARNOLD H. MOSES  
Associated Architects.

Dated December 6th, 1924.

(Continued from Page 804)

3 inch plank of any length over 10 ft. These planks can be used after serving their purpose, where motor trucks alone pass over them.

The road, as a general thing, should make a circuit of the building, except where space limitations forbid, in which case a turn-around must be provided.

The average masonry job calls for uncovered storage for the following: 1. Sand, gravel or cinders. 2. Brick, stone, terra cotta and tile. 3. Steel and iron. 4. Lumber, furring, lath. 5. Sub-contractors' material, as radiators, plumbing fixtures, pipe and the like.

These may have to be accommodated in full and at the same time or in part and in succession according to the system of ordering and delivery. And in laying out the yard due allowance must be made for space made available by material being built in. Thus, in a brick and timber building with concrete foundations, most of the sand and gravel will be out of the way by the time radiators and fixtures arrive, so that they can be placed where the gravel was.

To use definite figures; suppose the building to be a three-story and basement school with 20,000 sq. ft. on each floor. It is of joist construction with concrete foundations and brick walls.

In allotting open storage the superintendent will be guided by the quantities and delivery dates in the job schedule furnished him, and the parts of the work into which each material is to be built.

Those mentioned above are used throughout the building; hence they should be placed in several piles around it—not all in one place. If he decides to set up his mixing plant at one point and keep it there, the sand and gravel must be concentrated at that point.

His order sheet shows that 900 cu. yds. of each have been ordered, to be delivered at the rate of three carloads of each a day, for fifteen days. He expects to use up 48 yds. a day in pouring the foundations, leaving a balance of 300 yds. on hand or to be delivered for the cellar floor.

Taking all contingencies into consideration he would allow space for a maximum of 300 yds. of sand and a like amount of gravel; that is, about 2700 sq. ft. for each, or less, according to the facilities for piling it higher than 3 ft. average. The car-unloading allowance of 1 to 3 days before demurrage begins, will give him some leeway.

The brick order may amount to 300 M and T. C. fire-partition tile to 10 M sq. ft. 12 inch and 20 M sq. ft. 8 inch. A 5 ft. brick stack will require 3,000 sq. ft. of ground area, a loose heap 4,500 sq. ft. The labor of stacking is about off-set by the one-by-one method of loading a hod or a wheelbarrow from a loose



pile. The 12 inch tile will require 2,000 sq. ft. and the 8 inch, 3,000 sq. ft.

Both the brick and tile will be distributed in three or four piles around the building. And here it is in order to advise that temporary openings (apart from the permanent doorways) should be left in the walls of the building to give easy access to any part of it for material.

The steel and iron cannot be stacked unless there are a great many members with the same mark, such as floor I's. Ordinarily a wood-joint building will have only steel columns, girders, lintels and perhaps stair material. These should be assigned plenty of space so that the marks can be seen and the required members taken out without moving other shapes. In a building like the one under discussion, 2,500 sq. ft. will be a sufficient space allotment.

Assume that the lumber list is about like this

Size	Quantities	Ground Space M.F.-B.M.	Sq.Ft.
2x12—1000/20,	300/16=	49.6	830
2x10—2000/20,	600/16=	29.76	500
2x 8—750/24,	150/10=	14.62	250
2x 6—200/16,	=	3.2	60
2x 4—1200/22,	1200/12=	27.2	500
Sheathing:		100.	1600
Furring, etc.			300
Lath: 220 M			450

Total sq. ft. .... 4,490

Say 4,500 sq. ft. net for lumber storage.

Space for sub-contractors' material must next be considered. Ordinarily the radiators, plumbing fixtures, etc., will only be delivered after a large part of the brick, lumber and steel has been built in, so that they can occupy the space so vacated. Thus the cast-iron, tile and steel pipe alone need be considered in planning the first phase of the yard layout, with some room for a pipe bench.

If the sub-contractor is up to his job he will build pipe racks of rough timber so that he can have access to pipe of any size without moving other stock. He will also sort out his fittings in heaps according to size and type. For a building of the kind under consideration, the plumber will need about 1,000 sq. ft. and the steam-fitter 500 sq. ft. The electrician will require 300 sq. ft. and the sheet-metal, and roofing contractor about 800 sq. ft. or more if the building has a duct system.

Add to the above, say, 1,500 sq. ft. for miscellaneous open storage window frames, etc., and the summary of open storage will be something like this:

	Sq. Ft.
(a) Sand and gravel .....	5,400
Brick (stacked) .....	3,000
T. C. Tile .....	5,000
Steel and Iron .....	2,500

Lumber ..... 4,500  
Sub-contractors ..... 2,600

Total ..... 23,000

And this total space requirement is demanded at one time. Add to it 10% for aisles and access; and we have 25,000 sq. ft. in round numbers.

—*Building Age and National Builder.*

## THE BUILDING OF A CONCRETE HOUSE

By JOHN L. BRIGHT, *Architect,*  
*Philadelphia, Pa.*

In the planning of my own house in Ardmore, Pa., I commenced by adopting a practice which is, unfortunately, all too common—the sacrifice of stability and permanence to cheapness. The most ordinary grades of materials and finish were specified but all to no avail, for the final addition was appalling. At that moment I knew the soul of the Client and henceforth he will have my sympathy. But I knew more, for long experience teaches the architect the excessive depreciation and the cost of maintenance inseparable to the use of inferior materials. In this dilemma I decided to try concrete.

I had long been convinced that concrete, properly handled and designed, has many advantages. For all practical purposes it is fireproof. It is also susceptible of very beautiful architectural treatment, a point not always realized because it is employed to such an extent in factories and large engineering works that the possibility of a more delicate treatment necessary in a dwelling, has received but scant attention.

In revising my estimates to suit the new conditions I found that the cost would not be a deterrent factor.

I was interested to see if I could do something beautiful in concrete. I determined to use the chosen material honestly and without any pretense. The outside walls are ignorant of stucco. The board marks show but not to an unpleasant extent. They could have been eliminated at the price of losing the exquisite color which to my mind more than compensates for any lack of evenness. The inside surfaces are hammered or rubbed, as the case may be, and here again the color is altogether lovely. The effect is not one of coarseness. It is rugged, the corners are sometimes chipped, but the general impression is one of extreme delicacy. Perhaps, as the designer, I am lacking in good taste in so praising my own efforts, but concrete has been so manhandled and, as an artistic medium, so little appreciated. I feel that I owe it to the material itself to speak well of it. I gave it a fair chance; in no way did I disguise its natural color, so its appearance was due to itself and very little to

me. I will let others speak of the design of the house and its setting on the hillside.

In the three important rooms on the first floor a veneer of concrete formed of different colored marble chips was used.

Tile was used lavishly in restricted areas. No "spots of color" but big fields of it. Much of it was glued to the forms and the concrete poured against it, a method which avoided any sense of patch work.

A word, and perhaps the most important, must be devoted to the construction of the outside walls—well tamped concrete is waterproof but like any other material the inside surfaces will collect moisture under certain conditions. To avoid this, walls of brick or stone are generally furred or stripped. Not wishing to use plaster, I made the walls 15 inches thick and cast them with double air cells. Each air cell was 24 inches long and about 2½ inches wide, and the two rows were staggered. The walls have been subjected to every conceivable test during a year for leakage and precipitated moisture and are perfectly dry.

The house is now complete and occupied and the general consensus of opinion is favorable. The charcoal stove was regarded with suspicion until after the first meal, and then contentment reigned. I have a house which cannot conceivably burn, in which the cost of maintenance and repairs will be almost nothing. There is no wood trim to paint; no wall paper to be renewed; no rain gutters to corrode. Inside and out it presents an air of solidity and frankness. Its cost is not abnormal and if I knew as much in the beginning as now do it would be surprisingly low.

If I have done something beautiful; if I have contributed my little mite to the cause of good building, my ambition will have been fulfilled,—but *quien sabe?*

## WE ASK YOU

Isn't it funny?  
THAT A MAN WHO CONSIDERS  
HIMSELF A BUSINESS MAN  
Will get up in the morning  
From an advertised mattress,  
And put on advertised underwear,  
Advertised hose, shirt, collar, tie and shoes.  
Seat himself at a table and  
Eat advertised breakfast food,  
Drink advertised coffee or substitute,  
Put on an advertised hat,  
Light an advertised cigar,  
Go to his place of business and  
TURN DOWN ADVERTISING ON THE  
GROUND THAT ADVERTISING DOESN'T  
PAY!

Ideals are like stars; you will not succeed in touching them with your hands, but like the seafaring man on the desert of waters, you choose them as your guides and, following them, you reach your destiny.—Carl Schurz.



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## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
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## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK.

Cox, Janeway, & Co. Real Estate Trust Bldg., Phila.

## BRICK (Face, Common, Paving).

Holloway Corporation....105-107 S. Third St., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

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D'Lauro, John .....55 E. Mermaid Lane, Phila.  
Massiah, Frederick..Juniper and Cypress Sts., Phila.

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## CONCRETE WORK.

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Patton, Edward W. ....400 Lincoln Bldg., Phila.

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## CURTIS WOODWORK.

Gillingham Co. ...Norris and Richmond Sts., Phila.

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Cosenza Albert,  
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## DAILY BUILDING NEWS.

Building News Pub. Co. ....Perry Bldg., Phila.

## DAMP-PROOFING.

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Concrete Waterproof Paint Co...829 N. 3rd St., Phila.

Truscon Laboratories.....1505 Race St., Phila.

## DRAWING MATERIALS.

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## EXCAVATING.

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McDevitt, John F. ....1403 N. 20th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## FENCES.

Cyclone Fence Co. ....20 S. 15th St., Phila.

Pettit, Frank, Ornamental Iron Works,  
1505 N. Mascher St., Phila.

Potts, Horace T., & Co. ...Erie Ave. & "D" St., Phila.

Reisbord, Wolf.....4437-43 Ludlow St., Phila.

## FIREPROOFING.

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

## FLOOR HARDENER.

Anti-Hydro Waterproofing Co.,  
24th and Parkway, Phila.

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## FLOOR PLATES.

Wood, Alan, Iron & Steel Co..Widener Bldg., Phila.

## FLUE LINING.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## FURNACES AND RANGES.

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Cox, Abram, Stove Co.,  
American and Dauphin Sts., Phila.

Fleck Bros. ....44 N. 5th St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## GARAGE HEATERS.

Fleck Bros. ....44 N. 5th St., Phila.

## GAS RANGES.

Abram Cox Stove Co.,  
American and Dauphin Sts., Phila.

Borden Stove Co. ....1026 Arch St., Phila.

Miller, Henry M. ....46-48-50 N. 2nd St., Phila.

## HARDWOOD FLOORS.

Wood, L. H. ....3312 Lancaster Ave., Phila.

## HAULING CONTRACTORS.

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## HEATING CONTRACTORS.

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Fahy & Hudson.....Columbia 5591

## HEATING BOILERS.

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## HOLLOW METAL WINDOWS.

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63rd and Woodland Ave., Phila.

## HOLLOW TILE.

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Bryant Heater & Mfg. Co. ....Bourse Bldg., Phila.

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Entered at the Philadelphia Post Office as Second-Class Matter

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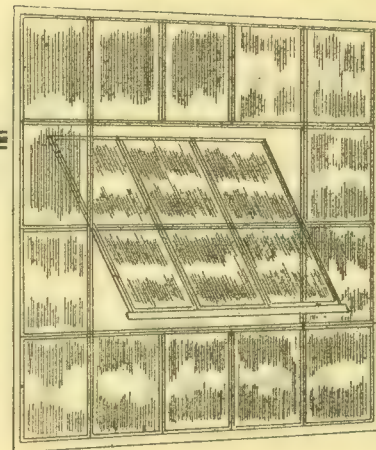
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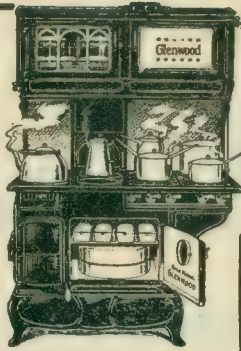


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Engineering and the Building Trades

PHILADELPHIA

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December 24, 1924

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## As The Editor Sees It



### UTILIZING LIFETIME

BY GERHARDT F. MEYNE

*Address Before the National Vocational  
Educational Society at Indianapolis,  
Indiana, on December 13, 1924*

The problem before the Builder and Industrialist is "How can vocations and education be most practically combined?", as the great majority of people must labor at something productive. Educated people without a desire for labor can be an insufferable evil.

I have no particular regard for educational theories, and have no new theories to propound. In educational matters, I am thoroughly old-fashioned, and believe in creating and arousing a desire to learn to be the "Big Thing." I believe acquiring learning is purely a matter of personal practice, interest, an inquisitive turn of mind and concentration.

Within the memory of most of us, the three R's were considered to be the ample system. Half of our citizens have been educated within them. The three R's of today represent a whole lot more in study and education than formerly. There are but few in the United States who cannot read and write fluently. Many in their more mature years have acquired the love for the literary arts, understand the plays and the classics, but growth of our educational system has all been in the same direction. There is practically no difference in the instruction given to those

who are ambitious to become lawyers, doctors, engineers, architects and other professional men, and the instruction given those who are neither leaning, inclined, nor ambitious towards the professions, who neither have the means, desire, ability nor endowments to enter the professions, but are content to earn an honorable living at a trade or vocation.

Yet most of the education, after the seventh grade, is directed towards the professions. Ninety-two per cent. of our youths do not get to college, approximately five per cent. graduate. Let us look at the somewhat archaic and chaotic system of preparing the ninety-two percent's lifetime in a practical manner.

Let me answer in the terms of my own industry.

In most of our States, our youths are not permitted to go to work at the building trades until they are sixteen years of age. What are we doing for these youngsters, and how are we utilizing their lifetime for the benefit of themselves, the public and the future employer? It should not be necessary for the young man who desires to become a building tradesman to be required to burden himself with many of the subjects now taught, and in which he has no interest whatsoever. He should not be required to study the same general subjects as the youth who has a leaning or ambition for the professions.

The general tendency in the High

Schools, as I know them, is to encourage students to become members of the professions,—the average high school instructor, Academician, encourages them unduly towards the professions. For some unaccountable reason, the Academician and the American parent seem to think that the professional class and semi-professional class, such as clerks, salesmen, draftsmen, etc., are considered to possess greater gentility, and they are looked upon by the present and past generation as something superior to the mechanic. Could these good people but see the numerous opportunities that are constantly presented to the vocationally trained man who knows his trade fundamentals and could they but know of his yearly income, they would view him in appreciation instead of depreciation. The vocationally trained man can take advantage of these numerous opportunities by continuing his education in night courses, short term college courses, etc. He cannot only aspire to the heights in industry, but, what is more, if he applies his endowments, training and ability, he can actually "arrive."

Probably nothing indicates the justification for the present demand of vocational education more than the fact that numerous college men graduating from the literary arts and science courses are turning towards the vocations as a means for a livelihood. It is not infrequent that one finds men of several years' col-

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lege training endeavoring to get into the industries. When one stops to think of it, one feels that they have not utilized their lifetime to the fullest, have probably acquired considerable needless information. Of course, time spent in any education is not time lost, but many subjects that do not interest the student are taught in our present high schools and the boy who does not go to college must wrestle with them, when his time could be turned to greater practical advantage.

The Federal Board of Vocational Education has made up a chart based on the 1920 census, and shows some very remarkable figures and percentages, when analyzed. It has been published and discussed before.

The Builder and Industrialist who looks at his chart in reverie and meditation, (if he will take time to study the chart at all) I believe, will agree with me that the lifetime of our youths could be turned to greater advantage to the Nation and to themselves, if the educator would take advantage of utilizing the years that are so often dribbled away because of lack of interest in the subjects taught. The chart reveals that there are two millions of our young, between the ages of five years and twenty years, in our schools. Of these two millions, ninety-two per cent. leave schools between the ages of thirteen and twenty to go into some industrial, commercial or agricultural pursuit. What are we, the public, and you educators doing to prepare them for this new thing that they are facing? Let us go back to the chart! The egress from school is about as follows:

125,000 or 6% leave between the ages of 13 and 14 years, another 125,000 or another 6% leave between the ages of 14 and 15 years. When we come to the ages of 15 and 16, the figures jump considerably and show that 400,000 or 20% leave your school for one reason or another. 300,000 or 15% leave between the ages of 16 and 17 years. Another 400,000 or another 20% leave between the ages of 17 and 18,—all of these to engage themselves in some life occupation. Are we doing everything to fit these young people with an understanding of what confronts them? Have we developed their capabilities to shift for themselves? For, in biological terms, we may consider them weaned.

Now we come to the college age, and find that only a small percentage are left to enter college, and the chart shows that the youths are leaving college at the rate of 100,000 to 200,000 each year, and that only a very small percentage,—approximately only five per cent. graduate. Yet the entire curriculum, in most instances, from the ages of 13 to 20, has been set and made up for the purpose of entering the youths into college. I ask again,

have we utilized the lifetime at our disposal efficiently?

There are whole libraries written on vocational and apprenticeship education and training, but there is no need of giving historical back-ground to this subject. I would like to give you the viewpoint of a builder. He may not be qualified to address you because of his lack of degrees, but he has served apprenticeships in a trade and has worked through the various steps and is proprietor of his business. He is tremendously interested in vocational education. He is training numerous boys under various systems. Personally, I believe the old "Indenture System" has outlived its usefulness. It is no longer necessary for the master to provide shelter, food and clothing for the boy. It is no longer necessary to teach him to read and to write, as usually was his obligation. He now pays him the wage he is able to earn. The parents and school usually provide the other.

I hope to see that the public schools of today will be the vehicle of training the industrial arts as were the medieval monasteries of the eighth and ninth centuries. We know that it was usually a willing exchange of manual labor for protection, teaching and subsistence, either within the monasteries or to those who lived near them. Those who would gain knowledge were obliged to give their labor free in exchange for learning, protection and living, creating practically a condition of servitude. This condition no longer exists.

The thinking Builder and Industrialist is no longer vying for the Freedom of Labor, but for the Dignity of Labor, and general industrial freedom, and I believe that the time is here where the public school is taking the place of the old monastery, the time of servitude is past, the time of the old practice of indenture is slowly passing. Especially is this true in the building industry.

The builder is confronted by a peculiar situation in obtaining and teaching boys. The builder is in competition with other employers for the services of the boys. The semi-skilled trades are able to offer to the young man much greater pay,—the boy can, in a comparatively short time, acquire the knowledge of running machinery and become a producer. He can earn big money by driving motor trucks and, in his limited course of reasoning, he does not see the opportunities and advantages of becoming a highly skilled artisan. It takes considerable of his time and, by reason of the cost of his training, his pay must naturally be less than that in the semi-skilled trades. We builders, I say, are in competition for these boys, and unless the boys' parents are able and willing to help

Continued on page 829)

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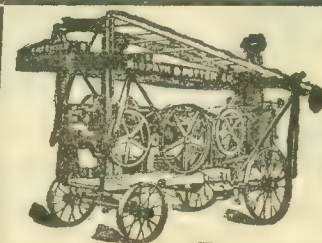
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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS: COST LIMIT: LAST DAYS FOR FILING BIDS:  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Building**, 1529 Parrish street, Philadelphia. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, F. A. North Co., 1306 Chestnut street, Philadelphia. Brick, fire-proof construction, 5 stories, 28x178 feet, slag roof. Preliminary plans in progress.

**Weave Shed**, Venango street and Kensington avenue, Philadelphia. Architect, Amos W. Barnes, Perry Building, Philadelphia. Owners, Craftex Co., on premises. Brick, 1 story, 104x70 feet, saw tooth roof, hollow metal skylights. Plans in progress.

**Alterations and Addition to Building into Store and Apartments, New Garage**, 3115 North Broad street, Philadelphia. Architect, Mark Freas, 3118 North Broad street, Philadelphia. Owner, Mark Freas, care of Scientific Elec. Serv. Co., 3118 North Broad street. Brick, steel, 1 story, 15x36 feet, slag roof, cement floors, hot water heat, electric light, metal lath, tile work, ornamental iron work. Owner taking bids due January 5th.

**Manufacturing Building**, Hunting Park avenue near Fox street, Philadelphia. Architect, Clarence E. Wunder, 1520 Locust street, Philadelphia. Owners, Walworth Manufacturing Co., 245 Arch street, Philadelphia. Plans in progress. Too early for details.

**School**, Sixty-fifth and Elmwood avenue, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, stone, concrete, size of lot 250x540 feet. Work contemplated.

**Store and Apartment Building**, Frankford avenue and Foulkrod street, Philadelphia. Architects, H. M. Murphy and C. M. Talley, Drexel Building, Philadelphia. Owner, William Friehofer, Twentieth and Indiana avenue, Philadelphia. Brick, steel, concrete, 4 stories, 185x242 feet, slag roof, vapor heat, electric light, metal lath, tile and marble work, hardwood floors, elevators, limestone trim, glazed tile store front, metal bulks. Plans in progress.

**Warehouse**, 523 Bainbridge street, Philadelphia. Architect, William L. Charr, 414 Victory Building, Philadelphia. Owner, care of architect. Steel, concrete, 2 stories, 20x63 feet, slag roof, concrete floors, steam heat, electric light, metal lath, rolling steel sash, hollow metal skylights, bond, floor hardener,

iron stairs, ornamental iron work, water-proofing and dampproofing. Plans in progress.

**Theatre**, Frankford avenue and Margaret street, Philadelphia. Architects, Hodgins & Hill, 130 South Fifteenth street, Philadelphia. Owner, William Friehofer, Land Title Building, Philadelphia. Brick, concrete, steel. Working plans in progress.

**Store and Apartment (alts.)**, Northwest Corner Twelfth and Parrish streets, Philadelphia. Architects, The Pennwood Co., 135 North Fifteenth street, Philadelphia. Owner, name withheld. Brick, 1 and 2 stories, 19 x irregular, general alterations. Plans in progress.

**Residences (5), Stores and (2) Apartments**, Sixteenth and Chew streets, Philadelphia. Architects, The Penwood Co., 135 North Fifteenth street, Philadelphia. Owner, name withheld. Brick, 2 and 3 stories, (3) 22 feet 6 inches x 32 feet, (2) 16x52 feet, irregular, slag roof, hardwood floors, cement work, metal bulks, cement, tile work, metal lath, electric light, hot water heat, basement garages. Plans in progress.

**Manufacturing Building**, 20 North Third street, Philadelphia. Architect, E. A. Roth, Drexel Building, Philadelphia. Owner, H. Uditsky, on premises. General alterations to 5-story building, steam heat, elevators, fire tower. Plans in progress.

**Theatre (moving picture)**, Frankford, Philadelphia. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Stanley Co. of America, 1916 Race street, Philadelphia. Stone, steel, concrete, brick, limestone, terra cotta. Architects ready for sub-bids in 3 weeks.

**Apartment Hotel**, location withheld. Architects, T. B. Lippincott and C. H. Schaefer, 11 South Sixteenth street, Philadelphia. Owners, William Penn Apartment Corporation, Philadelphia. Brick, concrete, steel, 5 stories, 140x49 feet, slag roof, hardwood and cement floors, elevators, vapor heat, electric lighting, tile and marble work. Sketches drawn. Plans in progress.

**Residence (alts.)**, 2011 Walnut street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, A. Theo. Abbotts, Esq., 2301 West Allegheny avenue,

Philadelphia. Brick, stone, 5 stories, 18 feet 6 inches x 135 feet, slag roof, hardwood floors, hot water heat, electric light, tile work, elevators, stucco work, ornamental iron work, hollow metal skylights. Plans in progress. Ready for bids in a week.

**Bank Building (alts. and add.)**, 713 Chestnut street, Philadelphia. Architects, P. A. Davis, 3rd, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, National Bank of Commerce, Jacob Netter, on premises. Preliminary plans in progress.

**Catholic High School**, Hunting Park avenue and Frankford, Philadelphia, \$1,000,000. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Archdiocese of Philadelphia, D. Cardinal Dougherty, Eighteenth and Race streets, Philadelphia. Working plans in progress.

**Church (alts.)**, Seventeenth and Ritner streets, Philadelphia. Architects, Hoffman-Henon Co., Finance Building, Philadelphia. Owners, St. Monica's Roman Catholic Church, Rev. J. J. Walsh, on premises. Plans about completed. Architect will be ready for bids in a week.

**Church**, Haverford avenue and Preston street, Philadelphia, \$60,000. Architect, Clarence L. Caspary, 1705 Chestnut street, Philadelphia. Owners, Bethel Baptist Church, Haverford and Preston street, Philadelphia. Stone, structural steel, 1 story and basement and balcony, 44x80 feet, slate roof, pine floors, steam heat, electric light. Builder, H. P. Schneider, 3713 Old York road, Philadelphia, will be ready for sub-bids in a week.

**Residences (52)**, Northwest and Southeast Corners Oakland and Cheltenham avenue, Philadelphia. Architect, private plans. Owner, George J. Bauerle, 227 West Lindley avenue, Philadelphia. Brick, 2 stories, 16x44 feet, slag and tin roof, hardwood floors, cement work, hot water heat, electric light, metal lath, tile work, garages in basement. Owner will build. Work to start in 2 months.

**Garage**, North side Windrim avenue, West of Thirteenth street, Philadelphia, \$30,000. Architect, LeRoy B. Rothschild, 215 South Broad street, Philadelphia. Owner, A. Leibowitz, 4045 Baltimore avenue, Philadelphia. Brick, 1 story, 183x132 feet 6 inches, slag roof, cement floors, steel sash, electric light, steam heat. Owner will build.

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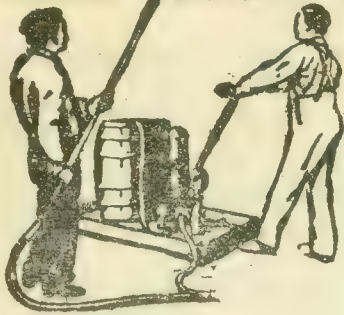
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School (wing add.), Twenty-eighth and Huntingdon streets, Philadelphia. Architect, J. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Plans completed. Owners will soon take bids.

Residences (200), Elmwood avenue, Sixty-fifth and Sixty-sixth streets, Philadelphia. Architect, private plans. Owners, Shapiro & Reed, Fifty-seventh and Pentridge streets, Philadelphia. Brick, 2 stories, 16x32 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owners will be ready for sub-bids in two months.

Residences (6), Roosevelt Boulevard at Marshall, Philadelphia. Architect, C. H. Schaef, 11 South Sixteenth street, Philadelphia. Owner, E. Lieberman, care of architect. Brick, 2 stories, 16x50 feet, hot water heat, electric light, metal lath, slag roof, hardwood floors, cement work, garages in basement. Architect taking sub-bids.

Bungalow, 652 West Kingsley street, Philadelphia. Architect, Addison H. Savery, 1309 Locust street, Philadelphia. Owner, Charles J. Leirer, 667 West Johnson street, Philadelphia. Brick or hollow tile rough cast, 1 story, 26x57 feet, slate or cedar shingle roof, hardwood floors, hot water heat, electric light, tile work, cement porches. Architect ready for general bids.

Garage, Fifteenth and Windrim streets, Philadelphia. Architect, E. A. Roth, Drexel Building, Philadelphia. Owner, Harry Chervin, 4920 North Broad street, Philadelphia. Brick, steel, 2 stories, 100x100 feet, irregular, composition roof, concrete and plank floors, concrete ramps, hollow metal skylights, rolling steel sash, steam heat, electric light. Owner taking bids and sub-bids.

Nurses' Home (add.), Thirty-fourth and Spruce streets, Philadelphia. Architects, Thomas, Martin and Kirkpatrick, 220 South Sixteenth street, Philadelphia. Owners, University Hospital, on premises. Brick, reinforced concrete, steel, 3 stories and basement, 34x72 feet (plumbing, heating and electric reserved), gypsum slate roof, cement and composition tile floors, metal lath, tile and marble work, bond, shoring, ornamental iron work, flagstone, cast stone, dumb waiters, rubber tile. Architects taking bids due December 31st.

Stable and Garage, Flourtown road, East of Graver's lane, Chestnut Hill. Architect, Horace Trumbauer, Land Title Building, Philadelphia. Owner, Arthur H. Lea, Chestnut Hill, Pa. Stone, cut stone, 1 story, 137x101 feet, slate roof, wood block, cement and cork floors, plumbing, limestone, hot water heat, electric light, metal lath. Architect taking bids due December 29th.

Kingsessing Recreation Center, Fifty-first

and Chester avenue, Philadelphia. Owners, Department of Public Works, Bureau of Recreation, 595 City Hall. Vitrified block, pavements, concrete retaining wall, picket fence, etc., galvanized iron window screens. Owners taking bids due December 26th at noon. Deposit, \$5.00. Refunded.

Factory (add.), West side Orianna, South side Willows avenue, Philadelphia. Architects, The Ballinger Co., Twelfth and Chestnut streets, Philadelphia. Owners, E. Hubschman & Son, Inc., on premises. Architects taking bids on elevators (2 electric freight) due December 26th.

Purchasing Agent E. J. Lafferty, 312 City Hall, Philadelphia, taking bids due December 30th on cement, drip stone, sewer brick, terra cotta pipe, lumber, oxygen, acetylene gas, gauze.

Senior High School, Fifty-ninth and Lancaster avenue, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, reinforced concrete, cut stone, steel, 5 stories and basement, and sub-basement, 317x22 feet (plumbing, heating, electric, elevators separate), gypsum tile, composition tile, roof, cement, pine and oak floors, hollow tile, safety treads, waterproofing and dampproofing, ornamental iron work, floor hardener, bond, hollow metal doors, rolling steel sash and skylights, tile and marble work, metal lath, bond, cold water painting. Low bidders: Cramp & Co., Denekla Building, Philadelphia, \$1,766,345; McCloskey Co., 1620 Thompson street, Philadelphia, \$1,796,778. Plumbing, William Ambrose, Leverington and Umbria streets, Philadelphia, \$89,359. Heating, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$296,000. Electric, Ross Elec. Co., Beach and Brown streets, Philadelphia, \$105,000. Ventilating, Thompson Bros., 520 Buttonwood street, Philadelphia, \$12,787.

Playgrounds (2), Philadelphia. Owners, Department of Public Welfare, Bureau of Recreation, City Hall. Mill Creek Playground, Forty-seventh and Aspen streets, Philadelphia; low bidders: McCormick-Lenham, 2403 South Broad street, Philadelphia, \$10,882, \$5,882; Kaufman Const. Co., Pennsylvania Building, Philadelphia, \$12,880, \$7,000. Plumbing, Bulman Bros., Fifth and Cumberland streets, \$1,444, \$494; L. S. J. Sommers & Son, 2436 Brown street, Philadelphia, \$1,594, \$410. Electric, J. F. Buchanan, 1904 Sansom street, Philadelphia, \$444. Belfield Playground, Twenty-first and Chew streets, Philadelphia. Low bidders: George S. Dobbins, 1020 South Forty-seventh street, Philadelphia, \$2,680; J. Devlin, Jr., Hancock and Thompson streets, Philadelphia, \$3,499.

Post Office (alts.), Ninth and Chestnut streets, Philadelphia. Architect, James A. Wetmore, Washington, D. C. Owners, United

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States Treasury Department, Washington, D. C. Low bidder: E. Zimmerli, Woodbury, N. J., \$26,800; George Griffith Const. Co., St. Louis, Mo., \$31,710.

**Germantown Town Hall**, Haines street and Germantown avenue, Philadelphia. City architect, J. Molitor, Bankers' Trust Building, Philadelphia. Owners, Department of Public Works, Bureau of City Property, City Hall. Owners taking bids due December 29th.

**Residences and Garages (28)**, Sixty-fifth, Trinity street and Belmar Terrace, \$126,500. Architect, private plans. Owner, John J. Simpson, 432 Bankers' Trust Building, Philadelphia. Brick, 2 stories, (5) 15 feet 6 inches x 44 feet, (23) 14x29 feet, 10x14 feet, hot water heat, electric light. Owner will build.

**Residences (21)**, West side Tampa street, South of Wyoming avenue, \$84,400. Architect, private plans. Owner, J. Finkelstein, 225 Roosevelt Boulevard, Philadelphia. Brick, 2 stories, 15x38 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Garage**, West side Fifteenth street, North of Courtland street, Philadelphia, \$30,000. Architect, private plans. Owner, B. W. Glover, 6050 Girard avenue, Philadelphia. Brick, 1 story, 60x173 feet, slag roof, cement floors, electric light. Owner will build.

**Printing Plant (add.)**, 421 Walnut street, Philadelphia, \$30,000. Architect, private plans. Owners, Franklin Fire Insurance Co., on premises. Brick, 4 stories add., 46x37 feet, slag roof, pine floors, steam heat, electric light. Permit granted.

**Residences (2)**, South side Hermitage street, East of Shalkop street, \$6,000 each. Architect, private plans. Owner, Max Maitner, Green lane and Manayunk avenue, Philadelphia. Brick, 2 stories, 16x28 feet, 12x12 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence**, West side Oakley street, North of Martin Mills road, \$5,500. Architect, private plans. Owner, Hyman Korman, Oxford

avenue and Levick street, Philadelphia. Frame, 2 stories, 30x18 feet, shingle roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Store and Office (add.)**, Northeast Corner Thirteenth and Race streets, \$5,000. Architect, private plans. Owner, Sol. Hopkins, 400 South Sixtieth street, Philadelphia. Brick, third story add., 50x60 feet, slag roof, pine floors, electric lighting. Owner will build.

**Residence**, South side Chandler, West of Verree road, \$5,000. Architect, private plans. Owner, Edward Davis, 7301 Oxford avenue, Philadelphia. Frame, 1 story, 26x37 feet, shingle roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

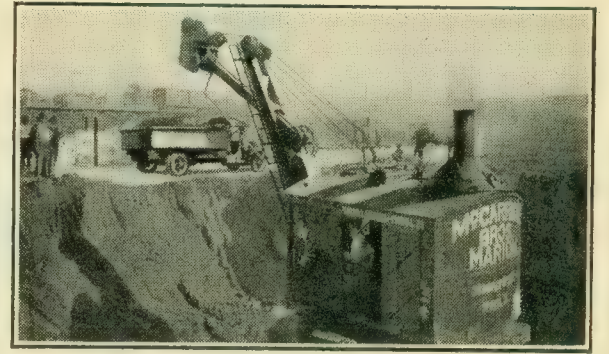
**Residence**, 4844 North Palethorpe street, Philadelphia, \$3,500. Architect, private plans. Owners, C. Dear & Sons, 4801 North Third street, Philadelphia. Brick, 2 stories, 14x43 feet, steam heat, electric light. Owner will build.

**Residence**, West side Seventy-seventh street, North of Buist avenue, Philadelphia, \$4,000. Architect, private plans. Owner, Joseph T. Cermack, 7516 Buist avenue, Philadelphia. Brick, 2 stories, 16x36 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Residence**, North side Aldine street, East of Whitaker avenue, Philadelphia, \$3,500. Architect, private plans. Owner, William T. Evans, 563 Mickle street, Camden, N. J. Frame, 1 story, 20x30 feet, shingle roof, pine floors. Owner will build.

**Garage**, 5514 Yocum street, Philadelphia, \$2,500. Architect, private plans. Owner, George Downwara, 2125 South Frazier street, Philadelphia. Brick, 1 story, 27x18 feet, 17x60 feet, slag roof, cement floors, electric light. Owner will build.

**Store and Apartment (alts.)**, 718 North Broad street, Philadelphia, \$2,000. Architect, private plans. Owners, Copeland Construction Co., on premises. General alterations. Owners will build.



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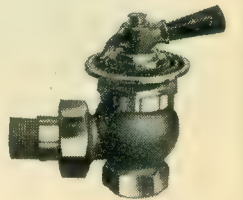
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## Contracts Awarded

Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.

**Garage**, Southeast Corner Fifty-second and Woodland avenue, Philadelphia, \$18,900. Architect, private plans. Owners, McCullough & Seanlon, 424 North Sixty-third street, Philadelphia. Brick, 1 story, 74x110 feet, slag roof, cement floors, electric lighting. Contract awarded to John H. Patterson, 6209 Girard avenue, Philadelphia.

**Service Station**, Corner Chew and Belfield avenue, Philadelphia, \$2,000. Architect, private plans. Owners, Spartan Oil Co., Widener Building, Philadelphia. Brick, 1 story, 9x18 feet, cement work, electric work. Contract awarded to John Barber, Lena and Orchard streets, Philadelphia.

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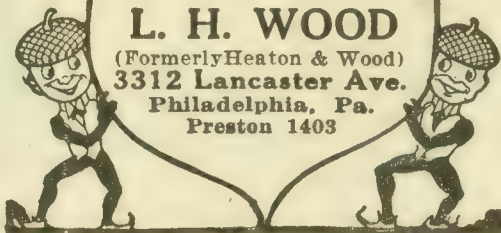
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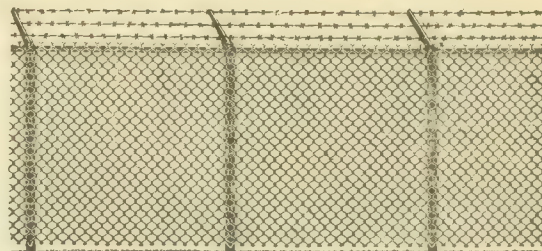
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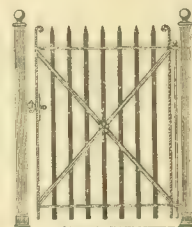
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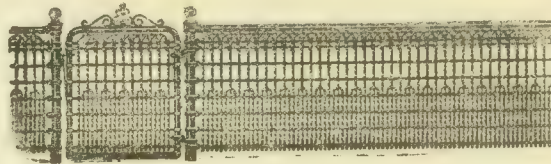
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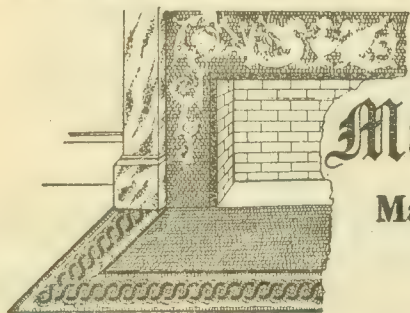
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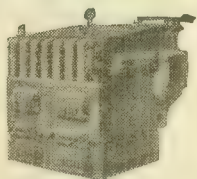
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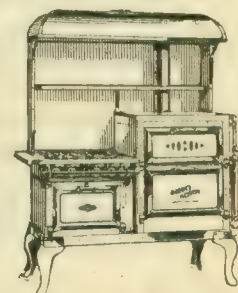
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## BORDEN STOVE CO.

1026 Arch St. [2nd floor] Philadelphia



Corner Forty-ninth and Chestnut streets. Owners, DeSoto Sales Co., 5621 Walnut street, Philadelphia. Brick, 1 story, 50x215 feet, slag roof, cement floors, plate glass. Contract awarded to Edward V. Holland, 124 South Fiftieth street, Philadelphia.

**Residence**, Northeast Corner Tulpehocken and Ardleigh streets, Philadelphia, \$12,110. Architect, J. Naschold, 5224 North Second street, Philadelphia. Owner, Arthur Sylvester, care of architect. Stone, 2½ stories, 36x29 feet 6 inches, slate roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to M. C. Manthey, 802 East Washington lane, Philadelphia.

**Additional Work**, Third and Lombard streets, Philadelphia. Architect, William H. Timms, Perry Building, Philadelphia. Owners, Abbott's Alderney Dairies, on premises. Concrete work, iron work. Contract awarded W. O. Springer, 2004 Naudain street, Philadelphia.

**Garage**, 1719 North Park avenue, Philadelphia. Architect, private plans. Owner, Harry Van Slow, on premises. Brick, 1 story, 20x18 feet, slag roof, cement floors. Contract awarded Harry Brocklehurst, 512 West Norris street, Philadelphia.

**Residences (twin), with Garages**, 7109-11 Keystone street, Tacony, \$11,000. Architect, private plans. Owner, Frank Russo, 7113 Keystone street, Tacony, Philadelphia. Brick, 2 stories, 16x47 feet, hot water heat, electric light, slag roof, cement work, garages in basement, metal lath. Contract awarded Joseph Rotornado, 4740 Milnor street, Philadelphia, who is taking sub-bids due December 31st.

**Residences (10)**, 6601-19 Chew street, Philadelphia, \$86,000. Architect, private plans. Owners, Dallas & Hartley, 4709 North Broad street, Philadelphia. Brick, 2 stories, 16 feet 4 inches x 60 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to P. Savar, 719 Snyder avenue, Philadelphia.

**Warehouse (alts.)**, Southeast Corner Front and Bainbridge streets, \$25,000. Architect, private plans. Owners, Merchants' Warehouse Co., 10 Chestnut street, Philadelphia. General alterations, carpentry, lumber, con-

crete work, brick work, steel work. Contract awarded to Geo. Kessler Cont. Co., 1733 North Marvine street.

**Residence**, 2500 North Thirty-second street, Philadelphia, \$10,000. Architect, private plans. Owner, Max Hawkin, 2636 North Thirtieth street, Philadelphia. Brick, 3 stories, 16x50 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Louis Shpeen, 2519 North Corlies street, Philadelphia.

**Sewer**, Philadelphia, \$195,285. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Section No. 4 Pennypack Creek, intercepting sewers. Contract awarded W. H. Yetman, Jr., Lincoln Building, Philadelphia.

**Garage**, 5816 Torresdale avenue, Philadelphia, \$30,000. Architect, private plans. Owner, J. Bloomberg, 917 Ritner street, Philadelphia. Brick, 1 story, 80x200 feet, slag roof, cement floors, electric work. Contract awarded to I. Farbstein, 917 Ritner street, Philadelphia.

**Building (add.)**, 1015-17 Vine street, Philadelphia, \$12,400. Architect, Fred M. Greisler, 1035 Walnut street, Philadelphia. Owners, D. & H. Sudjian, 5701 Florence avenue, Philadelphia. Brick, 1 story, 8x20 feet, 15x48 feet, slag roof, pine floors, electric lighting. Contract awarded to Fred Quate, 544 South Fifty-ninth street, Philadelphia.

**Garage (alts. and add.)**, West side Sixth street, North of Dauphin street, \$10,000. Architect, private plans. Owner, Louis Ebert, 1212 Rockland street, Philadelphia. Brick, 2 stories add., 87x126 feet, general alterations. Contract awarded to Jacob Kirchner, Roslyn, Pa.

**Garage**, 2404 Naudain street, Philadelphia, \$9,000. Architects, Rehfuess & North, 1709 Sansom street, Philadelphia. Owner, Harry E. Culbertson, on premises. Brick, 1 story, 30x87 feet, slag roof, cement floors. Contract awarded to Claro Const. Co., Pennsylvania Building, Philadelphia.

**Manufacturing Building (alts.)**, 45 East School lane, \$7,500. Architect, private plans. Owners, Chelton Ice Mfg. Co., 500 South Twenty-seventh street, Philadelphia. General alterations and steel tank support. Contract

awarded to E. R. Hall, 34 South Seventeenth street, Philadelphia.

**Store**, Northeast Corner Tenth and Fisher's avenue, Philadelphia, \$6,500. Architect, private plans. Owners, American Stores Co., Nineteenth and Hamilton streets, Philadelphia. Brick, 1 story, 25 feet 6 inches x 67 feet, pine floors, slag roof, electric work. Contract awarded to John T. Allen, Woodbury, N. J.

**Workshop**, South side Westmoreland street, West of Twenty-third street, \$8,000. Architect, private plans. Owners, Sharples Specialty Co., on premises. Steel, 1 story, 40x100 feet. Steel contract awarded to Truscon Steel Co., 1505 Race Street.

**Residences (4)**, 2504-06-08 North Thirty-second street, Philadelphia, \$5,200 each. Architect, private plans. Owner, Max Hawkins, 2536 North Thirtieth street, Philadelphia. Brick, 2 stories, 15x30 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to Louis Shpeen, 2519 North Corlies street, Philadelphia.

**Residence**, South side Rhawn street, East of Leon street, Philadelphia, \$5,000. Architect, private plans. Owner, John Howell, Holmesburg, Philadelphia. Brick, 2 stories, 16 feet 4 inches x 42 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Contract awarded to C. Day, Rhawn and Moro streets, Philadelphia.

**Apartment (add.)**, 1416 Tioga street, Philadelphia, \$3,000. Architect, private plans. Owner, William A. Sechler, 3705 Germantown avenue, Philadelphia. Brick, 1 story, 22x9 feet and 4x20 feet. Contract awarded to George Boyd, 5901 North Sixth street, Philadelphia.

**Residences**, North side Wellington street, West of Castor road, \$2,800. Architect, private plans. Owner, Joseph Walker, 2009 South Front street, Philadelphia. Frame, 2 stories, 30x24 feet, shingle roof, pine floors, electric lighting. Contract awarded to E. J. Barnett, 6153 Jefferson street, Philadelphia.

**Garage**, 4815 Chester avenue, Philadelphia, \$2,000. Architect, private plans. Owner, H. Davis, on premises. Brick, 1 story, 19x35 feet, slag roof, cement floors, electric work. Contract awarded to Concrete Products & Construction Co., Lansdowne, Pa.

**Garage**, 6936 Paschall avenue, Philadelphia, \$2,400. Owner, Daniel Hennissey, on premises. Brick, 1 story, 30x18 feet. Contract awarded to P. H. Broderick, 2125 North Sixty-sixth street.

## Pennsylvania

### Construction News

**Residence and Garage**, Bell Mill road, Chestnut Hill, Pa. Architect, Edmund B. Gilchrist, 1618 Latimer street, Philadelphia. Owner, Samuel U. Merrick, Chestnut Hill, Pa. Stone, brick, 2½ stories, 41x31 feet, garage, 10x22 feet, tile roof, oak and pine floors, plumbing, ornamental iron work, bond, warm air heat, electric light, wrought iron pipe. Architect taking bids due December 29th.

**Hospital (add.)**, Wilkes-Barre, Pa., \$250,000. Architect, not yet selected. Owners, Mercy Hospital, A. C. Campbell, secretary, Board of Trustees, Second National Bank Building, Wilkes-Barre. Brick and stone, 4 stories. Work contemplated.

**High School**, Monroe avenue, West Hazleton, Pa. Architect, R. M. Herr, Simon Long Building, Wilkes-Barre, Pa. Owners, West Hazleton School Board, George Schod, West Hazleton, Pa. Brick, 2 stories. Sketches in progress.

**Residence**, Kingston, Pa. Architect, T. S. Newman, Bennett Building, Wilkes-Barre, Pa. Owner, Joseph Westerman, 364 Wright

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street, Kingston, Pa. Frame, stucco, 2½ stories, 28x28 feet, 8x20 feet, asbestos shingle roof, yellow pine floors, hot water heat, electric light. Plans in progress.

**Garage**, Cinderella street, Wilkes-Barre, Pa. Architects, Innes & Levy, 176 South Main street, Wilkes-Barre, Pa. Owner, Charles Kuhns, care of Kuhns Transfer Co., 51 Cinderella street, Wilkes-Barre, Pa. Brick, hollow tile, 1 story, 55x120 feet, slag roof, concrete floors, electric light. Plans in progress.

**Bank Building (alts.)**, Lewisburg, Pa. Architects, P. A. Davis, 3rd, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, Union National Bank, W. R. Follmer, Lewisburg, Pa. Alterations to entrance. Preliminary plans in progress.

**Residence**, Haverford, Montgomery County, Pa. Architect, R. H. Brockie, 254 South Fifteenth street, Philadelphia. Owner, Stacy B. Lloyd, Seventh and Walnut streets, Philadelphia. Stone, 2½ stories, slate roof. Plans in progress.

**Department Store**, Northwest Corner Fifth and Market streets, Chester, Pa. Architect, not selected. Owner, Kiwa Schwartz, Merion, Pa. Reinforced concrete, 5 stories. Work contemplated.

**Strand Theatre**, Pottstown, Pa. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owner, George W. Bennethum, 1307 Vine street, Philadelphia. Brick, architectural terra cotta, concrete and steel, 3 stories, 163x60 feet, slag and composition roof, cement and pine floors, painting and glazing, dampproofing, ornamental iron work, architectural terra cotta, bond, tin clad and kalamein doors, galvanized iron skylights, hollow metal, metal lath, art glass. Revised plans in progress.

**Hotel (alts.)**, Lehigh, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Exchange Hotel, Lehigh, Pa. Alterations to 4-story building, 77x68 feet, Barrett roof, hardwood and linoleum floors, plastering, stucco work, vapor heat, electric light, new plumbing. Plans in progress.

**Residence (alts.) to Store and Apartment**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owner, Edward Cressman, care of architects. Partitions, hot water heat, electric light, hardwood floors, plate glass, copper work. Plans in progress.

**Roosevelt School (add.)**, Allentown, Pa. Architect, E. M. Pickin, Hunsicker Building, Allentown, Pa. Owners, School Board of Allentown, T. P. Wenner, secretary, Allentown, Pa. Brick, steel, 2 stories, 270x60 feet, 50x100 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators, bond (electric work, heating, plumbing, separate bids), metal lath, tile work. Revised plans in progress.

**Store and Apartment**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, E. Candia, 389 Cedar avenue, Allentown, Pa. Brick, 2 stories, 20x50 feet, slag roof, hardwood floors, electric light, plate glass. Plans in progress. Owner will take sub-bids.

**Cleaning and Dyeing Buildings (add.)**, Wilkes-Barre, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Sanitary Cleaning & Dyeing Co., 66 South Washington street, Wilkes-Barre, Pa. Steel, brick and concrete, 2 stories, 36x175 feet, built-up roof, concrete floors, roof ventilators, iron stairs, floor hardener, fire doors, steel sash and skylights, metal lath, electric light. Architects will be ready for bids in about two weeks.

**Office Building**, Wilkes-Barre, Pa. Architects, Mack & Sahn, Coal Exchange Building, Wilkes-Barre, Pa. Owners, Sanitary Cleaning & Dyeing Co., 66 South Washington street,

Wilkes-Barre, Pa. Steel, brick, 3 stories, 36x80 feet, built-up roof, pine floors, hollow tile, roof ventilators, floor hardener, fire doors, steel sash and skylights, metal lath, electric light. Architects will be ready for bids in two weeks.

**Church**, Tobyhanna, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Wills Memorial Church, Rev. J. J. O'Malley, Tobyhanna, Pa. Interior finish, art glass, marble work, light fixtures, ornamental plaster. Owners will sub-let.

**High School**, Taylor, Pa., \$250,000. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Taylor School Board, William Thomas, secretary, Taylor, Pa. Semi-fireproof, 2 stories and basement, 150x123 feet, slag roof, maple floors, hollow tile, safety treads, roof ventilators, waterproofing and dampproofing, cut stone (heating, electric and plumbing reserved), metal lath, tile work, rolled steel sash, iron stairs. Plans in progress. Owners will take bids about the first of year.

**Memorial Tower**, Honesdale, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, St. John's Roman Catholic Church, Rev. J. J. Hefferan, Honesdale, Pa. Cut and native stone, structural steel. Owners will take bids.

**School (alts. and add.)**, Carbondale, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Carbondale School Board, T. Curran, secretary, Carbondale, Pa. Brick, 2 stories, 12 rooms, maple floors, electric light, plumbing, metal ceilings, iron stairs (heating, plumbing, electric work, separate). Owners will take bids about first of the year.

**High School (alts. and add.)**, Montrose, Pa. Architects, E. H. Davis and George M. D. Lewis, Union Bank Building, Scranton, Pa. Owners, Montrose School Board, A. J. Wheaton, secretary, Montrose, Pa. Brick, reinforced concrete, steel, limestone, 2 stories and basement, 115x37 feet, slag roof, composition floors, metal window guards, metal doors, partition work, tile and marble work, metal lath (heating, plumbing, electric work and clock system separate bids). Owners will be ready for bids in about ten days.

**Bank (alts.)**, Pittston avenue, Scranton, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Dollar State Bank, Peter Haas, president, Scranton, Pa. Stone front, 2 stories, composition or rubber tile floors, vapor heat, electric light, tile work, bronze work, vaults, ornamental iron work, plate glass. Owners will take sub-bids.

**High School**, Throop, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton,

Pa. Owners, Board of Education, Throop, Pa. Laboratory equipment, lockers, auditorium, seating equipment for 1,000, electric fixtures. Owners ready for sub-bids.

**Residences (7)**, Allentown, Pa. Architect, E. R. Bitting, Odd Fellows Building, Bethlehem, Pa. Owner, E. Candia, 389 Cedar avenue, Allentown, Pa. Brick, 2 stories, 120x50 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

**Bank**, South Bethlehem, Pa. Architect, E. R. Bitting, Odd Fellows' Building, Bethlehem, Pa. Owner, Pasquale Castiello, 719 East Fifth street, Bethlehem, Pa. Granite, 2 stories, 78x38 feet, steam heat, electric light, tile and marble work. Architect taking sub-bids.

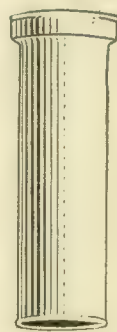
**Branch Bank**, West Marshall street, Norristown, Pa. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Norristown Penn Trust Co., Norristown, Pa. Brick, 1 story and mezzanine, 75x125 feet, slag roof, cut stone, marble and terrazzo floors, steam heat, electric light. F. R. Heavner, Norristown, Pa., building.

**Publishing Plant**, King and Hanover streets, Pottstown, Pa. Architect, Arthur S. Kepner, 121 North Hanover street, Pottstown, Pa. Owners, The Pottstown News, W. S. Binder, Pottstown, Pa. Limestone, concrete, steel, 2 stories, 71x90 feet, slag roof, cement floors, steam heat, electric light, tile and marble work. Owners taking revised bids.

**Sunday School**, St. Clair, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, St. John's Reformed Church, Rev. H. A. Behrens, St. Clair, Pa. Brick, steel, 1 story, 96x60 feet, slate roof, hardwood floors, hollow tile, waterproofing and dampproofing, cast stone, vapor heat, electric light, metal lath. Owners taking bids due January 3rd at 6 P. M.

**Bank Building**, Frackville, Pa. Architects, Ritter & Shay, Packard Building, Philadelphia. Owners, First National Bank & Trust Co., Frackville, Pa. Brick, hollow tile, cut stone, granite, steel, 1 story, mezzanine and basement, 100x35 feet, composition roof, cement floors, steam heat, electric light, marble work, hollow metal sash and doors, bond, ornamental iron work, painting and glazing, composition stair treads, roof ventilators, limestone, ornamental plaster, wrought iron pipe, plumbing, banking room equipment. Architects taking bids due January 5th.

**School**, Harvey's Lake, Pa. Architects, Cook & Lacey, Miners' Bank Building, Wilkes-Barre. Owners, School District of Lake Township, G. C. Armitage, Anderson, Pa. Concrete block, 1 story, 60x113 feet, asbestos shingle roof, pine floors, vapor heat,



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electric light. Owners taking bids due January 5th.

**Residence and Garage**, Narberth, Pa. Architect, E. K. Taylor, 1416 Chestnut street, Philadelphia. Owner, O. V. Kruse, care of architect. Hollow tile and stucco, 2½ and 1½ stories, 20x50 feet, wing 10x18 feet, garage 20x20 feet, shingle roof, oak, pine and cement floors, hot water heat, electric light, tile work (alternate slate roof). Architect taking bids due January 5th, 1925.

**Residence and Office**, Hanover street, Wilkes-Barre, Pa., \$25,000. Architects, J. Boyle and T. Newman, Bennett Building, Wilkes-Barre, Pa. Owner, Dr. J. W. Cresler, 152 Hanover street, Wilkes-Barre, Pa. Brick, hollow tile, 2½ stories, 31x45 feet, slate roof, hardwood and rubber tile floors (heating, plumbing and electric reserved). Owner taking bids due January 2nd.

**Store House**, Fort Mifflin, Pa. Architects, United States Engr., War Department, 1307 Schaff Building, Philadelphia. Owners, U. S. War Department, care of F. G. Boggs, 1307 Schaff Building, Philadelphia. Low bidders: W. L. Morrison Contg. Co., Washington, D. C., \$22,400; Wm. Thurston, Richmond, Va., \$23,700.

**Eagles' Home**, Wilkes-Barre, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre, Pa. Owners, Order of Eagles, care of architects. Lowest bidder: M. L. Roth, 127 South Welles street, Wilkes-Barre, Pa.

**School**, Forty Fort, Pa. Architect, William B. Ittner, Board of Education Building, St. Louis, Mo. Owners, Wilkes-Barre Institute, Dr. H. B. Gibby, Wilkes-Barre, Pa. Lowest bidders: Murch Bros., St. Louis, Mo.

## Pennsylvania

### Contracts Awarded

**Store and Apartment**, Glenside, Pa. Architect, H. Trumbauer, Land Title Building, Philadelphia. Owner, Edwin N. Johnson, Glenside, Pa. Brick, cut stone, stucco, 2 stories, irreg., slate roof, oak and pine floors, hot water heat, electric light, tile work, metal lath, bond. Contract awarded to A. Zellfelder, 1324 Walnut street, Philadelphia.

**Casa Del Ray Hotel**, Lancaster and Haverford avenues, Haverford, Pa. Architect, T. B. Lippincott and C. H. Schaff, 11 South Sixteenth street, Philadelphia. Owner, Perry Beam, 605 Market street, Philadelphia. Stone, cut stone, steel, brick, hollow concrete block, 3 stories and basement, 210x94 feet, wing 46x49 feet (Webster vacuum heating, oil burning, electric light, plumbing separate bids), slag roof, tile roof, linoleum, oak, cement, natural cork, rubber tile floors, elevator, roof ventilators, waterproofing, ornamental terra cotta, ornamental iron work, bond, tin-clad, kalamein, hollow metal doors, rolling steel skylights, hollow metal sash, tile and marble work, metal lath, electric light, morene wall finish, galvanized work, wrought iron pipe. Contract awarded C. C. Pace, Cynwyd, Pa.

**Residence**, Bryn Mawr, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, Edwin H. Le Boutilier, Bryn Mawr, Pa. Stone, cut stone, brick, 2½ stories, 104x30 feet, shingle roof, oak and pine floors, plumbing, metal weather strip, flagstone, bond, tile and marble work, hot water heat, electric light. Contract awarded H. G. Campion, Otis Building, Philadelphia.

**Garage**, Haverford, Pa. Architects, McIlvaine & Roberts, Otis Building, Philadelphia. Owner, Rodman E. Griscom, Haverford, Pa. Stone, 2½ stories, 48x32 feet, shingle roof, oak and pine floors, plumbing, hot water heat, electric light, bond, ornamental iron work. Contract awarded H. G. Campion, Otis Building, Philadelphia.

**Hospital (add.)**, Sixth and Washington streets, Reading, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Homeopathic Hospital, on premises. Reinforced concrete, brick, steel, 4 stories and basement, 69x36 feet, built-up roof, cement, composition and linoleum floors, hollow tile, plumbing, waterproofing, dampproofing, ornamental iron work, iron stairs, bond, hollow metal doors, galvanized steel sash, tile, marble and terrazzo work, metal lath, steam heat, electric light. Contract awarded to Fink Const. Co., 658 Penn street, Reading, Pa.

**Silk Mill (add.)**, Allentown, Pa. Architects, Jacoby & Everett, Commonwealth Building, Allentown, Pa. Owners, Majestic Silk Mills Co., care of architects. Brick, structural steel, 2 stories, 66x213 feet, built-up roof, wood floors, elevators, waterproofing and dampproofing, steam heat, fire doors, electric light, rolled steel sash, iron stairs. Contract awarded to Butz & Clader, Ainey Building, Allentown, Pa.

**Gymnasium Building**, Easton, Pa., \$61,990. Architects, Michler & Snyder, Drake Building, Easton, Pa. Owners, Board of Education, Easton, Pa. Brick, steel, cast stone, 2 stories and basement, 83x123 feet, slag roof, cement and wood block floors, hollow tile, roof ventilators, metal lath, terrazzo work, ornamental iron work, stone, bluestone, slate (plumbing, heating and electric work separate bids). Contract awarded to Benjamin Ryman, Phillipsburg, N. J.

**Store and Office**, Olyphant, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owner, W. J. Lynott, Olyphant, Pa. Steel, brick, cut stone, 2 stories and basement, 25x90 feet, slag roof, maple floors, hollow tile, metal ceilings, steam heat, electric light, metal lath, tile and marble work, rolled steel sash, store fixtures. Contract awarded to S. Palumbo, 537 Linden street, Scranton, Pa.

**Store and Offices**, Olyphant, Pa. Architect, J. J. Howley, Traders' Bank Building, Scranton, Pa. Owners, Cannon Bros., Olyphant, Pa. Steel, brick, cut stone, 2 stories and basement, 25x90 feet, slag roof, maple floors, hollow tile, metal ceilings, plate glass, copper work, ornamental iron work, tile and marble work, metal lath, steam heat, electric light. Contract awarded to S. Palumbo, 537 Linden street, Scranton, Pa.

**Bank**, George street, York, Pa. Architects, Gemmill & Billmeyer, Rosenmiller Building, York, Pa. Owners, Drivers' & Mechanics' Bank, York, Pa. Stone, steel, marble, 1 story, 29x150 feet, Barrett roof, marble and cork floors, metal window guards, waterproofing and dampproofing, cut stone, ornamental iron work, iron stairs, bond, bank fixtures, bronze work, tile and marble work, metal lath, steam heat, electric light. Contract awarded to Hess Brothers, Grantley and King's Mill road, York, Pa.

**Yard Office Building**, Bethlehem, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad Co., Twelfth and Market streets, Philadelphia. Brick and concrete, cut stone, steel, 1 story, 18x24 feet, slag roof, cement floors, electric light, metal lath, plumbing, bond, ornamental iron work, dampproofing. Contract awarded Forrest Speck Const. Co., Bethlehem, Pa.

**School**, New Philadelphia, Pa. Architect, J. A. McGlynn, Simon Long Building, Wilkes-Barre, Pa. Owners, New Philadelphia School Board, Mr. Dooley, secretary, New Philadelphia, Pa. Frame, 2 stories and basement, 144x80 feet, slag roof, pine floors, roof ventilators, electric light. Contract awarded to Alimo Bros., Pittston, Pa.

**Farm Manager's Residence**, near New Centerville, Pa. Architect, H. Gordon McMurtrie, Norristown, Pa. Owner, Jesse Walker, care of architect. Frame and plaster, 1½

stories, 28 feet 4 inches x 36 feet 10 inches, steam heat, electric light, shingle roof, pine floors, stone foundations. Contract awarded Raymond Houghton, Norristown, Pa.

**Church**, Luzerne, Pa. Architects, Schroeder & Schmidt, Weitzenkorn Building, Wilkes-Barre. Owners, Lithuanian Church, Rev. J. Kundrakes, Luzerne, Pa. Stone, brick veneer, 1 story and basement, 48x110 feet, slate roof, pine floors, steam heat, electric light. Contract awarded to J. J. Gibbon, Avoca, Pa.

## New Jersey Construction News

**Hotel Building**, Atlantic City, N. J. Architect, I. Demchick, 1701 Chestnut street, Philadelphia. Owners, Hersh Carleton Hotel, Atlantic City, N. J. Architect taking bids due December 24th.

**Assembly Hall Addition**, Atlantic City, N. J. Architects, Carrere & Hastings, 52 Vanderbilt avenue, New York. Owners, Hotel Chelsea, Atlantic City, N. J. Architects taking bids due January 5th.

**Public Garage**, Ocean City, N. J. Architect, L. L. Headley, 611 Eighth street, Ocean City, N. J. Owner, F. Spiese, 359 Lyceum avenue, Philadelphia. Brick, concrete block and steel, 1 and 2 stories, 90x166 feet, slag roof, cement floors. Architect will be ready for bids in about two weeks.

**Club House and Pumping Station**, Somers Point, N. J. Architect, L. L. Headley, 611 Eighth street, Ocean City, N. J. Owners, Ocean City Country Club, care of architect. Plans in progress. Architect will probably take bids in spring, 1925.

**Bank Building**, Fifth and Market streets, Camden, N. J. Architects, Davis, 3rd, Dunlap & Barney, 1805 Walnut street, Philadelphia. Owners, Land Title Guaranty Co. of New Jersey, 432 Market street, Camden, N. J. Preliminary sketches in progress.

**Hotel**, Pennsylvania avenue near Boardwalk, Atlantic City, N. J. Architect, W. Macy Stanton, 1524 Chestnut street, Philadelphia. Owner, Nur J. Collins, care of architect. Brick, electric light, concrete floors, slag roof, 300 rooms. Plans in progress.

**Theatre**, Greenwood avenue, Trenton, N. J. Architect, William B. Thines, Commonwealth Building, Trenton, N. J. Owners, Hildinger Enterprise, Arcade Building, Trenton, N. J. Fireproof. Plans in progress.

**Apartments (2)**, Trenton, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Bane L. Temple, 29 Hillcrest avenue, Trenton, N. J. Brick, 2 stories, 32x44 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Residence**, Morris Heights, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Benjamin Skirm, 702 Riverside street, Trenton, N. J. Brick, 2½ stories, 36x42 feet, slate roof, hardwood floors, hot water heat, electric light, tile work. Plans in progress.

**Maternity Cottage (add.)**, Clinton, N. J. Architects, Department of Institutions and Agencies, Division of Architecture and Construction, Trenton, N. C. Owners, Clinton Reformatory for Women, Board of Managers, Clinton, N. J. Brick, hollow tile, 2½ stories, slag roof, pine floors, tile work. Revised plans in progress.

**Residence and Garage**, Sea Girt, N. J. Architects, W. W. Slack & Son, St. Regis Building, Trenton, N. J. Owner, Charles Shick, 1320 West State street, Trenton, N. J. Frame, 2 stories, 60x30 feet, shingle roof, hardwood floors, hot air heat, electric light, tile work. Architects ready for bids.

**Residences (6)**, Cadwallader street, Trenton, N. J. Architect, Walter Hankin, 39 East



State street, Trenton, N. J. Owner, Robinson O'Donnell, care of architect. (2) Frame, 2 stories, 22x38 feet, (2) frame and concrete block, 2½ stories, 24x38 feet, (2) brick and stucco, 2½ stories, 25x36 feet, slate roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Stanley Theatre**, Sixth and Market streets, Camden, N. J. Architects, Hoffman-Henon, Finance Building, Philadelphia. Owners, Stanley Company of America, 1916 Race street, Philadelphia. Brick, stone, steel, concrete, limestone, terra cotta, 160x110 feet, slag roof, steam heat, electric light, tile and marble. Architects ready for sub-bids in three weeks.

**Building**, foot of Jefferson street, Camden, N. J., \$22,000. Architect, private plans. Owners, Armstrong Cork Co., foot of Jefferson street, Camden, N. J. Brick, 1 story, 81x44 feet, composition roof and truss roof, pine floors, cement work, electric light. Owners will build.

**Church and Parsonage**, White Horse Pike, West Collingswood, N. J. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owners, West Collingswood Methodist Episcopal Church, W. W. Rehn, 525 Harrison street, West Collingswood, N. J. Stone, cinder block and steel, 1 story and basement, 41x89 feet, wing 55x41 feet, slate roof, cement and maple floors, plumbing, waterproofing and dampproofing, ornamental iron work, bond, tin covered doors, metal lath, tile and marble work, electric light, composition stone, bluestone, Vengrie Block system. Architects taking bids due January 2nd.

**Contract No. 20**, Camden Approach, Third street, East of Fifth street, Camden, N. J. Owners, Delaware River Bridge Joint Commission, Widener Building, Philadelphia. Beams, concrete, concrete piles, structural steel, granite, excavation. Low bidders: Andrew O'Neill, 127 East Mermaid lane, Philadelphia, \$408,161; Fred Snare Corp., 114 Liberty street, New York, \$414,377.

**Fire House**, Audubon, N. J. Architect, William D. Hopkins, Audubon, N. J. Owners, Audubon Fire Co., Vol. No. 1, Audubon, N. J. Low bidder: H. B. Miller, Edgewater Park, N. J., \$20,988.

## New Jersey Contracts Awarded

**Henchman School**, Woodland Manor, Delaware Township, N. J. Architects, Edwards & Green, 34 South Seventeenth street, Philadelphia. Owners, School Board of Delaware Township, Woodland Manor, N. J. Contract awarded H. B. Miller, Edgewater Park, N. J., \$27,180. Heating, Deckman Plumbing & Heating Co., Woodlynne, N. J., \$5,070. Plumbing, Mr. Leopold, Ferry avenue, Camden, N. J., \$338. Electric, Enterprise Elec. Co., 239 South Tenth street, Philadelphia, \$486.

**Office Building**, 227 Federal street, Camden, N. J., \$5,200. Architects, Lackey & Hettle, 5 Hudson avenue, Camden, N. J. Owner, Meyers Baker, care of architects. Brick, 2 stories, 20x48 feet, slag roof, hardwood floors, roof ventilators, vapor heat, electric light, metal lath, ornamental tile work, rolled steel sash and skylights, ornamental iron work. Contract awarded to C. E. Widell, Woodlynne, N. J.

**Garages (14)**, Southwest Corner Second and Mechanic streets, Camden, N. J., \$4,500. Architect, private plans. Owner, William J. Barry, Southwest Corner Second and Mechanic streets, Camden, N. J. Concrete block, 1 story, 8 feet 4 inches x 18 feet 2 inches, slag roof, cement floors. Contract awarded to

George C. Prince, 212 North Thirty-eighth street, Camden, N. J.

**Building**, Northwest Corner Broadway and Whitman streets, Camden, N. J., \$3,000. Owners, American Iron Works, Broadway and Whitman streets, Camden. Brick and steel, concrete block, 1 story, shop 40x100 feet, office 24x28 feet, slag roof, cement and pine floors. Contract awarded to Bezahler & Schulke, 348 Kaighn avenue, Camden, N. J.

**Garage**, Spruce street, Trenton, N. J., \$3,650. Owner, Jack Elfinstein, 729 Pine street, Trenton, N. J. Cement block, 1 story, 18x50 feet, slag roof, cement floors, electric light. Contract awarded to Unger & Shindel, 121 Jackson street, Trenton.

## Delaware Construction News

**Residence**, 1819 Gilpin avenue, Wilmington, Del., \$4,000. Architect, private plans. Owners, Fagan Bros., 1826 Union street, Wilmington, Del. Brick, 2 stories, 15x45 feet, slate roof, pine floors, hot water heat, electric light. Owners will build.

**Residences (5)**, Thirtieth street, below Madison, Wilmington, Del., \$24,000 total. Architect, private plans. Owner, S. Tobasso, Pennyhill, Wilmington, Del. Brick, 2 stories, 19x28 feet, slag roof, pine floors, hot air heat, electric light. Owner will build.

**Residences (4)**, 3308-10-12-14 Jefferson street, Wilmington, Del., \$20,000 total. Architect, private plans. Owner, Charles W. Gooding, Jr., 810 West Twenty-third street, Wilmington. Brick, 2 stories, 14x36 feet, slag roof, pine floors, hot water heat, electric light. Owner will build.

## Miscellaneous Contracts Awarded

**Library**, Fordham, N. Y. Architect, Emil G. Perrot, 1211 Arch street, Philadelphia. Owners, Fordham University, Fordham, N. Y. Granite, Indiana limestone trim, 3 stories, 70x140 feet, slate roof, marble and linoleum over concrete floors, hollow tile, terra cotta, ornamental iron work, bond, kalamein doors, rolling steel sash, tile, marble and terrazzo work, electric light, steam heat, metal lath. Contract awarded Sobray Whitecomb Co., 105 West Fortieth street, New York.

**Separation House**, Wilmington, Del. Architects, private plans. Owners, Wilmington Gas Company, 827 Market street, Wilmington. Brick, 2 stories, 21 feet 6 inches x 18 feet, slag roof, electric work. Contract awarded to J. A. Bader & Co., Lackey Building, Wilmington, Del.

(Continued from page 820)

sustain them for the first few years, it is difficult for us to give the boys all the opportunities they should have to acquire building knowledge. Hence, let us use the public school for this fitting service.

Now then, the builder feels that inasmuch as he is paying taxes for the education of the youth of the country, he also has a right to expect some service from this youth. Inasmuch as everybody, including the poorest among us, who has a dollar to spend for their sustenance, is helping pay taxes, and inasmuch as approximately 50% of the entire State taxation is spent for educational purposes,

the parents alone are not the only ones interested but all of us are interested, and we have a right to expect a general service from each other. It is the part of our civilization complex. The shoemaker, tailor, baker, merchant, clerk, etc., cannot live without my industry. I cannot lead a comfortable existence without theirs. Now, let us realize that in our educational system, and let us utilize the lifetime at our disposal of the young between the ages of 13 and 20, and those who are not particularly inclined towards the professions, teach them something that will be of advantage to them and advance our industries, and hope that later in their lifetime they will become interested in the fine arts and general cultural attainments.

I do not feel that the entire school periods of the boys between 13 and 20 should be engaged in teaching them vocations, but I do feel that, together with teaching them something practical, the seed and desire for learning can also be planted, and if he is endowed with an inquisitive turn of mind, he will learn, by applying himself, much of the culture that is now the requisite of gentility. Should he not be endowed with a desire to know more than the three R's, no amount of tutoring or cramming between the ages of 13 and 20 will give it to him.

I have often been asked what my plan of education would be, so I will repeat it to you. Those boys who are not interested, or who, by reasons of necessity, cannot go into the profession, or whose parents are unwilling or unable to provide the expense of this education, I would like to see started at an early age, put in a sort of cycle course where their vocational leanings can be discovered.

After a boy has found himself, or his vocational leaning has been discovered and has decided he would like to become a building mechanic, then the rudiments of these trades can and should be taught in the public schools. Brick-laying, carpentry, plumbing, steam-fitting, and the various other trades, can be taught advantageously in the public schools. The Public will demand that they be taught in the near future, but I want to go on record that you cannot make a Finished Artisan in the public school. You can teach him the use of his tools, mathematics, drawing, etc., so that when he comes to the Industrialist at the age of 16 or 18 he is able to earn as big pay as the boy who is driving a truck, or the poor, or semi-skilled, machine hand. To become a finished artisan requires knowledge, and the only place it can be acquired is at the building. This competition for the boys and the builders' inability to teach them at an economic wage, is one of the causes of the terrific scarcity of building mechanics.

Even though the builder feels that it is



entirely possible to teach the rudiments of the trades in the public schools, utilizing such time as may be necessary for the seeding of cultural attainments, the elements in civic and community service, etc., yet when the boy appears for the periods set aside for his chosen trade, he should be in the hands of a practical teacher who has gained his experience on the building.

You, in your previous discussions in conventions, have worked out these problems very effectively. Coming back to the practical side of teaching a trade to the boy, you can teach the boy in the brick-laying trade, how to cut brick, how to lay out an arch, how to cut tile, how to lay up the various bonds, how to lay out his corners and lay out a building generally, so that when he comes to a building he is not ungainly,—he knows something of what might be expected of him. A Big Thing to acquire in the building trades is also the moulding and shaping of the body and muscles. It is as necessary for the plasterer to have command of his feet as it is for him to acquire the wrist motion. It is as necessary for him to be able to balance the hock as it is for his eye to watch that part of the work to which he is applying his skill. When a carpenter or marble-cutter is using a chisel, they will always watch the point of the tool and watch the reaction of the hammer blow at the chisel point, and not where the tool is receiving the hammer blow. It is necessary to train the eye, mind and muscle to act in unison, the eye to watch the reaction of the tool and not the hammer stroke. When the boys are young, this can be most advantageously accomplished. When we train a ball player, we do not wait until he is 20 years old; when we train a musician, we do not wait until he is 16 years old. Why should we wait to train the body and muscles of a boy who expects to make his living in the building trades. These are all things that can be taught in the public schools. They are Big Things; they are interesting, and they enable the youths to command a wage, when you dismiss them at 16 years of age, equal to the wage of those who enter the lives of truck drivers and machine hands, with prospects of great future opportunities, only limited to the extent of willingness and application of endowments.

I want to call your attention again to the fact that the periods not required for educational training can be used by the Academician for teaching and seeding the cultural and gentile pursuits.

Then, too, our mechanics know very little of the history of their trade and trade traditions. The building operations of today do not lend themselves to teach boys any of the glorious past in trade achievements. We cannot tell the boy

that next to the implements of war and implements of agriculture, the implements with which he is making his living are the oldest known in the World's history. The building trades can point with pride to the existence of their art for at least six thousand years. They can point with pride to the monuments of the past, and they can be told that the old artificer, before the days of industrial enslavement and class consciousness, enjoyed a social standing equal to that of the professional man.

The practical teacher can develop in the boys a vocational and trade consciousness, trade pride and appreciation for fine workmanship. It can be pointed out to him that it is not sufficient to know enough of the trade to "just get by"; that it is unfair to his brother craftsmen to hold them down to a general level when the wage is based on the production and ability of the poorest workman. We know that a poor workman is a parasite on the good mechanics' ability. We can develop a trade consciousness in the building industries, and develop a set of craftsmen who not only have a Union, but also a Trade.

In conclusion, I want to say a word about vocational guidance work. I want to say that I have a very high regard and appreciation for those engaged in it. I know that their work is often thankless and unappreciated by those who should feel grateful. I cannot condemn the average parent enough for the lack of interest that they have for the well-being of their young. I have asked hundreds of children, "what are you going to do when you grow up?" I seldom find an interesting or deciding answer. When I turn to the parents and ask them, "what is your boy going to be?" the usual answer is "anything that he likes." The boy usually grows up until he graduates from high school or college undecided as to what his life's work shall be. Untold numbers of those who have reached the age of 16 to 20 have enjoyed no vocational guidance, and they usually flit from job to job, ending nowhere. They soon find their level and are unhappy. I believe it is the duty of the Educational Guidance Directors, where they do not find a decided vocational leaning, to INFLUENCE the youngsters towards a trade that, in the opinion of the director, might provide them a living. The little experience that I have had in guiding young people to find a vocation and a place in life, has been heartrending, because the plea for guidance usually comes from young men when they are too old to be placed at a trade and have assumed marital obligations. Every Guidance Director can testify to the lack of interest or lack of concern for the welfare of the young on the part of the parents to influence them towards an honest and

profitable means of livelihood. They are apparently trusting to Providence to provide for them. The sins of omission of the parent in not concerning himself as to what the boy shall do, or wants to be, are visited on the Boy and Society.

## SHOULD GROUND HOUSE LIGHTING CIRCUITS

*Transformer secondaries should always be grounded when carrying less than 150 volts; grounding recommended up to 440 volts.*

The grounding of electrical circuits supplied from the low voltage side of transformers is recommended as a safety precaution by Dr. M. G. Lloyd, Chief of the Safety Section of the Bureau of Standards, Department of Commerce. In a paper presented at the meeting of the International Association of Municipal Electricians, Dr. Lloyd pointed out that grounding reduces the danger of fire and accident by preventing the occurrence on the circuit of voltages higher than expected, such as might result from lightning or from crosses with a high voltage line. Secondary circuits carrying less than 150 volts should always be grounded he states, and grounding is desirable also for circuits as high as 440 volts.

Grounding to water piping systems is considered by far the best where such systems are available, and the objections sometimes urged against this procedure are considered unimportant. Such objections include the likelihood of electrolysis, the danger to employees, and the possibility of overheating the pipes. There is, however, no evidence showing that these objections are valid.

Grounding of electrical circuits to gas pipes should never be done, he states, as such pipes do not have freely conducting joints and the gas they contain is, of course, a nonconductor. Where water piping systems are not available, recourse should be had to artificial grounds consisting of driven pipes, rods, or buried plates. Where soil conditions are not suitable for artificial grounds the use of a system ground wire is suggested. To maintain grounding connections properly, systematic inspection and testing are recommended.

The grounding of secondary circuits may be done either at the transformer or at the building entrance of the service according to the local regulations. Grounding at both places is recommended, thus insuring a multiplicity of grounds on every secondary circuit. The grounding connection at the transformer should be installed and maintained by the power company while the grounding connection at the service entrance is installed by the building owner or contractor.



## TWISTERS

BY MAURICE I. FLAGG,

*Director of Service, The Architect's  
Small House Service Bureau of the  
United States*

THE wise farmer living in certain prairie sections of the Middle West knows that any time during the summer season a twister may hit him. And so he prepares for this attack by planting a windbreak around his house, barn and fields, and even provides a cyclone cellar.

Anyone who has witnessed the destruction caused by a cyclone or twister knows what usually happens to buildings, crops and everything in the path of the storm. The strange results of twisters, the pranks they play with buildings, and the damage they do, seem to me perhaps not unlike the unexpected and disastrous results that so often come to people who build with nothing more substantial than a newspaper or magazine picture, or a sketch of their own to go by. Twisting the dimensions, rooms, roof, porch, and construction to meet their special needs, these people not only warp their building budgets beyond recognition, but they join the ranks of that grand and mammoth old army whose battle flag carries the slogan, "Penny wise and pound foolish."

*Twister Insurance*

It is curious, as one meets home builders, to discover how little concern many of them give to the need for providing a suitable wind break or protection for a home,—something that will aid in forestalling depreciation, loss of money, and the risk of ruining their home by freakish planning.

The best insurance I know of against twisters, and by twisters I mean anyone who steals, plunders, changes or enlarges upon a sketch or house plan, is a well prepared set of drawings by a reputable architect.

One of the most pathetic sights that come to our attention are home builders trying to beat the game and save a few dollars. Usually they begin by unfolding a newspaper clipping or an illustration of a floor plan clipped from some magazine. They have tried to provide additional details themselves, or perhaps through the help of some carpenter or contractor they have amateur sketch plans. It is difficult at times to make these people see how unfair it is to themselves to attempt to save in this way.

*Mired Before Starting*

It is interesting to watch the twists and turns of these houses as they proceed to their final conclusion, which is usually waste. Changes here, alterations there, omissions here, additions there. With no set procedure, no time table as it were, no buying list, no plans, no details, the home

builder using an inadequate sketch is mired in expense before he even starts.

Like the twister spoken of in the beginning of this article, this building project is liable to be warped beyond point of recognition. What is more, the pocket book may be lost in the maelstrom.

Take your own case for example. Suppose you are planning to build and are now getting help or suggestions from some neighborhood carpenter or contractor, someone you know. He may be a thoroughly reliable and honest workman. His houses may stand like the rock of Gibraltar, and yet nine times out of ten he is not a designer. It is not his job.

Don't forget also that his time is worth money. He is not in business because he loves it. Even though he agrees to supply you sketches and plans free, you will pay for this service in the end. It must be included in the total cost of your home.

How unwise it is to proceed on this unsatisfactory basis, when you can obtain, through Bureau service, many of the advantages of complete architectural service at a cost so low that no carpenter, no contractor or sketch artist, no matter how skilled, will produce the same kind of plan and give you the same type of service at less than three times the cost of a Bureau plan. Don't take my word for it, figure it out yourself. At best, whoever prepares your plans will consume far more than \$25.00 worth of time, long before he has arrived at the point where blue prints can be made.

Now, when you buy a set of Bureau documents for \$25.00 or \$30.00, you get plans that have cost between \$200 and \$300.00 to prepare. They give you the skill of not one, or two, or three professional men, but possibly many architects who have sat in conference, discussed the plans, developed the details, prepared the specifications and given you a service which you must have, if you hope to build your house and build well. The difference between a sketch plan and a complete drawing is one reason why architects' services are required. This is not only true of large dwellings, but of a smaller home.

*Another Danger Sign*

So many home builders are penny wise and pound foolish, in an attempt to save a few dollars, that I once more set down here another danger sign. "Don't build from a hit and miss plan." So many people have discovered the truth of this statement after their house has been built, that I wonder at times why the news does not spread faster. I suppose, however, it is the everlasting desire to save a penny here, a penny there, that prompts so many people to attempt building from sketchy drawings. I have seen so many buildings, particularly smaller homes, warped out of shape, twisted beyond recognition and

finally brought to us with the hope that somehow we can save the situation, that I warn you again to beware of twisters.

Get the best advice you possibly can. Pay the small initial cost that a good set of Bureau plans sell for. They will save you time, trouble and worry in the end. They will take you out of the path of the twister and give you protection for your building investment.—*The Small Home.*

## ARCITECTURE ADDS VALUE TO HOME

*Realtor Sees Growing Trend Toward  
Residences Designed by Experts*

From 10 to 25 per cent. is added to the value of a home by authentic architectural style, according to Ogden A. Confer, President of Confer Brothers, realtors, of Minneapolis, and a vice-president of the National Association of Real Estate Boards, in a recent interview commenting on the increasing tendency in new home construction to utilize the services of the trained architect.

"Not only does the architect designed home have greater utility value and add to the beauty of the city, but the services pay for themselves in any sale of the home," Mr. Confer said. "Our estimate that authentic architectural style adds from 10 to 25 per cent. to the value of a home is based upon an analysis of our sales made in the first 10 months of the year.

"The analysis reveals a rapidly increasing appreciation of good architecture, and whether the home is of the small type or big, it apparently has the biggest demand, sells the easiest and brings the highest values if based upon authentic architectural style.

"My own observations, covering a quarter century of experience in the selling of houses convinces me that no one can afford to build without the services of a competent architect.

*A Two Thousand Dollar Increase*

"While a home of ordinary construction, without architectural character in a good neighborhood, may have a market value of say \$8,000, the same expenditure, made in the same place under the direction of a competent architect will build a home which will sell for \$10,000, an increase of 25 per cent. in value actually created by the architect.

"Houses without architecture can be sold only as necessities. They bring the price of so much lumber, brick and plaster. Homes of architectural beauty appeal to a different sense, the artistic appreciation which home buyers will pay to gratify.

"When a town is in its first stages of development, utility is about the only factor taken into consideration in providing shelter. With the growth of the city and



the increase of earning power which goes along with that growth, something more than mere shelter is demanded in a home. So in Minneapolis and other cities today, the homes that are in demand are the homes which have some artistic character, in other words homes upon which competent architects have used their skill and knowledge to build something of beauty rather than four walls and a roof for utility only.

#### *Plenty of Evidence*

"There is plenty of evidence on every hand that builders are beginning to realize the value of good architecture. Some of our cities have been criticized because so many houses have been built without regard to architectural beauty. I believe this criticism soon will pass. The newer sections are making a better showing and remodeling of older homes is improving the appearance of some of the built-up sections. But there is still room for improvement.

"The most saleable homes built today are those which follow some well established architectural style. The Dutch colonial style led in popularity several years ago, and today there is a strong tendency toward the New England and Southern colonial, the English cottage type, the Italian and the Spanish.

"Another important improvement in the appearance of the city would be made if home builders would pay more attention to the grouping of homes. Certain types of architecture clash with certain other types, and actually reduce values. There should be architectural harmony in every block. Home builders should realize that it is to their advantage to consider the appearance of the block as a whole."

Mr. Confer pointed to the down-town and residential sections of Los Angeles as a good example of where the architect has been mainly responsible for the creation of realty values and a beautiful city.

—*The Small Home.*

#### ONLY ELEVEN SIZES OF STEEL REINFORCING BARS AFTER JANUARY 1, 1925

As a result of a conference held at the Department of Commerce in Washington on September 9th, 1924, the following recommendation was made, relative to the manufacture, distribution and use of Steel Reinforcing Bars—round and square:

"In accordance with the unanimous action of the joint conference of representatives of manufacturers, distributors and users of square and round steel reinforcing bars, the United States Department of Commerce, through the Bureau of Standards, recommends that the recognized sizes of square and round steel rein-

forcing bars, in terms of cross sectional area, be reduced to the following:

Size In Inches	Area In Square Inches
1/4 Round .....	.049
3/8 Round .....	.110
1/2 Round .....	.196
1/2 Square .....	.250
5/8 Round .....	.307
3/4 Round .....	.442
7/8 Round .....	.601
1 Round .....	.785
1 Square .....	1.000
1 1/8 Square .....	1.266
1 1/4 Square .....	1.563

It is further recommended that this reduced list of sizes become effective as applying to new production January 1, 1925, and that every effort be made to clear current orders and existing stocks of the eliminated areas before March 1, 1925."

This recommendation has received practically the unanimous acceptance by manufacturers, distributors and users throughout the entire United States.

At a recent meeting of the Concrete Reinforcing Steel Institute, made up of members of the Reinforcing Bar Interests of the United States, these recommendations were accepted.

Another step forward to more simplified and economical building has been attained.

All industries have agreed to hereafter produce, distribute or use only the eleven sizes of steel reinforcing bars mentioned in the above recommendation.

This was accomplished through the untiring efforts of the Division of Simplified Practice of the Department of Commerce at Washington.

With all indications pointing to the Sixth Annual Meeting of the Associated General Contractors of America, as one of the most significant conclaves in the history of the construction industry, final plans for the three-day convention, which opens at Washington January 12, are now being laid.

Adoption of a code of ethics to govern the relationships of constructors with each other and with other elements of their industry will be the outstanding item of business to be brought before the convention. A tentative set of working rules, already approved by the Executive Board of the association, will be presented to the meeting as a basis for action.

Officials of the association are pointing to the fact that the organization, now completing the sixth year of its existence, has completed its period of pioneering effort and is now thoroughly equipped to indulge in definite and productive action

not possible at times when it was less mature. They cite the impending action on the code of ethics and also plans for effecting broad application of the recently adopted standard contract forms to bear out this statement.

Indications are that the convention will be exceptionally well attended because it is being held in the nation's capital, thus affording constructors the opportunity to enjoy a unique and beautiful environment during those portions of their visit not taken up by affairs constructional.

It is certain the subject of reform in present bonding practices will receive major attention, as important meetings devoted to this matter have been held by the constructors, state highway officials and surety officials since the association held its most recent convention in Chicago last January.

Recapitulation of the results of the organization's protest against the mixture of politics with business by use of the day labor system of constructing public works will be made. The past year has seen much activity in this connection and observations gained during this period will be put to use in the forming of plans for the future.

The standing committees of the association will present their reports and officers for the coming year will be elected in addition to the other business coming before the convention.

There is not a business one can think of, which is not full of little temples where one can curse or pray. Every business that one knows has its host of light in it, fighting against its host of darkness; one set of men conducting the business as if they and the public were engaged in a sort of mutual enthusiasm and daily service, with permanent success as the goal; and another set of men whose success is ruining the business to which they belong, and the public besides—and themselves.

The other day a prominent local architect called up to inquire regarding a concern that has not advertised with us for two years. "I saw their ad. some years ago in the Guide," said the architect, "and am unable to recall just where they are located." We gave him the address and learned subsequently that as a result the firm bagged a big order. How many similar orders, from architects who wouldn't take the trouble to look them up, that same concern has missed in the course of the

The man with an order to place doesn't hunt you up in the city directory these days. He hasn't the time. If he can't find you in your trade magazine he can and does find somebody else, and that somebody else books the order.



# Reference Directory for Architects, Builders and Owners

## ARTESIAN WELLS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## ARTISTS AND ARCHITECTS' SUPPLIES.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## ASPHALT CONSTRUCTION.

Rulon, Ralph V. ....239 N. 30th St., Phila.

## BLUE PRINTS.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BLUE PRINT PAPER.

Blue Print Shop.....1520 Sansom St., Phila.  
Robbins, Chas. H., Co. ....1729 Sansom St., Phila.  
Warren-Knight Co. ....136 N. 12th St., Phila.  
Weber, F., Co. ....125 S. 12th St., Phila.  
Well, J. H., Co. ....1315 Cherry St., Phila.

## BOILER AND PIPE COVERINGS.

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## BRICK.

Cox, Janeway, & Co. Real Estate Trust Bldg., Phila.

## BRICK (Face, Common, Paving).

Holloway Corporation....105-107 S. Third St., Phila.  
Ketcham, O. W. ....121 N. 18th St., Phila.

## BUILDERS.

Mitchell Bros. ....2125 Race St., Phila.

## BUILDING NEWS.

Daily Building News.....Perry Bldg., Phila.

## BUILDERS' SUPPLIES.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## CEMENT WORK.

D'Lauro, John .....55 E. Mermaid Lane, Phila.  
Massiah, Frederick. Juniper and Cypress Sts., Phila.

## COLD STORAGE (Insulation and Covering)

Livezey, John R. Glenwood Ave. w. of 22nd St., Phila.

## COLUMNS (Metal).

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

## COMPOSITION FLOORING.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## CONCRETE WORK.

Massiah, Frederick. Juniper and Cypress Sts., Phila.

## CONTRACT BONDS.

Patton, Edward W. ....400 Lincoln Bldg., Phila.

## CONTRACTOR'S EQUIPMENT

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Entered at the Philadelphia Post Office as Second-Class Matter

Vol. XXXIX, No. 53  
December 31, 1924

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and the Material and Equipment Trades

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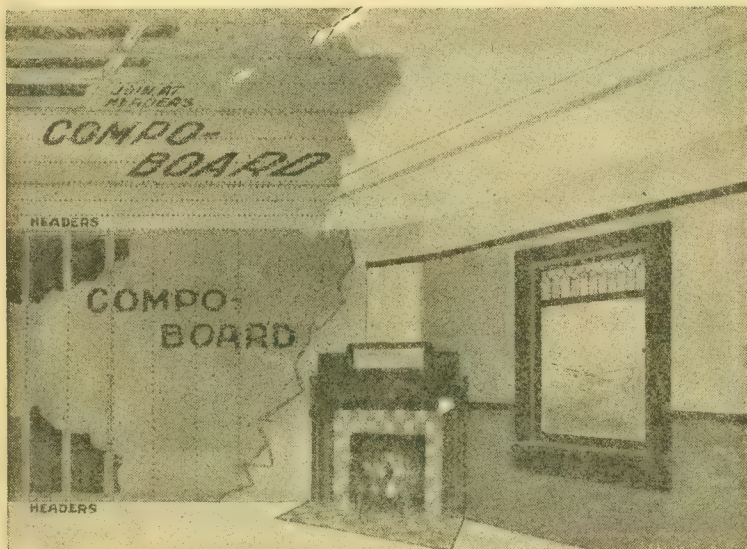
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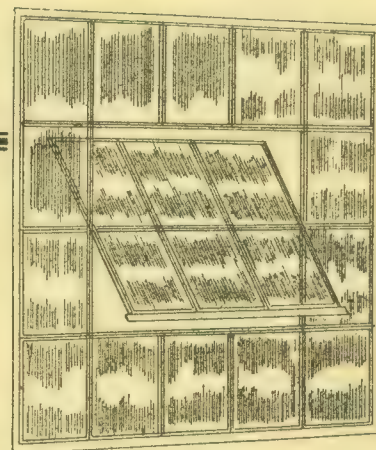
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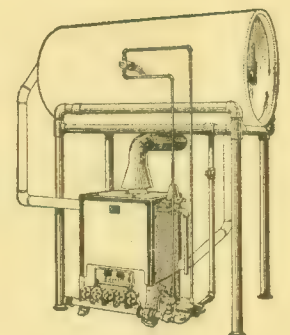
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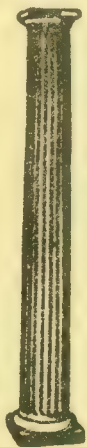
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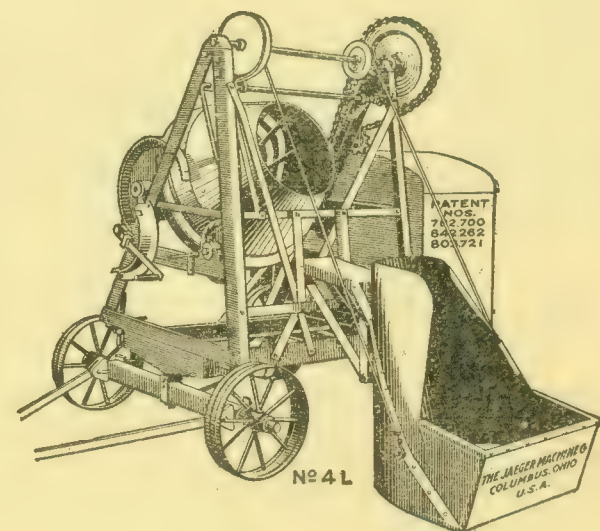
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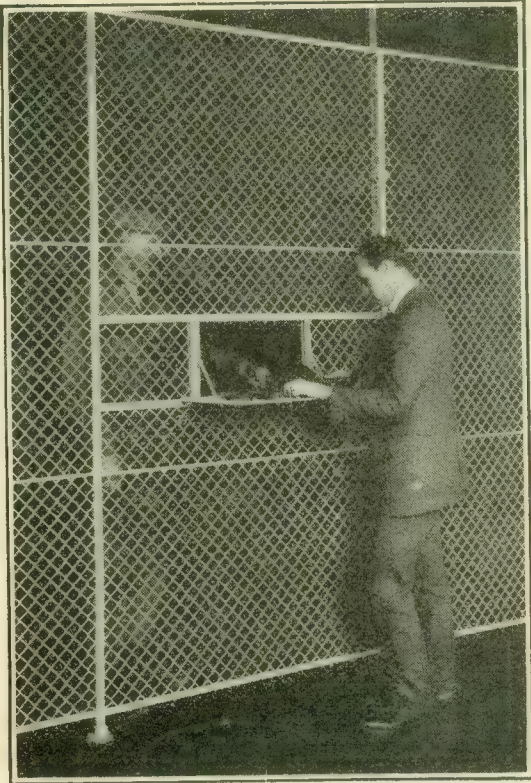
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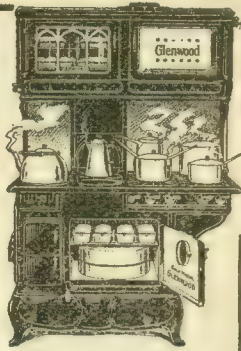


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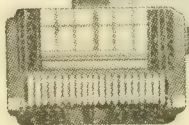
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# BUILDERS' GUIDE

Devoted to the Advancement of American Architecture, Structural  
Engineering and the Building Trades

VOLUME XXXIX  
Number 53

PHILADELPHIA  
December 31, 1924

## BUILDERS' GUIDE

PUBLISHED WEEKLY  
BY

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## As The Editor Sees It



**H**APPY NEW YEAR! Many say the time-worn phrase so glibly, with so little realization of its deep, hidden meanings. Happy New Year indeed to all of us who go home at night to cheerful warmth, good food, and comfortable beds; and who go forth in the morning well clad against the vigors of the weather.

We know a man who took Christmas cheer to a poor family this year. The mother of this little family of five children told the donor of the Christmas basket that the kiddies had never believed in Santa Claus because this was the first time they had ever had any Christmas celebration. Probably none of us who read this incident can possibly appreciate what it really signifies in pinching, want, sacrifice and heart ache. Most children and grown ups, too, have so much more than they actually need, that such dire poverty is beyond their power of comprehension.

Let those who dislike the hustle and bustle of the holiday season remember that there are thousands of little children whose tiny dreams come true only at this time of the year, and that there are many people whose generous instincts would be entirely swallowed up in the press of business and affairs, were it not for this celebration of the birth of the Christ Child.

To all of us, then, who have lived in peace and plenty during the past twelve

months this new January 1 is indeed a Happy New Year.

Those in the building trades have special cause for rejoicing this year, for in spite of depression in many other lines during the past year; in spite of the general uncertainty due to the Presidential elections, the Building Industry had a very satisfactory year in 1924. As to 1925 the prospects are still brighter. As *Building Age and National Builder* prophesy the Building industry for 1925 is promising.

"Election day has come and gone, and with it any doubt or uncertainty. We are out of the woods, and for the next few years at least the nation takes prosperity for granted.

How much of this prosperity is to be yours? How many of the new dollars that will come into circulation will find their way to your pockets?

If the answer could be given now, a program for future years might be launched in January that would enable builders to take full advantage of the prosperity to come. Can the future be forecast?

We think so. The barometer of American activity—the stock market—has already spoken. Its message is known to you! and to many, no doubt, it brought sweet music. Its behavior was more than an indication. It proved beyond a doubt a new-born confidence, a sense of real

security, and a willingness to open the purse strings.

These are all that America needs: a calm feeling that business will not be artificially disturbed, and a stirring of the adventurous spirit that has made it the greatest industrial nation in the world. These two have come, and the result should no longer be in doubt.

But the builder and the material dealer and the other factors in the building industry may want something more closely identified with their own particular line before passing judgment on 1925 and the ensuing years. There is much accurate data on which to build a forecast.

A nation-wide survey just completed by S. W. Straus & Company, reveals that in cities of more than 10,000 population a building shortage in excess of \$4,000,000,000 exists.

There is the fact that in 1924—an election year—the volume of building up to the end of November has already surpassed by nearly 12% the total for the entire year of 1923, and that a gain of nearly half a billion dollars may be expected when the final returns for this year close on December 31.

There is the fact that contemplated new building is showing rapidly mounting gains unprecedented for this time of the year.

There is the fact that owners and builders throughout the country are responding to the educational campaign of

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**BLUE  
PRINTS**



the Department of Commerce and other Associations to abolish the winter cessation of work, and to continue the construction industries through the entire twelve months of each year.

There is the fact that labor questions are in a more settled state than for a long period past, and that the outlook for disturbances in this direction is remote.

There is finally, the stabilization of the material market, which in some respects displayed a slight downward tendency during the early months of the fall.

**T**HE combination of all these factors point to but one thing: a maintenance of the high record of building operations throughout the country, with the normal annual volume increased by the growing necessity of making up the shortage which remains as a hang-over from the war period.

A supplementary survey of cities under 10,000 population revealed that the amount of deferred construction in these small towns is commensurate with that existing in the larger cities. A large portion of the shortage revealed by our own exhaustive survey of last year has still to be overcome before a normal basis is reached, despite 1924 construction.

An additional factor in prospective building was disclosed by the fact that during the next two years the sum of \$800,000,000 is to be expended for churches, hospitals, charitable and educational institutions. These figures are not included in the record of building shortage of the urgent and imperative kind.

The analysis reveals that the Eastern states lead in the number of buildings that are urgently needed, the total valuation amounting to \$2,312,510,000. To restore these cities to normal living conditions, the sum of \$1,652,887,500 should be expended immediately for residential construction.

The same demand for commercial types of buildings comes from the South, where 72 cities (out of 103 investigated) report

the sum of \$137,515,000 necessary for such construction, while \$307,495,000 is placed as the amount of the shortage in all building lines.

The seven states of the far West report the smallest shortage, the figures amounting to \$281,115,000, of which the largest proportion is to supply urgently needed public buildings to house the Federal, state and local government offices.

**T**HE spur which has been given to all-year-round construction by the Department of Commerce has resulted in the planning of much winter work, and the concerted efforts of many important organizations to bring about a schedule of building operations which will completely eliminate the seasonal decline characteristic of former years.

Thus in every direction is seen not only a preparation for immediate growth and development, but an actual realization of it. An upward trend has definitely begun. By January 1 it will be in full swing. Your own profits should be in proportion to the growing scale of business in your line.

1925 will be a good building year.

#### ZINC USED FOR ROOFING

*By Chas. E. van Barneveld, Mining and Metallurgical Engineer, Bureau of Mines, Department of the Interior*

The information presented in this report is a by-product of studies concerning zinc, and is published in response to various inquiries for information as to the suitability of zinc for roofing. It parallels a previous report of the Bureau of Mines on slate roofing.

#### *Available Forms for Zinc Roofing*

Zinc is available for roofing in three forms: 1. As sheet zinc which may be used advantageously on roofs with as flat a pitch as 1 in 4; laid with standing seam construction for small roofs and with batten construction for large roofs. 2. As corrugated sheets, in widths up to 40

(Continued on page 845)

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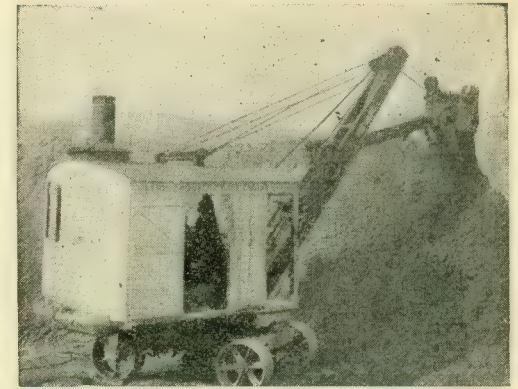
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# Advance Construction News

CONTEMPLATED CONSTRUCTION: ARCHITECTS AND OWNERS; COST LIMIT: LAST DAYS FOR FILING BIDS;  
CHARACTER OF MATERIAL AND EQUIPMENT REQUIRED: ADVANCE INFORMATION IN EVERY PHASE OF NEW CONSTRUCTION

**Store (alts. and add.),** 307 East Haines street, Philadelphia. Architect, Jacob Naschold, 5334 North Second street, Philadelphia. Owner, Ernest Stroll, care of architect. Brick, masonry, hot air heat, electric light, tin roof, pine floors, carpentry and mill work, plumbing, plate glass. Architect taking sub-bids due as soon as possible.

**Residence (alts.),** 2011 Walnut street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, A. Theo. Abbotts, Esq., 2301 West Allegheny avenue, Philadelphia. Brick, stone, 5 stories, 18 feet 6 inches x 135 feet, slag roof (elevator, electric work and heating separate bids) (tile work and hardwood floors reserved), stucco work, iron work, hollow metal skylights. Architect taking bids.

**Store and Apartments (alts.),** 1607 Pine street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Mrs. A. Reed, care of architect. Brick, 3 stories. Architect taking bids due Jan. 3rd.

**Apartment Building,** 4527 Pine street, Philadelphia. Architects, Henry D. Dagit & Sons, 34 South Seventeenth street, Philadelphia. Owner, Henry O. Dagit, 34 South Seventeenth street, Philadelphia. Brick, stone, 4 stories, 18x84 feet. Plans in progress.

**Garage,** C and Allegheny avenue, Philadelphia. Owner, name withheld. Architect, H. Kline, Bulletin Building, Philadelphia. Brick, steel, 1 story, 156x200 feet, slag roof, cement floors, steam heat, electric light. Plans in progress.

**Residence and Garage,** Oak road and Midvale avenue, Philadelphia. Architect, Edmund D. Gilchrist, 1618 Latimer street, Philadelphia. Owner, G. Lawrence Miller, 424 West Upsal street, Germantown, Philadelphia. Stone, 2½ stories, 30x70 feet. Plans in progress.

**Residences (44),** Tackawanna and Comly streets, Philadelphia. Architect, Joseph Margolis, Schaff Building, Philadelphia. Owner, name withheld. Brick, 2 stories, 16x40 feet, slag and tin roof, hardwood and pine floors, hot water heat, electric light, tile work. Plans in progress.

**Garage,** Fitzwater and Dorrance streets, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Brick, 2 stories, 70x110 feet, slag roof, cement and plank floors, steam heat,

electric lighting, hollow metal sash, elevators. Plans in progress. Ready for bids in 10 days.

**Apartment House,** Northwest Corner Thirty-sixth and Chestnut streets, Philadelphia. Architect, Joseph Margolis, Schaff Building, Philadelphia. Owner, Joseph Rabinovitz, 3641 Chestnut street, Philadelphia. Brick, 4 stories, 42x100 feet, slate and slag roof, hardwood floors, elevator, incinerator, kitchen and laundry equipment, steam heat, oil burning equipment, electric lighting, tile and marble work. Plans completed. Owner will take sub-bids.

**Residences (18),** Frankford avenue and Disston street, Philadelphia. Architect, J. Margolis, Schaff Building, Philadelphia. Owner, name withheld. Brick, 2 stories, 16x38 feet, slag and tin roof, hardwood and pine floors, hot water heat, electric light, tile work. Plans in progress. Fred C. Schmidt & Son, Inc., 2521 North Fifth street, Philadelphia, ready for sub-bids after January 1st.

**Garage and Show Room,** Fifth and Dauphin streets, Philadelphia. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, Simon Kaplan, 243 South Sixty-second street, Philadelphia. Brick, 2 stories, 64x139 feet, 59x35 feet, slag roof, cement and plank floors, elevators, steam heat, electric light, hollow metal sash. Owner ready for sub-bids.

**New Wing, Walton School,** Twenty-seventh and Huntingdon streets, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, cut stone, steel, reinforced concrete, 3 stories and basement, metal lath (plumbing, heating, electric light separate), gypsum, tile and slag roof, cement and maple floors, metal weather strips, metal ceilings, tile and marble work, rolling steel sash and doors, hollow metal doors, ornamental iron work, limestone and granite, caulking. Owners taking bids due January 8th.

**Store Building,** 1923 Chestnut street, Philadelphia. Architects, Heacock & Hokanson, 1211 Chestnut street, Philadelphia. Owner, J. E. Limeburner, on premises. Brick, cut stone, steel, 3 stories, 150x20 feet, slag roof, cement floors, steam heat, electric light, tile work, ornamental iron work. Architects taking bids due January 7th, 4 P. M.

**Alterations and Additions,** Northeast Cor-

ner Seventeenth and South streets, Philadelphia. Architect, E. B. Medoff, 808 Fox Building, Philadelphia. Owner, Louis Goldberg, on premises. Brick, steel, electric light, tile and marble work, composition floors, plumbing, hardware, sheet metal work, maple floors, bulk windows, stucco work, cement work, hot water heat, electric work, slag roof. Architect taking bids due January 8th.

**Boat House,** Fairmount Park, Philadelphia. Architect, Edward Hoffman, Jr., 313 South Fifteenth street, Philadelphia. Owners, College Boat Club, Fairmount Park, Philadelphia. Plaster, frame, 2 stories add., 46x24 feet, shingle roof, cement floors. Architect taking bids due January 5th.

**Nurses' Home (add.),** Thirty-fourth and Spruce streets, Philadelphia. Architects, Thomas, Martin & Kirkpatrick, 220 South Sixteenth street, Philadelphia. Owners, University Hospital, on premises. Architects taking bids on plumbing, heating and equipment.

**East Germantown Playground,** East Cheltenham and Ardleigh avenues, Philadelphia. City architect, John Molitor, 1315 Walnut street, Philadelphia. Shelter building, electric light, plumbing, grading, surfacing, sodding. Francisville Playground, Francis and Sherley streets, Philadelphia. Grading and surfacing and cement. Owners taking bids due January 6th at noon.

**Schools,** Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Owners taking bids due January 8th. Spec. 393, air filters, Huey School. Spec. 394, air filters, G. H. Thomas School. Spec. 397, secondary clock, Cooke Jr. School (High). Spec. 398, changing fixtures, various schools. Spec. 399, electric lighting, Breck Schools, Nos. 1, 2. Spec. 400, electric lighting, Joel Cook School.

**Kingsessing Recreation Center,** Fifty-first and Chester avenue, Philadelphia. Owners, Department of Public Works, Bureau of Recreation, 595 City Hall. Vitriified block pavements, concrete retaining wall, picket fence, etc., galvanized iron window screens. Low bidders: J. S. & P. O'Rourke, 5108 Wyalusing avenue, Philadelphia, \$7,393; Kaufman Const. Co., Pennsylvania Building, Philadelphia, \$8,835.

**Residences (35),** Somerville and Sydenham streets and Fisher's avenue, \$318,000. Archi-

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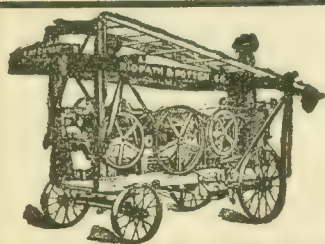
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teet, private plans. Owner, Louis Mark, 4501 North Ninth street, Philadelphia. Brick, 2 stories, (2) 16x45 feet, (33) 16x35 feet, 12x10 feet, slag roof, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residence and Garage**, Southeast Corner Seventieth avenue and Broad street, \$25,000. Architect, private plans. Owner, Mrs. Dora Milligan, 7015 Atlantic avenue, Atlantic City, N. J. Brick, 2 stories, 60x35 feet, and 1 story, 60x115 feet, hot water heat, electric light, hardwood, pine and cement floors. Owner will build.

**Residences (2)**, (1) Ditman street and Aubrey avenue, and (1) Academy road, South of Comly street, Philadelphia, \$10,000 total. Architect, private plans. Owner, A. W. J.

Williams, 3011 Linden avenue, Philadelphia. Frame and stucco, 1 story, 22x28 feet and 24x30 feet, shingle roof, pine and hardwood floors, electric lighting. Owner will build.

**Residence (10)**, South side Sixty-ninth avenue, Ninth street to Verbena, \$10,000 each. Architect, private plans. Owner, M. W. Dougherty, 5132 Hutchinson street, Philadelphia. Brick, 2 stories, 15x34 feet, 20x17 feet, hardwood and pine floors, hot water heat, electric light. Owner will build.

**Residences (2)**, 8313-15 Tinicum avenue, Philadelphia, \$5,800 each. Architect, private plans. Owner, John McEnhill, 8311 Tinicum avenue, Philadelphia. Brick, 2 stories, 15x38 feet, slag roof, hardwood and pine floors, hot air heat, electric light. Owner will build.

## Contracts Awarded

**Scope of Contract and Successful Bidders; "Inside" Information for the Material Man and Interior and Exterior Fitter.**

**Sewers**, Philadelphia. Owners, Department of Public Works, Bureau of Surveys, 216 City Hall. Contracts awarded: Green lane and Fairmount Park, from Wissahickon Drive to Gerhart street extension of Wissahickon low level intercepting sewers, Neely Brothers & Russell, Inc., Wakeling and Oxford pike, \$114,986.50. Branch sewers: Clearview, from Johnson to Cliveden, J. Joseph McHugh, 1617 Race street, \$8,727.77. Napa, Allegheny to Hunting Park avenue, A. De Sando, 510 Heed Building, Philadelphia, \$5,992. Comly, Duffield to Frankford avenue, A. De Sando, 510 Heed Building, Philadelphia, \$5,963. Torresdale, Bleight to North of Cottman, A. De Sando, 510 Heed Building, Philadelphia, \$5,522.56. Warnock, from Wagner, North, Vincent J. Perna, 752 South Tenth street, Philadelphia, \$2,142.25. Ash handling system, Lardner's Point, Acme Machine Co., 316 North Seventeenth street, \$74,130. Steam piping, Lardner's Point, W. K. Mitchell & Co., 1940 Ellsworth street, Philadelphia, \$53,800. Super heaters, Lardner's Point, Keystone State Pipe & Equipment Co., care of owner, \$39,950. Tile and marble work, Independence Hall, Kaufman Const. Co., Pennsylvania Building, Philadelphia, \$1,460.

**Residence (add.)**, 4631 Adams avenue, Philadelphia, \$3,000. Architect, private plans. Owner, George N. Grant, 4629 Adams avenue, Philadelphia. Brick, 2 stories, 14x26 feet, electric light, carpentry and mill work. Contract awarded Dardis & Laveny, 4438 Leiper street, Philadelphia.

**Senior High School**, Fifty-ninth and Lancaster avenue, Philadelphia. Architect, I. T. Catherine, Nineteenth above Chestnut street, Philadelphia. Owners, Board of Education, Nineteenth above Chestnut street, Philadelphia. Brick, reinforced concrete, cut stone, steel, 5 stories, basement and sub-basement, 317x222 feet (plumbing, heating, electric, elevators separate), gypsum tile, composition tile roof, cement, pine and oak floors, hollow tile, safety treads, waterproofing and damp-proofing, ornamental iron work, floor hardener, bond, hollow metal doors, rolling steel sash and skylight, tile and marble work, metal lath, cold water painting. Contract awarded Cramp & Co., Denckla Building, Philadelphia, \$1,766,345. Plumbing, William Ambrose, Leverington and Umbria streets, Philadelphia, \$99,359. Heating, S. Faith & Son, 2427 Pennsylvania avenue, Philadelphia, \$296,600. Electric, Ross Electric Co., Beach and Brown streets, Philadelphia, \$105,000. Ventilating, Thompson Brothers, 520 Buttonwood street, Philadelphia, \$12,787.

**Manufacturing Building**, 956-60 Percy street, Philadelphia. Architect, Gabriel Roth, 1629 Chestnut street, Philadelphia. Owner, name withheld. Brick, reinforced concrete steel, 3 stories and basement, 28x50 feet, slag roof, maple and cement floors, elevators, painting and glazing, plumbing, roof ventilators, salt glazed terra cotta, ornamental iron work, bond, steel doors, rolling steel sash and skylights, metal lath, electric light, steam heat, cast iron pipe. Contract awarded F. G.

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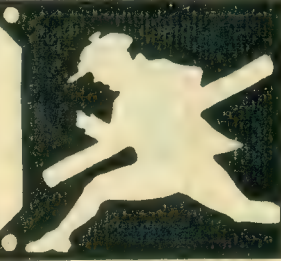


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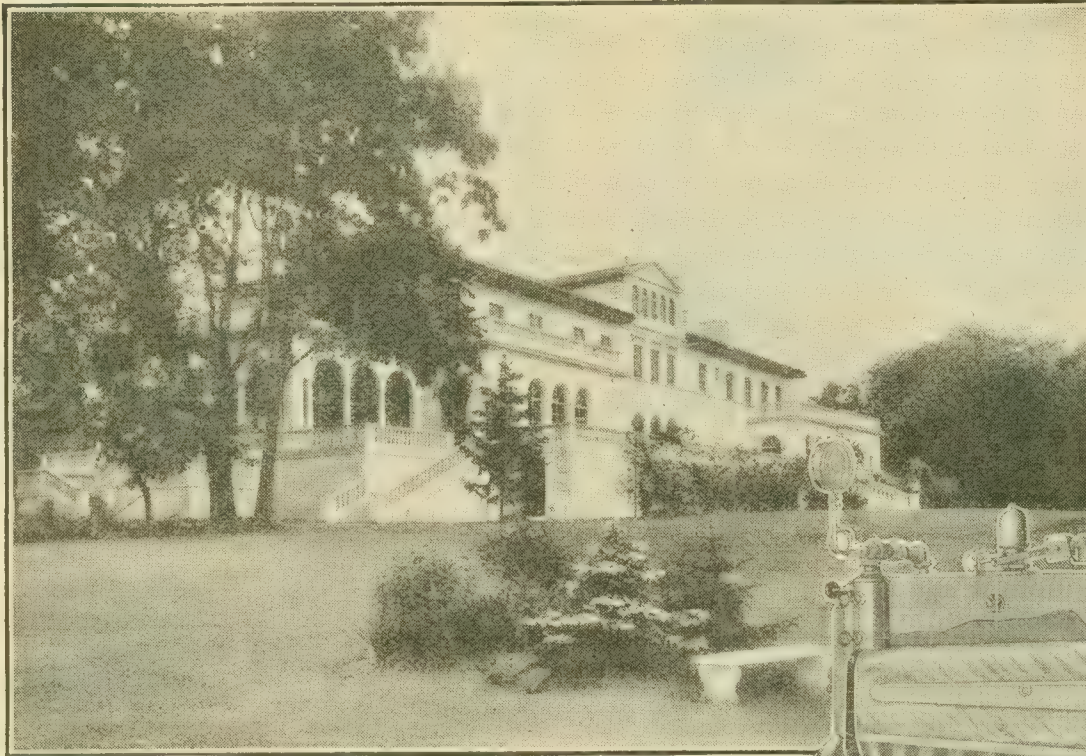
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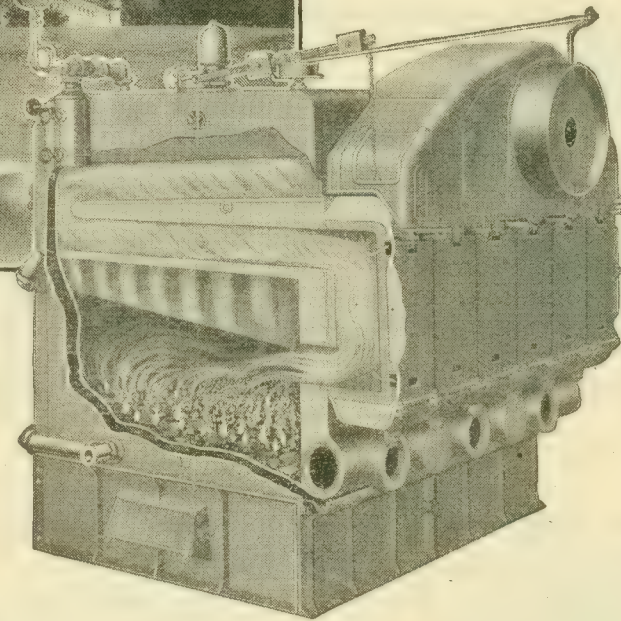
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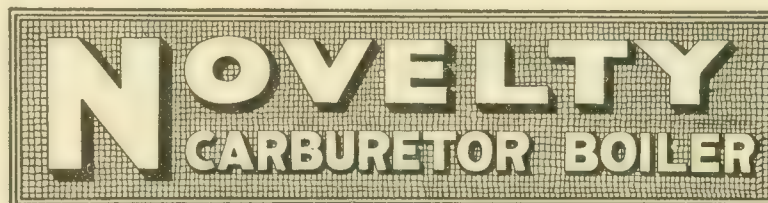
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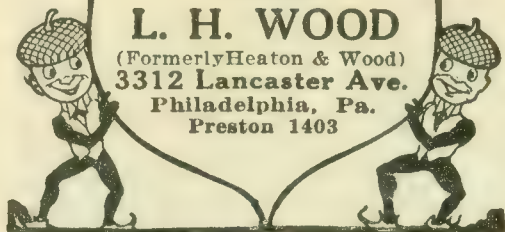
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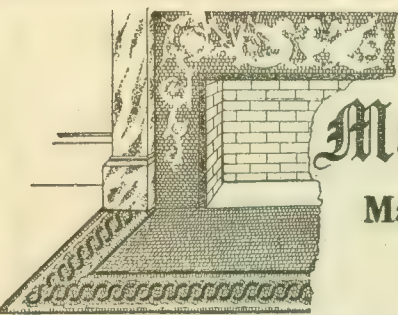
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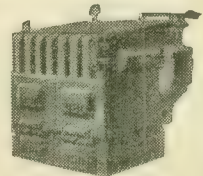
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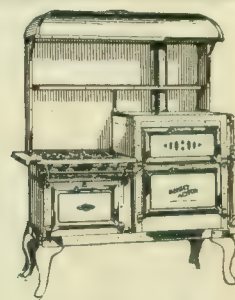
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English, 1610 North Carlisle street, Philadelphia.

**Alterations**, Southeast Corner Manheim and Wayne avenue, Philadelphia. Architect, Charles J. Cumisky, 86 West Sharpnack street, Philadelphia. Owners, Badder & Goldfarb, on premises. Shoring, brick work, iron work, cut stone, carpentry, oak floors, mineral floors, painting and glazing, hardware, plumbing, electric. Contract awarded J. Roman, 414 East Brighthurst street, Philadelphia.

**Store and Apartment (alts. and add.)**, 302 South Fifty-second street, Philadelphia. Architect, William F. B. Koelle, Otis Building, Philadelphia. Owner, Dr. A. M. Chandler, on premises. Bond, cut stone, brick, carpentry and mill work, steel and iron work, hardware, plastering, painting, electric work, plumbing (heating reserved). Contract awarded Charles A. Booker, 2257 North Uber street, Philadelphia.

**Residence**, Southwest Corner Fourth and Morris streets, and **Residence (alts. and add.)**, 1702 South Fourth street, Philadelphia, \$13,600 total. Architect, I. W. Levin, 1011 Chestnut street, Philadelphia. Owner, David Bridge, Southwest Corner Fourth and Morris streets, Philadelphia. Brick, 2 stories, 17x42 feet, slag roof, hardwood and pine floors, hot water heat, electric light, tile work. Brick add., third story, 13x28 feet, general alterations. Contract awarded to Louis Swerdloff, 228 South Fifty-ninth street, Philadelphia.

**Residence (alts. and add.) to Apartment House**, 4704 Hazel Ave., Philadelphia, \$10,000. Architect, J. S. Fuller, 5438 Locust street, Philadelphia. Owner, name withheld. Brick, 1 story, irregular in size, hot water heat, electric light, tile and marble work, hardwood floors, wall beds, kitchen units. Contract awarded Harry Goldberg, 2419 South Fairhill street, Philadelphia.

**Residence and Garage**, Stenton and Hillcrest road, Chestnut Hill, Pa. Architect, E. Allen Wilson, 1208 Chestnut street, Philadelphia. Owner, Maurice Crean, Eighteenth and Oregon avenue, Philadelphia. Stone, 2 stories, hot water heat, electric light, slate roof, hardwood floors. Contract awarded David McCork, Flourtown, Pa.

**Apartment Building (add.)**, 2115 North Sixty-third street, Philadelphia, \$20,000. Architect, private plans. Owner, John V. Ramsden, 2053 North Sixty-third street, Philadelphia. Brick, 3 stories add., 24x28 feet, slag roof, hardwood and pine floors. Contract awarded to J. H. Hutt, 5919 Spruce street, Philadelphia.

**Post Office (alts.)**, Northeast Corner Eighteenth and Christian streets, \$5,000. Architect, private plans. Owners, Estate of Frank-

lin Evans, Stephen Girard Building, Philadelphia. General alterations. Contract awarded to Bennett-McLaughlin Co., 3260 Ludlow street.

**Residence and Store (alts. and add.)**, 2741 Kensington avenue, \$4,000. Owner, E. Groff, on premises. Brick, 1 story add., 5x25 feet, general alterations. Contract awarded to L. Lamkin, 118 South Ruby street, Philadelphia.

**Tank Tower and Tank**, Northeast Corner Fifteenth and Cumberland streets, \$5,600. Architect, private plans. Owners, P. R. T. Co., 814 Dauphin street, Philadelphia. Steel. Contract awarded to Pittsburgh-Des Moines Steel Co., 50 Church street, New York.

**Garage (alts.)**, 1218-20 North Twenty-sixth street, Philadelphia, \$2,000. Owners, Public Ledger Co., Sixth and Chestnut streets, Philadelphia. General alterations. Contract awarded to Doyle & Co., 1519 Sansom street, Philadelphia.

**Residence**, West side Loretta street, South of Longshore street, \$4,000. Architect, private plans. Owner, George Solomon, Holmesburg, Philadelphia. Frame and stucco, 1 story, 22x28 feet, shingle roof, hardwood and pine floors, electric lighting. Contract awarded to A. W. J. Williams, 3011 Linden avenue, Philadelphia.

**Garage**, 5330 Rising Sun avenue (rear), Philadelphia, \$4,500. Architect, private plans. Owner, H. J. Bickley, on premises. Brick, 1 story, 87x18 feet, slag roof, cement floors, electric work. Contract awarded to Theo. W. Stone, 5422 Westford road, Philadelphia.

**Manufacturing Building (add.)**, Southwest Corner Tioga and Belgrade streets, \$3,800. Owners, C. F. Simmons & Sons, Inc., on premises. Steel cooling tower. Contract awarded to C. H. Wheeler Mfg. Co., Box 6910, North Philadelphia.

**Miscellaneous Work**, Philadelphia. Owners, Department of Public Works, Bureau of City Property, City Hall. Contract No. 547, miscellaneous work, Independence Hall. Contract awarded Curtis Grindrod, 10 South Eighteenth street, Philadelphia.

## Pennsylvania Construction News

**Residences (28)**, Berbro avenue, West Chester pike, Upper Darby, Pa. Architect Engineer, M. M. Boonin, Eighth and Porter streets, Philadelphia. Owners, Berman & Guberman, 6036 Market street, Philadelphia. Stone, brick, stucco, 2 stories, 18x30 feet and 14x10 feet, slag, tile and slate roof, composition, oak and pine floors, hot water heat, electric light, tile baths, metal cellar win-

dow guards. Owners taking sub-bids due as soon as possible.

**Residences (2)**, Bryn Mawr, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Doyle Brothers, Martin avenue, Bryn Mawr, Pa. Concrete block, plastered, 3 stories, 16x37 feet, hot water heat, electric light, shingle roof, hardwood floors, tile work. Owners ready for sub-bids.

**Residences (2)**, Lorraine avenue, Ardmore Park, Pa. Architect, John Charles Norton, Ardmore, Pa. Owners, Doyle Brothers, Martin avenue, Bryn Mawr, Pa. Concrete block, plastered, 3 stories, 16x37 feet, shingle roof, hardwood floors, hot water heat, electric light, tile work. Owners ready for sub-bids.

**Station**, Pottstown, Pa. Architect, private plans. Owners, Philadelphia & Reading Railroad, Twelfth and Market streets, Philadelphia. Brick, steel, concrete. Plans in progress. Too early for details.

**Theatre, Store, Office, Hotel and Dance Hall**, Gettysburg, Pa. Architect, William H. Lee, 1505 Race street, Philadelphia. Owners, Gettysburg Hotel, Gettysburg, Pa. Concrete, steel, brick, 4 stories, 144x151 feet. Architect taking bids due January 19th.

**Dormitory**, Womelsdorf, Pa. Architect, Miles B. Dechant, 632 Washington street, Reading, Pa. Owners, Bethany Orphans' Home, Dr. M. F. More, Womelsdorf, Pa. Stone, 2 stories and basement, 72x42 feet. Plans in progress.

**Church**, Rockwood, Pa. Architects, Ritcher & Eiler, 147 North Fifth street, Reading, Pa. Owners, Reformed Church, Rev. H. L. Logsdon, Rockwood, Pa. Brick, hollow tile, 1 story and basement, 42x82 feet, slate roof, steam heat, electric light, ornamental iron work. Owners taking bids.

**Residences (12)**, Drexel Hill, Pa. Architects, Wallace & Warner, 1413 Franklin Trust Building, Philadelphia. Owner, Thomas Conway, Jr., Corp., 1315 Walnut street, Philadelphia. Stone, brick, 2½ stories, various sizes, slate roof, hardwood floors, hot water heat, electric light, tile and marble work. Architects taking sub-bids.

**Residence and Garage**, Wynnewood, Pa. Architect, R. A. Kerns, Jr., 10 South Eighteenth street, Philadelphia. Owners, Wynnewood Realty Co., 2123 North Sixty-third street, Philadelphia, Pa. Brick, stone, 2½ stories, 40x60 feet, vapor heat, electric light, slate roof, hardwood floors, tile work. Ready for bids in a few days.

That plan of the king in olden times who killed the messenger who brought him bad news has my approval. Blessed are those who bring glad tidings! If you cannot write a good letter—don't!—Elbert Hubbard.



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## Pennsylvania

### Contracts Awarded

**Garage**, Ardmore, Pa. Architect, Horace Wells Sellers, Stephen Girard Building, Philadelphia. Owner, Elmer E. Rodenbaugh, Ardmore, Pa. Brick, steel, 2 stories, 40x30 feet, slag roof, cement, oak and pine floors, plumbing, steam heat, electric light. Contract awarded H. H. Burrell, 206 South Quince street, Philadelphia.

**Bungalow (alts. and add.)**, Lindenhurst Estate, Jenkintown, Pa. Architect, J. W. Thompson, 703 South Sixtieth street, Philadelphia. Owners, Lindenhurst Estate, W. C. Haddock, Jenkintown, Pa. Brick, stone, steel, 2½ stories, 36x14 feet, shingle canvas roof, mastic, asphalt and oak floors, plumbing, shoring, ornamental iron work, steel casement sash, hollow metal doors, copper skylights, tile and marble work, hot water heat, electric light, wrought iron pipe. Contract awarded F. L. Hoover & Son, 1023 Cherry street, Philadelphia.

## New Jersey

### Construction News

**Building**, Ocean City, N. J. Architect, Walter Smedley, Stephen Girard Building, Philadelphia. Owners, Abbott's Alderney Dairies, Thirty-first and Chestnut streets, Philadelphia. Brick, steel, office, 1 story, 69x27 feet, garage, 2 stories, 65x54 feet, stable, 1 story, 65x30 feet, shed, 1 story, 20x30 feet, slag roof, cement and pine floors, rolling steel sash, architectural terra cotta. Contract awarded Brown Miller, Ocean City, N. J.

**High School**, Audubon, N. J. Architect, A. H. Moses, Temple Building, Camden, N. J. Owners, School Board of Audubon, Audubon, N. J. Architect selected. Too early for details.

**Bank**, Medford, Burlington County, N. J. Architect, Thomas E. Ash, 1012 Walnut street, Philadelphia. Owners, Burlington County National Bank, Medford, N. J. Brick, 2 stories, 28x60 feet, slate roof, wood and linoleum floors, vapor heat, electric light, marble work. Working plans in progress.

**Residence**, Belmont Circle, Trenton, N. J. Architects, Klemann & Kaplan, First National Bank Building, Trenton. Owner, Frank Millner, 102 North Olden street, Trenton, N. J. Stone, 2½ stories, 32x40 feet, slate roof, hardwood floors, hollow tile, vapor heat, electric light, tile work. Plans in progress.

**Theatre (alts.)**, Boardwalk, near Pennsylvania avenue, Atlantic City. Architect, C. H. Conover, North Arkansas avenue, Atlantic City, N. J. Owner, George Weiland, on premises. General interior alterations, vapor vacuum heat, electric light, tile, marble and terrazzo work. Sketches in progress.

**Church and Rectory**, Atlantic City, N. J. Architect, A. F. Amodio, Atlantic City, N. J. Owners, Greek Church, care of architect. Stone, brick, 1 story and basement, 50x150 feet, tile roof, hardwood floors, hot water heat, electric light, mosaic work. Plans in progress.

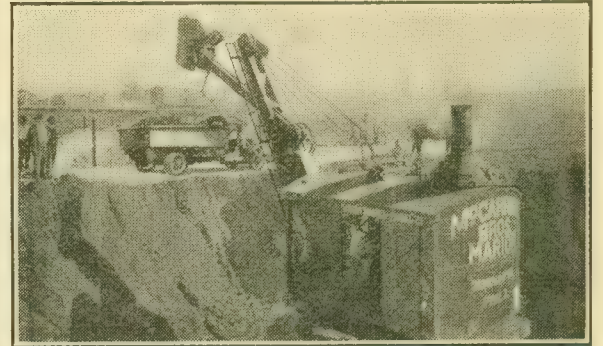
**Church**, Pleasantville, N. J. Architect, V. B. Smith, Guarantee Trust Building, Atlantic City, N. J. Owners, First Baptist Church, Pleasantville, N. J. Stone, 1 story and basement, 48x100 feet, slate roof, hardwood floors, electric light. Architect ready for bids due January 8th.

**Bank Building**, Kaighn avenue and Haddon avenue, Camden, N. J. Architects, Simon & Simon, 249 South Juniper street, Philadelphia. Owners, Parkside Trust Co., Camden, N. J. Brick, concrete, cut stone, steel, granite, 2 stories and basement, 56x80x80 feet, composition and slag roof, cement floors, hollow tile, shoring, waterproofing, bond, ornamental iron work, rolling steel sash, tile and marble work, metal lath, electric light, steam heat, bronze work, dumb waiter, rubberstone floors, bluestone, limestone. Architects taking an approximate bid.

**Residence**, Haddonfield, N. J. Architect, C. Barton Keen, 338 South Smedley street, Philadelphia. Owner, Henry D. M. Sherrerd, Haddonfield, N. J. Frame, clapboard, 2½ stories, 80x35 feet, shingle roof (alternate slate roof), hardwood and pine floors, vapor heat, electric light, tile work. Architect taking bids due January 2nd at noon.

**Store and Office (alts. and add.)**, 544-46 Federal street, Camden. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owner, Sigmund Schoenagle, Federal and Hudson avenue, Camden. Brick, stone, steel, concrete, 3 stories, 40x120 feet, slag roof, hardwood floors, cinder block, copper work, dampproofing, iron stairs, ornamental iron work, fire doors, rolled steel sash, metal lath, steam heat, electric light. Architects taking bids due January 7th.

**Hospital**, Mt. Ephraim avenue, Camden, N. J. Architects, Lackey & Hettel, 5 Hudson avenue, Camden, N. J. Owners, West Jersey Homeopathic Hospital, Dr. C. F. Hadley, Camden, N. J. Fireproof, 5 stories, 64x68 feet, slag roof, composition floors, cinder block, elevators, safety treads, roof ventilators, waterproofing and dampproofing, ornamental



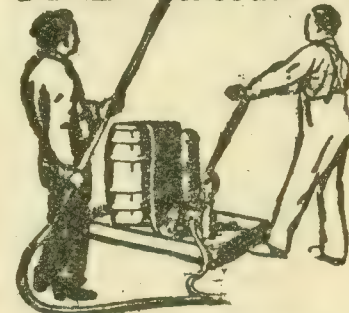
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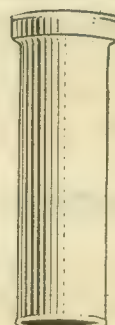
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iron work, iron stairs, fire doors, rolled steel skylights and sash, tile and marble work, metal lath, electric light, heating extension. Architects ready for bids.

**Department Store (alts. and add.),** Atlantic City, N. J. Architect, C. H. Conover, North Arkansas avenue, Atlantic City, N. J. Owners, Adolph Preis, Mt. Vernon and Atlantic avenues, Atlantic City. Steel, slow burning construction, 6 stories, 35x100 feet, slag roof, maple floors, hollow tile, elevators, waterproofing and dampproofing, ornamental iron work, iron stairs, plate glass, rolled steel sash, tile and marble work, metal lath, hot water heat, electric light. Architect ready for bids. Mr. G. S. Simpson, Humphreys Building, Atlantic City, will receive bids.

**Apartment Hotel,** Atlantic City, N. J. Architects, T. B. Lippincott and C. H. Schaef, 11 South Sixteenth street, Philadelphia. Owners, William Penn Apartment Corporation, Philadelphia. Brick, concrete, steel, 5 stories, 140x49 feet, slag roof, hardwood and cement floors, elevators, vapor heat, electric lighting, tile and marble work. Plans in progress. (Note location.)

**Residences (2),** 1201-09 Chambers street, Trenton, N. J., \$6,000. Architect, private plans. Owner, S. W. Clayton, 1201 Chambers street, Trenton, N. J. Frame, 2½ stories, 28x44 feet, slate or asbestos roof, pine floors, electric light. Owner will build.

**Residences (2),** 517-19 Oaklyn street, Trenton, N. J., \$6,000. Architect, private plans. Owner, Fred Reeger, 1916 South Clinton street, Trenton, N. J. Brick, frame, 2½ stories, 14x30 feet, slate roof, electric light. Owner will build.

**Residence,** 601 Wilham street, Trenton, N. J., \$3,000. Architect, private plans. Owner, Albert Ahrendt, 16 Lincoln street, Trenton, N. J. Frame, 2½ stories, 16x28 feet, pine floors, electric light. Owner will build.

**School,** Delanco, N. J. Architect, H. Ziegler, 17 Washington street, Riverside, N. J. Owners, Board of Education, Delanco, N. J. Brick, cut stone, 1 story and basement, 239x103 feet, wing 76x67 feet, slag roof, cement and maple floors, metal lath, rolling steel sash and skylights, kalamein doors, bond, ornamental iron work, iron stairs (Plumbing, heating, electric, pre cast stone, separate bids) alternate—Johns Manville Built up asbestos roof. Low bidders: J. E. Kolster, Beverly, N. J., \$94,500;

C. S. Moses, Edgewater Park, N. J., \$99,900. Heating, George Orfe, Riverside, N. J., \$19,774.38. Plumbing, George Orfe, Riverside, N. J., \$9,900. Electric, Mercer Electric Co., Trenton, N. J. (on alt.), \$5,330; Enterprise Elec. Co., 239 South Tenth street, Philadelphia (on general), \$4,991.

## New Jersey Contracts Awarded

**Residences (2),** Fairmount avenue, Trenton, N. J., \$8,000. Architect, private plans. Owners, Villa Park Improvement, care of builder. Brick, frame, 2½ stories, 14x28 feet, slate roof, pine floors. Contract awarded to G. Tucillo, 332 Hamilton street, Trenton.

**Store Front and Addition,** 1633 Mt. Ephraim avenue, Camden, N. J., \$4,100. Architect, private plans. Owner, A. Mancene, 1633 Mt. Ephraim avenue, Camden, N. J. Brick, 2 stories, 4x15 feet and 10x21 feet, changing residence into store, general alterations. Contract awarded to S. Levy, 1214 Kaighn avenue, Camden, N. J.

## Miscellaneous Construction News

**Furniture Warehouse,** Thirty-third and Tenth avenue, New York City. Architect, Frank E. Hahn, 629 Chestnut street, Philadelphia. Owner, Samuel Mack, 2492 Sixty-fourth street, New York City. Reinforced slab concrete construction, 5 stories, 80x90 feet, steam heat, electric light, concrete floors, elevators. Plans in progress. Architect will be ready for bids in two weeks.

**Residences (4),** Wilmington, Del. Architect, John A. McKibbin, Industrial Trust Building, Wilmington. Owner, L. R. Cantera, 1907 West Ninth street, Wilmington, Del. Brick, 2½ stories, 24x30 feet, composition roof, oak and pine floors, hot water heat, electric light, tile work. Owner will build.

(Continued from page 836)

inches and in lengths up to 8 and 9 feet, available for siding and roofing in industrial buildings (with certain restrictions) and for farm buildings (without restrictions). 3. In the form of shingles.

### Advantages of Zinc Roofing

1. Zinc is a permanent roofing material; that is, when suited to the conditions, and properly applied to a roof

designed with the right purlin spacing, it will outlast the building and still have a salvage value equal to at least half the original material cost. 2. It is applicable to a wide range of conditions, from the most expensive to the cheapest type of construction, and is not greatly above the cheaper materials in first cost. A permanent roof of simple outline need not cost over \$15 to \$25 per square (100 square feet), depending upon the method of construction required; a corrugated sheet roof for industrial purposes or for farm use need not cost over \$15 per square for ordinary conditions. 3. Corrugated zinc sheets have the distinct advantage of being available for re-use and re-construction if handled with ordinary care. 4. Zinc oxidizes to a certain point, building up a strong, protective coating which in time effectually checks further oxidation; thus it does not oxidize to the point of destruction as steel does. 5. It is light and easily handled.

### Disadvantages Applying to the Use of Zinc for Roofing

On the other hand zinc has some minor disadvantages. Everyone connected with building, from the mechanic to the handy man, is familiar in a general way with the behaviour of steel sheets, and when first brought in contact with the use of zinc must have impressed upon his mind the fact that zinc has certain different characteristics from steel that require different handling.

1. Special fasteners must be used. 2. Provision must be made for expansion; this applies not only to sheets but to pipes; for instance, slip-joint gutter and pipe connections of from 1 to 1½ inches are necessary when zinc down-spouts are used. 3. Zinc must not come in direct contact with other metals (except lead) particularly when wet. 4. Zinc is brittle when cold. Generally speaking it is undesirable to make a zinc installation at temperatures much below 40 degrees F.

When these peculiarities are once understood and the consequent precautions are accepted as necessary to a successful zinc installation, they will be found to be simple enough so that they do not constitute an objection to the use of zinc. In addition, there are certain conditions under which zinc should not be used at all. These conditions apply principally to industrial installations and will be briefly discussed: 1. A zinc roof is not suitable for a smelter building or foundry; the combined effect of excessive heat and corroding fumes being too severe. The melting point of zinc is 786 degrees F. Long before this point is reached a corrugated zinc sheet laid on purlins would sag and be unable to support its own weight. Just what that point is has not been determined. The critical temperature of rolled zinc is 280 degrees. Just

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how much greater temperature a corrugated zinc sheet of 14 gage supported on a 4-foot span would stand before sagging of its own weight, would be hard to say 2. Zinc should not be used on ocean front construction where it would be subject to continuous salt water spray; neither should it be used under conditions which might produce electrolysis. By way of illustrating the latter point the following case might be cited: In the vicinity of New York, on the Hackensack Meadows, a metallurgical company has used considerable corrugated zinc in construction. This is giving good service with the exception of one unit which is subject to a combination of carbon deposit from smoke and salt water spray, thereby setting up electrolysis which destroys the zinc. Salt air alone is not injurious to a zinc roof.

The possibility has been suggested that an electrolytic couple destructive to zinc is set up when zinc sheets are placed directly on iron purlins, especially in contact with moisture. However, zinc may be placed direct on properly painted iron purlins, or 1-inch wood strips may be bolted to the purlins.

3. Zinc should not be subjected to direct concentrated sulphuric acid or nitric acid fumes; but it does not suffer from reasonably dilute fumes which would be detrimental to steel sheets. Reference has already been made to the progressive weathering or corrosion of zinc which produces a protective coating of uniform depth on any rolled zinc of fairly heavy gage, beyond which depth all action ceases. This coating is *not* a zinc hydroxide (which would be affected by even dilute fumes) but is a hard and difficultly soluble basic carbonate which most effectively protects the remaining metal. The following circumstance will perhaps serve to confirm this statement. In 1908 the Illinis Zinc Co., of Peru, Ill., built a new office building roofed with 13-gage zinc formed as Spanish tile. This roof is roughly 100 feet distant from the kilns in which zinc sulphide ore is roasted and 200 feet from the stacks of a sulphuric acid plant; it is also in close proximity to the nitric acid plant. Though corrugated galvanized sheets 24-gage last only 4 to 6 years in this plant, this zinc roof, after 25 years, continuous exposure to fumes of carbonic, sulphurous, sulphuric and nitric acids, is today in perfect condition.

4. Zinc is more brittle in cold weather and when in this condition is hard to "work" and easily damaged. In very cold weather it becomes impossible to drive zinc nails and rivets unless they are first warmed and are kept warm until used. Aluminum rivets may be used in any weather, but require preliminary punching. Many workmen or con-

tractors will refuse to do this and in cold weather will use galvanized steel nails which, of course, should never be used on a zinc job as sooner or later some will rust out. Below 40 degrees F. zinc suffers from rough handling. At 25 degrees F. even corrugated zinc sheets are liable to be seriously damaged in construction. Zinc cornice work and construction with zinc sheets should be done only in weather ranging from mild to hot.

5. The tensile strength of zinc is low, about half that of iron; this entails the use of heavier gages, deeper corrugations and closer spacing of supports for zinc sheets. In this respect zinc sheets are at a slight disadvantage. With corrugated steel sheets a maximum purlin spacing of 6 feet is allowable, while with zinc sheets 4 feet is the desirable maximum, and that only for the heavier gages, 14 gage under normal conditions and 15 gage under heavy snow load. For 12 gage the spacing should be 45 inches, and

for 11 gage 40 inches. Corrugations for roofing sheets are  $\frac{7}{8}$  inch deep as against  $\frac{5}{8}$  inches in steel sheets. It is desirable to lay sheets to cover two spans, (three purlins) bringing into play the effect of continuous beam action.

6. Zinc has a greater ratio of expansion than iron. Most of the failures of zinc roofs are traceable to failure to provide for proper expansion and construction corresponding to the range in temperature. Yet there is no mystery and no special difficulty about laying a zinc roof; it is simply a question of understanding the reason for the specifications laid down and following them.

#### Zinc Roof Construction

The gage of zinc used in the United States is the old Belgian gage which is reversed as compared with the U. S. standard gage used for steel sheets. Table 1 gives the respective gages with weights per square foot for plain sheets and corrugated sheets.

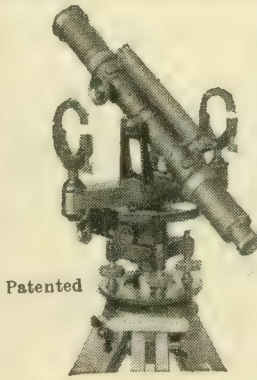
Table 1. Gage, and weights of zinc sheets.

Gage	Thick- ness	Plain sheets	Weight per square foot			
			Sheets with 2½ inch corrugations			
			5/8 inch depth	Max. purlin spacing	7/8 inch depth	Max. purlin spacing
Zinc	U.S. Stan'd inches	inches	pounds	inches	pounds	inches
9	26	0.18	.67	.74	18	0.83
10	25	.020	.75	.83	24	0.93
11	24	.024	.90	1.00	30	1.12
12	23	.028	1.05	1.17	36	1.30
13	22	.032	1.20	1.33	44	1.49
14	21	.036	1.35	1.50	52	1.68
15	20	.040	1.50	1.66	60	1.87
16	18	.045	....	1.85	60	2.10

The  $\frac{5}{8}$  inch depth of corrugation is recommended for siding and the  $\frac{7}{8}$  inch depth is recommended for roofing. The maximum purlin spacing allowable is shown in the columns adjoining weight per foot column for the respective depths of corrugations. The lengths of sheets will be determined by purlin spacing, remembering that it is desirable to space corrugated sheets to cover at least two spans

(three purlins) so as to obtain benefit of the effect of continuous beam action.

End lap and side lap must be provided for in estimating corrugated sheets. The width of corrugations is 2½ inches. At least 1½ corrugations overlap should be allowed at each side, reducing effective covering width of sheet by 7½ inches; from 4 to 6 inches end lap are required



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at both ends, according to the pitch of the roof, reducing the effective covering length by 8 to 12 inches. (See table below).

*Sq. Ft. of Corrugated Sheets Required to Cover 100 Sq. Ft.*

	Side Lap	End Lap in Inches					
		1	2	3	4	5	6
1	Corrugation.....	110	111	112	113	114	115
1½	Corrugation.....	116	117	118	119	120	121
2	Corrugation.....	123	124	125	126	127	128

Special fasteners are provided to suit all construction needs. It is important to remember that all rivets, nails and bolts are driven through the top of the corrugation to allow for sideways expansion. An anti-condensation roof may be built by stretching over the purlins poultry wire, followed by a couple of layers of sheet asbestos topped with a layer of tar paper immediately under the zinc sheet. Full construction details are obtainable from the manufacturers. Any intelligent workman accustomed to rough building construction who will follow the simple directions can successfully lay

corrugated zinc roofing.

In view of the long life of zinc roofing and the possibility of re-use of corrugated sheets, nothing less than 11 gage should be bought for corrugated roofing under ordinary conditions and 12 to 14 gage under corrosive conditions. Corrugated sheets are made in a variety of widths and no standard width is used. One company presents the following table which makes no allowance for end or side lap. To obtain the covering area, the aforementioned deduction must be made.

Table 2. Square Feet per Sheet Corrugated (No Allowance for Lap)

Length, Feet	Over-All Width, Inches					
	Siding 26 1-4	(1 Corrugation Lap) 34 1-4	Roofing 39 1-2	(1½ Corrugation Lap) 27 1-2	35 1-2	40 1-2
5	10.8	14.4	16.5	11.4	15.2	116.9
6	13.1	17.2	19.8	13.7	18.2	20.2
7	15.2	20.1	23.0	16.0	21.3	23.6
8	17.4	23.0	26.4	18.4	24.3	27.0
9	19.5	25.9	29.7	20.7	27.4	30.4
10	21.7	28.7	33.0	23.0	30.4	33.7
11	23.9	31.6	37.3	25.3	33.4	37.1
12	26.1	34.5	39.5	27.5	36.5	40.4

For service to which corrugated zinc sheets are adapted—and this covers a very much wider range than the zinc rolling capacity of the country could possibly supply—there is no satisfactory substitute. Zinc sheets are an investment. For use over a 15-year period they will show an actual saving over any competitive material. If properly handled (that is, not roughly handled or misused) they may be re-used any number of times in either new or re-construction as they do not deteriorate and nail holes may be easily soldered. They have a scrap value equal to half or more of their purchase price. In districts remote from zinc smelters their scrap value is higher because scrap zinc is in demand at local brass and babbit works. However, once the value of corrugated zinc sheets is thoroughly understood they will have a resale value greater than their scrap value.

Plain sheet zinc roofs are commonly made of 32 by 96-inch sheets, laid with long dimension up the slope of the roof. The sheets are *not nailed*. They are fastened at the sides either with batten or standing-seam construction.

*Batten Construction:* Sides are fast-

than two sheets, in order that the proper allowance be made for expansion. If the roof slope is between 2 and 3 inches per foot, the sheets can be soldered together in groups of two, and the remaining joints made with a deep double seam that has a lap of about 4 inches, but when covering a flat deck, all joints and seams must be soldered.

In making a soldered joint, the customary lock seam is not used. The upper edge of the sheet is folded over about ¾ inch and 3 by 3 inch zinc clips are locked into it at about 18-inch intervals, or two to a sheet. These clips are then nailed to the roof. The edge of the adjoining sheet is lapped over about 1½ inches and soldered.

Zinc is not difficult to solder. Use cut muriatic acid—that is, muriatic acid that has previously dissolved all the zinc it can,—as a flux. If the zinc has been exposed to the weather for any length of time, it will probably be necessary to scrape it until a bright surface shows before the solder will stick. Use a moderately hot iron, but do not hold it in one place longer than necessary. Ordinary half and half solder is satisfactory.

*Standing Seam Construction:* For small roofs batten type construction is too expensive and looks out of proportion, and standing-seam may be used. The sheets are not nailed but are anchored by strips of zinc. The seams run up and

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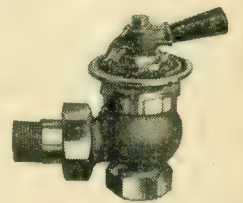
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down and are spaced according to the width of sheet used, which in turn depends upon the gage of the zinc; 12-gage is usually rolled in 24-inch width and 13-gage in 32-inch width.

When the seam is formed the sheets are separated horizontally to allow for sideways expansion. Horizontal or end seams are formed as in batten roofs. For low pitch roofs, that is, under 3 inches in 12, joints are soldered, but total length of soldered sheets should not exceed 20 feet.

**Zinc Shingles:** Metal shingles were brought out in 1882 by Chas. B. Cooper and were first made of terne plate stamped out and painted. Later galvanized iron was used. For many years galvanized shingles and tiles have been made by several manufacturers and there are several designs of lock construction.

Zinc shingles are nailed with zinc nails. Since there are no soldered joints, no provision is necessary for expansion outside of the locked joint and the amount of movement allowed by the rib. They are a little difficult to put on but, once properly put on, they stay in place and give complete satisfaction as to service.

Such shingles cost the consumer around \$13 or \$14 per square in Mississippi Valley points. The shingle is laid on light sheathing which should be covered with building paper in order to prevent rosin from coming in contact with the zinc.

Shingles of this type, that is, large locked shingles, are all made with a raised pattern which has a two-fold purpose—it stiffens the shingle, thus preventing warping, and it allows for expansion and contraction of the metal, no other provision being made for expansion. Some of these patterns are ugly and prove a decided barrier to the general acceptance of zinc shingles for residential roofs.

In some zinc shingles there are two nail holes within an inch of each other; only one nail is to be used; this gives a choice in case either hole coincides with a crack in the sheathing. In other shingles an oblong hole is added higher up for a second nail; by driving the nail in the center of the hole vertical movement is possible without doing damage.

It may be said of zinc shingles in general that, laid intelligently and conscientiously with due regard for instructions, they will give a permanent and satisfactory roof—but the development of the shingle has not yet reached the "fool proof" stage where it can be slapped on by the average "handy man" regardless of instructions.

Shingles, if laid tight up against each other in cold or cool weather when the metal has contracted, will expand appreciably when subjected to a summer tem-

perature range, and the shingle will buckle or work loose.

Zinc is a permanent roofing material and it can not compete with temporary roofing materials as to first cost, but only on the basis of satisfaction, endurance, low maintenance and high salvage or re-use value, over 10 years or longer—the longer the period the better the comparative showing.

All metal roofs have the distinct advantage of being lightning proof when properly grounded, and are practically free from maintenance expense if properly designed and applied. Copper and zinc are the only permanent metal roofing materials now used, and their use is on the increase. Lead was formerly used and gave good satisfaction on many old buildings but the thinner sheets of copper and zinc are now employed.

Zinc costs less than copper, and when properly laid, a zinc roof will outlast the building and will need no maintenance. As between zinc and copper, a zinc roof costs from one-half to one-third of what a copper roof would cost, and has similar scrap value. It also has the distinct advantage over a copper roof that the drip from the roof does not stain light colored walls or trimmings, as often happens with copper roofs. The copper roof on the other hand has a much higher melting point, which may be an advantage in case of fire, provided this is not counteracted by the use of a thinner gage of metal. Copper lends itself better to certain architectural effects and is preferred by sheet-metal workers for complicated cornices requiring sharp bends; copper may be worked cold and applied at any temperature. In these two respects copper has an advantage over zinc. Sheet-metal workers in this country are not as familiar with zinc as they are with iron; therefore zinc is the subject of much prejudice and misuse; this condition, however, is rapidly changing.

For use over a 15-year period corrugated zinc sheets will show an actual saving over any competitive material. If properly handled (not roughly or misused) they may be re-used any number of times in either new or re-construction as they do not deteriorate and nail holes may be easily soldered. They have a scrap value equal to half or more of their purchase price, as previously stated, though the actual scrap value naturally varies with the price of metals.

As a suggestion a comparison is offered between the cost of 24-gage corrugated galvanized sheets 26-inch width and 11-gage corrugated ( $\frac{7}{8}$  inch) zinc sheets—40½ inch width using 8-foot lengths with 1½ corrugations side lap and 6-inch end lap.

121 sq. ft. of 11-gage,  $\frac{7}{8}$  inch corrugated zinc sheets 40½ inches wide, weighing 1.12 pounds per sq. ft.—136

pounds of zinc at 10 cents delivered—\$13.60.

130 sq. ft. of 24-gage,  $\frac{4}{8}$  inch corrugated galvanized sheets, standard width (26 in.) at 6.3 cents per sq. ft. delivered .....\$ 8.19  
Initial cost of paint at \$2.00 per square ..... 2.00

Initial cost of material .....\$10.19

On a 10-year basis, the galvanized sheets will need at least one coat of paint and may need from 2 to 5 coats under severe conditions, each of which will cost at least \$2 per square. At the end of 10 years the galvanized sheets will probably be worthless, whereas the zinc sheets will be good for long additional service, will be available for re-use or at worst will have a scrap value equal to from 50 to 75 per cent. of the cost of zinc (spelter). Thus, assuming the best of comparative conditions for iron—not over one repainting during the 10-year period, no re-use of the zinc sheets, merely assigning them minimum scrap value and deducting a reasonable cost for removal and haulage—zinc sheets show a slight advantage in cost over galvanized sheets.

If the comparison is made for bad corrosive conditions, the galvanized sheets will have to be repainted frequently (at \$2 per square for each application), and perhaps replaced once. On the other hand, every extension of the length of the period will be more favorable to zinc.

**For City Residences:** A zinc roof over a 30-year period will cost less than any other roof. It will still be in good condition at the end of the period and should have a scrap value of at least 50 per cent. of the zinc cost at the time when the building is scrapped.

It is never necessary to paint zinc roofing as a protective measure or to improve its appearance—the color which it takes on upon weathering harmonizes with any architectural scheme into which slate would fit. However, should a color effect be desired as, for instance, red Spanish tile, either the new zinc tile or the weathered tile may readily be painted, provided a paint made of Chinese oil (such as the paints made for enameling purposes) is used. These paints are more flexible and are especially adapted to a metal having a wide range of expansion. It is believed that the flaking tendency of ordinary paints when applied to zinc is due to expansion and contraction of the metal.

**Country buildings and Residences:** Country roofing problems for large buildings differ from city problems in two main points. The poor fire protection on the one hand, the lack of repair facilities and the cost of importing repair labor from the cities on the other hand, both



demand the best roof construction the money available can buy. Zinc can be adapted at moderate cost to all country buildings of a permanent nature. There is no reason why a sheet zinc roof should cost over \$16 per square for standing seam or over \$20 per square for batten construction.

Considering this question in a general way, and having in mind buildings of moderate cost, it would seem that the requirements are: Maximum protection, reasonable first cost, simplicity of application and repair, long life.

Under the head of protection due consideration should be given to the isolation of country buildings, and to the fact that a large percentage of the fire losses come from lightning and from fire brands igniting the roof. A properly grounded metal roof is positive protection against lightning. The average metal roof, where metal is not too thin, is pretty good protection against external fire brands (but no better protection than good asbestos shingles or slate) though it is of little advantage in case of fires starting from within.

The question of cost has an important bearing on the selection of roofing for country buildings. Maximum protection and minimum cost do not go together; yet first cost is perhaps of greater relative importance than it is for industrial buildings.

In considering roofing of country buildings, the house and the out buildings might be considered separately. Within recent years, country residences have improved greatly in design both external and internal. The writer's personal preference for small isolated residences is the asbestos shingle, either individual or strip; but for large houses, sheet zinc roofing (standing-seam construction) is recommended regardless of the higher first cost.

For out buildings of every type, such as sheds and barns, where quarter pitch or better can be had, the corrugated zinc sheet makes the ideal roof and siding. For roofs  $\frac{7}{8}$ -inch depth of corrugation should be used and nothing less than 11-gage metal weighing 112 pounds per foot. For siding  $\frac{5}{8}$  corrugation and 10-gage metal, weighing 83 pounds per square foot is quite satisfactory. These recommendations for gage are made in view of the fact that when properly handled these sheets should serve several generations: they may be stored without danger of deterioration; they may be used in temporary construction, giving maximum protection, and be re-used in permanent construction as all nail holes can be filled with Slater's roofing cement and there is no iron core to rust. The corrugated zinc sheets are applicable to the following types of roofs: Sheds (quarter pitch or steeper), gable (full or broken), gam-

brel, monitor, and half monitor. They can be applied to the Gothic roof, but for a large job the plain zinc sheet with batten construction is perhaps better.

The zinc shingle in its present stage of development is not recommended for country use because of the need of special skill in laying them. Until such skill becomes more common, zinc shingles will probably find their field in and near cities. —*Reports of Investigations, Department of the Interior, Bureau of Mines.*

#### WOULD HAVE STANDARD SIZE FOR SAND LIME BRICKS

When the Sand Lime Brick Association holds its annual meeting in Trenton, February 3 and 4, there will be placed before its members a proposal for the adoption of a standard size. This proposal, which will be offered by H. Ross Colwell of the Division of Simplified Practice, is a result of a series of surveys conducted among the manufacturers of this commodity which disclosed that at present there are being manufactured sand lime bricks in five lengths, five thicknesses and four widths, or 100 possible combinations of size.

Some of the manufacturers and distributors, taking a leaf out of the book of the common brick manufacturers and concrete brick makers, asked the co-operation of the Division in securing the acceptance of a standard of dimensions which call for a length of  $8\frac{1}{4}$  inches, a width of  $3\frac{3}{4}$  and a thickness of  $2\frac{1}{4}$  inches. This is virtually the same as the standard for common, rough face and concrete brick, each of which formerly were made in many size variations.

It is pointed out by the manufacturers who sought the co-operation of the Division in placing this subject before the association that use of a standard set of dimensions would make it infinitely easier for architects, contractors and others, and that there would be important economies to the industry. This claim, it is declared, has been borne out by the experience of the makers of bricks of other materials.

#### BROAD POLICY OF PLASTERERS' UNION DOES MUCH TO UPLIFT THE TRADE

**I**N a recent address before employees of the New York Building Congress, Mr. E. J. Mehren, Vice-President of the McGraw Hill Company, declared that the spirit of craftsmanship was fast departing.

Possibly the speaker had in mind the conditions during and after the war when wages were high and all skilled labor was at a premium, and possibly he was influenced by the statements of some architects who said that good workmen were no longer available.

But happily this does not apply to the plastering trade. Skilled plasterers are available in every community and their numbers are fast increasing, while the broad policy of the National Headquarters of the Plasterers' Union is doing much within the ranks to insure even better workmen for the future.

In 1921 the Master Plasterers' Association reported that only 150 men had become plastering apprentices in 26 cities, while in 1923 the number had been increased to 1800. These men are being trained not only in the best and most efficient methods of their trade, but are also being shown that plastering as a trade can be made as highly respected as any of the professions.

Statistics compiled by the Bureau of Labor show that many skilled plasterers are migrating to this country from Northern Europe and Canada. During the year ending June, 1924, 769 plasterers and their families entered this country, an increase of 52% over the previous year. While this number is not large as compared with the plasterers already in this country, investigation has shown that most of these men were of the best class and the majority were admitted to the union merely upon the demonstration of their ability.

The architect and builder who is desirous of putting all of the beauty possible into his buildings and realizes that this is only possible through the use of permanent plaster can rest assured that the plasterers are fully alert to the possibilities of their own future, and are constantly working towards increasing the efficiency of their trade.—*Metal Lath News.*

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To be poor in a wealthy country, to be sick in a good climate, to be inefficient among a progressive people, is a sign of unwise educational methods. Such people were not taught to battle with the world or meet life's emergencies.—*Thoreau.*



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## SAND AND GRAVEL.

The Van Sciver Corporation,  
The Parkway at 24th St., Phila.

West Jersey Sand & Supply Co.,  
Delaware Ave. and Marlborough St., Phila.

## SCAFFOLDING.

Patent Scaffolding Co. ....2835 Bridge St., Phila.

## SCREENS.

Malia, Thomas.....226 W. Mentor St., Phila.

## SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## SHEET METAL AND ROOFING.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

Tinney, Walter H., Co.,  
63rd and Woodland Ave., Phila.

## SHEETROCK (Wall Board).

Pearce Fireproof Co. ....1911 N. 2nd St., Phila.

Tague, Jas. E., Co. ....10th and Columbia Ave., Phila.

## SOUNDINGS.

Ridpath & Potter Co.,  
S. W. Cor. 22nd and Cambria Sts., Phila.

## STEAM SHOVEL CONTRACTORS.

McCarrick Bros. ....3138 N. 24th St., Phila.

Morrissey Bros. ....4345 N. 7th St., Phila.

## STEAM SPECIALTIES.

Edwin Elliot & Co. ....1011 Chestnut St., Phila.

## STEEL DOORS.

Bur-Vett Mfg. Co. ....929 Chestnut St., Phila.

## STEEL SASH.

McFarland-Meade Co.,  
70th and Kingsessing Ave., Phila.

## STONE.

St. Martin's Building Stone, 55 E. Mermaid Lane.

## STUCCO.

Penna. Flooring & Woodoleum Mfg. Co.,  
34 S. 17th St., Phila.

## TERRA COTTA (Architectural).

Conkling-Armstrong Terra Cotta Co.,  
Denekla Bldg., Phila.

Ketcham, O. W. ....121 N. 18th St., Phila.

## TERRA COTTA SEWER PIPE.

Clausen, Wm. H. ....27th and Diamond Sts., Phila.

## TILE AND TERRAZZO WORK.

Belfi Bros. Co. ....1923 Market St., Phila.

Italian Marble Mosaic Co. ....433 Spruce St., Phila.

Carroll, Thos. A. ....2315 Walnut St., Phila.

Penna. Tile & Mosaic Co. ....1531 Cherry St., Phila.

Roman Mosaic & Tile Co. ....435 Green St., Phila.

## TRANSITS.

Robbins, Chas. H., Co. ....1729 Sansom St., Phila.

Warren-Knight Co. ....136 N. 12th St., Phila.

Weber, F., Co. ....125 S. 12th St., Phila.

Well, J. H., Co. ....1315 Cherry St., Phila.



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That this attitude is undergoing a change is evidenced in the number of people who no longer wait for the agent to solicit their business but who seek out the agent and ask for insurance advice.

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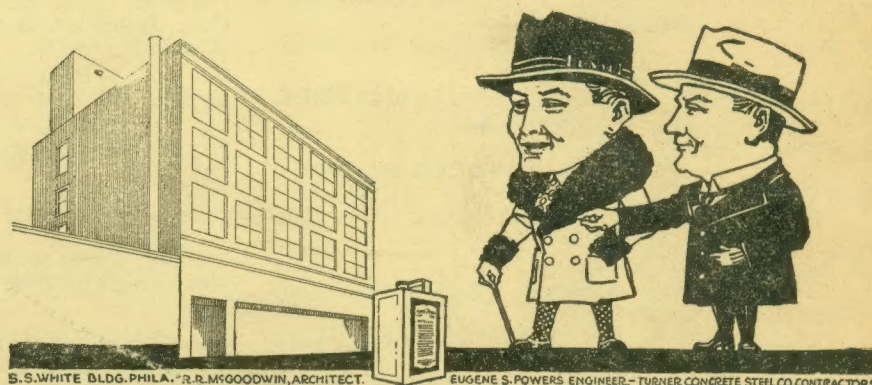
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ALAN WOOD IRON AND STEEL CO.  
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## WARREN-EHRET COMPANY

STANDARD SINCE 1852

Spruce 2854

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Race 5694

BALTIMORE

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"WECO" Asphalt Asbestos Roofing Cement  
"RAYN-TITE" Asphalt Asbestos Roof Coating

ASPHALT SHINGLES  
SLATE and MINERAL SURFACED ROOFING  
SMOOTH SURFACED ROOFING

COAL-TAR PITCH  
TARRED FELT  
ASPHALTS

CREOSOTE OIL  
WOOD PRESERVATIVES  
BUILDING PAPER